

THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER 079-2023

A By-law to amend City of Vaughan By-law 001-2021.

WHEREAS the matters herein set out are in conformity with the Official Plan of the Vaughan Planning Area, which is approved and in force at this time;

AND WHEREAS there has been an amendment to the Vaughan Official Plan adopted by Council and to be approved concurrently with this By-law, with which the matters herein set out are in conformity;

NOW THEREFORE the Council of The Corporation of the City of Vaughan ENACTS AS FOLLOWS:

1. That City of Vaughan By-law Number 001-2021, as amended, be and it is hereby further amended by:
 - a) Rezoning the lands shown as “Subject Lands” on Schedule “1” attached hereto from the GC General Commercial Zone, EM1 Prestige Employment Zone, EM2 General Employment Zone, and EP Environmental Protection Zone to EMU Employment Commercial Mixed Use, SC Service Commercial Zone, and EP Environmental Protection Zone.
 - b) Adding the following table, Exception Number 14.1139 to Section 14: Zone Exceptions:

SECTION 14: ZONE EXCEPTIONS	
EXCEPTION NUMBER: 14.1139	Legal Description: East side of Regional Road 50 and south side of Rutherford Road; Part of Lots 14 and 15, Concession 10; municipally known as 9001 Regional Road 50
By-law/Instrument No.: 079-2023	
Date By-law/Instrument Passed: June 20, 2023	
File No.: Z.21.023 Related Files: OP.21.013 and DA.23.026	
Parent Zones: GC General Commercial, EM1 Prestige Employment Zone, EM2 General Employment Zone, and EP Environmental Protection Zone	
Schedule A References: 99 and 117	Figure E Link (if applicable):

By-law / Tribunal Decision Reference:	Figure T Link (If applicable):
14.1139.1 Permitted Uses	
<p>1. The following provisions shall apply to the lands shown as “Subject Lands” on Figure E-1696:</p> <p>1. The following additional <u>uses</u> shall be permitted in the EMU Employment Commercial Mixed-Use Zone:</p> <ul style="list-style-type: none"> a) <u>employment use</u> b) <u>manufacturing or processing facility</u> c) <u>warehouse and distribution facility</u> d) <u>intermodal facility</u> e) <u>research and development</u> f) <u>transportation terminal</u> g) <u>accessory office</u> h) <u>accessory retail</u> i) <u>ancillary retail</u> <p>2. The following additional specified <u>accessory uses</u> shall be permitted in the EMU Employment Commercial Mixed-Use Zone:</p> <ul style="list-style-type: none"> a) Permit <u>accessory outside storage</u> for trucks and trailers, <u>intermodal containers</u>, and <u>commercial motor vehicles</u> to a permitted <u>use</u> in accordance with the following provisions: <ul style="list-style-type: none"> i. <u>accessory outside storage</u> to a permitted <u>use</u> may exceed 30% of the <u>lot area</u>; ii. <u>accessory outside storage</u> shall be permitted in any <u>front yard</u>, <u>exterior side yard</u> or between any main <u>building</u> and a <u>street line</u>; iii. <u>accessory outside storage</u> shall not be screened; iv. <u>accessory outside storage</u> shall be permitted on a <u>corner lot</u>; v. the <u>accessory outside storage</u> area shall not be located in a yard abutting an EP Environmental Protection Zone; and vi. <u>accessory outside storage</u> shall not exceed a maximum <u>height</u> of 4.2 m. b) <u>drive-through</u> 	

14.1139.1 Lot and Building Requirements

1. The following provisions shall apply to the lands shown as “Subject Lands” on Figure E-1696 and zoned EMU Employment Commercial Mixed-Use Zone:
 1. The build-to zone shall not apply.
 2. The minimum landscape strip abutting a street line shall be 3 m and shall be used for no purpose other than landscaping. This shall not prevent the provision of access driveways across the said landscape strip.
 3. The minimum landscape strip abutting an EP Environmental Protection Zone shall be 0 m.
 4. A minimum of 5% percent of the lot area shall be used for no other purpose than landscaping.

