

<b>ITEM: 6.5</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A049/23 72 NETHERFORD ROAD, MAPLE</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public		68, 69, 70, 73, 75, 76, 77, 79 Netherford Road		Petition of Support

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

<b>File Number</b>	<b>Date of Decision</b> MM/DD/YYYY	<b>Decision Outcome</b>
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A049/23  
72 NETHERFORD ROAD, MAPLE**

<b>ITEM NUMBER: 6.5</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	Gaetano and Angela Celetti
<b>AGENT:</b>	Cityscape Design Innovations Inc.
<b>PROPERTY:</b>	72 Netherford Road, Maple
<b>ZONING DESIGNATION:</b>	See below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit an addition to the existing dwelling, rear yard landscaping and increased maximum driveway width.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted lot coverage is 23% of the lot area. Section 7.2.2 Table 7-3	To permit a maximum lot coverage of 23.7% of the lot area.(per Applicants figures)
2	The maximum permitted encroachment for Access stairs is 0.30m into the minimum required interior side yard of 1.5m. Section 4.13 Table 4-1	To permit a maximum encroachment of 0.42m into the minimum required interior side yard of 1.5m.
3	In an R1E Zone, any portion of the rear yard in excess of 135.0 m2 shall be comprised of a minimum 60% soft landscape. Section 4.19.1.1.	To permit 40% soft landscaping for the portion of the rear yard in excess of 135m2.(per applicants figures)

**The subject lands are zoned R1V under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
4	The maximum permitted encroachment for Access stairs is 0.30m into the minimum required interior side yard of 1.5m. Section 3.14 c)	To permit a maximum encroachment of 0.42m into the minimum required interior side yard of 1.5m.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, July 13, 2023

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

## HEARING INFORMATION

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	June 29, 2023	
<b>Date Applicant Confirmed Posting of Sign:</b>	June 23, 2023	
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Existing dwelling foundation is being retained, with an addition	
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
<b>Adjournment Fees:</b> <small>In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.</small>		
<b>Committee of Adjustment Comments:</b>	None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None	

## BUILDING STANDARDS (ZONING) COMMENTS

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.
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## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

As the proposed addition to the front and rear of existing residence is greater than 10 m<sup>2</sup> in the subject property, the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m<sup>2</sup> requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A049/23, subject to the following condition(s):

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> .
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## PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.

<b>PFH Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT COMMENTS

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

## SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning <a href="mailto:Michelle.perrone@vaughan.ca">Michelle.perrone@vaughan.ca</a>	That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.
2	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> .

## IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

### IMPORTANT INFORMATION – PLEASE READ

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

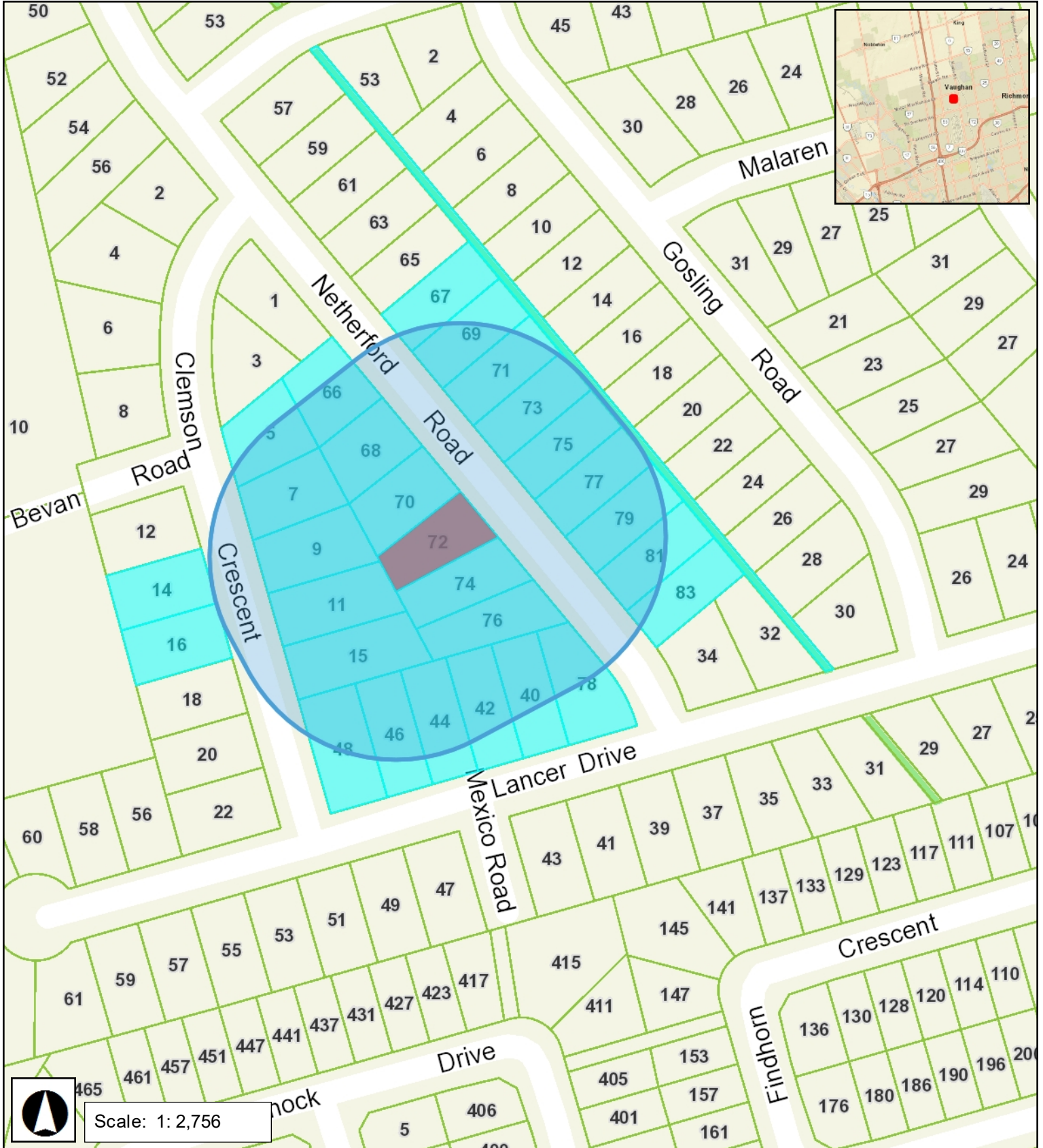
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**





