

ITEM: 6.4	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A044/23 125 GREEN MANOR CRESCENT, WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments w/condition
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
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PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

None		
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A044/23
125 GREEN MANOR CRESCENT, WOODBRIDGE**

ITEM NUMBER: 6.4	CITY WARD #: 3
APPLICANT:	Melissa Zamparo
AGENT:	Erika Strangis
PROPERTY:	125 Green Manor Crescent, Woodbridge
ZONING DESIGNATION:	See below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an addition to an existing cabana and an existing pergola.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1A(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1]	To permit a maximum height of 3.51m for a residential accessory structure (cabana).
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b]	To permit a residential accessory structure (cabana) to be located a minimum of 1.62 m from the interior lot line.
3	The minimum required interior side yard for a residential accessory structure shall be 1.5 m. [Section 4.1.2.1.a, Section 7.2.3, Table 7-4]	To permit a minimum interior side yard of 0.91m for the residential accessory structure (existing pergola).

HEARING INFORMATION

DATE OF MEETING: Thursday, July 13, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	June 29, 2023
Date Applicant Confirmed Posting of Sign:	June 26, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Cabana height is existing to remain; hence addition is to follow existing roof line. Pergola is existing to remain so cannot move.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On June 27, 2023, Development Planning provided:</p> <p>I am following up on the status of the requested Arborist Report. Please confirm if it will be provided shortly as it will need to be reviewed prior to the upcoming meeting date, otherwise an adjournment will be recommended. Please also see the below comments from our Urban Design division requesting similar materials.</p> <p>Urban Design</p> <ul style="list-style-type: none"> • Provide elevations for the proposed shed for Staff to review and provide comments. • Submit an Arborist Report that will include all trees on site and within 6 m from the area of disturbance. Also, provide a Tree Preservation Plan for Staff to review and provide comments; make sure that storage areas, areas of compaction and the construction access are noted on the drawing. • Private trees are key City assets and as such the applicant is strongly encouraged to save as many trees as possible. Unnecessary tree removals should be avoided and built elements, such as the shed should be located appropriately within the back yard to minimize their impact on the trees. Where trees need to be removed, new trees should be planted on site as compensation. <p>On June 27, 2023, Committee of Adjustment staff recommended adjournment to permit time to address Development Planning comments.</p> <p>On June 29, 2023, the applicant provided updated Arborist Report.</p>
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.	

COMMITTEE OF ADJUSTMENT COMMENTS

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

Committee of Adjustment Comments: None

Committee of Adjustment Recommended Conditions of Approval: Should the application require adjournment from the July 13, 2023, hearing, an adjournment fee (\$591) will be required to reschedule the application.

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval: TBD

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed addition to existing cabana is 12.23 m², the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

The Development Engineering Department does not object to the Minor Variance application A044/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:

The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

None

PFH Recommended Conditions of Approval:

Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval: None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval: None

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

BUILDING INSPECTION (SEPTIC) COMMENTS

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Committee of Adjustment christine.vigneault@vaughan.ca	Should the application require adjournment from the July 13, 2023, hearing, an adjournment fee (\$591) will be required to reschedule the application.
2	Development Planning Joshua.cipolletta@vaughan.ca	TBD
3	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca .
4	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

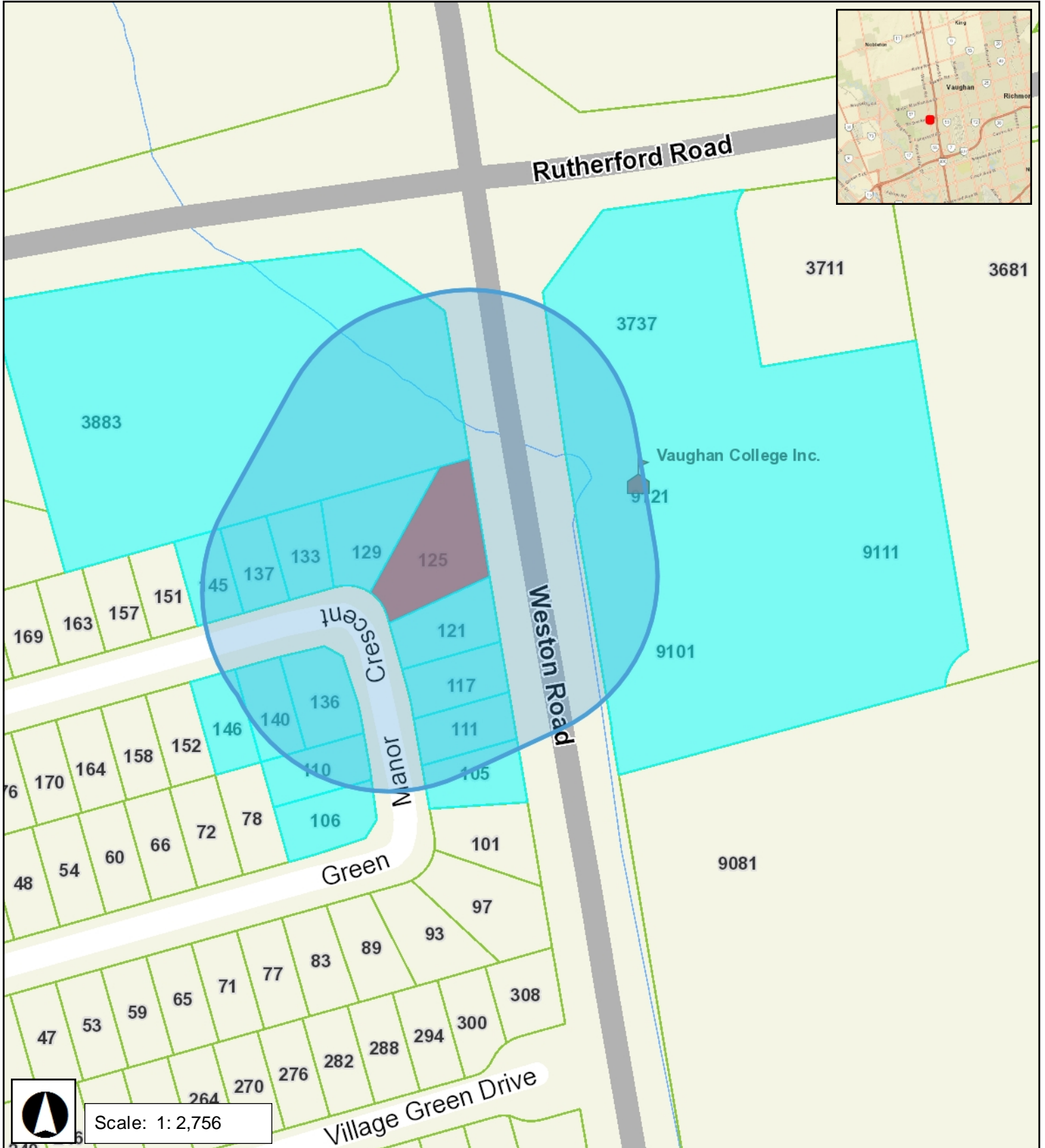
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

