

ITEM: 6.15	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A085/23 6100-6260 HWY 7, VAUGHAN
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/condition
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
B004/19, B005/19, B006/19 and B007/19, A075/19	06/27/2019	APPROVED: COA (LAPSED)

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A085/23
6100-6260 HWY 7, VAUGHAN**

ITEM NUMBER: 6.15	CITY WARD #: 2
APPLICANT:	Roybridge Holdings Limited
AGENT:	KLM Planning Partners Inc.
PROPERTY:	6100-6260 Hwy 7, Vaughan
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Employment Commercial Mixed-Use"
RELATED DEVELOPMENT APPLICATIONS:	Previous Approvals (Lapsed): B004/19, B005/19, B006/19 and B007/19, A075/19 Current Applications: B009/23, B010/23 and A085/23
PURPOSE OF APPLICATION:	Relief is being requested to vary the definition of a lot under By-law 1-88 and 001-2021 to permit that the lands legally described as "All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42 and 43, Plan 65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan) in the City of Vaughan, Regional Municipality of York" shall be considered one lot for the purposes of Zoning By-law compliance.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EM1, Prestige Employment Zone and subject to the provisions of Exception 14.785, and EMU, Employment Commercial Mixed-Use Zone and subject to the provisions of Exception 14.792 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	The definition of a "LOT" shall be complied with. [Section 3.0, Definitions]	To permit lands legally described as "All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42 and 43, Plan 65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan) in the City of Vaughan, Regional Municipality of York" shall be considered one lot for the purposes of Zoning By-law compliance.

HEARING INFORMATION

DATE OF MEETING: Thursday, July 13, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	June 29, 2023	
Date Applicant Confirmed Posting of Sign:	July 4, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The variance is required to facilitate the processing of consent applications for 'partial discharge of a mortgage' and 'new mortgage charge'.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>		No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	That Consent Applications B009/23 and B010/23 receive final certification from the Secretary Treasurer and be registered on title. A copy of the registered transfer confirming registration of the Certificate of Official must be provided to the Secretary Treasurer to satisfy this condition.	

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation
The Development Engineering (DE) Department does not object to variance application A085/23.

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS

No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS

No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Committee of Adjustment christine.vigneault@vaughan.ca	That Consent Applications B009/23 and B010/23 receive final certification from the Secretary Treasurer and be registered on title. A copy of the registered transfer confirming registration of the Certificate of Official must be provided to the Secretary Treasurer to satisfy this condition.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

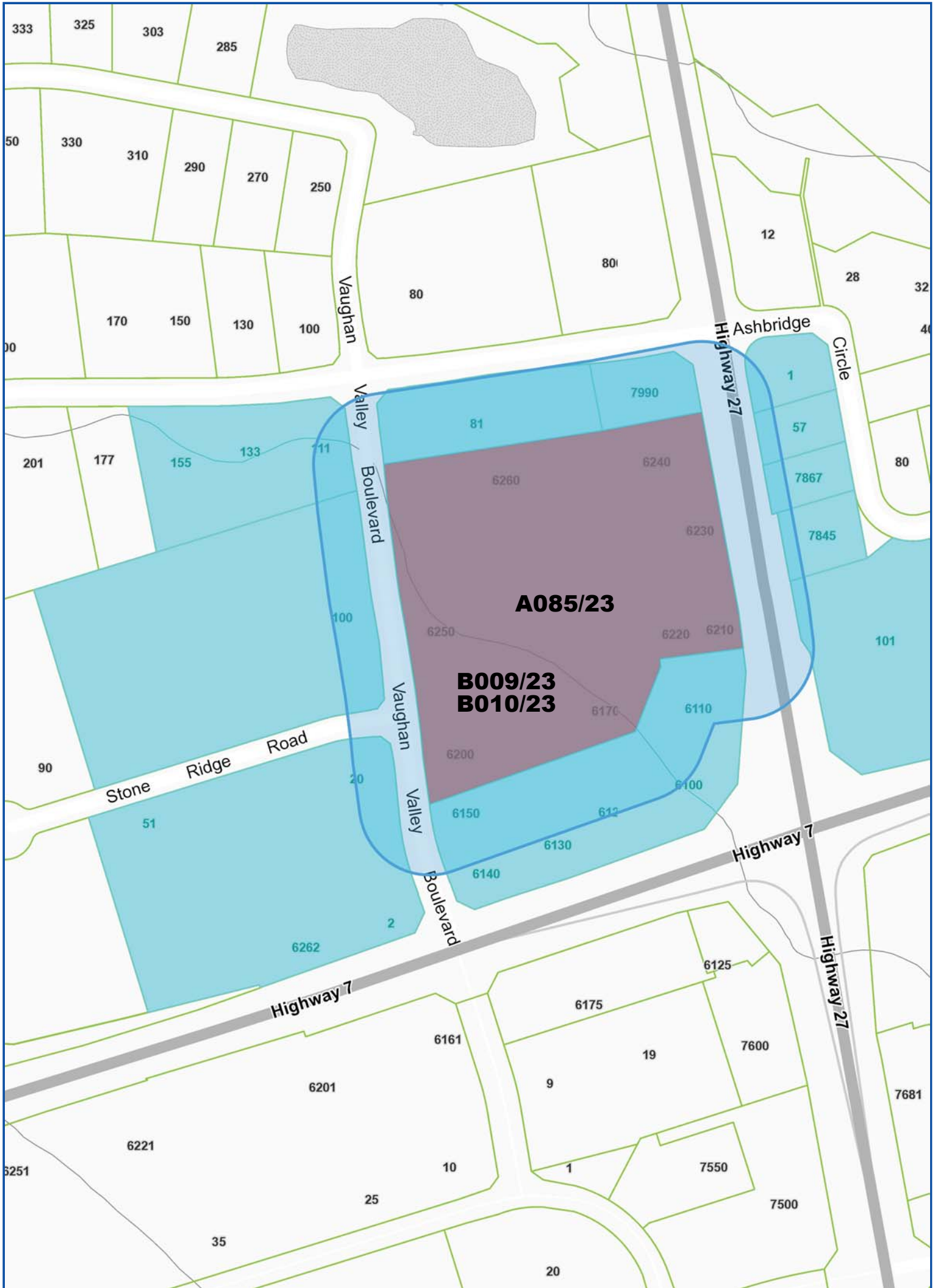
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