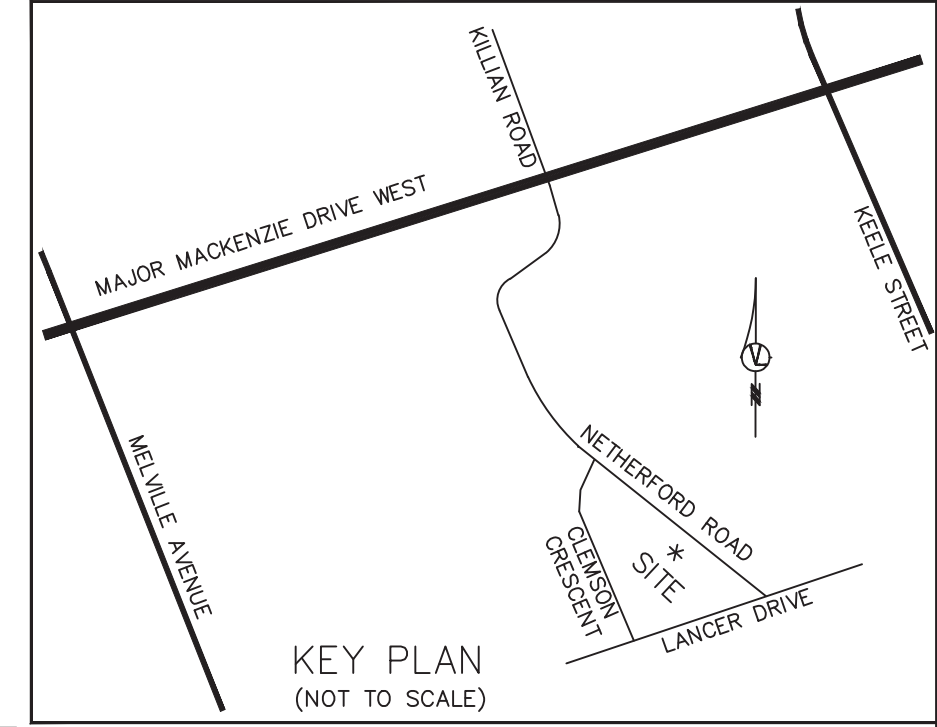
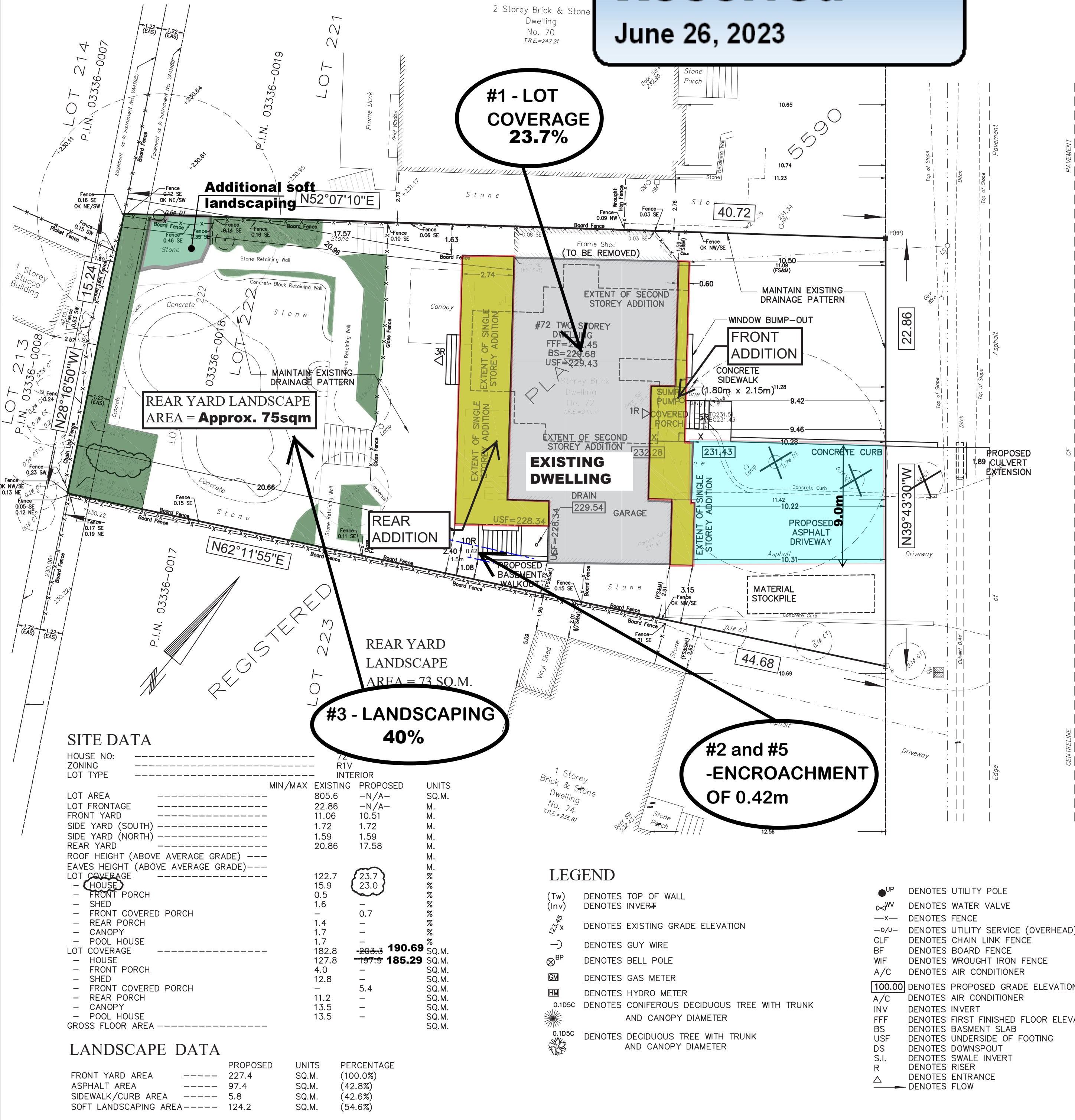


**PLANS PREPARED AND VARIANCES**

**IDENTIFIED BY APPLICANT**

**Received**  
June 26, 2023

**A049/23**



APPLICATION No. PROPOSED SECOND STOREY ADDITION WITH FOUNDATION EXPANSION IN BOTH THE FRONT AND THE REAR OF THE EXISTING DWELLING  
RESIDENTIAL DWELLING No. 72 NETHERFORD ROAD VAUGHAN, ONTARIO  
SITE AND GRADING PLAN OF LOT 222 REGISTERED PLAN 5590 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK  
SCALE 1:150

**SURVEY COURTESY OF VAN LANKVELD SURVEYING LIMITED, 2023**  
METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**BENCH MARK**  
ELEVATIONS SHOWN HEREON ARE REFERRED GEODETIC AND ARE REFERRED TO YORK REGION BENCHMARK No: 483-S, HAVING A PUBLISHED ELEVATION OF 190.53 METRES.

**NOTE**  
BUSHES, TREES LESS THAN 0.15D AND DEAD TREE WERE NOT LOCATED UNLESS NOTED OTHERWISE  
BOUNDARY INFORMATION WAS DERIVED FROM A SURVEY BY G.T.A. SURVEYING LIMITED, DATED 2020-06-22, AND ARE NOT VERIFIED BY FIELD MEASUREMENTS.

Issued 30 May 2023

**SITE DATA**

HOUSE NO:	72		
ZONING	R1V		
LOT TYPE	INTERIOR		
	MIN/MAX	EXISTING PROPOSED UNITS	
LOT AREA	805.6	-N/A-	SQ.M.
LOT FRONTAGE	22.86	-N/A-	M.
FRONT YARD	11.06	10.51	M.
SIDE YARD (SOUTH)	1.72	1.72	M.
SIDE YARD (NORTH)	1.59	1.59	M.
REAR YARD	20.86	17.58	M.
ROOF HEIGHT (ABOVE AVERAGE GRADE)			M.
EAVES HEIGHT (ABOVE AVERAGE GRADE)			M.
LOT COVERAGE	122.7	23.7	%
HOUSE	15.9	23.0	%
FRONT PORCH	0.5	-	%
SHED	1.6	-	%
FRONT COVERED PORCH	-	0.7	%
REAR PORCH	1.4	-	%
CANOPY	1.7	-	%
POOL HOUSE	1.7	-	%
LOT COVERAGE	182.8	190.69	SQ.M.
HOUSE	127.8	185.29	SQ.M.
FRONT PORCH	4.0	-	SQ.M.
SHED	12.8	-	SQ.M.
FRONT COVERED PORCH	-	5.4	SQ.M.
REAR PORCH	11.2	-	SQ.M.
CANOPY	13.5	-	SQ.M.
POOL HOUSE	13.5	-	SQ.M.
GROSS FLOOR AREA			SQ.M.