14.1139.3 Parking and Loading Requirements

1. The following provisions shall apply to the lands shown as “Subject Lands” on Figure E-1696 and zoned EMU Employment Commercial Mixed-Use Zone:
 1. Surface parking shall be permitted in the front yard.
 2. A driveway and/or aisle which serves the movement of trucks to and from a loading space shall have a minimum width of six (6) metres and maximum width of twenty-five and one half (25.5) metres.

14.1139.4 Other Provisions

1. The following provisions shall apply to the lands shown as “Subject Lands” on Figure E-1696:
 1. For the purpose of this By-law, the following definitions shall apply:

EMPLOYMENT USE: Means manufacturing or processing facility, warehouse and distribution facility, intermodal facility, research and development, transportation terminal, accessory drive-through, accessory office, accessory retail, and ancillary retail.

LANDSCAPE OR LANDSCAPING: Means an area of land used exclusively for soft landscape, hard landscape and / or retaining walls.
 2. A retaining wall regardless of height shall be permitted in any yard and shall be setback a minimum of 0.2 m from a lot line.

<p>3. No change or shower facility shall be required for the provision of <u>long-term bicycle parking spaces</u>.</p> <p>4. An <u>intermodal container</u> shall not be considered an <u>accessory</u> structure and shall not be subject to any maximum <u>lot coverage</u> requirements or location and <u>setback</u> requirements.</p>
14.1139.5 Figures
Figure E-1696

- c) Deleting the following from the table in Exception Number 14.944 to Section 14: Zone Exceptions and substituting therefore Exception Number 14.944 to Section 14: Zone Exceptions:

SECTION 14: ZONE EXCEPTIONS	
EXCEPTION NUMBER: 944	Legal Description: 20 Can-Ar Gate, 211-220 Hunter's Valley Road, 8800-8950 Huntington Road
Applicable Parent Zone: EP, EM1, EM2	

- d) Deleting the following from the table in Exception Number 14.787 to Section 14: Zone Exceptions and substituting therefore Exception Number 14.787 to Section 14: Zone Exceptions:

SECTION 14: ZONE EXCEPTIONS	
EXCEPTION NUMBER: 787	Legal Description: 9301 Highway 50
Applicable Parent Zone: SC	

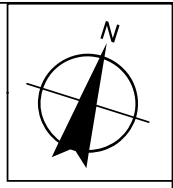
- e) Adding Figure E-1696 to Exception Zone 14.1139 Figures attached hereto as Schedule "1".
- f) Deleting Figure E-1435 to Exception Zone 14.944 and substituting therefore the Figure E-1435 to Exception Zone 14.944 attached hereto as Schedule "2".
- g) Deleting Figure E-1246 to Exception Zone 14.787 and substituting therefore the Figure E-1246 to Exception Zone 14.787 attached hereto as Schedule "3".
- h) Deleting Map 99 of Schedule A and substituting therefore the Map 99 attached hereto as Schedule "4".
- i) Deleting Map 117 of Schedule A and substituting therefore the Map 117 attached hereto as Schedule "5".
2. Schedules "1", "2", "3", "4" and "5" shall be and hereby form part of this By-law.

Enacted by City of Vaughan Council this 20th day of June, 2023.

Steven Del Duca, Mayor

Todd Coles, City Clerk

Authorized by Item No. 1 of Report No. 25
of the Committee of the Whole
Adopted by Vaughan City Council on
June 20, 2023.