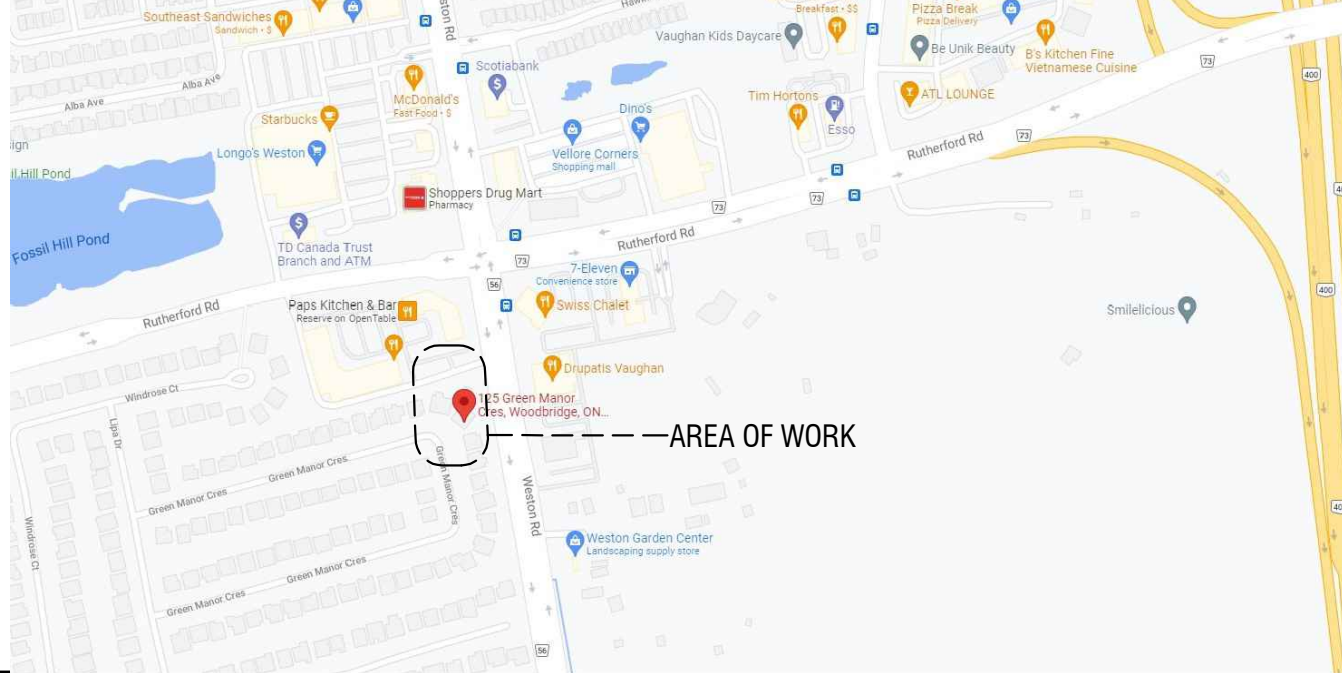


LIST OF DRAWINGS:

ARCHITECTURAL

A1 SITE PLAN/NOTES	A9 DETAILS
A2 EXISTING/PROPOSED BASEMENT PLAN	A10 GENERAL NOTES
A3 EXISTING/PROPOSED GROUND FLOOR PLAN	
A4 EXISTING/PROPOSED SECOND FLOOR PLAN	
A5 EXISTING/PROPOSED ELEVATION	
A6 EXISTING/PROPOSED ELEVATIONS	
A7 EXISTING CABANA FLOOR PLANS & SECTION	
A8 EXISTING CABANA ELEVATIONS	

KEY PLAN



LEGEND

	EXISTING TO REMAIN	ETR	EXISTING TO REMAIN
	AREA OF ADDITION	999.99	EXISTING ELEVATION
	SOFT LANDSCAPE	FFE	PROPOSED ELEVATION
	HARD LANDSCAPE	TW	FINISHED FIRST FLOOR ELEVATION
	DECIDUOUS TREE	TBS	TOP OF WALL ELEVATION
	CONIFEROUS TREE	DSE	BASEMENT SLAB
		TC	DOOR SILL ELEVATION
		BC	TOP OF CURB
		OHW	BOTTOM OF CURB
		DBF	OVERHEAD WIRES
		CLF	DOUBLE BOARD FENCE
		MH	CHAIN LINK FENCE
			MANHOLE

NOTE:

EXISTING GRADES, LINES AND SITE CONDITIONS DEPICTED ON THIS DRAWING WERE TAKEN FROM SURVEY INFORMATION ESTABLISHED BY A SURVEYOR ENGAGED DIRECTLY BY OWNER. THE SURVEY INFORMATION IS NOT THE ARCHITECT'S RESPONSIBILITY.