**LANDSCAPE DATA**

	PROPOSED	UNITS	PERCENTAGE
FRONT YARD AREA	227.4	SQ.M.	(100.0%)
ASPHALT AREA	97.4	SQ.M.	(42.8%)
SIDEWALK/CURB AREA	5.8	SQ.M.	(42.6%)
SOFT LANDSCAPING AREA	124.2	SQ.M.	(54.6%)

**LEGEND**

- (Tw) DENOTES TOP OF WALL
- (Inv) DENOTES INVERT
- 123.45 x DENOTES EXISTING GRADE ELEVATION
- BP DENOTES BELL POLE
- GM DENOTES GAS METER
- HM DENOTES HYDRO METER
- 0.105C DENOTES CONIFEROUS DECIDUOUS TREE WITH TRUNK AND CANOPY DIAMETER
- 0.105C DENOTES DECIDUOUS TREE WITH TRUNK AND CANOPY DIAMETER
- UP DENOTES UTILITY POLE
- WV DENOTES WATER VALVE
- x- DENOTES FENCE
- o/- DENOTES UTILITY SERVICE (OVERHEAD)
- CLF DENOTES CHAIN LINK FENCE
- BF DENOTES BOARD FENCE
- WIF DENOTES WROUGHT IRON FENCE
- A/C DENOTES AIR CONDITIONER
- 100.00 DENOTES PROPOSED GRADE ELEVATION
- A/C DENOTES AIR CONDITIONER
- INV DENOTES INVERT
- FFF DENOTES FIRST FINISHED FLOOR ELEVATION
- BS DENOTES BASMENT SLAB
- USF DENOTES UNDERSIDE OF FOOTING
- DS DENOTES DOWNSPOUT
- S.I. DENOTES SWALE INVERT
- R DENOTES RISER
- ENTR DENOTES ENTRANCE
- △ DENOTES FLOW



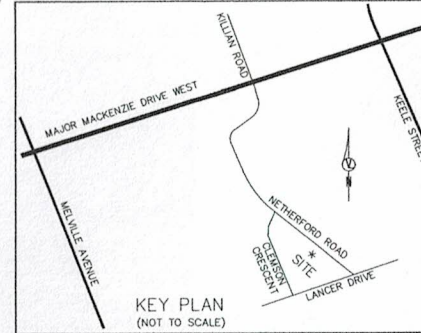
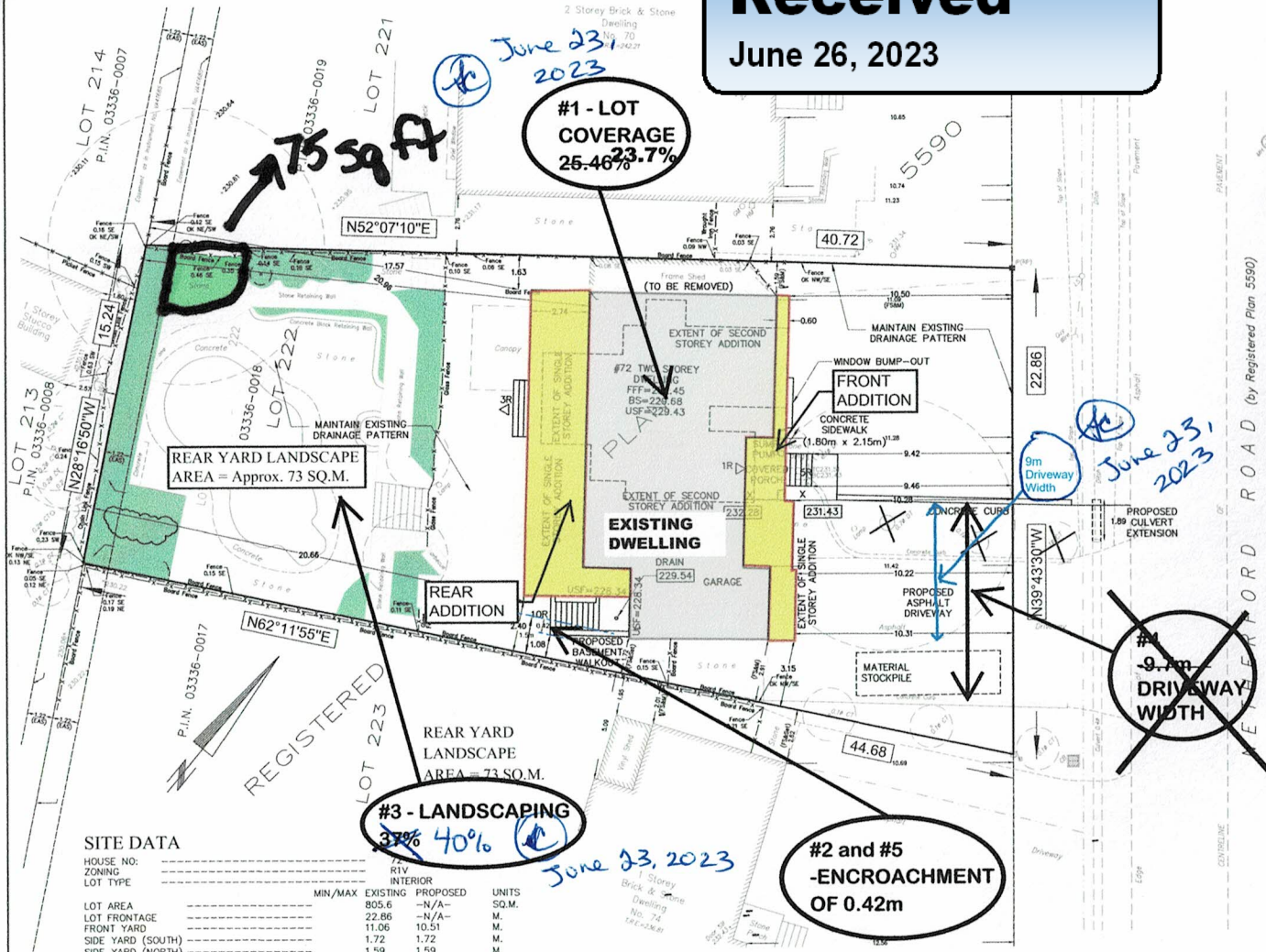
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## IDENTIFIED BY APPLICANT

# Received

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# A049/23



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Issued 30 May 2023

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				11.06	10.51	M.
				1.72	1.72	M.
				1.59	1.59	M.
				20.86	17.58	M.
				122.7	23.7	%
				15.9	23.0	%
				0.5	-	%
				1.6	-	%
				-	0.7	%
				1.4	-	%
				1.7	-	%
				1.7	-	%
				182.8	190.69	SQ.M.
				127.8	185.29	SQ.M.
				4.0	-	SQ.M.
				12.8	-	SQ.M.
				-	5.4	SQ.M.
				11.2	-	SQ.M.
				13.5	-	SQ.M.
				13.5	-	SQ.M.
						SQ.M.

LANDSCAPE DATA	PROPOSED:	UNITS:	PERCENTAGE:
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### LEGEND

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- (Inv) DENOTES INVERT
- 22.86 DENOTES EXISTING GRADE ELEVATION
- - - DENOTES GUY WIRE
- BP DENOTES BELL POLE
- GM DENOTES GAS METER
- HM DENOTES HYDRO METER
- 0.1050 DENOTES CONIFEROUS DECIDUOUS TREE WITH TRUNK AND CANOPY DIAMETER
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- FFF DENOTES FIRST FINISHED FLOOR ELEVATION
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- USF DENOTES UNDERSIDE OF FOOTING
- DS DENOTES DOWNSPOUT
- S.I. DENOTES SWALE INVERT
- R DENOTES RISER
- ENT DENOTES ENTRANCE
- Δ DENOTES FLOW

PROPOSED ADDITION AT:  
72 NETHERFORD ROAD  
MAPLE, ONTARIO

Scale: 1:150 Date: APRIL 15, 2023

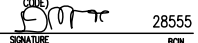
Proposed Architectural Site Plan

C D I Inc.  
Architectural Building Design  
Consultant  
CITYSCAPE DESIGN INNOVATION INC.  
30 SELVAPANO CRESSENT  
WOODBRIDGE, ONTARIO  
L4T 0Z2  
c.d.i. inc@cdi.com  
TEL: (905) 503-0079

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NO.	DATE:	REVISION	CH'D
1.	25March22	Garage & Elevations	GR.