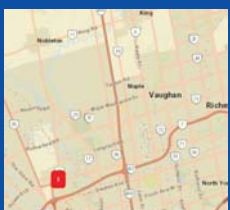
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

6100 TO 6260 HIGHWAY #7

NOTIFICATION MAP - B009/23, B010/23 & A085/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514

0 0.07 km



Created By:

Infrastructure Delivery
Department
March 6, 2019 5:59 PM

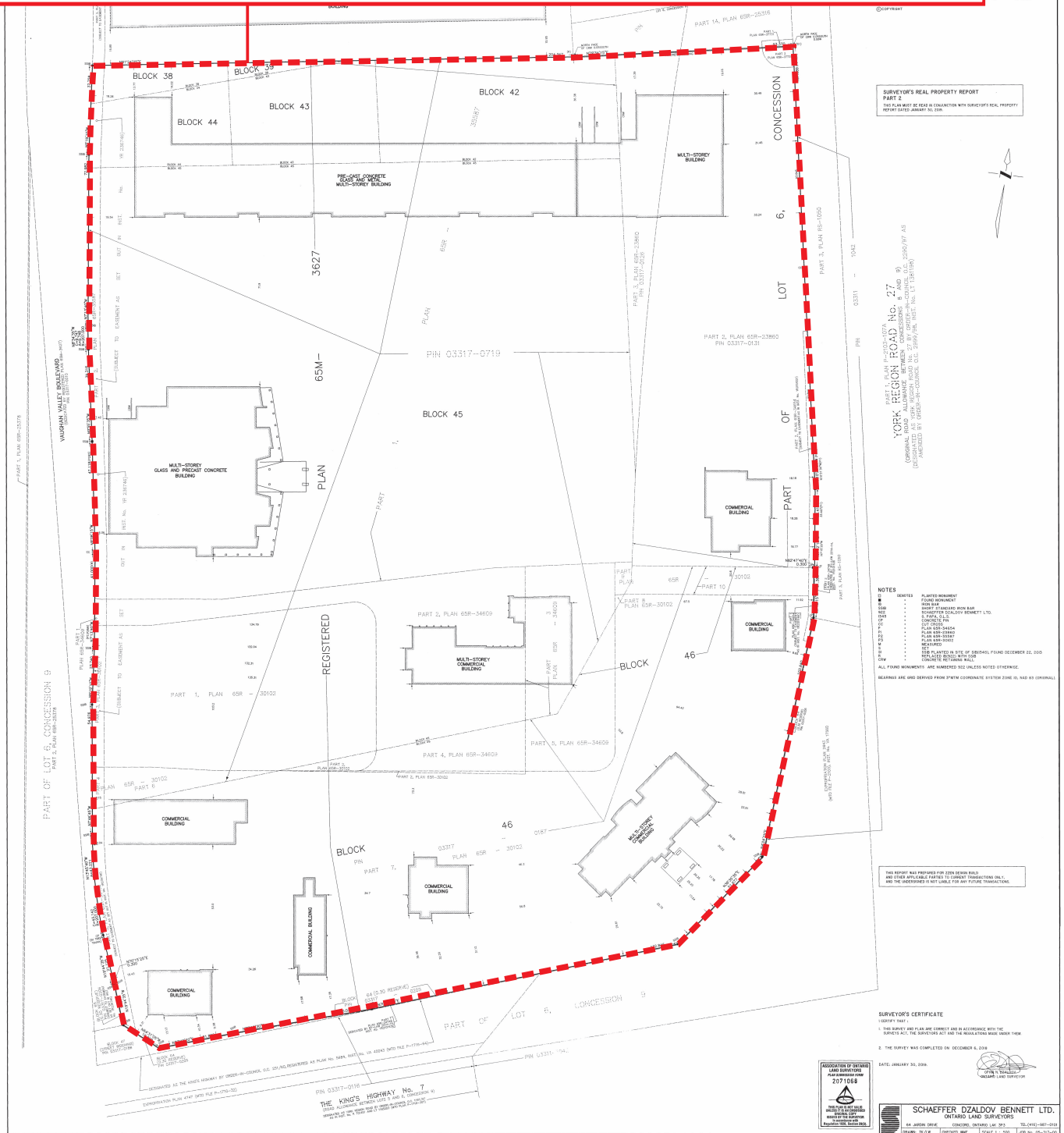
Projection:
NAD 83
UTM Zone
17N

P-3035 Minor Variance Sketch, Roybridge Holdings Limited

6100, 6110, 6120, 6130, 6140, 6150, 6170 6200, 6210, 6220,
6230, 6240, 6250, 6260 Regional Road 7

All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42, and 43, Registered Plan 65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan), in the City of Vaughan, Regional Municipality of York

Variations #1 and #2 -
Lands legally described as "All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42 and 43, Plan 65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan) in the City of Vaughan, Regional Municipality of York" shall be considered one lot for the purposes of Zoning By-law compliance.