CONTRACTOR SHALL CONTRACT A LAND SURVEYOR, TO:

- PERMANENT BENCH MARKS, OR MARKERS AS WIDELY SEPARATED AS POSSIBLE TO BE LOCATED.
- VERIFY POSITIONING OF EXISTING BUILDINGS USED TO ESTABLISH LOCATION OF NEW SITE ELEMENTS.
- ESTABLISH LOCATION OF NEW STRUCTURES AND OTHER SITE ELEMENTS SUCH AS CURBS, SIDEWALKS, DRIVEWAYS, LIGHT POSTS, ETC.
- ALL NEW BUILDINGS TO BE POSITIONED USING DIMENSIONS FROM PROPERTY LINES ONLY.
- THE CONTRACTOR IS TO ESTABLISH THE LOCATION OF ALL NEW BUILDINGS AND SITE STRUCTURES. PRIOR TO COMMENCING WORK CONTRACTOR TO PROVIDE WRITTEN CONFIRMATION BY THE LAND SURVEYOR THAT THE ESTABLISHED LOCATIONS OF NEW & EXISTING BUILDINGS DO NOT DIFFER.
- CONSTRUCTION CANNOT COMMENCE UNTIL ALL BUILDINGS HAVE BEEN STAKED OUT BY A LAND SURVEYOR.
- VERIFY LOCATION OF PROPERTY LINES AND MAINTAIN THROUGHOUT DURATION OF CONSTRUCTION.
- VERIFY ELEVATIONS OF FLOOR LEVELS AS CONSTRUCTION PROCEEDS, AND RELATE TO BENCH MARK DATUM.
- COORDINATE GEODETIC ELEVATION OF BENCH MARK DATUM WITH ELEVATIONS IN USE BY PUBLIC UTILITIES ADJACENT TO PROJECT FOR REFERENCE.
- VERIFY ACCURACY OF ALL SITE DIMENSIONS SHOWN.
- PROVIDE AS BUILT SITE PLAN SHOWING NEW BUILDING(S) LOCATION.

DEMOLITION NOTES:

- CONTRACTOR TO REMOVE ALL EXISTING FILL AND IMPORT/COMPACT NEW FILL.
- PROTECT ADJACENT PROPERTIES AND STRUCTURES - PATCH, REPAIR AND MAKE GOOD FINISHES AT ANY AREAS DAMAGED DUE TO DEMOLITION WORK INCLUDING BUT NOT LIMITED TO WORK ON ADJACENT PROPERTIES OR ON MUNICIPAL PROPERTY STREET ALLOWANCES OR RIGHTS OF WAY.
- DISPOSE OF ALL DEMOLITION MATERIALS.
- COORDINATE WITH MUNICIPAL OFFICIALS UNLESS NOTED OTHERWISE.
- PAY ALL DAMAGE DEPOSITS REQUIRED BY THE MUNICIPALITY PAY ALL CHARGES, FEES, DISCONNECTION FEES AND DEPOSITS.
- PROVIDE LOCATES AND ARRANGE AND PAY FOR CAPPING OF CITY SERVICES IF REQUIRED.
- CARRY OUT ALL WORK IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION.
- DEMOLISH EXISTING BUILDINGS AND REMOVE COMPLETELY FROM THE SITE.
- INSTALL AND MAINTAIN A PROTECTION CONSTRUCTION FENCING AROUND THE PROPERTY.
- REMOVE ALL ASPHALT, CONCRETE SIDEWALKS, CONCRETE CURBS, CONCRETE STAIRS, ETC.
- COST OF COMPACTION TESTING IF REQUIRED BY SOILS ENGINEER WILL BE PAID BY THE OWNER.

THE APPLICANT SHALL OBTAIN THE NECESSARY AUTHORIZATIONS AND PERMITS FROM THE CITY'S RIGHT-OF-WAY MANAGEMENT UNIT BEFORE EXCAVATING WITHIN OR ENCRANCHING INTO THE MUNICIPAL ROAD ALLOWANCE. THE APPLICANT SHALL ALSO SUBMIT A MUNICIPAL ROAD DAMAGE DEPOSIT PRIOR TO OBTAINING A BUILDING PERMIT.

PRIOR TO CONSTRUCTION TAKING PLACE, ALL REQUIRED HOARDING IN ACCORDANCE WITH THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS MUST BE ERECTED AND THEN MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION.

THE APPLICANT WILL BE REQUIRED TO CONTACT ALL UTILITY COMPANIES TO OBTAIN ALL REQUIRED LOCATES PRIOR TO THE INSTALLATION OF HOARDINGS WITHIN THE MUNICIPAL RIGHT OF WAY.

THE PROPOSED DEVELOPMENT OF THE SUBJECT SITE MAY NEGATIVELY IMPACT THE ROOT ZONE(S) OF NEARBY TREE(S) ON ADJACENT PROPERTY AND ULTIMATELY DAMAGE THE TREE(S). THE OWNER SHOULD TAKE ALL REASONABLE STEPS TO MINIMIZE DISTURBANCE TO THE ADJACENT TREES ROOT ZONE(S) THAT ARE WITHIN THE SUBJECT SITE.

THIS PERMIT DOES NOT GIVE THE OWNER/APPLICANT THE RIGHT TO ACCESS TO ADJOINING LANDS. NO WORK TO ENCRANCH ON ADJOINING PROPERTY. DIRECT WATER FROM ROOF AWAY FROM ADJACENT PROPERTY.

ALL EXISTING SITE INFORMATION PROVIDED ON SITE PLAN IS TAKEN FROM SURVEY PREPARED BY TARASICK MCMILLAN KUBICKI LIMITED ONTARIO LAND SURVEYORS. FOR GRADING REFER TO SEPARATE GRADING PLAN PREPARED BY TARASICK MCMILLAN KUBICKI LIMITED.

