

ITEM: 6.19	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A109/23 10462 ISLINGTON AVENUE, VAUGHAN
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
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PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

A124/14	05/15/201	APPROVED: COA
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A109/23
10462 ISLINGTON AVENUE, VAUGHAN**

ITEM NUMBER: 6.19	CITY WARD #: 1
APPLICANT:	802282 Ontario Ltd.
AGENT:	Augusto Nalli
PROPERTY:	10462 Islington Ave, Vaughan
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Mixed-Use" and "Natural Areas," and "Mainstreet Commercial" by VOP 2010, Volume 2, Area Specific Policy 12.4 Kleinburg Core
RELATED DEVELOPMENT APPLICATIONS:	DA.23.029
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a portion of the public sidewalk, road allowance or lane to be used for the purpose of an outdoor patio. Relief is also required to facilitate related Site Plan Application DA.23.029.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned KMS – Main Street Mixed-Use – Kleinburg Zone and subject to the provisions of Exception 14.621 & 14.1027 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	No portion of any public sidewalk, road allowance or lane shall be used for the purpose of an outdoor patio. Exception 14.621.1 4e.	To permit a portion of the public sidewalk, road allowance or lane to be used for the purpose of an outdoor patio.

HEARING INFORMATION

DATE OF MEETING: Thursday, July 13, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	June 30, 2023
Date Applicant Confirmed Posting of Sign:	June 29, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Existing site plan approval and zoning permits an outdoor patio of 50sq.m within the property in the same general vicinity however the approved patio was long and thin, while the new patio is more of a square which is better suited for table spacing and patron use.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering (DE) Department does not object to the variance application A109/23.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Joshua.cipolletta@vaughan.ca	TBD

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

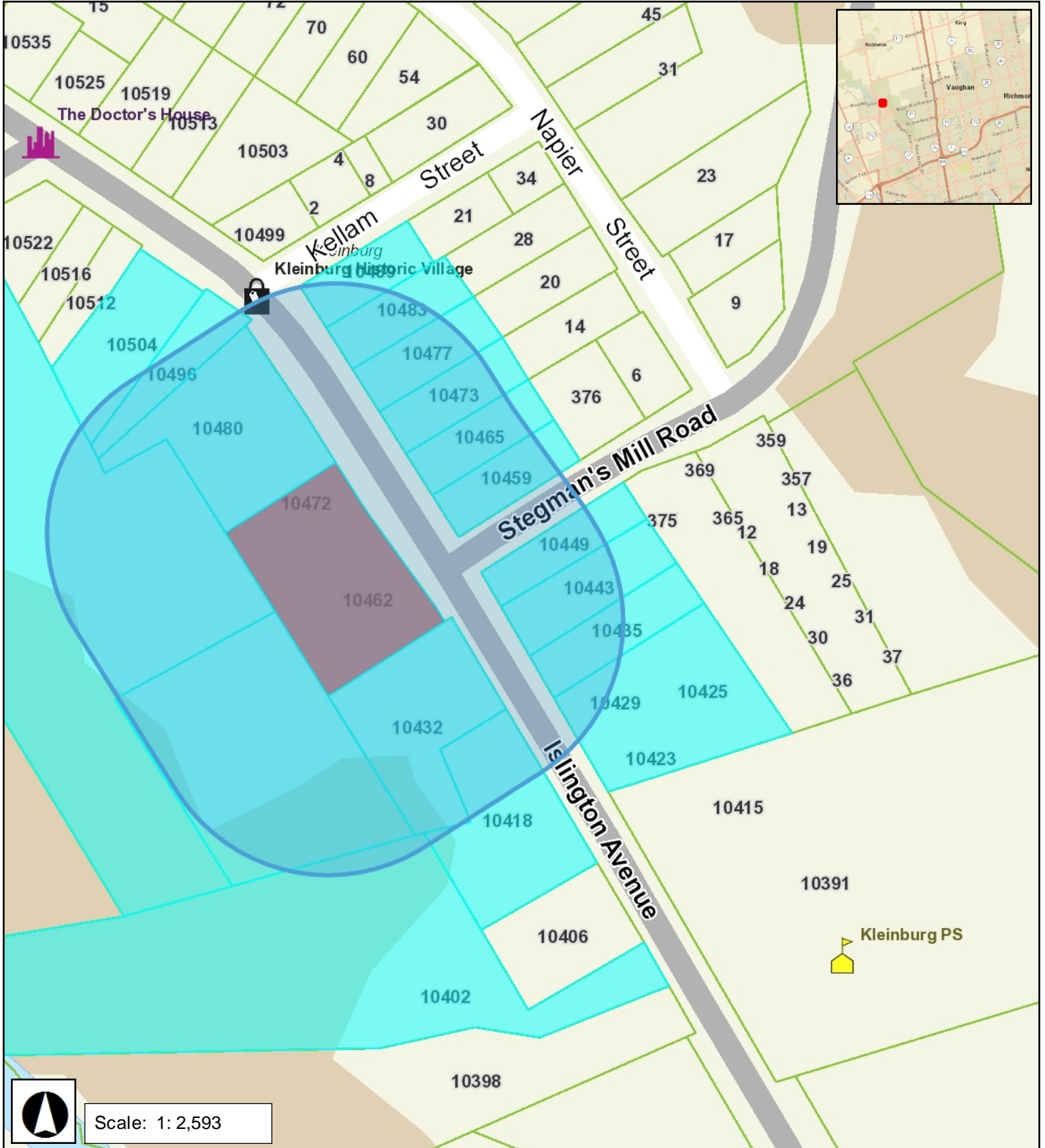
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