RUTHERFORD ROAD

SC

EMU

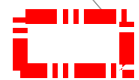
REGIONAL ROAD 50

EP

EP

EMU

HUNTER'S VALLEY ROAD



SUBJECT LANDS

THIS IS FIGURE 'E-1696'
TO BY-LAW 001-2021
SECTION 14.1139

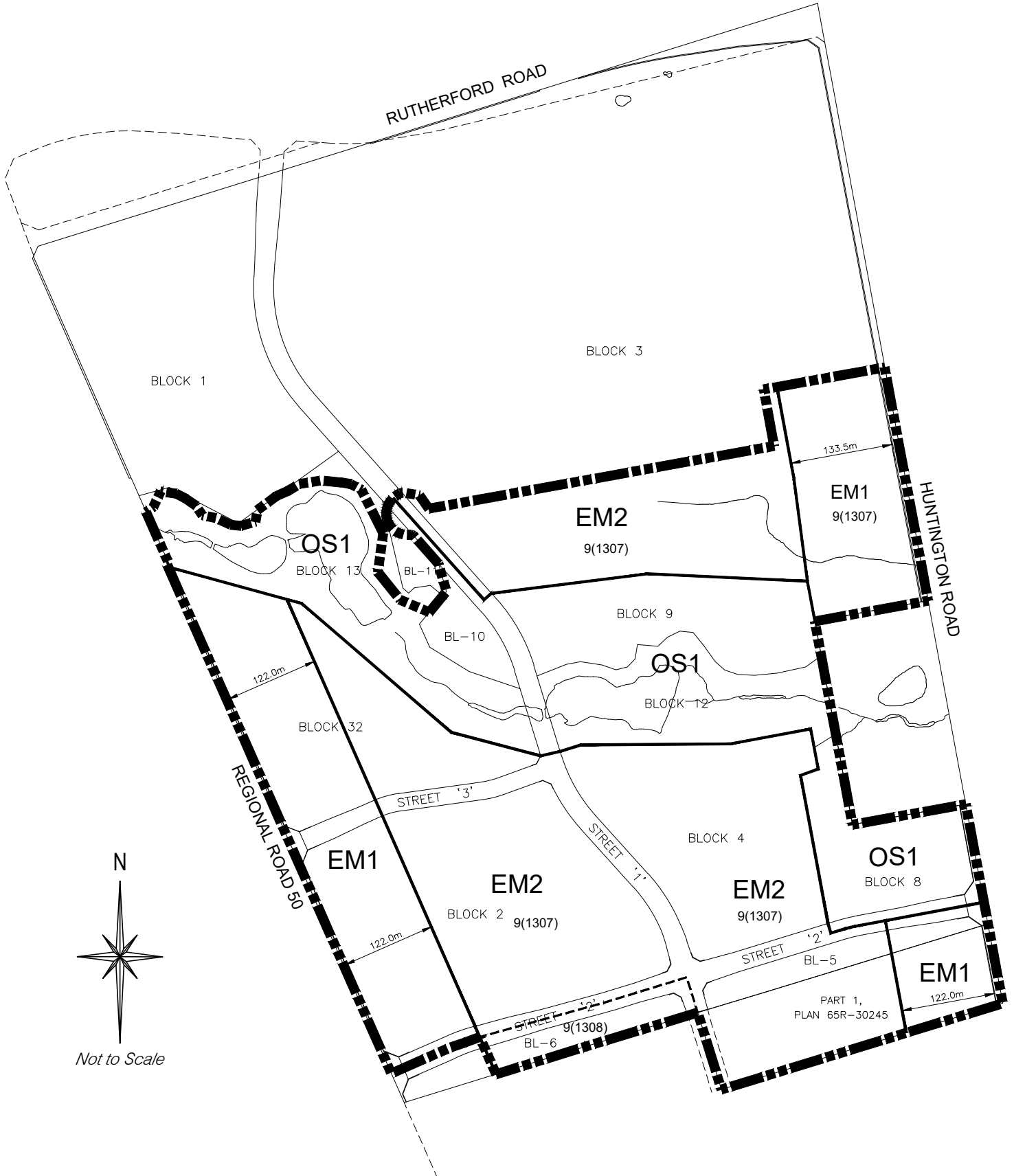
THIS IS SCHEDULE '1'
TO BY-LAW 079-2023
PASSED THE 20TH DAY OF JUNE, 2023

FILE: Z.21.023
RELATED FILES: OP.21.013 and DA.23.026
LOCATION: 9001 Regional Road 50
Part of Lots 14 and 15, Concession 10
APPLICANT: Bethpage Properties West Inc.
CITY OF VAUGHAN