Planning • Design • Development
64 JARDIN DRIVE - UNIT 18, CONCORD, ONT. L4K 3P3
PHONE: (905) 889-4055 FAX: (905) 889-0937 design@klmplan.com

 Lands Subject to Minor Variance

May 11, 2023

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X		General Comments
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: June 16th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A085-23**

Related Files:

Applicant Roybridge Holdings Limited

Location 6100, 6110, 6120, 6130, 6140, 6150, 6170, 6200, 6210, 6220,
6230, 6240, 6250, 6260 Regional Road 7

All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42, and 43,
Registered Plan 65M-3627, and Part of Lot 6, Concession 9



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

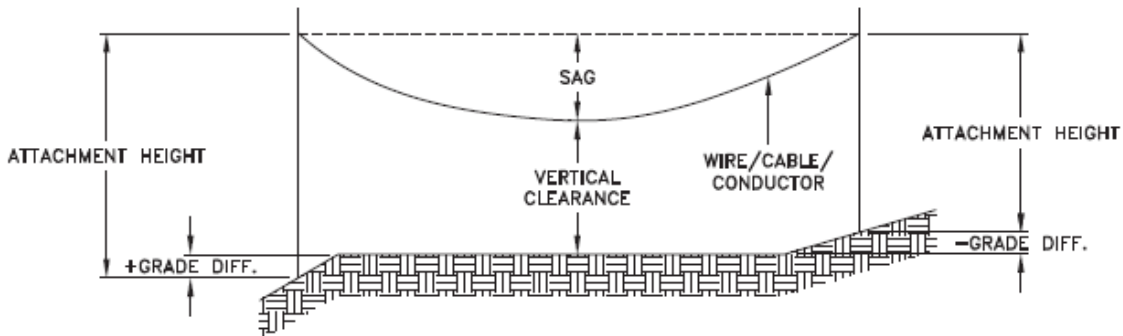
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

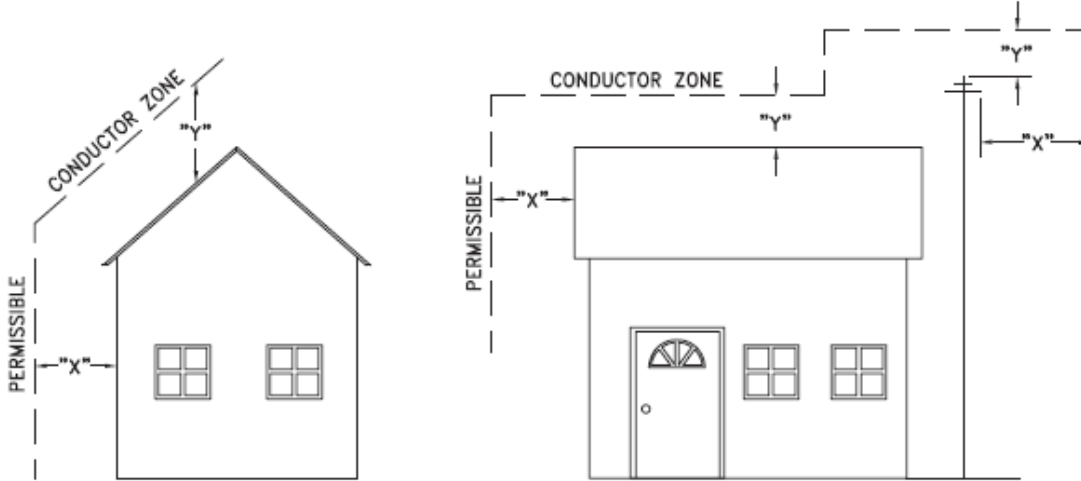
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:20:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: June 12, 2023
Applicant: KLM Planning Partners Inc.
Location: 6100, 6110, 6120, 6130, 6140, 6150, 6170, 6200, 6220, 6230, 6240, 6259, 6260 Highway 7
 Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42 and 43, Plan 65M-3627, and Part of Lot 6, Concession 9
File No.(s): A085/23

Zoning Classification:

The subject lands are zoned EM1, Prestige Employment Zone and subject to the provisions of Exception 14.785, and EMU, Employment Commercial Mixed-Use Zone and subject to the provisions of Exception 14.792 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	The definition of a "LOT" shall be complied with. [Section 3.0, Definitions]	To permit lands legally described as "All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42 and 43, Plan 65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan) in the City of Vaughan, Regional Municipality of York" shall be considered one lot for the purposes of Zoning By-law compliance.

The subject lands are zoned C7, Service Commercial, and subject to the provisions of Exception 9(1137) and EM1, Prestige Employment Area, and subject to the provisions of Exception 9(1137) under Zoning By-law 1-88 as amended.

#	Zoning By-law 1-88	Variance requested
1	The definition of a "LOT" shall be complied with. [Section 2.0, Definitions]	To permit lands legally described as "All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42 and 43, Plan 65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan) in the City of Vaughan, Regional Municipality of York" shall be considered one lot for the purposes of Zoning By-law compliance.

Staff Comments:**Other Comments:**

General Comments	
1	The proposed variance is being requested by the Applicant to facilitate the processing of Consent Applications for “Partial Discharge of a Mortgage” and “New Mortgage Charge” submitted concurrently for parts of the Subject Lands.
2	This Application shall be read in conjunction with Consent Applications B009/23 and B010/23.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: July 5, 2023

Name of Owner: Roybridge Holdings Limited C/O Zzen Group of Companies

Location: 6100 - 6260 Highway 7

File No.(s): B009/23, B010/23 & A085/23

Proposal: The Owner has applied for two consent applications for the purposes of a 'partial discharge of a mortgage' and a 'new mortgage charge' on the Subject Lands along with a minor variance application. For the purposes of zoning conformity, the Subject Lands, via minor variance, shall be deemed one lot notwithstanding the consents granted.

A minor variance and two consent applications were originally submitted and received approval in 2019 as files A075/19, B006/19, and B007/19 to facilitate the same purpose. However, the consent applications did not receive final certification and the approvals lapsed.

B009/23

The Owner has submitted Consent Application file B009/23 to permit a partial discharge of a mortgage for the lands municipally known as 6200, 6220, and 6230 Highway 7 and legally described as Parts 1, 2, and 3 on Reference Plan 65R-38643.

B010/23

The Owner has submitted Consent Application file B010/23 to permit a new mortgage charge to apply for the lands municipally known as 6200, 6220, and 6230 Highway 7 and legally described as Parts 1, 2, and 3 on Reference Plan 65R-38643.

A085/23

Proposed Variance(s) (By-law 001-2021):

1. To permit lands legally described as "All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42 and 43, Plan 65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan) in the City of Vaughan, Regional Municipality of York" be considered one lot for the purposes of Zoning By-law compliance.