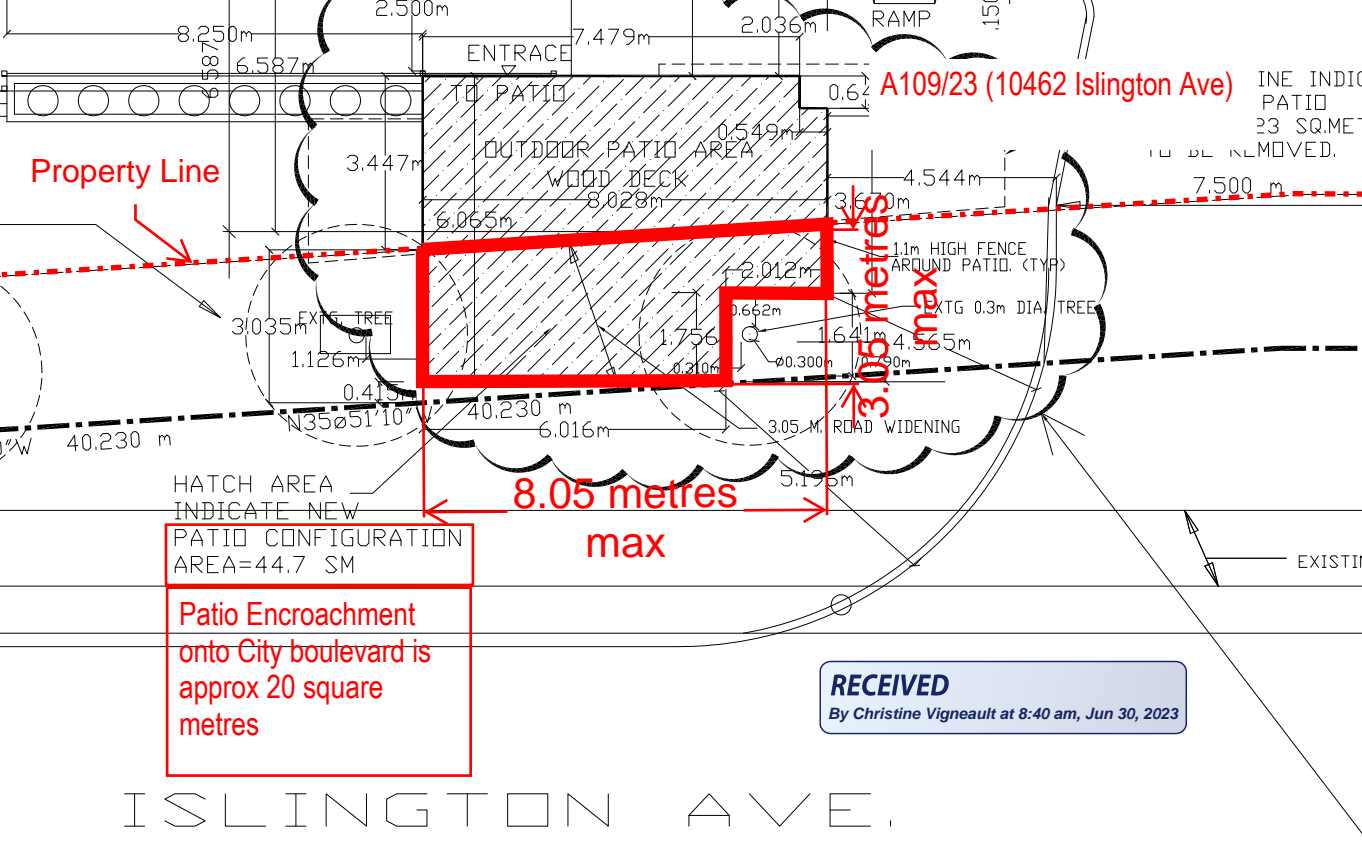
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS





A109/23 (10462 Islington Ave)

Property Line

8.05 metres
max

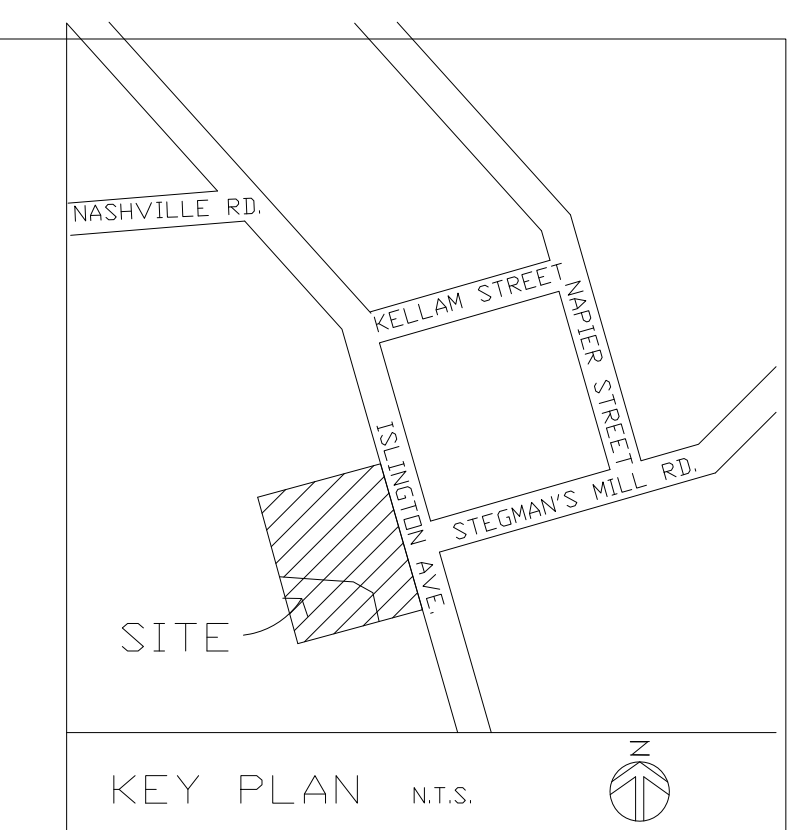
3.05 metres
max

HATCH AREA
INDICATE NEW
PATIO CONFIGURATION
AREA=44.7 SM

Patio Encroachment
onto City boulevard is
approx 20 square
metres

RECEIVED
By Christine Vigneault at 8:40 am, Jun 30, 2023

ISLINGTON AVE.



MINDR ALTERATION TO PATIO.
 EXISTING PATIO=39.23 S.M
 NEW PATIO=44.7 S.M

O.B.C. CLASSIFICATION
 BUILDING AREA: 808.6 m²
 GROUND FLOOR: OFFICES & RETAIL (E)
 2ND & 3RD FLOORS: RESIDENTIAL (APARTMENTS)... (C)
 BUILDING CLASSIFICATION: RETAIL AS PER O.B.C. 3.2.2.35
 RESIDENTIAL AS PER O.B.C. 3.2.2.44
 ACCESS ROUTES: O.B.C. 3.2.5.5 (NOT REQUIRED)
 STORAGE GARAGE SEPARATION: O.B.C. 3.2.1.2 (2HR FIRE SEPARATION)
 SEPARATION RESIDENTIAL/COMMERCIAL: O.B.C.3.1.3.6 (2HR FIRE SEPARATION)
 COMMERCIAL
 176.0 m²

SURVEY INFORMATION ON THIS DRAWING TAKEN FROM:
 PLAN OF SURVEY OF ALL LOTS 31, 32, 33 AND STREET
 REGISTERED PLAN 9, CITY OF VAUGHAN,
 REGIONAL MUNICIPALITY OF YORK.
 BY: J. STEL D.L.S. R.R. No.1,
 BOX No 9, 445 STEVENSON AVE.
 KLEINBURG, ONTARIO, L0J 1C0 TEL: (905) 893 1241

NOTE: 1) FOR LANDSCAPE LAYOUT AND DETAILS
 SEE LANDSCAPE DRAWINGS
 2) FOR SITE SERVICES & GRADING
 SEE "SITE SERVICING AND GRADING CONTROL PLAN
 DWG # 94-030-01 BY CONDELAND ENGINEERING LTD.