SIGNING OFFICERS

MAYOR

CLERK



THIS IS FIGURE 'E-1435' TO
 BY-LAW 001-2021
 SECTION 14.944

—————
 SUBJECT LANDS

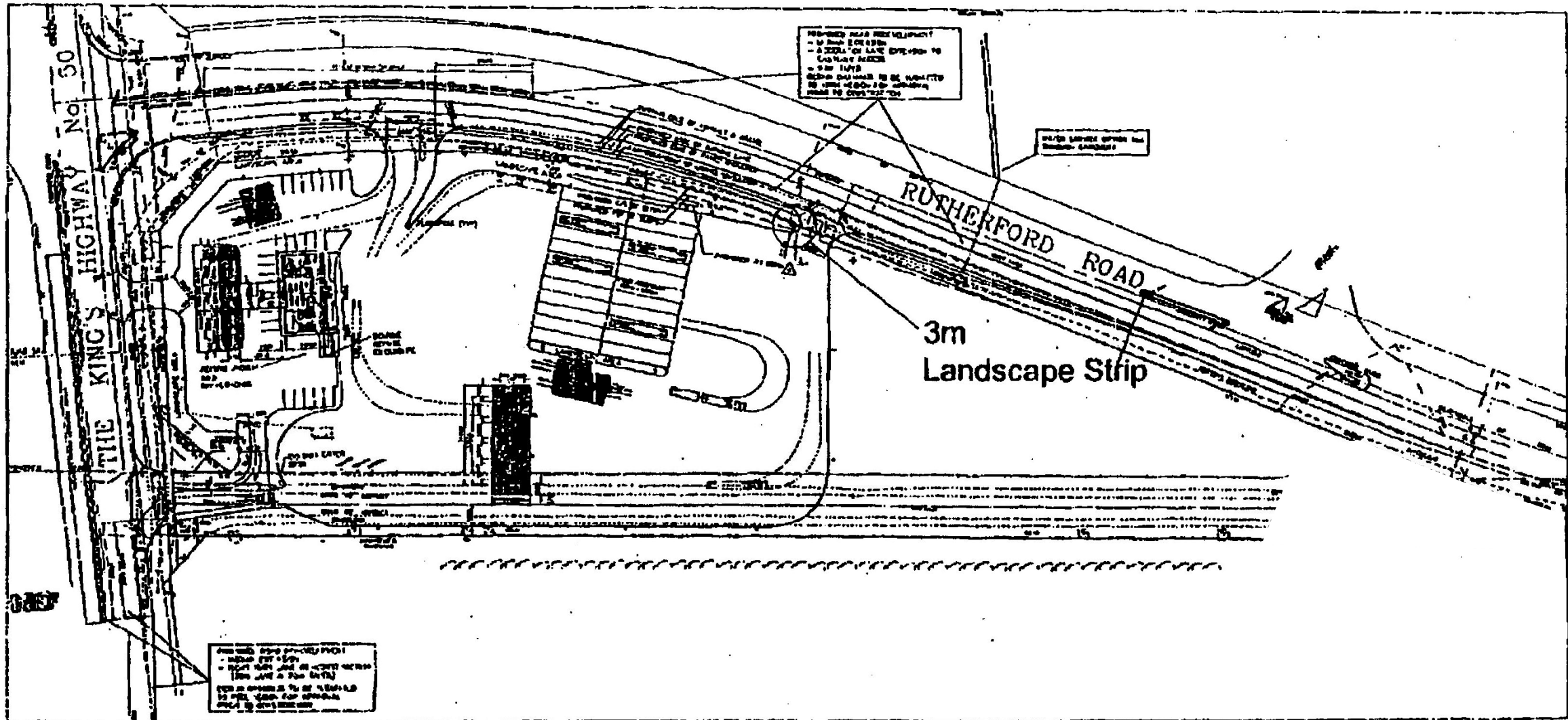
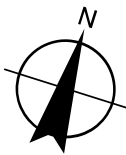
**THIS IS SCHEDULE '2'
 TO BY-LAW 079-2023
 PASSED THE 20TH DAY OF JUNE, 2023**