By-Law Requirement(s) (By-law 001-2021):

1. The definition of a "LOT" shall be complied with.

Proposed Variance(s) (By-law 1-88):

2. To permit lands legally described as "All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42 and 43, Plan 65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan) in the City of Vaughan, Regional Municipality of York" be considered one lot for the purposes of Zoning By-law compliance.

By-Law Requirement(s) (By-law 1-88):

2. The definition of a "LOT" shall be complied with.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Employment Commercial Mixed-Use", "Prestige Employment" and "General Employment"

Comments:

The Owner is requesting relief to permit the Subject Lands to be deemed as one "lot" to facilitate consent applications B009/23 and B010/23.

The subject lands contain a variety of commercial and employment uses, including an event space, hotels and eating establishments and have been reviewed and developed as a master planned site. The proposed definition of a “lot” would have the effect of treating the Subject Lands as one parcel for the purposes of zoning by-law compliance. Final approval for the consent applications will be issued in the form of an unstipulated consent, which does not require subsequent Planning Act consent for future conveyances (similar to a new lot severance). To accommodate the consent applications and mitigate potential issues in the future, varying the definition of a “lot” is appropriate given the historical context of the development and represents good planning.

As a condition of the consent applications, the Development Planning Department recommends the registration of a Section 118 Restriction under the *Land Titles Act* on the above noted lands to restrict any future conveyances or transfers. The restriction requires permission first be obtained from the City in order to proceed with the transaction. As such, the Development Planning Department has no concerns with the proposed consents as they are for mortgage purposes only and the restriction will ensure any future transaction remains for that purpose.

Accordingly, the Development Planning Department has no objection to the requested consent applications and is of the opinion that the proposal maintains the intent of VOP 2010 and the consent criteria stipulated in Section 51(24) of the Planning Act, R.S.O. 1990, c. P.13.

The Development Planning Department is also of the opinion that the requested variances for the proposal are minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the lands.

Recommendation:

The Development Planning Department recommends approval of the applications, subject to the following conditions:

Conditions of Provisional Consent/Approval:

If the Committee finds merit in the applications, the following conditions are recommended:

A085/23

None

B009/23

1. That Minor Variance file A085/23 be approved, and the decision be Final and Binding.
2. The Owner shall register a Section 118 Restriction under the *Land Titles Act* on title to the lands known municipally as 6100, 6110, 6120, 6130, 6140, 6150, 6170, 6200, 6210, 6220, 6230, 6240, 6250 and 6260 Highway 7 whereby no transfer or charge shall be registered without the consent of the City of Vaughan.

B010/23

1. That Minor Variance file A085/23 be approved, and the decision be Final and Binding.
2. The Owner shall register a Section 118 Restriction under the *Land Titles Act* on title to the lands known municipally as 6100, 6110, 6120, 6130, 6140, 6150, 6170, 6200, 6210, 6220, 6230, 6240, 6250 and 6260 Highway 7 whereby no transfer or charge shall be registered without the consent of the City of Vaughan.

Comments Prepared by:

Joshua Cipolletta, Planner
David Harding, Senior Planner

From: [Kristen Regier](#)
To: [Lenore Providence](#); [Committee of Adjustment](#); [Christine Vigneault](#)
Subject: [External] RE: B009/23 and B010/23 and A085/23 - (6100 - 6260 Hwy 7) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, June 16, 2023 11:50:13 AM
Attachments: [image002.png](#)

Hello,

The subject property is not located within TRCA's Regulated Area. TRCA's Planning and Regulatory policy interests are not impacted.

As such, TRCA has no comments on the application.

Best,

Kristen Regier, MA (she / her)
Planner I
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [437-880-2129](tel:437-880-2129)

E: kristen.regier@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



From: [Wong, Justin](#)
To: [Committee of Adjustment](#)
Subject: [External] CONS.23.V.0066 (B009/23), CONS.23.V.0068 (B010/23) & MVAR.23.V.0296 (A085/23)
Date: Monday, June 19, 2023 3:51:11 PM

Hello,

The Region has reviewed the above noted files and do not have any comments.

Thank you,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours.
Let's work together to help foster healthy work-life boundaries.*

Justin Wong, MCIP, RPP | Planner, Planning and Economic Development Branch, Corporate Services Department

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71577 | Justin.Wong@york.ca | york.ca

Our Mission: **Working together to serve our thriving communities – today and tomorrow**

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

KLM File: P-3035

May 18, 2023

City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario
L6A 1T1

Attention: Ms. Christine Vigneault
Manager, Development Services & Secretary Treasurer to the Committee of Adjustment

Re: Roybridge Holdings Limited
Application for Minor Variance
6100, 6110, 6120, 6130, 6140, 6150, 6170, 6200, 6210, 6220, 6230, 6240, 6250, 6260
Regional Road 7
All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42, and 43, Registered Plan
65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan), in the
City of Vaughan, Regional Municipality of York

Dear Ms. Vigneault,

On behalf of our client Roybridge Holdings Limited, owners of the Subject Lands, we are pleased to submit the following application for Minor Variance as it relates to the above noted lands. The City's new Zoning By-law 01-2021 was appealed by the Owner and therefore the lands are subject to the City of Vaughan Zoning By-law 1-88. The purpose of the proposed variance is to vary the definition of 'lot' as it is defined by the City of Vaughan Zoning By-law 1-88. The proposed variance is required to facilitate the processing of Consent Applications for 'Partial Discharge of a Mortgage' and 'New Mortgage Charge' submitted concurrently for parts of the Subject Lands.

The proposed variance was originally submitted in 2019 under application A075-19. The original application was tied to the approval of consent applications for discharge of existing mortgages and registering new mortgage charges on lands related to files B004/19, B005/19, B006/19, B007/19. The consent applications for B006/19 and B007/19 did not receive final certification from the Secretary Treasurer and are being re-applied for concurrently with this Minor Variance Application.