METRIC:

DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

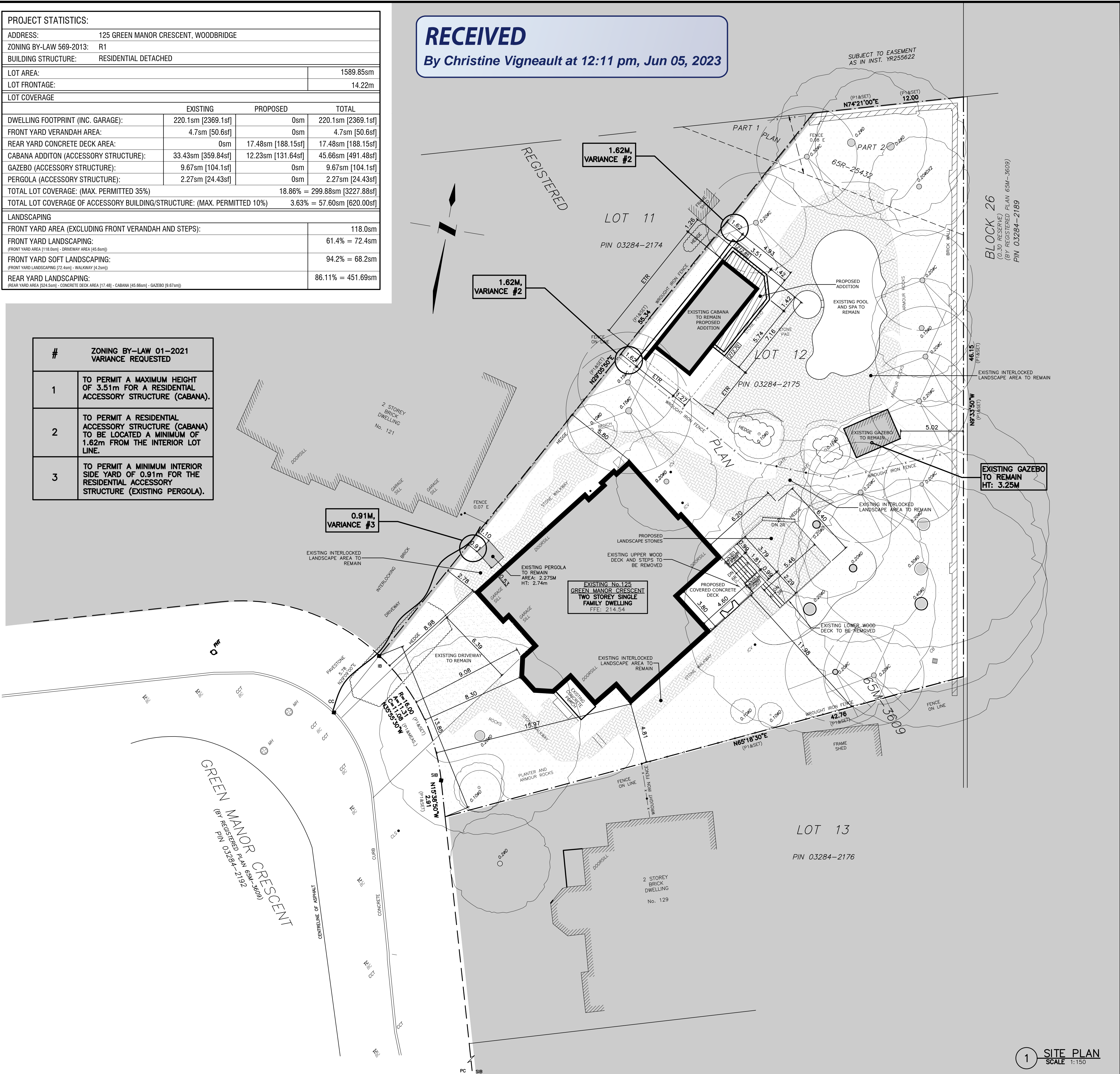
PROJECT STATISTICS:

ADDRESS:	125 GREEN MANOR CRESCENT, WOODBRIDGE		
ZONING BY-LAW 569-2013:	R1		
BUILDING STRUCTURE:	RESIDENTIAL DETACHED		
LOT AREA:	1589.85sm		
LOT FRONTAGE:	14.22m		
LOT COVERAGE			
	EXISTING	PROPOSED	TOTAL
DWELLING FOOTPRINT (INC. GARAGE):	220.1sm [2369.1sf]	0sm	220.1sm [2369.1sf]
FRONT YARD VERANDAH AREA:	4.7sm [50.6sf]	0sm	4.7sm [50.6sf]
REAR YARD CONCRETE DECK AREA:	0sm	17.48sm [188.15sf]	17.48sm [188.15sf]
CABANA ADDITON (ACCESSORY STRUCTURE):	33.43sm [359.84sf]	12.23sm [131.64sf]	45.66sm [491.48sf]
GAZEBO (ACCESSORY STRUCTURE):	9.67sm [104.1sf]	0sm	9.67sm [104.1sf]
PERGOLA (ACCESSORY STRUCTURE):	2.27sm [24.43sf]	0sm	2.27sm [24.43sf]
TOTAL LOT COVERAGE: (MAX. PERMITTED 35%)	18.86% = 299.88sm [3227.88sf]		
TOTAL LOT COVERAGE OF ACCESSORY BUILDING/STRUCTURE: (MAX. PERMITTED 10%)	3.63% = 57.60sm [620.00sf]		
LANDSCAPING			
FRONT YARD AREA (EXCLUDING FRONT VERANDAH AND STEPS):	118.0sm		
FRONT YARD LANDSCAPING:	61.4% = 72.4sm		
(FRONT YARD AREA [118.0sm] - DRIVEWAY AREA [45.6sm])			
FRONT YARD SOFT LANDSCAPING:	94.2% = 68.2sm		
(FRONT YARD LANDSCAPING [72.4sm] - WALKWAY [4.2sm])			
REAR YARD LANDSCAPING:	86.11% = 451.69sm		
(REAR YARD AREA [524.5sm] - CONCRETE DECK AREA [17.48] - CABANA [45.66sm] - GAZEBO [9.67sm])			

#	ZONING BY-LAW 01-2021 VARIANCE REQUESTED
1	TO PERMIT A MAXIMUM HEIGHT OF 3.51m FOR A RESIDENTIAL ACCESSORY STRUCTURE (CABANA).
2	TO PERMIT A RESIDENTIAL ACCESSORY STRUCTURE (CABANA) TO BE LOCATED A MINIMUM OF 1.62m FROM THE INTERIOR LOT LINE.
3	TO PERMIT A MINIMUM INTERIOR SIDE YARD OF 0.91m FOR THE RESIDENTIAL ACCESSORY STRUCTURE (EXISTING PERGOLA).