FILE: Z.21.023
 RELATED FILES: OP.21.013 and DA.23.026
 LOCATION: 9001 Regional Road 50
 Part of Lots 14 and 15, Concession 10
 APPLICANT: Bethpage Properties West Inc.
 CITY OF VAUGHAN

SIGNING OFFICERS

 MAYOR

 CLERK



THIS IS FIGURE 'E-1246'
 TO BY-LAW 001-2021
 SECTION 14.944

Not to Scale

FILE: Z.21.023 **RELATED FILES:** OP.21.013 and DA.23.026
LOCATION: 9001 Regional Road 50
 Part of Lots 14 and 15, Concession 10
APPLICANT: Bethpage Properties West Inc.
CITY OF VAUGHAN

THIS IS SCHEDULE '3'
TO BY-LAW 079-2023
PASSED THE 20TH DAY OF JUNE, 2023

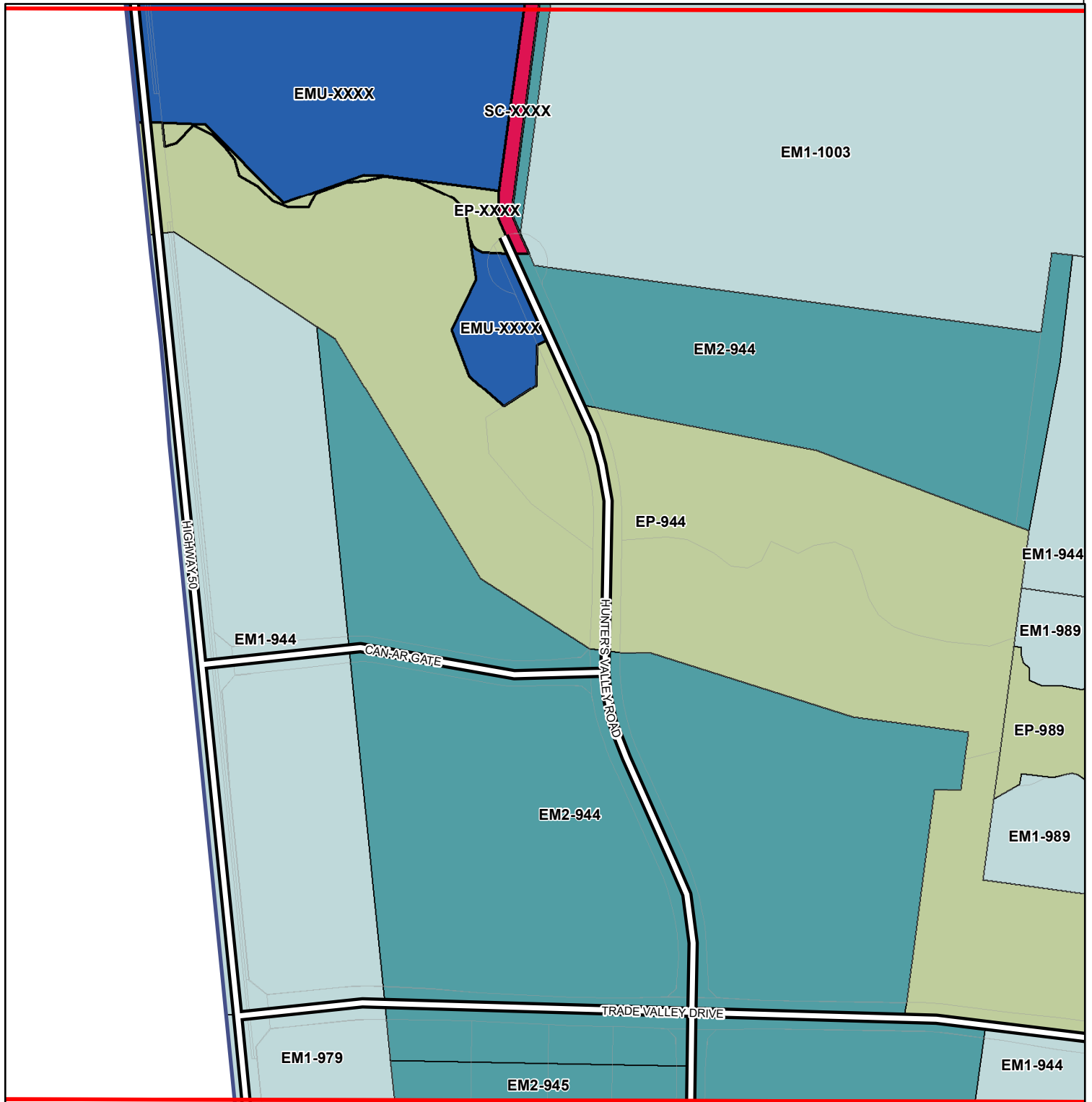
SIGNING OFFICERS

 MAYOR

 CLERK

Zoning By-law 001 - 2021

Schedule A | Map 99



- Conservation, OpenSpace and Agricultural Zones**
 - A (Agriculture Zone)
 - OS1 (Public Open Space Zone)
 - OS2 (Private Open Space Zones)
 - EP (Environmental Protection Zone)
- Vaughan Metropolitan Centre Zones**
 - V1 (Station Precinct Zone)
 - V2 (South Precinct Zone)
 - V3 (Neighbourhood Precinct Zone)
 - V4 (Employment Precinct Zone)
- Residential Zones**
 - R1 (First Residential Zone)
 - R2 (Second Residential Zone)
 - R3 (Third Residential Zone)
 - R4 (Fourth Residential Zone)
 - R5 (Fifth Residential Zone)
 - RT (Townhouse Zone)
 - RT1 (Townhouse Residential)
 - RT2 (Townhouse Residential)
 - RM1 (Multiple Residential Zone 1)
 - RM2 (Multiple Residential Zone 2)