The lands are located at the northwest quadrant of Regional Road 7 and Regional Road 27, municipally known as 6100, 6110, 6120, 6130, 6140, 6150, 6170, 6200, 6210, 6220, 6230, 6240, 6250, 6260 Regional Road 7, and are legally known as "All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42, and 43, Registered Plan 65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan), in the City of Vaughan, Regional Municipality of York".

The Subject Lands are currently designated ‘Employment Commercial Mixed-Use’, ‘Prestige Employment’ and ‘General Employment’ by *Schedule 13 Land Use* within the 2010 Vaughan Official Plan (the ‘2010 VOP’) and are zoned ‘C7 – Service Commercial, subject to Exception 9(1137)’, ‘C7 – Service Commercial, subject to Exception 9(1126)’, and ‘EM1 - Prestige Employment Area, subject to Exception 9(1137)’ by Vaughan Zoning By-law 1-88 (the ‘Zoning By-law’). The lands have been developed for a number of commercial and employment uses, including an event space, hotels, and eating establishments.

The proposed variance seeks to vary the definition of ‘lot’, which is defined by the By-law as:

“...a parcel of land fronting on a street separate from any abutting land to the extent that a consent contemplated by Section 50 of the Planning Act, R.S.O. 1990, c. P. 13. would not be required for its conveyance. For the purpose of this paragraph, land defined in an application for a building permit shall be deemed to be a parcel of land and a reserve shall not form part of the lot”,

The proposed variance would alter the above definition as it relates to the Subject Lands as follows:

“Lands legally described as “All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42, and 43, Registered Plan 65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan), in the City of Vaughan, Regional Municipality of York” shall be considered one lot for the purposes of Zoning By-law compliance.”

In support of the proposed application, the four tests of a minor variance as provided for in Section 45(1) of the Planning Act, R.S.O. 1990, c. P.13, have been reviewed as follows:

1. General Intent and Purpose of the Official Plan is Maintained

As noted above, the lands subject to the proposed variance are currently designated ‘Employment Commercial Mixed-Use’, ‘Prestige Employment’ and ‘General Employment’ by *Schedule 13 Land Use* within the 2010 VOP. Relevant policies related to permitted uses for each of these designations are summarized in the table below:

Official Plan Designation	Permitted Uses	Existing Uses
Employment Commercial Mixed-Use	9.2.2.7.c. (lands within this designation also identified as a ‘Region Corridor’ on <i>Schedule 1: Urban Structure</i>) <ul style="list-style-type: none"> Hotel; Retail Uses; provided that no Retail unit shall exceed a Gross Floor Area of 3,500 square meters 	<ul style="list-style-type: none"> Commercial plaza; Element Vaughan Southwest Hotel; Holiday Inn Hotel; McDonald’s; Swiss Chalet; Fionn MacCool’s; RBC Royal Bank
Prestige Employment	9.2.2.11.c. <ul style="list-style-type: none"> Office; Ancillary retail uses 	<ul style="list-style-type: none"> Kumon Head Office; The Keg
General Employment	9.2.2.19.b. <ul style="list-style-type: none"> A full range of industrial uses including manufacturing, warehousing (but not retail 	<ul style="list-style-type: none"> Universal Event Space

	warehouse), processing, transportation, distribution, any of which may or may not include outdoor storage.	
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The Minor Variance Application would not contemplate additional uses nor a change in any of existing uses listed above. Therefore, the general intent and purpose of the Official Plan is maintained.

2. General Intent and Purpose of the Zoning By-law is Maintained

The subject lands are zoned ‘C7 – Service Commercial, subject to Exception 9(1137)’, ‘C7 – Service Commercial, subject to Exception 9(1126)’, and ‘EM1 - Prestige Employment Area, subject to Exception 9(1137)’ zones, and no amendments to these zones are being proposed. The intent of the definition of ‘lot’ in the Zoning By-law is to describe lands that are conveyable without the need for Consent and Subdivision applications. The proposed definition of ‘lot’ would have the effect of treating the subject lands as one parcel for the purposes of Zoning By-law compliance. Additionally, the City’s requirement for a Section 118 Restriction to be required on title for the subject lands would ensure that no portion of the lands could be separately conveyed without the City’s consent to do so.

The current definition of ‘lot’ also stipulates that “...lands defined in an application for a building permit shall be deemed to be a parcel of lands...”. It appears that Building Permits have historically been issued on the subject lands on the basis of the lands being recognized as one lot. The proposed variance would formalize this continued approach, while also facilitating the related proposed Consent Applications applied for concurrently. Therefore, the general intent and purposes of the Zoning By-law is maintained.

3. Desirable for the Appropriate Development or Use of Land

The proposed minor variance would facilitate approval of the associated Consent Applications which are applied for concurrently, and the continuation of the existing uses which service the surrounding area. These developments have implemented the policies of the 2010 VOP and comply with the policies of the Zoning By-law as confirmed by the past issuance of Building Permits. Accordingly, the proposed Minor Variance is desirable for the appropriate development and use of the subject lands.

4. Variance is Minor in Nature

The proposed minor variance would recognize the existing development, and would allow for the approval of the related Consent Applications applied for concurrently, which are required for financing purposes. The variance would also facilitate the continued comprehensive development of the subject lands in accordance with the policies of the 2010 VOP and Zoning By-law. As a result, no undo adverse impacts are anticipated, and we believe the proposed variance is minor in nature.

In support of this application, please find the following enclosed materials:

1. Cover Letter prepared by KLM Planning Partners Inc., dated May 16, 2023;
2. Signed Owner Authorization Form;
3. Commissioned Sworn Declaration Form;
4. Minor Variance Sketch prepared by KLM Planning Partners Inc. dated May 11, 2023;
5. One (1) cheque in the amount of \$3,838.03 representing the required Fee for a Minor Variance Application within a Commercial Zone;

6. Letter to Committee of Adjustment re: Common Ownership prepared by Miller Thomson dated May 17, 2023;
7. Tree Declaration Form.

In conclusion, we believe this application meets the four tests of a Minor Variance as mandated by the Planning Act legislation, and represents good planning. Trusting the above and enclosed are in order, we look forward to hearing back from you shortly on a Committee of Adjustment hearing date. Please do not hesitate to contact the undersigned should you have any questions or concerns.