NOTES:

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER  
 QUALIFICATION INFORMATION  
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE (OR 2.17.4.1. OF THE '997 ONTARIO BUILDING CODE)  
 DAVID MATHIESON  28555  
 REGISTRATION INFORMATION  
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 CITYSCAPE DESIGN INNOVATIONS 32631  
 FRM NAME BGIN

- ISSUED FOR CONSTRUCTION
- ISSUED FOR PRICING
- ISSUED FOR BLDG. PERMIT
- ISSUED FOR PRELIM. REVIEW

Orientation	Stamp
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 Woodbridge, Ontario  
 L4H 0X2  
 cdi\_inc@rogers.com  
 BUS. (289) 553-0579 FAX. (289) 553-0561

Client/Project  
 PROPOSED RESIDENCE FOR:  
 MR. & MRS. CELETTI  
 72 NETHERFORD ROAD  
 MAPLE, ONTARIO

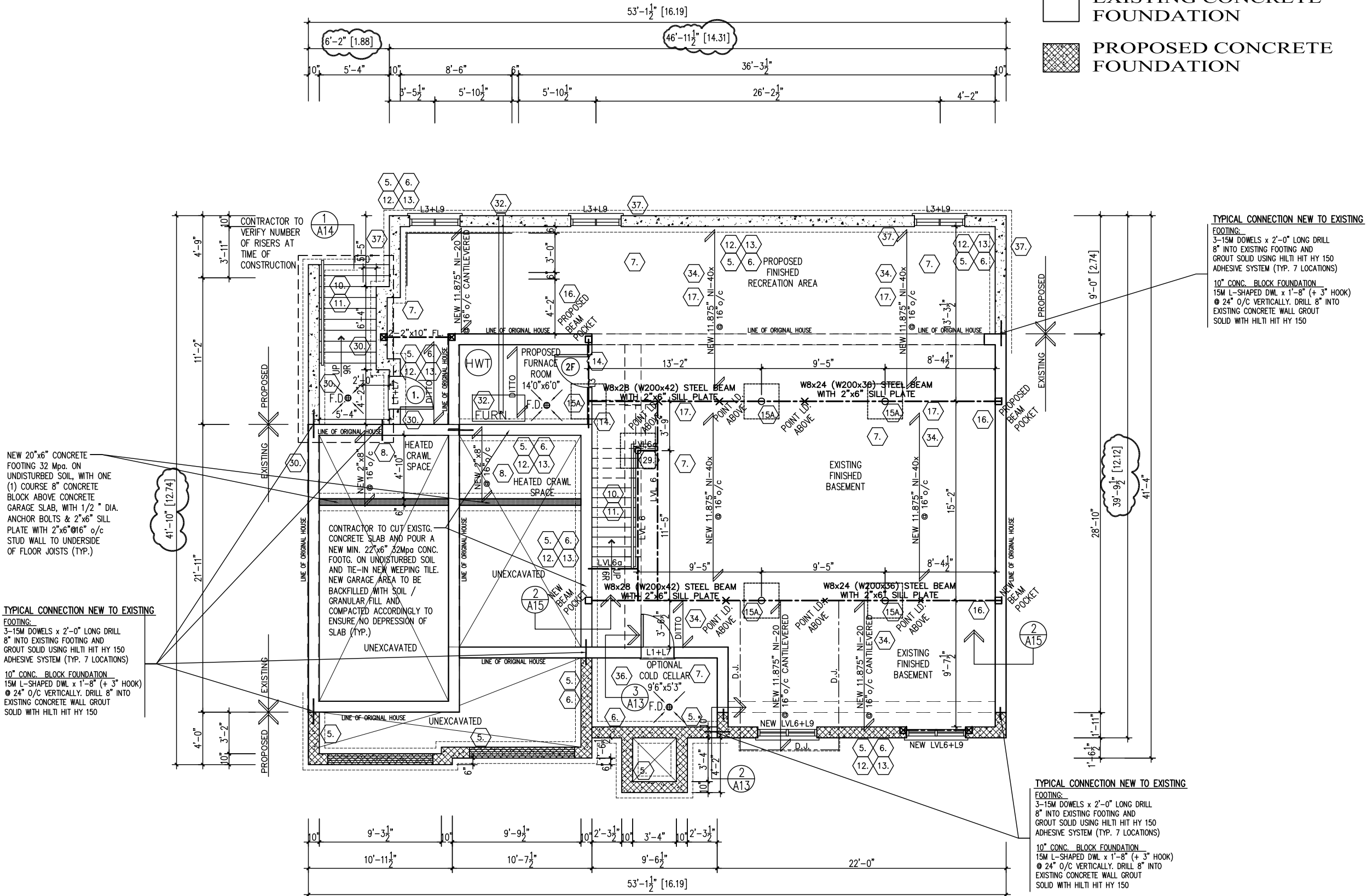
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Date  
 JANUARY 6 2023

Drawing Title  
 PROPOSED FLOOR PLAN(S)

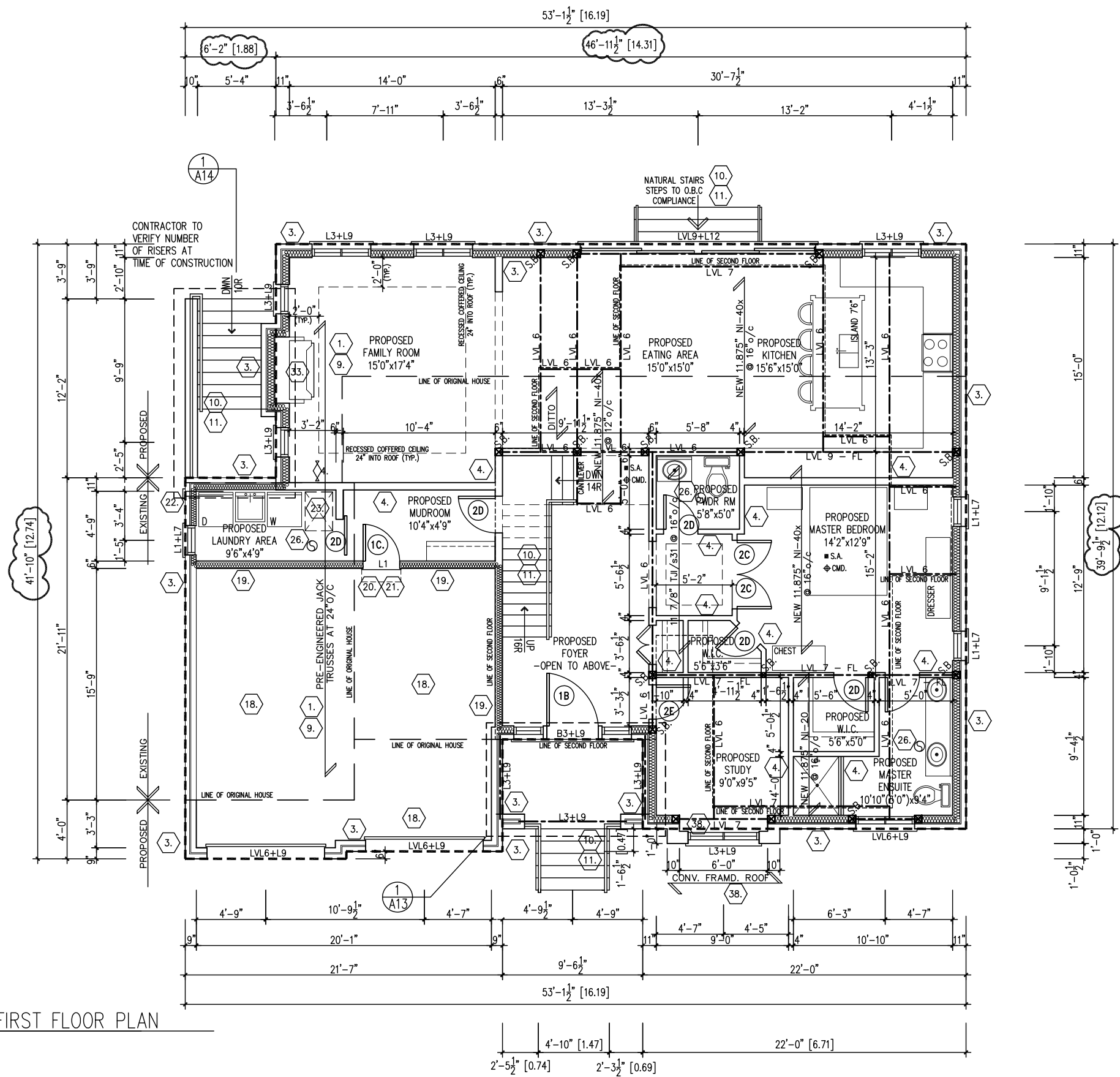
Sheet Number  
 A6

 EXISTING CONCRETE FOUNDATION  
 PROPOSED CONCRETE FOUNDATION



1 PROPOSED BASEMENT FLOOR PLAN  
 A6 1/8"=1'-0"

Issued 30 May 2023



1 PROPOSED FIRST FLOOR PLAN  
A7 1/8"=1'-0"

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NO.	DATE:	REVISION	CH'D
1.	25March22	Garage & Elevations	GR.