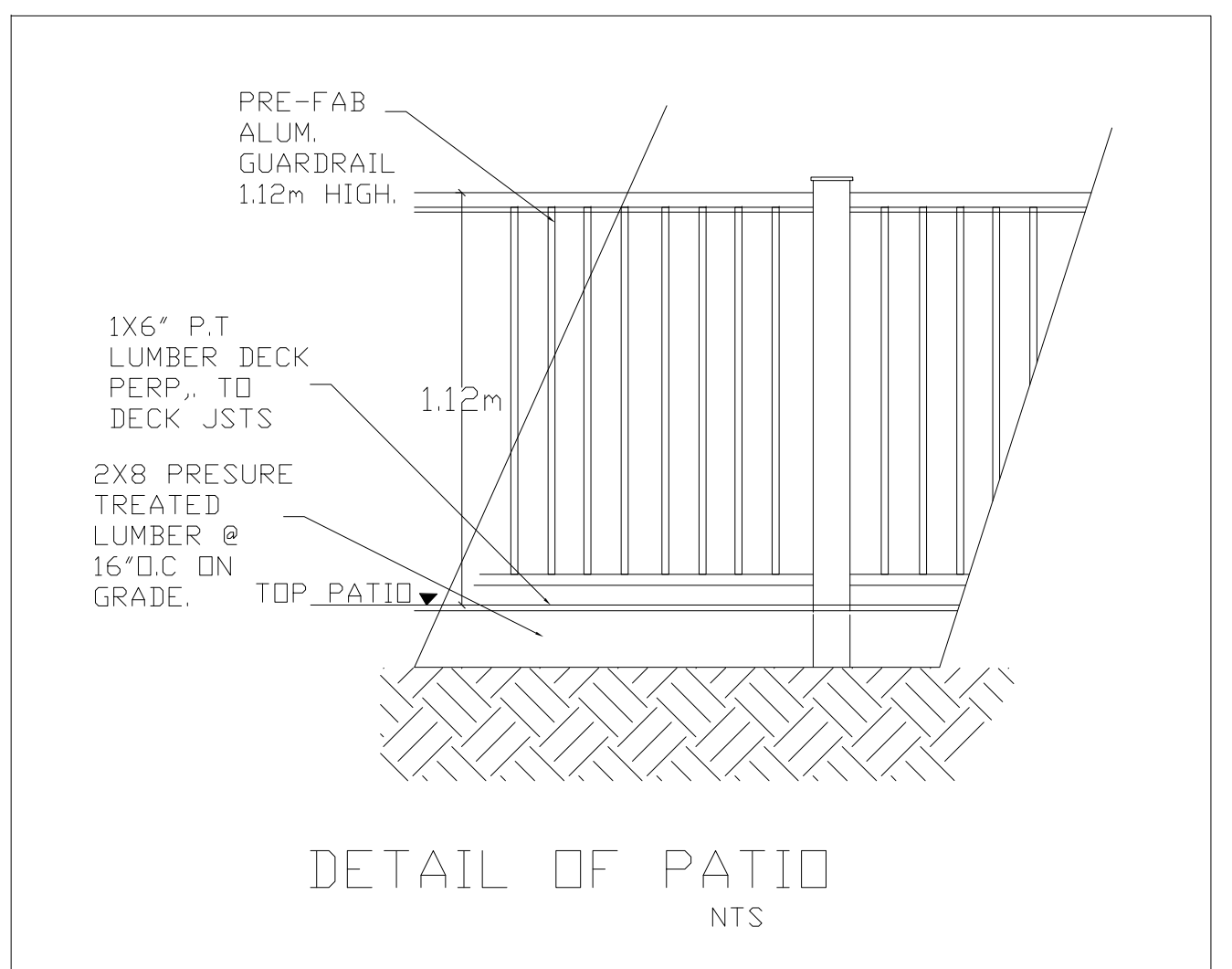
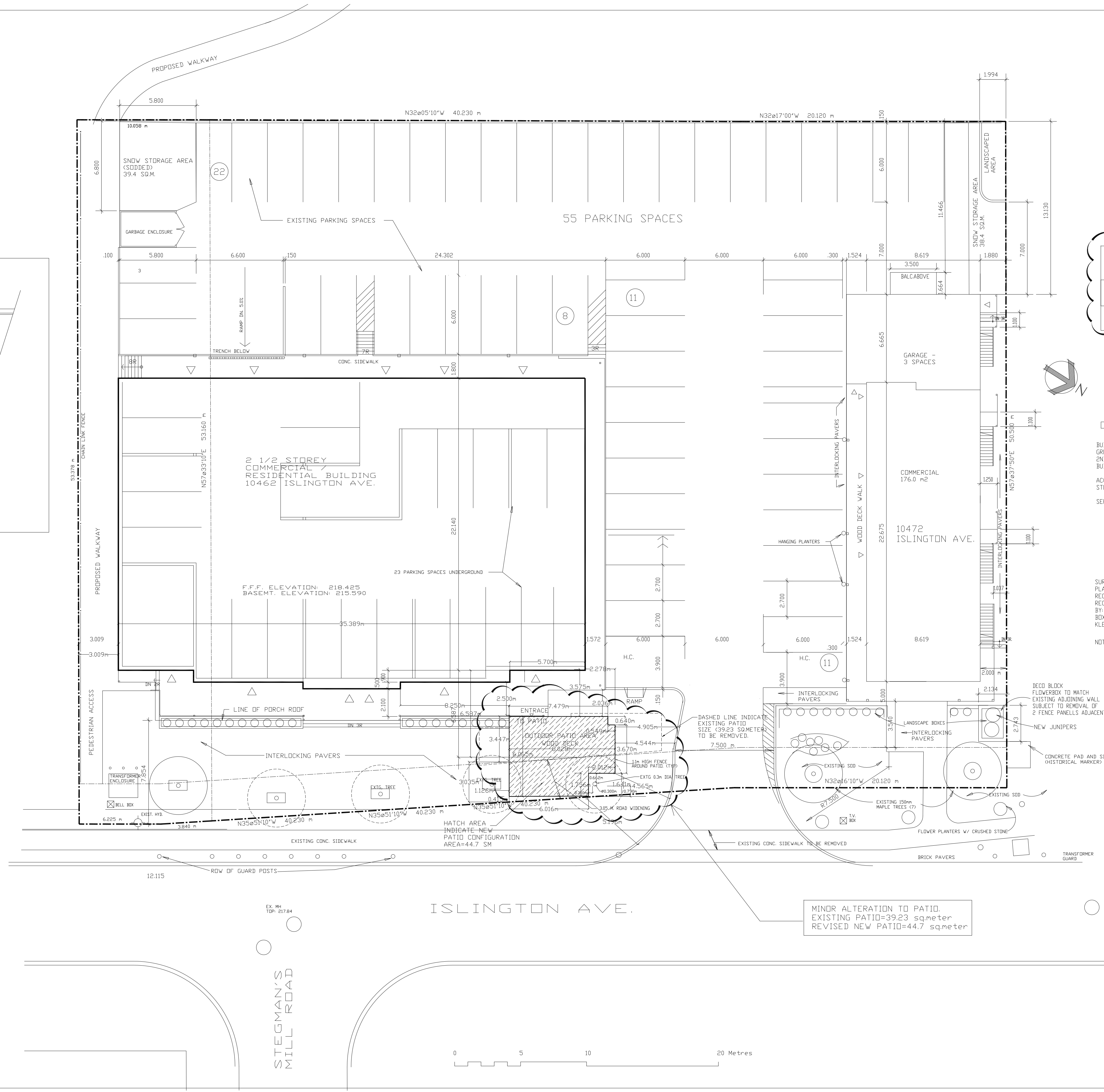
No.	DATE	REVISIONS
		CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS SHOWN ON DRAWING AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS SHALL NOT BE SCALED UNLESS NOTED. DRAWINGS ARE THE PROPERTY OF THE ARCHITECT (J.D.BATTAGLIA) AND SHALL NOT BE REPRODUCED WITHOUT THE ARCHITECT'S PERMISSION.