RECEIVED

By Christine Vigneault at 12:11 pm, Jun 05, 2023



This drawing, as an instrument of service, is provided by and is the property of Paul Marques Architect Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Paul Marques Architect Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

REV.	ISSUED FOR:	DATE:
	ISSUED FOR CLIENT REVIEW	04.12.2022
	ISSUED FOR CLIENT REVIEW	04.14.2022
	ISSUED FOR CLIENT REVIEW	06.14.2022
	ISSUED FOR CLIENT REVIEW	06.30.2022
	ISSUED FOR PERMIT	07.27.2022
	ISSUED FOR CLIENT REVIEW	10.17.2022
	ISSUED FOR CLIENT REVIEW	10.26.2022
	ISSUED FOR ZONING REVIEW	11.09.2022
	ISSUED REVISIONS TO CITY	12.15.2022
	ISSUED FOR CLIENT REVIEW	01.20.2023
	ISSUED REVISIONS TO CITY	01.27.2023
	ISSUED FOR COMMITTEE OF ADJUSTMENT	02.21.2023
	ISSUED FOR CLIENT REVIEW	03.23.2023
	ISSUED UPDATES TO COMMITTEE OF ADJUSTMENT	05.31.2023

paul marques
architect inc

2610 WESTON ROAD, #207
NORTH YORK, ONTARIO
M9N 2B1
TEL: 647.352.2121
FX: 647.352.2122



Project:
PROPOSED ADDITION AND INTERIOR ALTERATIONS TO EXISTING SINGLE FAMILY DWELLING
PROPOSED ADDITION TO EXISTING CABANA

125 GREEN MANOR CRESCENT
WOODBRIDGE, ONTARIO

Drawing Name:
SITE PLAN/OBC MATRIX/NOTES

Proj no.: 21-982 Date: MAY 2021

Drawn by: ES Scale: AS NOTED

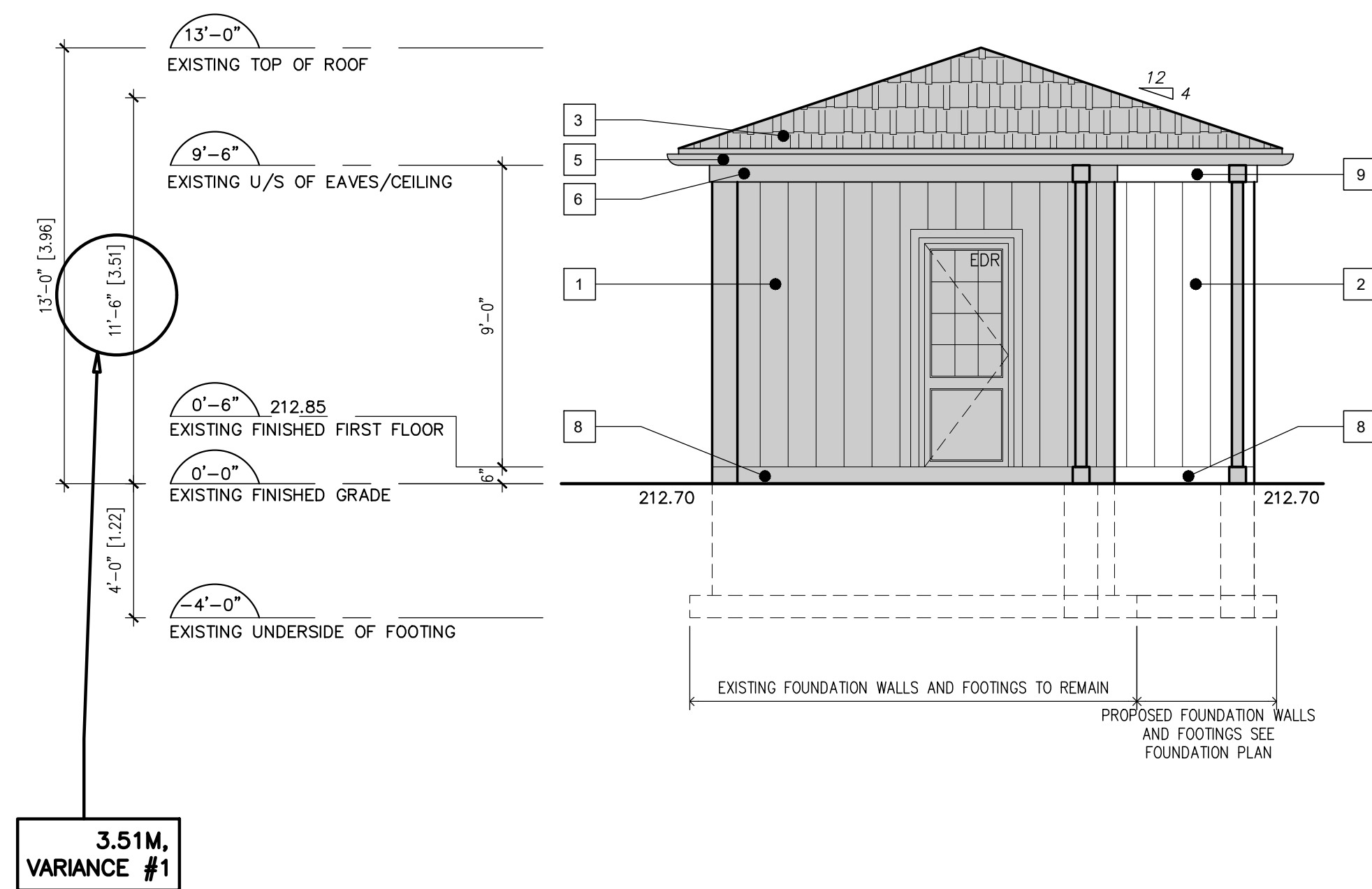
Checked by: PM

North: Drawing No:

1 SITE PLAN SCALE 1:150

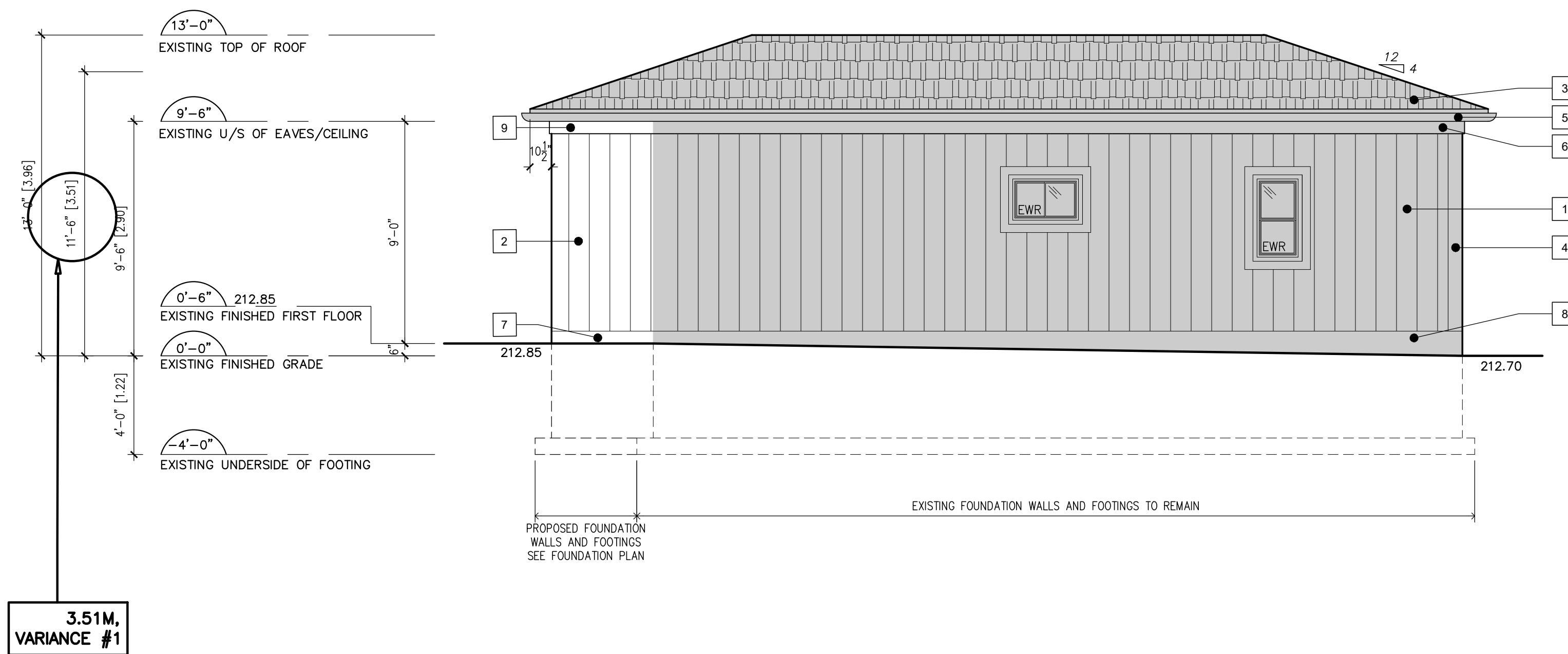
A1

FINISHES LEGEND					
1	EXISTING VERTICAL CEDAR SIDING	4	EXISTING CEDAR CORNER TRIM BOARD	7	PROPOSED EXPOSED FOUNDATION WALL (TYP.)
2	PROPOSED VERTICAL CEDAR SIDING TO MATCH EXISTING TYP.	5	EXISTING ALUM. FASICA, SOFFIT, AND GUTTER (TYP)	8	EXISTING EXPOSED FOUNDATION WALL (TYP.)
3	EXISTING ASPHALT ROOF SHINGLES	6	EXISTING DECORATIVE FRIEZE TRIM BOARD (TYP.)	9	PROPOSED DECORATIVE FRIEZE TRIM BOARD (TYP.)