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 DAVID MATHIESON 28555  
 SIGNATURE [Signature] BDN  
 REGISTRATION INFORMATION  
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 FRM NAME BDN

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Orientation	Stamp
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 DESIGN  
 INNOVATION  
 INC.  
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 MAPLE, ONTARIO

Scale  
 1/8"=1'-0"

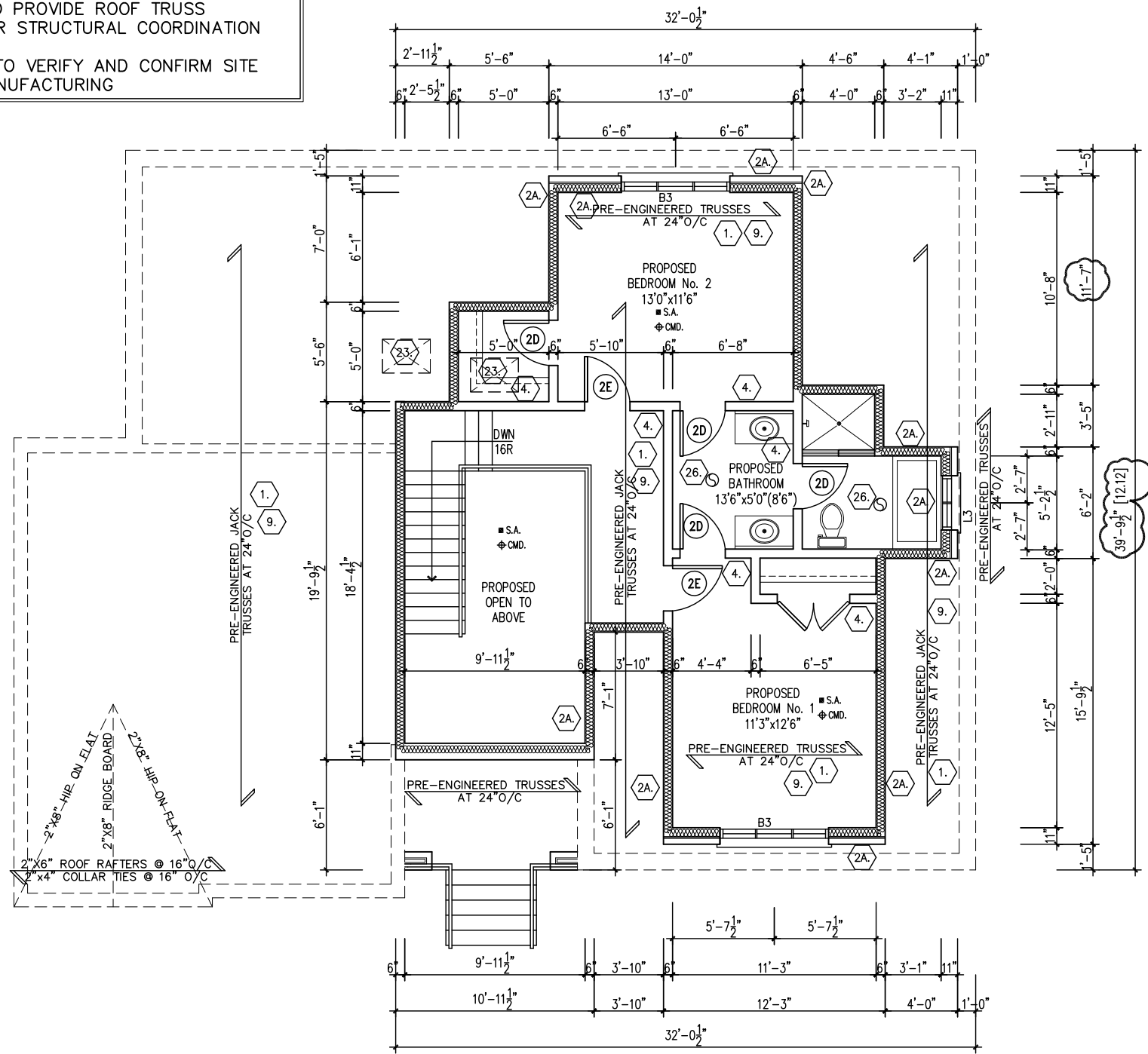
Date  
 JANUARY 6 2023

Drawing Title  
 PROPOSED FLOOR PLAN(S)

Sheet Number  
 A7

Issued 30 May 2023

**NOTE**  
 1) ROOF TRUSSES SUPPLIER TO PROVIDE ROOF TRUSS ENGINEERING AND LAYOUT FOR STRUCTURAL COORDINATION PRIOR TO MANUFACTURING  
 2) ROOF TRUSSES SUPPLIER TO VERIFY AND CONFIRM SITE MEASUREMENTS PRIOR TO MANUFACTURING



1 PROPOSED LOFT FLOOR PLAN  
 A8 1/8"=1'-0"

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1.	25March22	Garage & Elevations	GR.

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DAVID MATHIESON *[Signature]* 28555  
 SIGNATURE BCIN

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CITYSCAPE DESIGN INNOVATIONS 32631  
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Orientation Stamp

**CITYSCAPE DESIGN INNOVATION INC.**

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 MAPLE, ONTARIO

Scale 1/8"=1'-0" Date JANUARY 6 2023

Drawing Title PROPOSED FLOOR PLAN(S) Sheet Number A8

Issued 30 May 2023


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DAVID MATHIESON  28555  
 SIGNATURE BCIN


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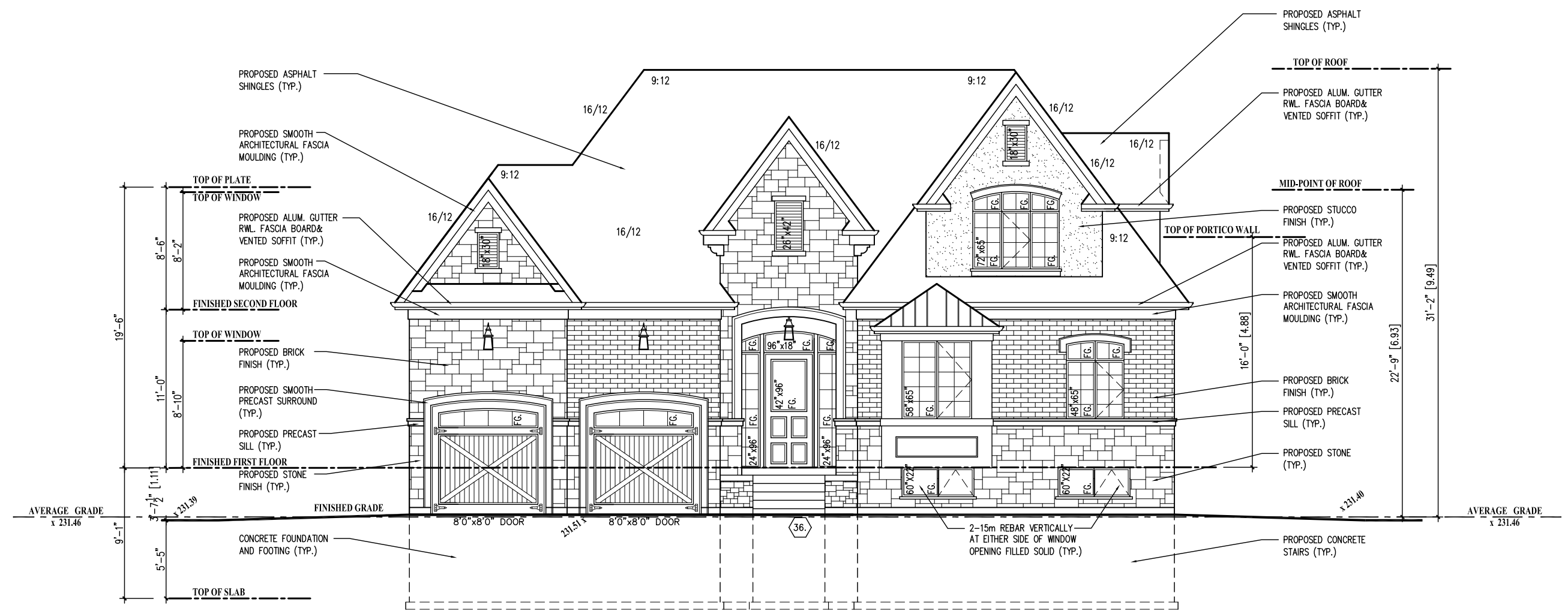
Client/Project  
 PROPOSED RESIDENCE FOR:  
 MR. & MRS. CELETTI  
 72 NETHERFORD ROAD  
 MAPLE, ONTARIO