PROJECT:
 COMMERCIAL / RESIDENTIAL DEVELOPMENT
 10462-10472 ISLINGTON AVE.
 KLEINBURG, ONTARIO

DRAWING TITLE:
 MINDR SITE PLAN AMENDMENT
 DUE PATIO RECONFIGURATION

DATE:	MAY 10, 2023
SCALE:	1:150
DRAWN BY:	
PROJECT NO:	
DRAWING NO:	

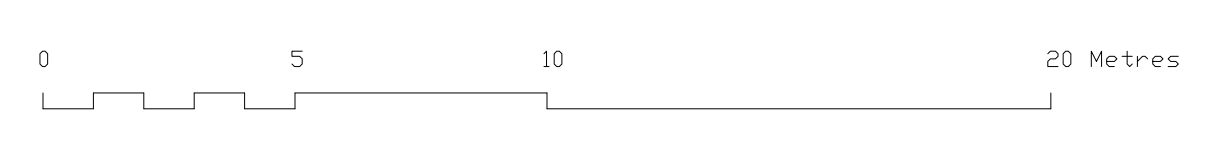
A1



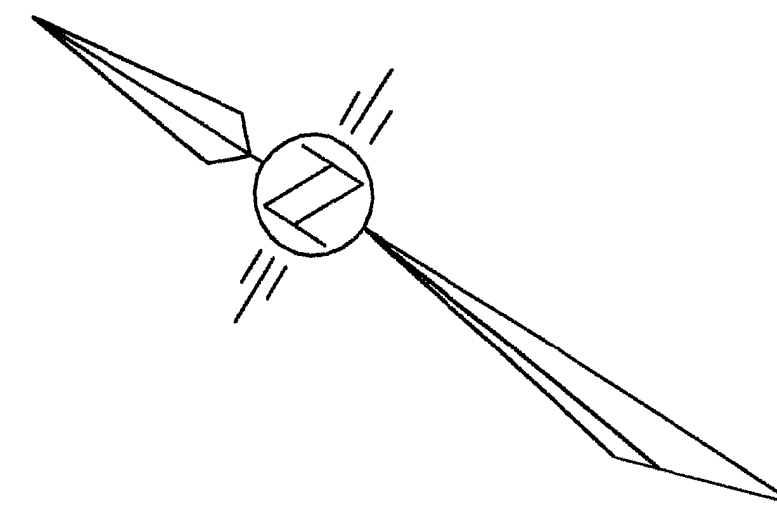
MINDR ALTERATION TO PATIO.
 EXISTING PATIO=39.23 sq. meter
 REVISED NEW PATIO=44.7 sq. meter

ISLINGTON AVE.

STEGMAN'S MILL ROAD

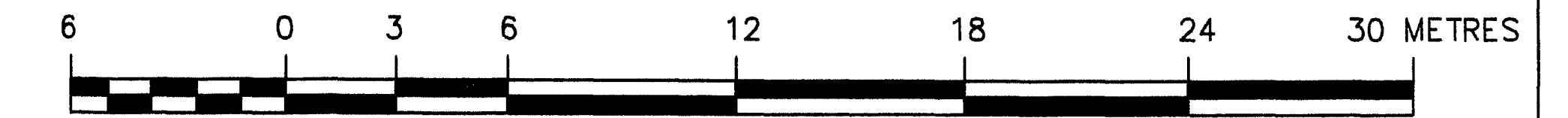


METRIC
 DISTANCES SHOWN ON THIS
 PLAN ARE IN METRES AND
 CAN BE CONVERTED TO
 FEET BY DIVIDING BY 0.3048



ISLINGTON AVENUE (YORK REGION ROAD No 7)
 (FORMERLY KING ROAD BY REGISTERED PLAN 9)

SURVEYOR'S REAL PROPERTY REPORT
 PART 1) PLAN OF
PART LOT 31, LOTS 32 AND 33
AND STREET
REGISTERED PLAN 9
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE 1:300



P. SALNA COMPANY LTD., O.L.S.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF R. SALNA O.L.S.

LEGEND

- DENOTES SURVEY MONUMENT PLANTED
- DENOTES SURVEY MONUMENT FOUND
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- WIT DENOTES WITNESS
- OU DENOTES ORIGIN UNKNOWN
- RIB DENOTES ROUND IRON BAR
- S DENOTES SET
- M DENOTES MEASURED
- PL DENOTES REGISTERED PLAN 9
- P1 DENOTES PLAN BY J. STEL O.L.S. DATED MAY 9, 1997.
- P2 DENOTES PLAN 65R-18214
- P3 DENOTES PLAN 65R-18686
- 967 DENOTES W.N. WILDMAN O.L.S.
- 1312 DENOTES J. STEL O.L.S.
- CALC DENOTES CALCULATED
- P4 DENOTES YORK REGION CONDOMINIUM PLAN No 960

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1385063

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3).