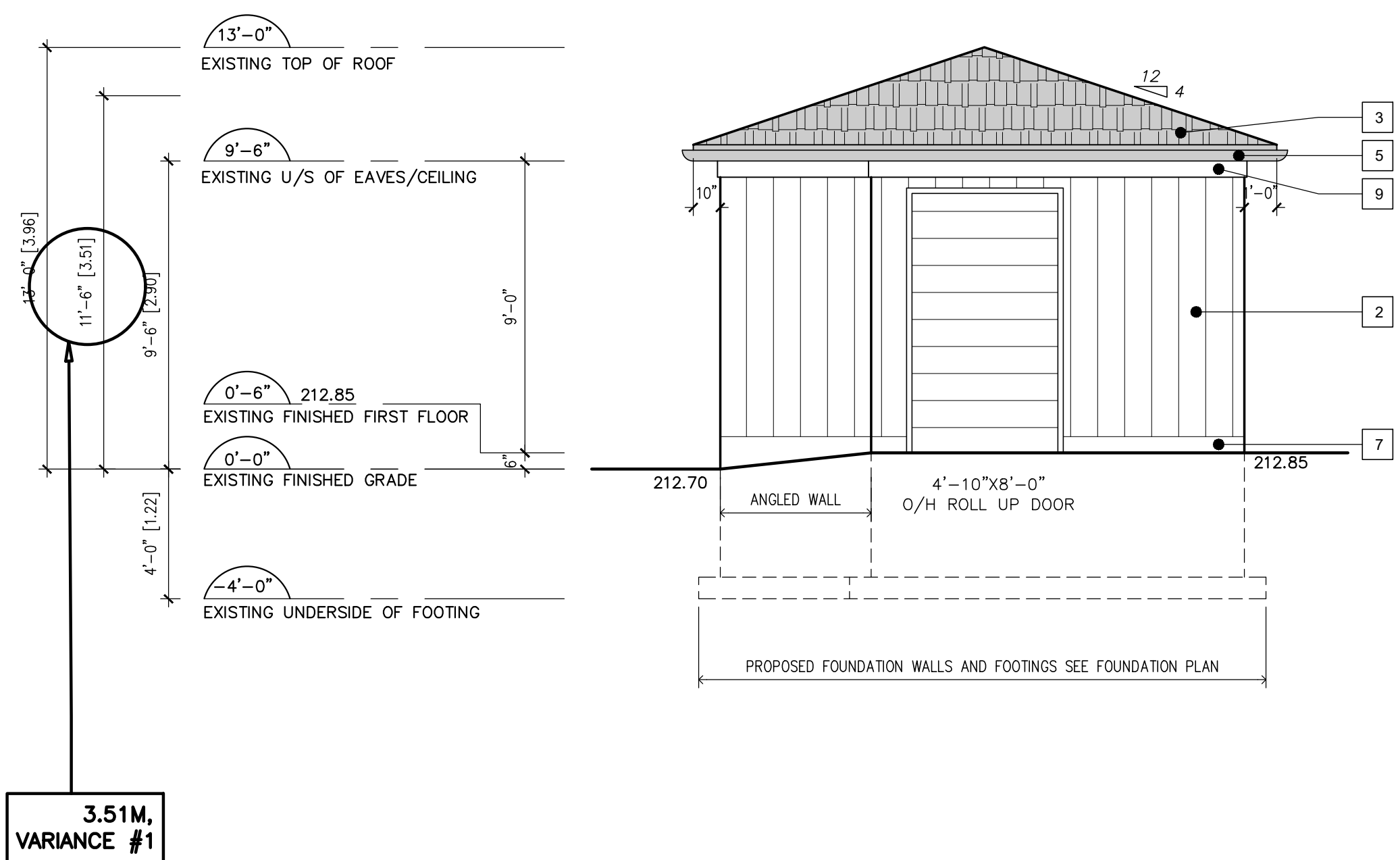


4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

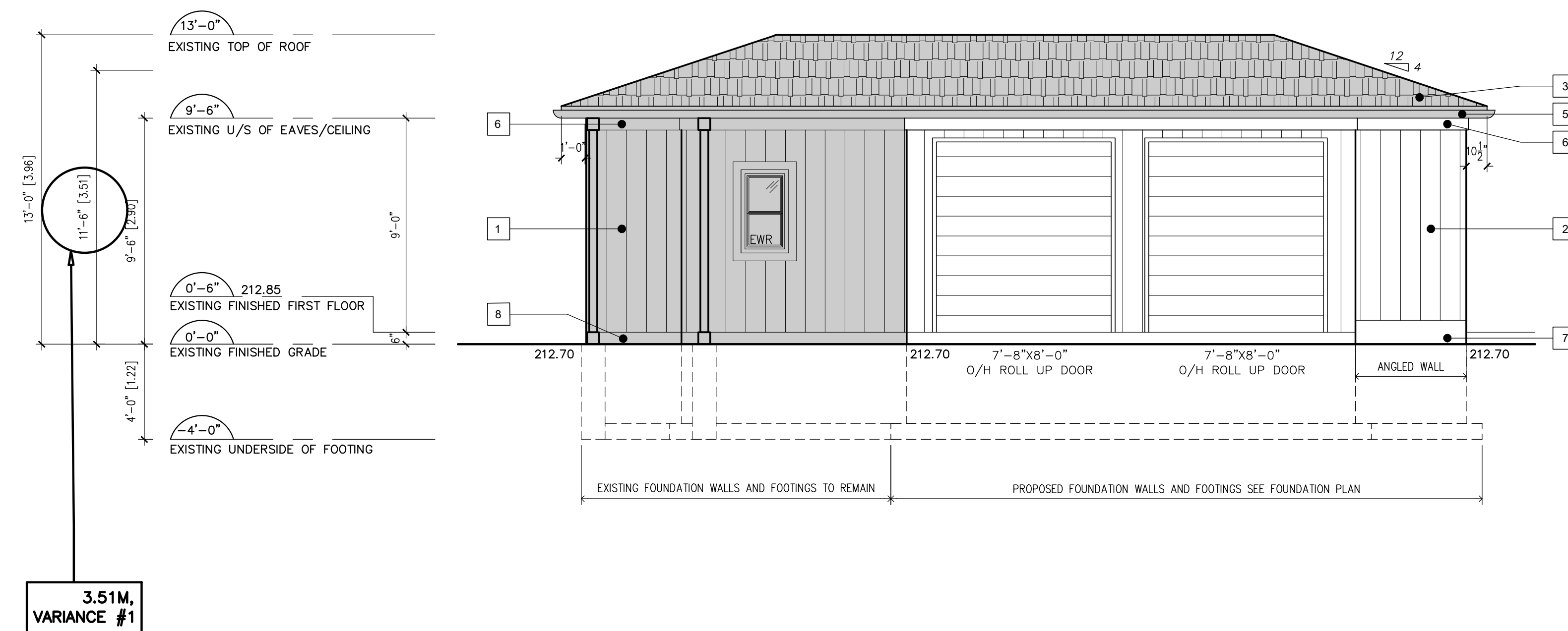
#	ZONING BY-LAW 01-2021 VARIANCE REQUESTED
1	TO PERMIT A MAXIMUM HEIGHT OF 3.51m FOR A RESIDENTIAL ACCESSORY STRUCTURE (CABANA).
2	TO PERMIT A RESIDENTIAL ACCESSORY STRUCTURE (CABANA) TO BE LOCATED A MINIMUM OF 1.82m FROM THE INTERIOR LOT LINE.
3	TO PERMIT A MINIMUM INTERIOR SIDE YARD OF 0.91m FOR THE RESIDENTIAL ACCESSORY STRUCTURE (EXISTING PERGOLA).