 - RM3 (Multiple Residential Zone 3)
 - RE (Estate Residential Zone)
- Commercial Zones**
 - GC (General Commercial Zone)
 - NC (Neighbourhood Commercial Zone)
 - CC (Convenience Commercial Zone)
 - SC (Service Commercial Zone)
 - LMU (Low-Rise Mixed-Use Zone)
 - MMU (Mid-Rise Mixed-Use Zone)
 - HMU (High-Rise Mixed-Use Zone)
 - GMU (General Mixed-Use Zone)
- Mixed-Use Zones**
- Employment Zones**
 - CMU (Community Commercial Mixed-Use Zone)
 - EMU (Employment Commercial Mixed-Use Zone)
 - KMS (Main Street Mixed-Use - Kleinburg Zone)
 - MMS (Main Street Mixed-Use - Maple Zone)
 - WMS (Main Street Mixed-Use - Woodbridge Zone)
 - EM1 (Prestige Employment Zone)
 - EM2 (General Employment Zone)
 - EM3 (Mineral Aggregate Operation Zone)
- Other Zones**
 - I1 (General Institutional Zone)
 - I2 (Major Institutional Zone)
 - U (Utility Zone)
 - FD (Future Development Zone)
 - PB1 (Parkway Belt Public Use Zone)
 - PB2 (Parkway Belt Complementary Use Zone)
 - PB3 (Parkway Belt West Recreational Zone)
 - These Lands shall not be subject to Zoning By-law 001-2021

135	136	137
117	118	119
99	100	101
81	82	83
61	62	63

Final: June, 2023

THIS IS SCHEDULE '4'
TO BY-LAW 079-2023
PASSED THE 20TH DAY OF JUNE, 2023

FILE: Z.21.023
RELATED FILES: OP.21.013 and DA.23.026
LOCATION: 9001 Regional Road 50
 Part of Lots 14 and 15, Concession 10
APPLICANT: Bethpage Properties West Inc.
CITY OF VAUGHAN