Yours truly,

KLM PLANNING PARTNERS INC.

A handwritten signature in black ink, appearing to read 'L. Dynes', with a long horizontal flourish extending to the right.

Lauren Dynes, B.U.R.PI
Intermediate Planner

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
B004/19, B005/19, B006/19 and B007/19, A075/19	06/27/2019	APPROVED: COA (LAPSED)

NOTICE OF DECISION
Consent Application B006/19
 Section 53 of the Planning Act, R.S.O. 1990, c.P.13

Date of Hearing: Thursday, June 27, 2019

Applicant: Roybridge Holdings Ltd.

Agent: Ryan Virtanen - KLM Planning Partners Inc.

Property: 6100-6260 Highway 7, Woodbridge

Zoning: The subject lands are zoned EM1 Prestige Employment Area, subject to the provisions of Exception No. 9(1137) and and C7 Service Commercial, subject to the provisions of Exception No. 9(1126) under By-law 1-88 as amended.

OP Designation: Vaughan Official Plan ('VOP 2010'): Employment Commercial Mixed-Use, Prestige Employment & General Employment

Related Files: Consent Applications: B004/19, B005/19 and B007/19
 Minor Variance Application: A075/19

Purpose: Consent is being requested to grant a partial discharge of mortgage over the lands described as Parts 1, 2 & 3 on the Draft R Plan submitted (being 6200 Highway 7).

The balance of the lands (retained land), as shown on the sketch provided with the application, is described as the lands contained within PINs 03317-0719, 03317-0131, 03317-0126, PIN 03317-0187 except Parts 1, 2, 3, 4, 5, 6, 7 & 8 on the Draft R Plan.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the written and oral submissions related to this application as required by Section 53(18), the requirements of Section 51(24) as required by Section 53(12) and matters of Provincial Interest (Provincial Policy Statement) as required by Section 3(1) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, it is the decision of the Committee that provisional consent of the application:

THAT Application No. B006/19 on behalf of Roybridge Holdings Ltd., be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

	Department/Agency	Condition
1	Committee of Adjustment Christine Vigneault 905-832-8585 x 8332 christine.vigneault@vaughan.ca	<ol style="list-style-type: none"> 1. That the applicant's solicitor provides the secretary-treasurer with a copy of the prepared draft transfer document to confirm the legal description and PIN of the subject lands. Subject land applies only to the severed parcel, leased land, easement etc. as conditionally approved by the Committee of Adjustment. 2. That the applicant provides two (2) full size copies of the deposited plan of reference of the entire land which conforms substantially with the application as submitted. 3. That Consent Application B004/19 & B005/19 receive final certification from the Secretary Treasurer and be registered on title. A copy of the registered transfer confirming registration of the Certificate of Official must be provided to the Secretary Treasurer to satisfy this condition.

	Department/Agency	Condition
		4. That Minor Variance Application A075/19 are approved at the same time as the Consent application and becomes final and binding. 5. Payment of the Certificate Fee as provided on the City of Vaughan's Committee of Adjustment Fee Schedule.
2	Development Planning Brandon Bell 905-832-8585 x 8112 brandon.bell@vaughan.ca	1. That Minor Variance A075/19 be approved and the decision be Final and Binding. 2. The Owner shall register a Section 118 Restriction on title to the lands known municipally as 6100, 6110, 6120, 6130, 6140, 6150, 6170, 6200, 6210, 6220, 6230, 6240, 6250 and 6260 Highway 7 whereby no transfer or charge shall be registered without the consent of the City of Vaughan.
3	Development Finance Nelson Pereira 905-832-8585 x 8393 nelson.pereira@vaughan.ca	The owner shall pay all property taxes as levied. Payment is to be made by certified cheque, to the satisfaction of the City of Vaughan Financial Planning and Development Finance Department (contact Nelson Pereira to have this condition cleared).

WARNING:

Conditions must be fulfilled within one year from the date of the giving of the Notice of Decision, failing which this application shall be deemed to be refused. Section 53(41), The Planning Act R.S.O., 1990






For the following reasons:

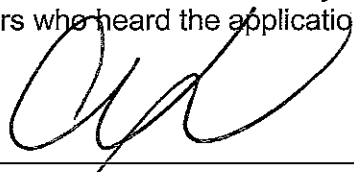
1. The proposal conforms to Section 51(24) as required by Section 53(12) of the Planning Act.
2. The proposal conforms to the City of Vaughan Official Plan.
3. The proposal conforms to the Provincial Policy Statements as required by Section 3(1) of the Planning Act.

Written & oral submissions were received from the following:

Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of Thursday , June 27, 2019 meeting for submission details.
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

		
H. Zheng Member	R. Buckler Chair	A. Perrella Vice Chair
		
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	Thursday, June 27, 2019
DATE OF NOTICE:	July 5, 2019
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	July 25, 2019 4:30 p.m.
LAST DAY FOR FULFILLING CONDITIONS:	July 5, 2020 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan Hill Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  Christine Vigneault, ACST Manager Development Services & Secretary-Treasurer Committee of Adjustment	

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 53

The applicant, the Minister or any other person or public body who has an interest in the matter may within **20 days after** the giving of notice appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

Local Planning Appeal Tribunal: The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elfto.gov.on.ca or by visiting our office.

City of Vaughan LPAT Processing Fee: \$817.00 per application

*Please note that all fees are subject to change.

Important Information

Conditions of Approval: It is the applicant's responsibility to ensure that all conditions of approval have been fulfilled in accordance with the Committee's decision and the last day for fulfilling conditions (by 4:30 p.m.). Contact information has been provided for each respective department and agency to assist you with completing these conditions. Please note that some conditions may require two to three months to process.

No extension to the last day for fulfilling conditions is permissible and no further notice will be provided regarding the lapsing of your consent application.

Notice of Changes to the Provisional Consent: The Committee of Adjustment may change the conditions of a provisional consent at any time before the consent is given. You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have made a written request to be notified of changes to the conditions of the provisional consent.