BEARING NOTE:

BEARINGS ARE ASTRONOMIC AND ARE DERIVED FROM THE NORTH-EASTERLY LIMIT OF PART 1 AS SHOWN ON PLAN 65R-18214, HAVING A BEARING OF N 57°37'50"E.

PART 2) SURVEY REPORT

REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
 SUBJECT TO EASEMENT OVER PARTS 1 AND 2, PLAN 65R-18686 AS IN INST No 685314 AND INST No 685315, AND PART 5, PLAN 65R-18214 AS IN INST No R700784.

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

REMARKS:
 NOTE THE POSITION OF FENCES AS SHOWN ON THE PLAN

THIS REPORT WAS PREPARED FOR
 1400679 ONTARIO LTD.
 AND THE UNDERSIGNED ACCEPTS NO
 RESPONSIBILITY FOR USE BY
 OTHER PARTIES.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

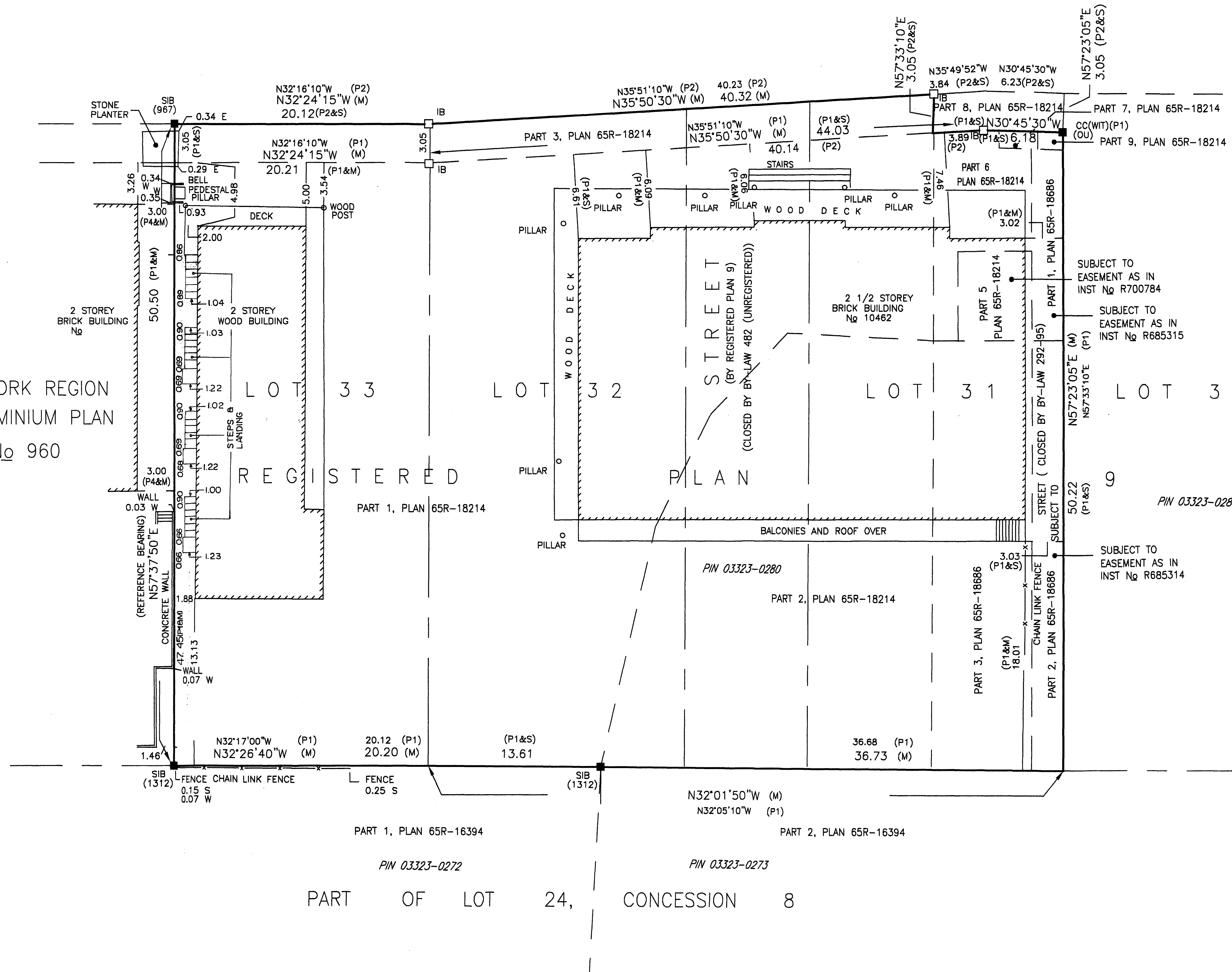
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 7th DAY OF NOVEMBER 2001.

NOVEMBER 18th, 2001.

DATE

R. Salna
 ROBERT P. SALNA B.Sc.
 ONTARIO LAND SURVEYOR

YORK REGION
 CONDOMINIUM PLAN
 No 960



REVISION NOTE:
 THE DRAWING HAS BEEN REVISED
 TO SHOW THE LOCATION OF STAIRWAYS
 ON 2 STOREY WOOD BUILDING

NOVEMBER 20, 2002
 DATE

V. Dosen
 V. DOSEN B.Sc.
 ONTARIO LAND SURVEYOR

P. SALNA COMPANY LTD.
 ONTARIO LAND SURVEYORS
 10225 YONGE STREET
 RICHMOND HILL, ONTARIO L4C 3B2
 PHONE (905) 884-3988 FAX (905) 737-7516
 FILE:01-039
 CAD FILE:ISLINGTON

DRAWN BY: V. DOSEN
 CHECKED BY: V. DOSEN

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application Under Review
Building Standards (Zoning)	X	X		General Comments

Date: June 28th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A109-23**

Related Files:

Applicant 802282 ONTARIO LTD (Phil Greco)