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



This drawing, as an instrument of service, is provided by and is the property of Paul Marques Architect Inc. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Paul Marques Architect Inc. of any variations from the supplied information. This drawing is not to be scaled. The architect is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

REV.	ISSUED FOR:	DATE:
	ISSUED FOR CLIENT REVIEW	04.12.2022
	ISSUED FOR CLIENT REVIEW	04.14.2022
	ISSUED FOR CLIENT REVIEW	06.14.2022
	ISSUED FOR CLIENT REVIEW	06.30.2022
	ISSUED FOR PERMIT	07.27.2022
	ISSUED FOR CLIENT REVIEW	10.17.2022
	ISSUED FOR CLIENT REVIEW	10.26.2022
	ISSUED FOR ZONING REVIEW	11.09.2022
	ISSUED REVISIONS TO CITY	12.15.2022
	ISSUED FOR CLIENT REVIEW	01.20.2023
	ISSUED REVISIONS TO CITY	01.27.2023
	ISSUED FOR COMMITTEE OF ADJUSTMENT	02.21.2023
	ISSUED FOR CLIENT REVIEW	03.23.2023
	ISSUED UPDATES TO COMMITTEE OF ADJUSTMENT	05.31.2023

paul marques
architect inc

2610 WESTON ROAD, #207
NORTH YORK, ONTARIO
M9N 2B1
TEL: 647.352.2121
FX: 647.352.2122



Project :
PROPOSED ADDITION AND INTERIOR ALTERATIONS TO EXISTING SINGLE FAMILY DWELLING
PROPOSED ADDITION TO EXISTING CABANA

125 GREEN MANOR CRESCENT
WOODBRIDGE, ONTARIO

Drawing Name :
EXISTING CABANA ELEVATIONS

Proj no. : 21-982 Date : MAY 2021

Drawn by : ES Scale : AS NOTED

Checked by : PM

North : Drawing No :

A8

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X		General Comments
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application Under Review
Building Standards (Zoning)	X	X		General Comments

Date: May 30th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A044-23**

Related Files:

Applicant Melissa Zamparo

Location 125 Green Manor Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

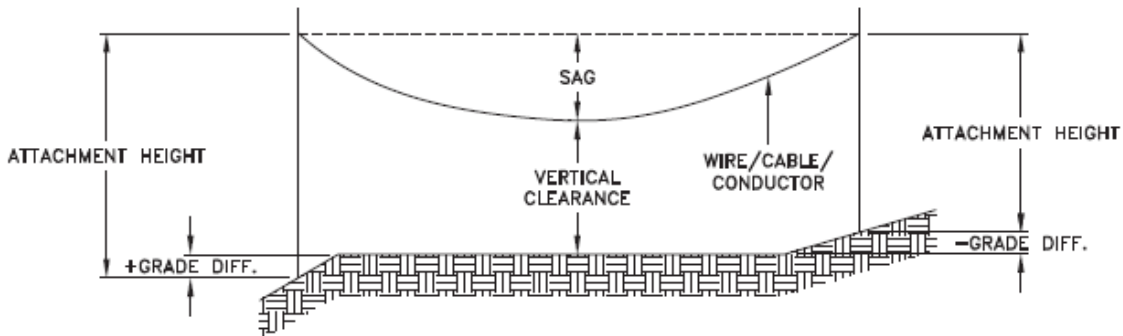
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

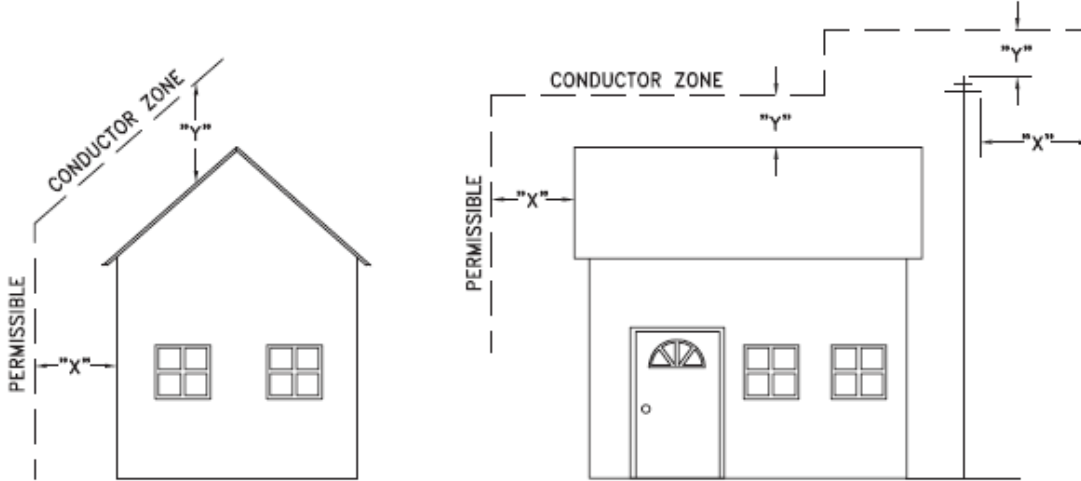
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Punya Marahatta, Building Standards Department
Date: June 1, 2023
Applicant: Melissa Zamparo
Location: 125 Green Manor Crescent
 PLAN 65M3609 Lot 12
File No.(s): A044/23

Zoning Classification:

The subject lands are zoned R1A(EN) – First Density Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	In any Residential Zone, the maximum height of an accessory building and residential accessory structure shall be 3.0 m. [Section 4.1.4.1]	To permit a maximum height of 3.51m for a residential accessory structure (cabana).
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.1.b]	To permit a residential accessory structure (cabana) to be located a minimum of 1.62 m from the interior lot line.
3	The minimum required interior side yard for a residential accessory structure shall be 1.5 m. [Section 4.1.2.1.a, Section 7.2.3, Table 7-4]	To permit a minimum interior side yard of 0.91m for the residential accessory structure (existing pergola).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-127794 for Single Detached Dwelling – Addition: Not Yet Issued.

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands are subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Stephen Bohan](#)
To: [Committee of Adjustment](#)
Cc: [Kristen Regier](#)
Subject: [External] RE: A044/23 (125 Green Manor Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, May 31, 2023 9:47:30 AM
Attachments: [image001.png](#)

Based on a review of TRCA's screening mapping a portion of the subject property is located within TRCA's Regulated Area due to the presence of Black Creek on the east side of Weston Road.

Based on a review of the circulated materials, it is the understanding of TRCA staff that the current works being proposed by the landowner including the construction of an addition to an existing cabana, deck and prefabricated shed and recognizing an existing pergola. The variances currently being requested are related to the cabana and pergola structures.

The proposed works are not located within TRCA's Regulated Area. As such no permit pursuant to Ontario Regulation 166/06 is required. TRCA staff have no objections to the proposed variances.

Regards,

Stephen Bohan

Senior Planner

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [437-880-1944](tel:437-880-1944)

E: stephen.bohan@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A044/23 (125 Green Manor Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, June 1, 2023 9:50:29 AM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None