Lapsing of the Consent: If the conditions of approval are not satisfied within the prescribed time period (as provided in Section 53(41) of the Planning Act), the consent is deemed refused for failure to fulfill the conditions and has lapsed.

Final Approval: Final approval of the application will be issued in the form of a Certificate (pursuant to Section 53(42) of the Planning Act) once all conditions of the provisional consent have been satisfied.

Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

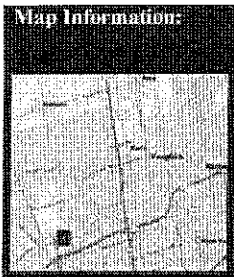
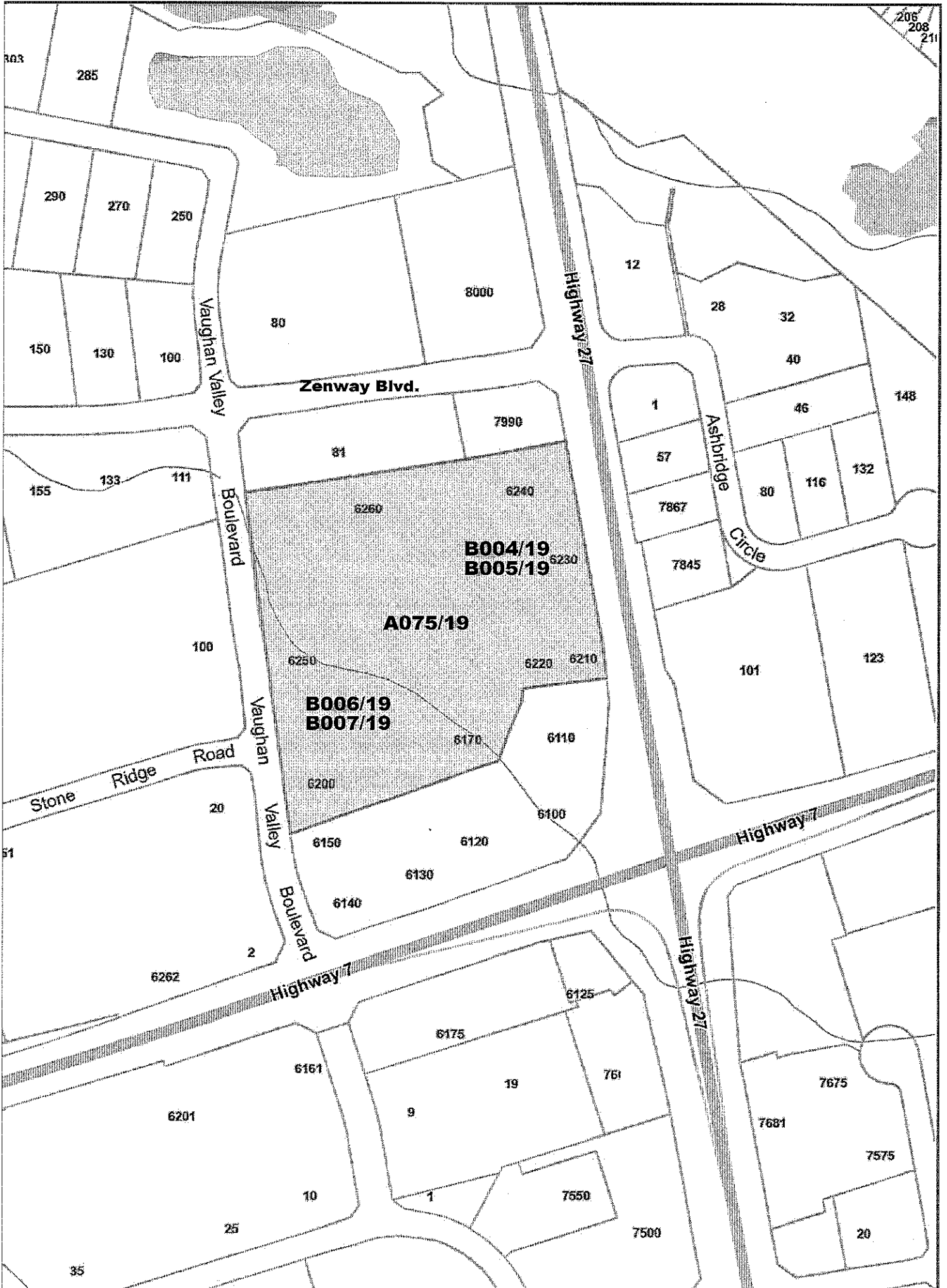
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 x 8332
E CofA@vaughan.ca