Location 10462 Islington Avenue



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

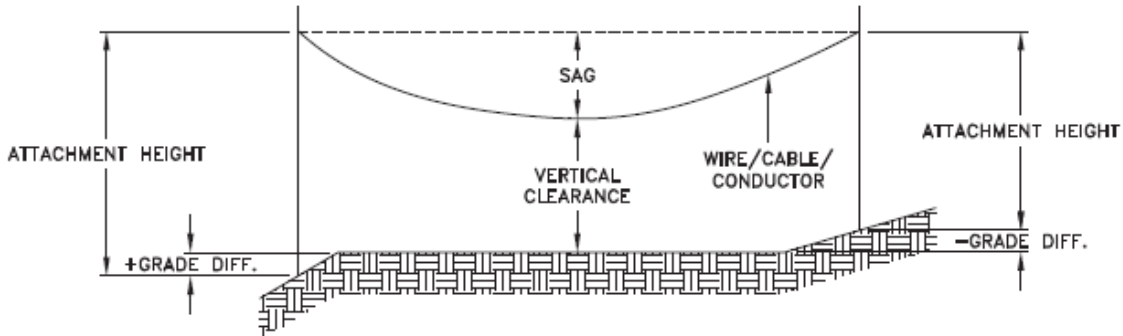
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: June 28, 2023
Applicant: Augusto Nalli
Location: 10462 Islington Avenue
 PLAN RP9 Lot 31
 PLAN 65R18214 Part 1, Part 2, Part 4, Part 5 Part 6,
 Part 7, Part 9
File No.(s): A109/23

Zoning Classification:

The subject lands are zoned KMS – Main Street Mixed-Use – Kleinburg Zone and subject to the provisions of Exception 14.621 & 14.1027 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	No portion of any public sidewalk, road allowance or lane shall be used for the purpose of an outdoor patio. Exception 14.621.1 4e.	To permit a portion of the public sidewalk, road allowance or lane to be used for the purpose of an outdoor patio.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 21-109015 for Eating Establishment - Interior Unit Alteration, Issue Date: (Not Yet Issued)
 Building Permit No. 17-000992 for Professional Services Unit - Change in Use, Issue Date: May 26, 2017

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A109/23 (10462 Islington Avenue) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, July 5, 2023 9:38:22 AM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the minor variance application – A109/23 and has no comment.

Please provide us with a copy of the notice of decision for our records.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A124/14	05/15/201	APPROVED: COA

NOTICE OF DECISION

MINOR VARIANCES

FILE NUMBER: A124/14

APPLICANT: 802282 ONTARIO LTD.

PROPERTY: Part of Lot 24, Concession 8 (Parts 1,2,4-7 and 9, Registered Plan No. 65R-18214 municipally known as 10462 and 10472 Islington Avenue, Kleinburg)

ZONING: The subject lands are zoned C11 and OS1 Mainstreet Commercial and Open Space Conservation Area Zone and subject to the provisions of Exception 9(943) under By-law 1-88 as amended.

PURPOSE: To permit the exceptions to the parking requirements.

PROPOSAL:

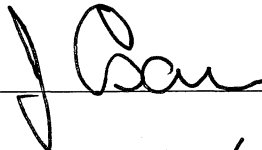
1. To permit a minimum of 3 parking spaces per 100m² of gross floor area for retail, business and professional offices.
2. To permit a minimum of 8 parking spaces per 100m² of gross floor area for eating establishment, eating establishment – convenience, eating establishment – take-out and outdoor patio accessory to an eating establishment.
3. To permit a minimum of 0.8 parking space for a one bedroom dwelling unit and a minimum of one parking space for a two bedroom dwelling unit.
4. To permit a minimum of 0.2 parking space for each dwelling unit for visitor parking.

BY-LAW REQUIREMENT:

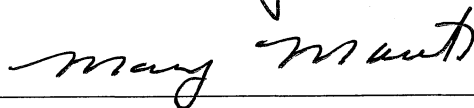
1. A minimum of 6 parking spaces for 100m² of gfa is permitted for retail, business and professional offices.
2. A minimum of 16 parking spaces for 100m² of gfa is permitted for eating establishments, eating establishment - convenience, eating establishment - take-out and outdoor patio accessory to eating establishments.
3. A minimum of 1.5 parking spaces are permitted for each dwelling unit.
4. A minimum of 0.25 parking spaces are permitted for each dwelling unit for visitor parking.

Sketches are attached illustrating the request.

MOVED BY:



SECONDED BY:



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A124/14, 802282 ONTARIO LTD.**, be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

1. That related consent application B029/14 be approved.
2. The applicant submit the variance application fee of \$315 payable to the Toronto and Region Conservation Authority, if required, to the satisfaction of the Toronto Region Conservation Authority.

VERY IMPORTANT: IT IS THE RESPONSIBILITY OF THE OWNER/APPLICANT AND/OR AGENT TO OBTAIN AND PROVIDE A CLEARANCE LETTER FROM EACH AGENCY AND/OR DEPARTMENT LISTED IN THE CONDITIONS WHETHER "IF REQUIRED" APPEARS IN THE CONDITION OR NOT, AND FORWARD THIS CLEARANCE LETTER TO THE SECRETARY-TREASURER AS SOON AS THE CONDITIONS ARE FULFILLED.

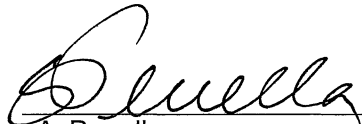
FAILURE TO COMPLY WITH THIS PROCEDURE WILL RESULT IN A LETTER BEING FORWARDED BY THE SECRETARY-TREASURER INDICATING THIS FILE HAS LAPSED AND, THEREFORE, WILL NECESSITATE THAT A NEW APPLICATION BE SUBMITTED TO LEGALIZE THIS PROPERTY.


THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.

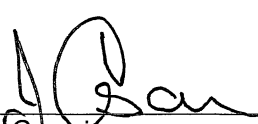
CARRIED.

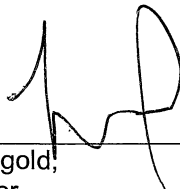
CHAIR: 


Signed by all members present who concur in this decision:


A. Perrella,
Chair


H. Zheng,
Vice Chair



J. Cesario,
Member


L. Fluxgold,
Member


M. Mauti,
Member

CERTIFICATION

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.