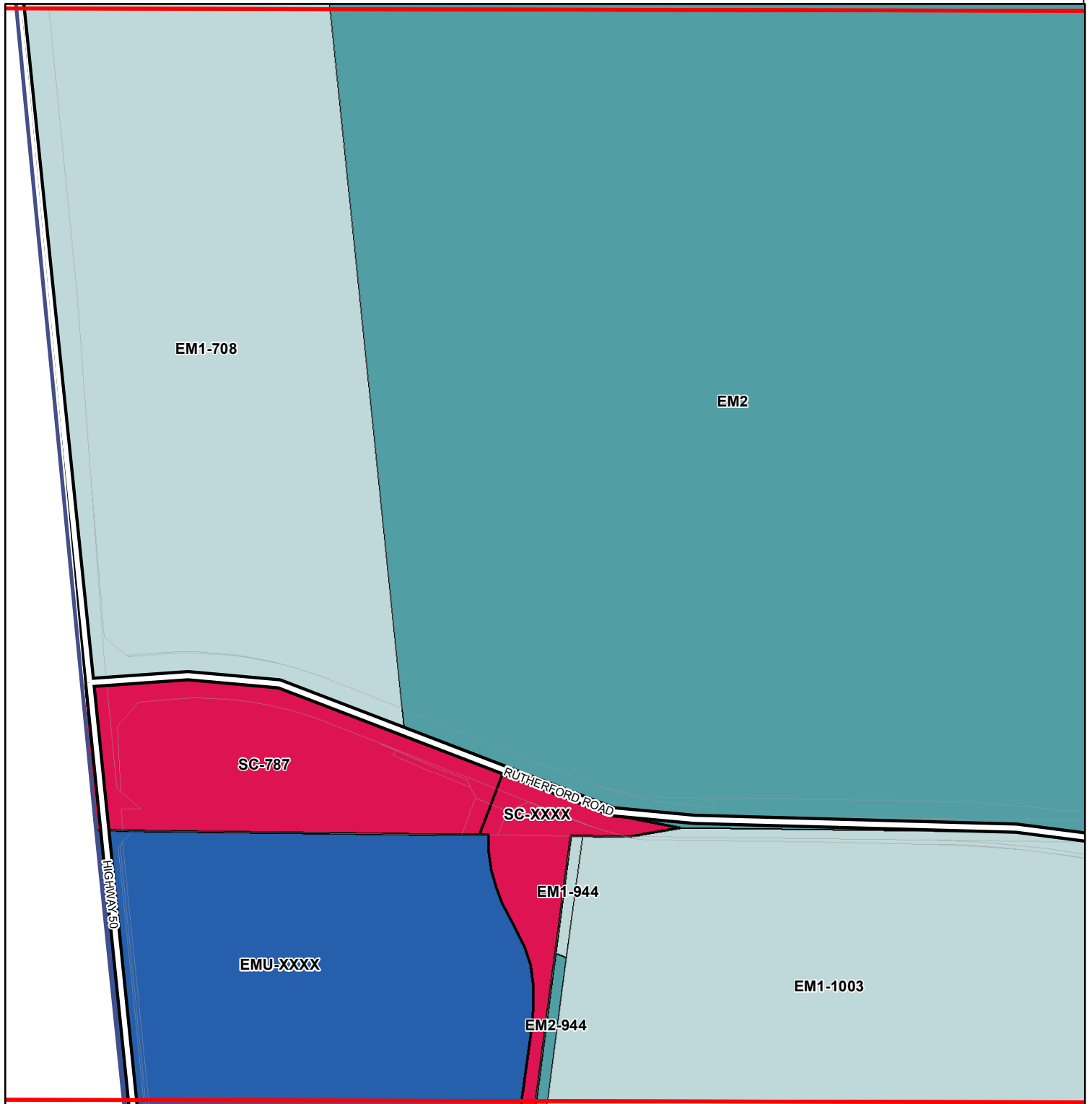
SIGNING OFFICERS

_____ MAYOR

_____ CLERK

Zoning By-law 001 - 2021

Schedule A | Map 117



Conservation, OpenSpace and Agricultural Zones

- A (Agriculture Zone)
- OS1 (Public Open Space Zone)
- OS2 (Private Open Space Zones)
- EP (Environmental Protection Zone)