Scale  
 1/8"=1'-0"

Date  
 JANUARY 6 2023

Drawing Title  
 PROPOSED ELEVATION(S)

Sheet Number  
 A9



1 PROPOSED FRONT ELEVATION  
 A9 1/8"=1'-0"

Issued 30 May 2023



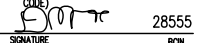
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1.	25March22	Garage & Elevations	GR.

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DAVID MATHIESON  28555  
SIGNATURE BCIN

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Orientation	Stamp

**CITYSCAPE DESIGN INNOVATION INC.**



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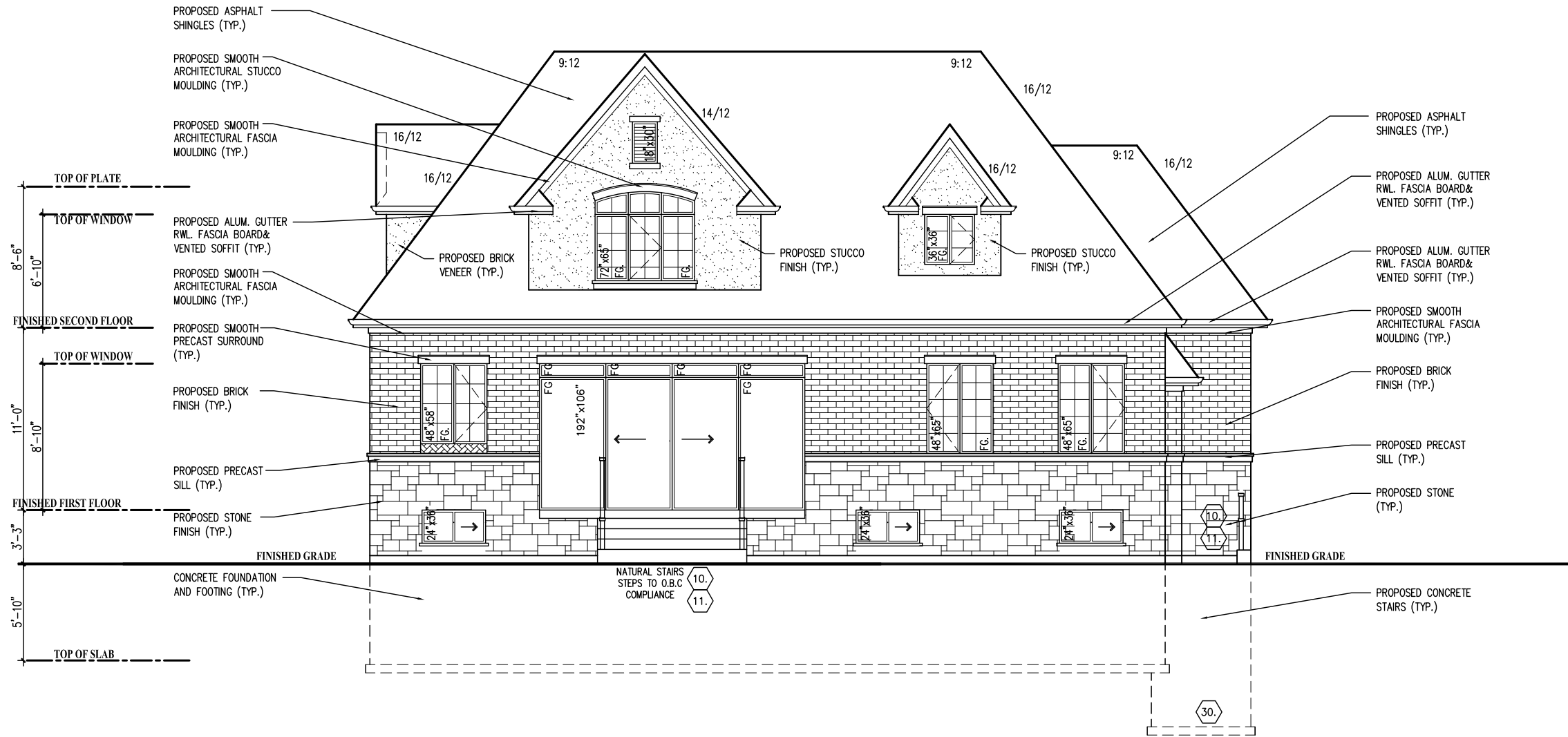
Client/Project  
 PROPOSED RESIDENCE FOR:  
 MR. & MRS. CELETTI  
 72 NETHERFORD ROAD  
 MAPLE, ONTARIO

Scale  
 1/8"=1'-0"

Date  
 JANUARY 6 2023

Drawing Title  
 PROPOSED ELEVATION(S)

Sheet Number  
 A10



1 PROPOSED REAR ELEVATION  
 A10 1/8"=1'-0"

Issued 30 May 2023



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1.	25March22	Garage & Elevations	GR.

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DAVID MATHIESON *[Signature]* 28555  
BCIN

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**CITYSCAPE DESIGN INNOVATION INC.**