Todd Coles, BES, MCIP, RPP
Manager of Development Services
and Secretary-Treasurer to
Committee of Adjustment

Date of Hearing:	MAY 15, 2014
Last Date of Appeal:	JUNE 4, 2014

APPEALS

APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at www.omb.gov.on.ca. If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

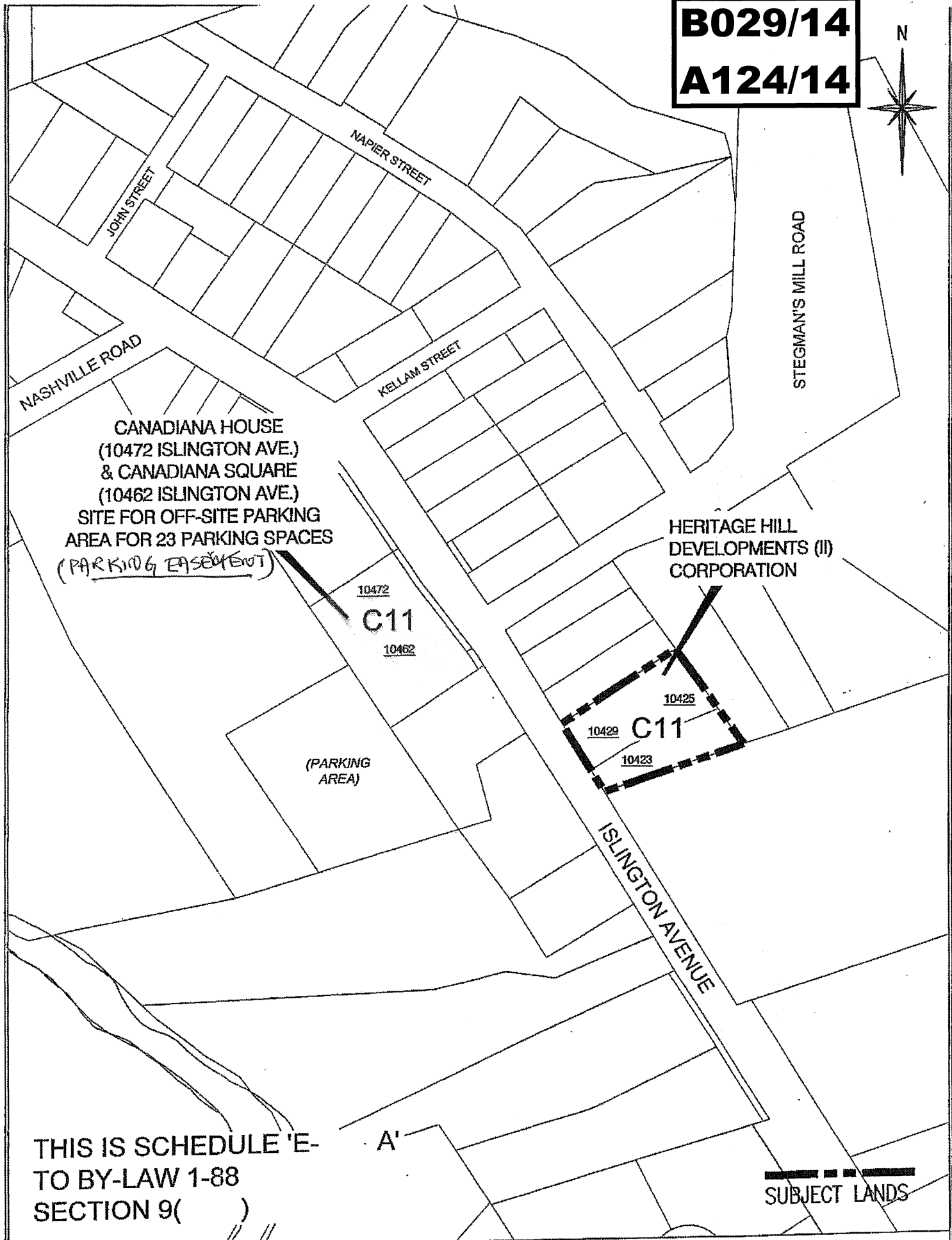
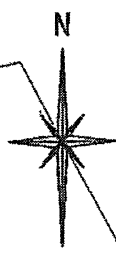
Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

NOTE: The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

CONDITIONS

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS: **JUNE 4, 2015**

B029/14
A124/14



CANADIANA HOUSE
(10472 ISLINGTON AVE.)
& CANADIANA SQUARE
(10462 ISLINGTON AVE.)
SITE FOR OFF-SITE PARKING
AREA FOR 23 PARKING SPACES
(PARKING EASEMENT)

HERITAGE HILL
DEVELOPMENTS (II)
CORPORATION

10472
C11
10462

10425
C11
10429
10423

(PARKING
AREA)

ISLINGTON AVENUE

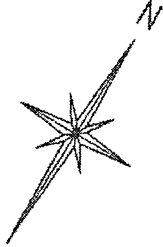
STEGMAN'S MILL ROAD

THIS IS SCHEDULE 'E-
TO BY-LAW 1-88
SECTION 9()

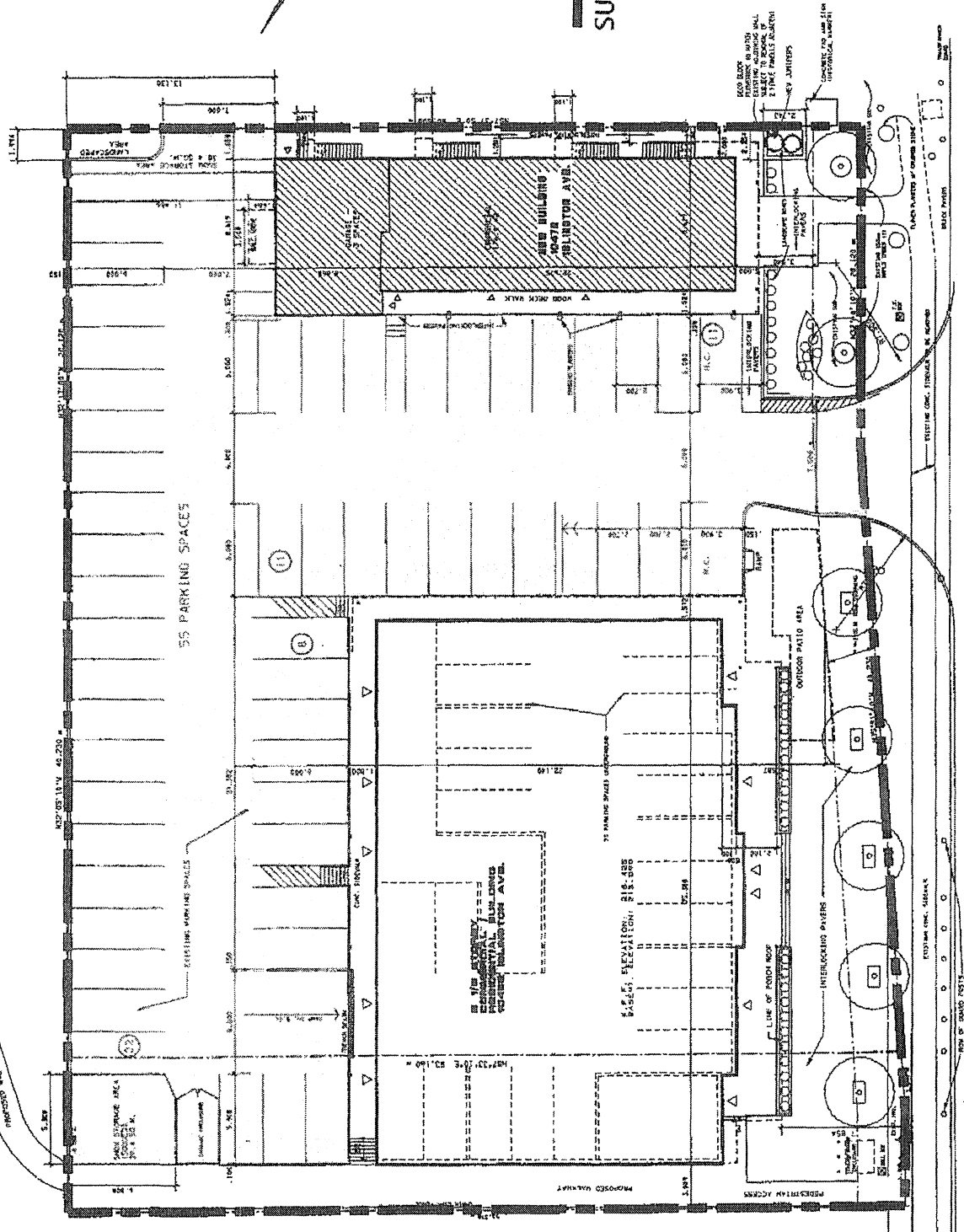
A'