Vaughan Metropolitan Centre Zones

- V1 (Station Precinct Zone)
- V2 (South Precinct Zone)
- V3 (Neighbourhood Precinct Zone)
- V4 (Employment Precinct Zone)

Residential Zones

- R1 (First Residential Zone)
- R2 (Second Residential Zone)
- R3 (Third Residential Zone)
- R4 (Fourth Residential Zone)
- R5 (Fifth Residential Zone)
- RT (Townhouse Zone)
- RT1 (Townhouse Residential)
- RT2 (Townhouse Residential)
- RM1 (Multiple Residential Zone 1)
- RM2 (Multiple Residential Zone 2)
- RM3 (Multiple Residential Zone 3)

Commercial Zones

- RE (Estate Residential Zone)
- GC (General Commercial Zone)
- NC (Neighbourhood Commercial Zone)
- CC (Convenience Commercial Zone)
- SC (Service Commercial Zone)

Mixed-Use Zones

- LMU (Low-Rise Mixed-Use Zone)
- MMU (Mid-Rise Mixed-Use Zone)
- HMU (High-Rise Mixed-Use Zone)
- GMU (General Mixed-Use Zone)

Employment Zones

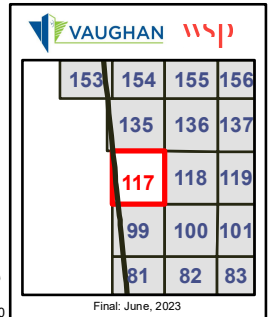
- CMU (Community Commercial Mixed-Use Zone)
- EMU (Employment Commercial Mixed-Use Zone)
- KMS (Main Street Mixed-Use - Kleinburg Zone)
- MMS (Main Street Mixed-Use - Maple Zone)
- WMS (Main Street Mixed-Use - Woodbridge Zone)
- EM1 (Prestige Employment Zone)
- EM2 (General Employment Zone)
- EM3 (Mineral Aggregate Operation Zone)

Other Zones

- I1 (General Institutional Zone)
- I2 (Major Institutional Zone)
- U (Utility Zone)
- FD (Future Development Zone)
- PB1 (Parkway Belt Public Use Zone)
- PB2 (Parkway Belt Complementary Use Zone)
- PB3 (Parkway Belt West Recreational Zone)

These Lands shall not be subject to Zoning By-law 001-2021

1:5,000



**THIS IS SCHEDULE '5'
TO BY-LAW 079-2023
PASSED THE 20TH DAY OF JUNE, 2023**

FILE: Z.21.023

RELATED FILES: OP.21.013 and DA.23.026

LOCATION: 9001 Regional Road 50

Part of Lots 14 and 15, Concession 10

APPLICANT: Bethpage Properties West Inc.

CITY OF VAUGHAN

SIGNING OFFICERS

_____ MAYOR

_____ CLERK

SUMMARY TO BY-LAW 079-2023

The Subject Lands are located on the east side of Regional Road 50 and south side of Rutherford Road, are municipally known as 9001 Regional Road 50, and are legally described as Part of Lots 14 and 15, Concession 10, in the City of Vaughan.

The purpose of this By-law is to rezone the Subject Lands from GC General Commercial Zone, EM1 Prestige Employment Zone, EM2 General Employment Zone, and EP Environmental Protection Zone to EMU Employment Commercial Mixed Use, SC Service Commercial Zone, and EP Environmental Protection Zone.

The By-law also provides site-specific exceptions to the employment and landscape or landscaping definitions, minimum and maximum driveway widths, parking and loading area requirements, minimum landscaping, permitted yard encroachment (retaining wall), zone requirements, outside storage provisions, and permitted uses.