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 Woodbridge, Ontario  
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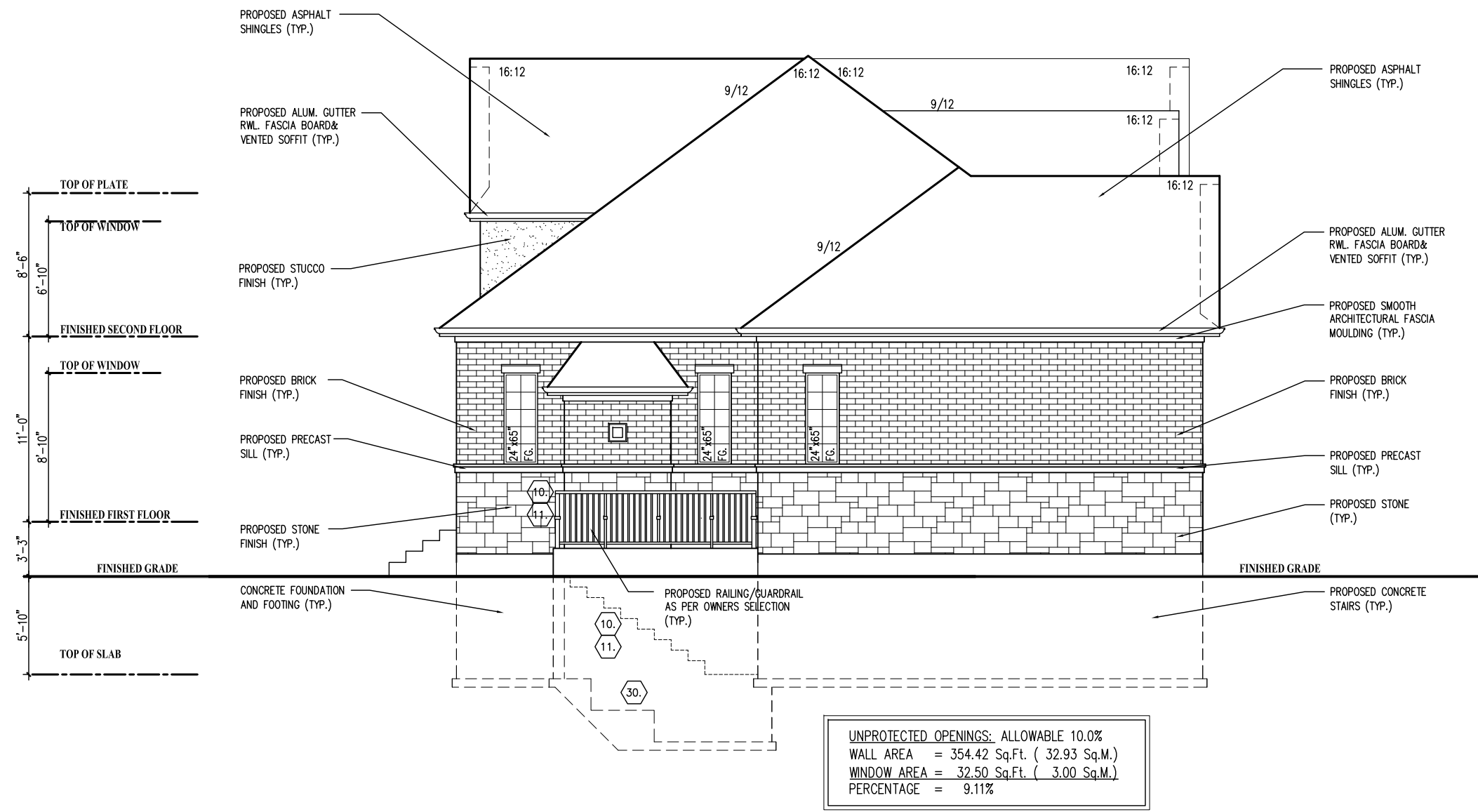
Client/Project  
 PROPOSED RESIDENCE FOR:  
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 72 NETHERFORD ROAD  
 MAPLE, ONTARIO

Scale  
 1/8"=1'-0"

Date  
 JANUARY 6 2023

Drawing Title  
 PROPOSED ELEVATION(S)

Sheet Number  
 A11



1 PROPOSED LEFT ELEVATION  
 A11 1/8"=1'-0"

Issued 30 May 2023


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1.	25March22	Garage & Elevations	GR.

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DAVID MATHIESON  28555  
BCIN

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BCIN

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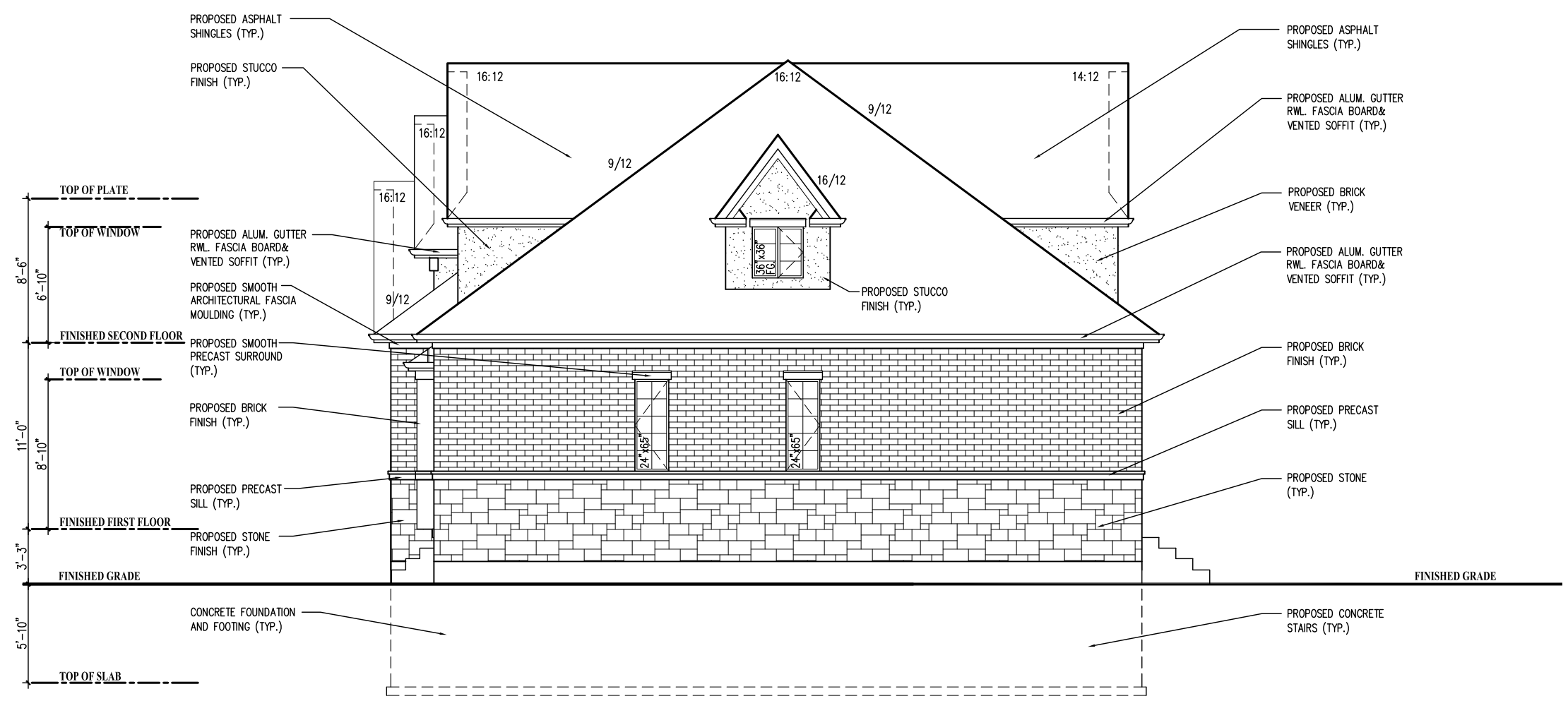
Client/Project  
 PROPOSED RESIDENCE FOR:  
 MR. & MRS. CELETTI  
 72 NETHERFORD ROAD  
 MAPLE, ONTARIO

Scale  
 1/8"=1'-0"

Date  
 JANUARY 6 2023

Drawing Title  
 PROPOSED ELEVATION(S)

Sheet Number  
 A12



UNPROTECTED OPENINGS: ALLOWABLE 8.0%  
 WALL AREA = 560.43 Sq.Ft. ( 52.06 Sq.M.)  
 WINDOW AREA = 23.83 Sq.Ft. ( 2.21 Sq.M.)  
 PERCENTAGE = 4.25%

1 PROPOSED RIGHT ELEVATION  
 A12 1/8"=1'-0"

Issued 30 May 2023

**SCHEDULE B: STAFF & AGENCY COMMENTS**

<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval/w conditions
Building Standards (Zoning)	X	X		General Comments

**Date:** May 16<sup>th</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A049-23**

**Related Files:**

**Applicant** Cityscape Design Innovations Inc. (CDI Inc)

**Location** 72 Netherford Road



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

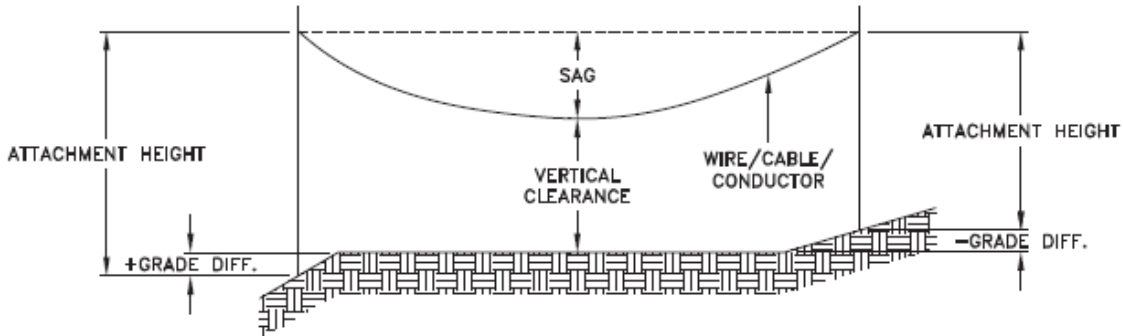
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