SUBJECT LANDS

B029/14
A124/14



SUBJECT LANDS



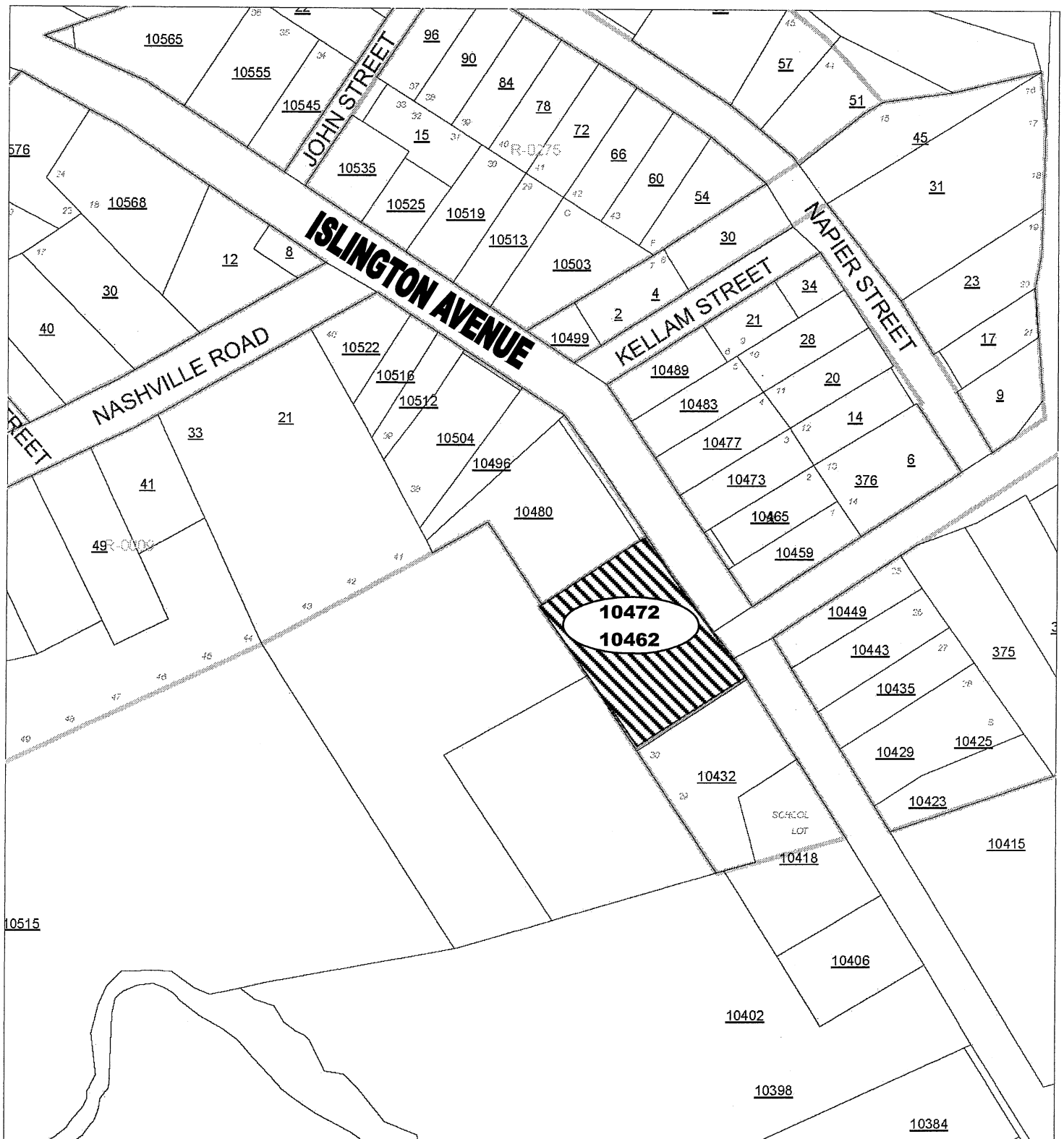
*** AREA OF PARKING EASEMENT**

ISLINGTON AVE.

ATTACHMENT '2' REVISED SITE PLAN		FILE #:	REPORT #:	DATE:
		DA.98.099	LOCATION: PART OF LOT 24, CONCESSION 8	05/03/2002
		APPLICANT:	SCALE:	NOT TO SCALE
		CITY OF VAUGHAN PLANNING DEPARTMENT	802282 ONTARIO LTD.	

A124/14 Minor Variances

- 1. To permit a minimum of 3 parking spaces per 100m2 of gross floor area for retail, business and professional offices.**
- 2. To permit a minimum of 8 parking spaces per 100m2 of gross floor area for eating establishment, eating establishment - convenience, eating establishment - take-out and outdoor patio accessory to an eating establishment.**
- 3. To permit a minimum of 0.8 parking space for a one bedroom dwelling unit and a minimum of one parking space for a two bedroom dwelling unit.**
- 4. To permit a minimum of 0.2 parking space for each dwelling unit for visitor parking.**



MAJOR MACKENZIE DRIVE



COMMITTEE OF ADJUSTMENT
 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1
 Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	B029/14 & A124/14
	APPLICANT:	802282 ONTARIO LTD.
		Subject Area Municipally known as 10462 and 10472 Islington Avenue, Kleinburg