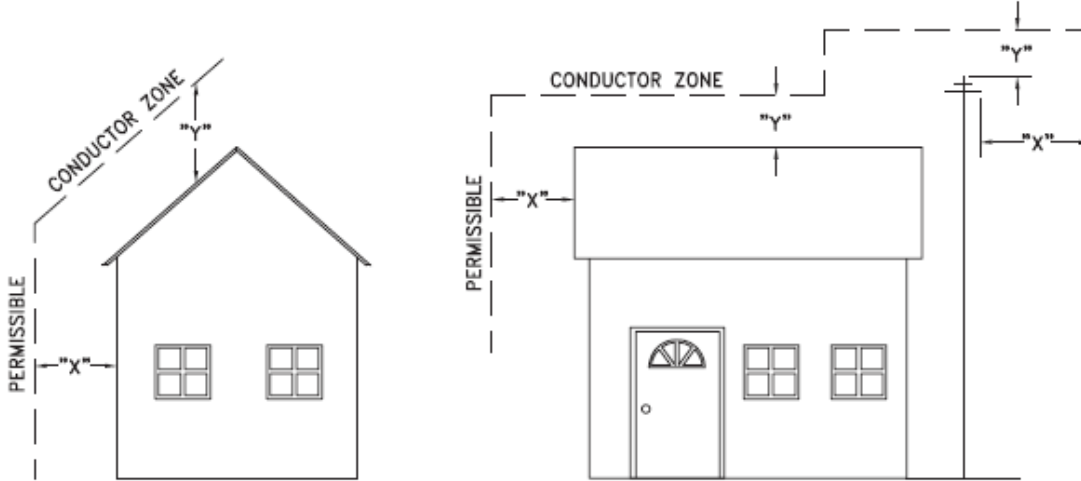
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Bernd Paessler, Building Standards Department  
**Date:** June 26, 2023  
**Applicant:** Cityscape Design Innovations Inc. (CDI Inc)  
**Location:** 72 Netherford Road  
 PLAN RP5590 Lot 222  
**File No.(s):** A049/23

**Zoning Classification:**

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.534 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted lot coverage is 23% of the lot area.  Section 7.2.2 Table 7-3	To permit a maximum lot coverage of 23.7% of the lot area.(per Applicants figures)
2	The maximum permitted encroachment for Access stairs is 0.30m into the minimum required interior side yard of 1.5m.  Section 4.13 Table 4-1	To permit a maximum encroachment of 0.42m into the minimum required interior side yard of 1.5m.
3	In an R1E Zone, any portion of the rear yard in excess of 135.0 m <sup>2</sup> shall be comprised of a minimum 60% soft landscape.  Section 4.19.1.1.	To permit 40% soft landscaping for the portion of the rear yard in excess of 135m <sup>2</sup> .(per applicants figures)

The subject lands are zoned R1V under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	The maximum permitted encroachment for Access stairs is 0.30m into the minimum required interior side yard of 1.5m.  Section 3.14 c)	To permit a maximum encroachment of 0.42m into the minimum required interior side yard of 1.5m.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>



<b>General Comments</b>	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Angela Celetti confirmed by phone that the stucco and stone shed at rear is to be demolished. The figures in the notice for coverage and rear yard soft landscaping are based on the applicants figures and will have to be confirmed at the permit stage.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** July 5, 2023  
**Name of Owners:** Gaetano & Angela Celetti  
**Location:** 72 Netherford Road  
**File No.(s):** A049/23

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a maximum lot coverage of 23.7% of the lot area.
2. To permit a maximum encroachment of 0.42 m into the minimum required interior side yard of 1.5 m.
3. To permit 40% soft landscaping for the portion of the rear yard in excess of 135 m<sup>2</sup>.

**By-Law Requirement(s) (By-law 001-2021):**

1. The maximum permitted lot coverage is 23% of the lot area.
2. The maximum permitted encroachment for access stairs is 0.30 m into the minimum required interior side yard of 1.5 m.
3. In an R1E Zone, any portion of the rear yard in excess of 135 m<sup>2</sup> shall be comprised of a minimum 60% soft landscape.

**Proposed Variance(s) (By-law 1-88):**

4. To permit a maximum encroachment of 0.42 m into the minimum required interior side yard of 1.5 m.

**By-Law Requirement(s) (By-law 1-88):**

4. The maximum permitted encroachment for Access stairs is 0.30 m into the minimum required interior side yard of 1.5 m.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting permission to construct additions to the single detached dwelling with the above noted variances. Footprint expansions in the form of 2-storey additions at the front and at the rear are proposed to facilitate the reconstruction of the dwelling.

The property is located within a Large Lot Neighbourhood ("LLN") by Schedule 1B of VOP 2010. At the request of the Development Planning Department, the Owner has reduced the lot coverage request. The Development Planning Department has no objection to Variance 1 to increase the lot coverage to 23.7%. The enclosed portions of the dwelling propose a lot coverage of 23%, which complies with Zoning By-law 001-2021 and is consistent with previous approvals for two storey buildings in other LLNs. The 0.7% lot coverage increase is associated with the covered front porch. The proposed lot coverage is similar to previous approvals in the neighbourhood and will not pose a significant visual impact to the adjacent properties or streetscape. Therefore, increase in total lot coverage is minor in nature relative to the requirement under Zoning By-law 001-2021.

The Development Planning Department has no objection to Variances 2 and 4, as an encroachment of 0.42 m for the access stairs is due to the angled nature of the south lot line. As only a corner of the access stairs will utilize the full extent of the requested relief, it will not impact the functionality of the side walkway and is considered minor in nature.

At the request of the Development Planning Department, the Owner has increased the amount of soft landscaping in the rear yard to 40%. The revised reduction in the rear yard soft landscaping is considered minor in nature as the proposal provides a more

appropriate balance between soft and hard landscaping in the rear yard. The Development Planning Department has no objection to Variance 3.

The Owners have submitted an Arborist Report by Al Miley and Associates, dated November 21, 2022. The report inventoried 8 trees. Of these 8 trees, a total of 3 replacement trees are required for the removal of Tree #1. Urban Design staff have reviewed the report and concur with the findings. Their office requests the inclusion of Condition 1 to approve the location and species of all replacement trees.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

1. That the final Landscape Plan be approved to the satisfaction of the Development Planning Department.

**Comments Prepared by:**

Michelle Perrone, Planner 1  
David Harding, Senior Planner

**From:** [Development Services](#)  
**To:** [Christine Vigneault](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A049/23 (72 Netherford Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Wednesday, May 17, 2023 1:21:37 PM  
**Attachments:** [image001.png](#)  
[image003.png](#)

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Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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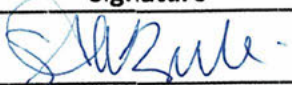
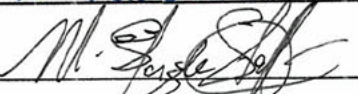




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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
Public		68, 69, 70, 73, 75, 76, 77, 79 Netherford Road		Petition of Support

## Petition for 72 Netherford Road

We the undersigned agree with the residential house to be built at 72 Netherford Road  
as per architectural drawings done by CityScape Design Innovation Inc.

Name	Address	Phone Number	Signature
Sarah Zambri	68 Netherford Rd Maple, Ont L6A1E1		
Daniela Paolella	70 Netherford Rd Maple, Ont L6A1E1		D. Paolella
Mish & Tony Staffiere	77 Netherford Rd.		
MARIA ANTONIA SILVA	76 NETHERFORD		
JULIA BERTUCCI	73 Netherford		Julia Bertucci
VINCENT CIPRIANO	169 Netherford		
GEORGE ALBIN	75 NETHERFORD		
Raymond Faraone	79 Netherford		
	74 Netherford Rd. →		
			Attempted to speak to neighbour
			knocked on the door when he
			was home but he did not
			answer the door