Title:
6170 TO 6260 HIGHWAY #27

LOCATION MAP - B004/19, B005/19, B006/19 & B007/19

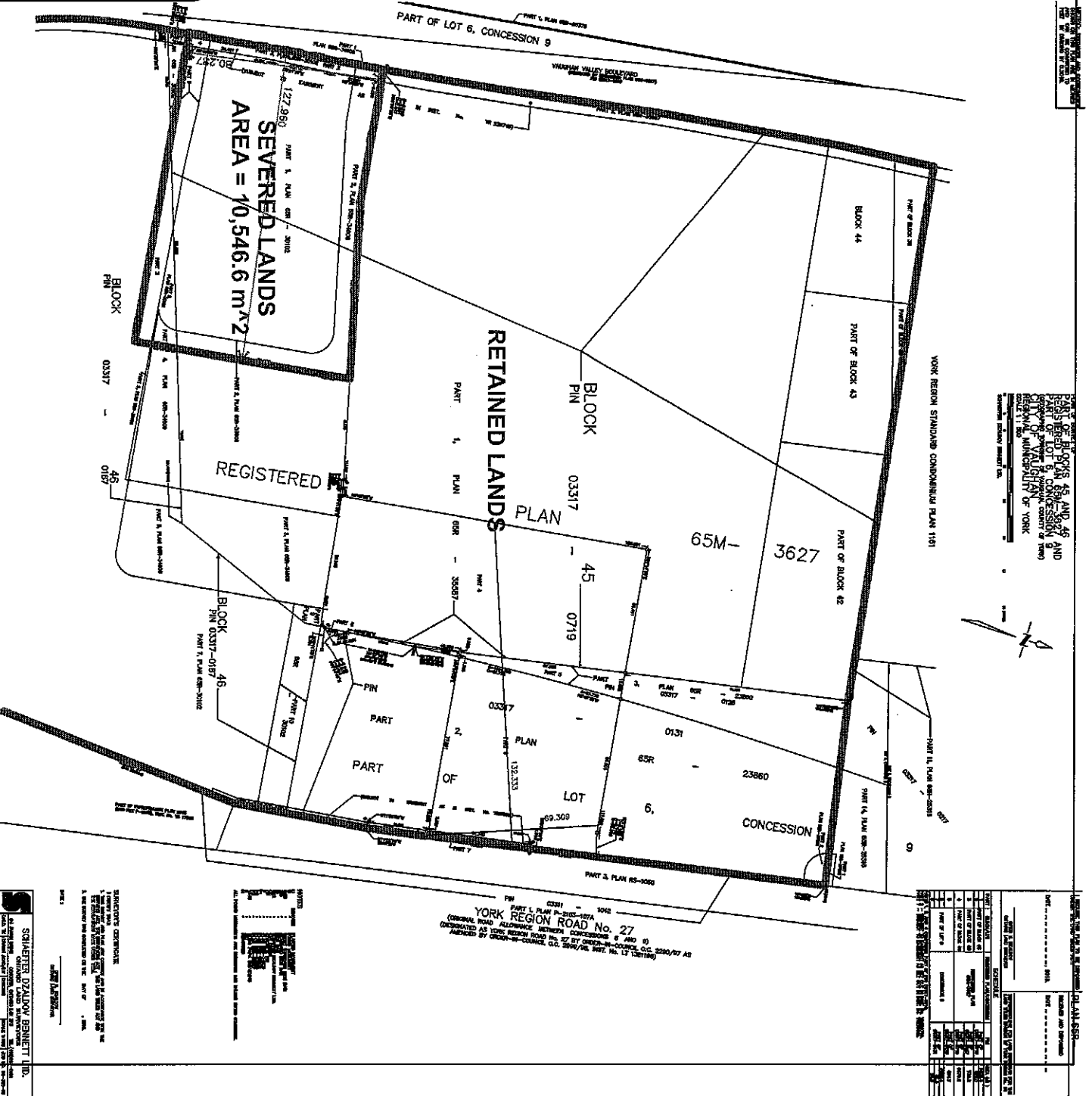
Disclaimer:
Every reasonable effort has been made to ensure that the information appearing on this map is accurate and correct. We believe the information to be reliable, however the City of Vaughan assumes no responsibility for liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514
0 0.07 km

Created By:
Infrastructure Delivery
Department
February 25, 2019 8:17 PM

Projection:
NAD 83
UTM Zone
17N



Consent Sketch
 Partial Discharge (Hotel Lands)

6100, 6110, 6120, 6130, 6140, 6150,
 6200, 6220, 6230, 6240, 6250, 6260
 Regional Road 7

All of Blocks 44, 45 and 46, and Parts of
 Blocks 38, 39, 42, and 43, Registered
 Plan 65M-3627, and Part of Lot 6,
 Concession 9 (Geographic Township of
 Vaughan), in the City of Vaughan, Regional
 Municipality of York

NOTICE: THIS PLAN AND CONCESSION ARE REGISTERED IN THE OFFICE OF THE REGISTRAR OF DEEDS AND MORTGAGES AND ARE AVAILABLE FOR INSPECTION AT ANY TIME BY PRODUCING THIS PLAN.

PART OF BLOCKS 45 AND 46
 REGISTERED PLAN 65M-3827 AND
 PART OF LOT 6, CONCESSION B
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK
 REGISTERED CONDO PLAN 1191



1. YORK REGION STANDARD CONDOMINIUM PLAN 1191
 2. PART OF BLOCKS 45 AND 46
 3. REGISTERED PLAN 65M-3827 AND
 4. PART OF LOT 6, CONCESSION B
 5. CITY OF VAUGHAN
 6. REGIONAL MUNICIPALITY OF YORK
 7. REGISTERED CONDO PLAN 1191

UNIT	BLK	CONDO PLAN	REG. NO.	REG. DATE	REG. TYPE
1	45	65M-3827	1042	1982	CONDO
2	46	65M-3827	1043	1982	CONDO
3	45	65M-3827	1044	1982	CONDO
4	46	65M-3827	1045	1982	CONDO
5	45	65M-3827	1046	1982	CONDO
6	46	65M-3827	1047	1982	CONDO
7	45	65M-3827	1048	1982	CONDO
8	46	65M-3827	1049	1982	CONDO
9	45	65M-3827	1050	1982	CONDO
10	46	65M-3827	1051	1982	CONDO
11	45	65M-3827	1052	1982	CONDO
12	46	65M-3827	1053	1982	CONDO
13	45	65M-3827	1054	1982	CONDO
14	46	65M-3827	1055	1982	CONDO
15	45	65M-3827	1056	1982	CONDO
16	46	65M-3827	1057	1982	CONDO
17	45	65M-3827	1058	1982	CONDO
18	46	65M-3827	1059	1982	CONDO
19	45	65M-3827	1060	1982	CONDO
20	46	65M-3827	1061	1982	CONDO
21	45	65M-3827	1062	1982	CONDO
22	46	65M-3827	1063	1982	CONDO
23	45	65M-3827	1064	1982	CONDO
24	46	65M-3827	1065	1982	CONDO
25	45	65M-3827	1066	1982	CONDO
26	46	65M-3827	1067	1982	CONDO
27	45	65M-3827	1068	1982	CONDO
28	46	65M-3827	1069	1982	CONDO
29	45	65M-3827	1070	1982	CONDO
30	46	65M-3827	1071	1982	CONDO
31	45	65M-3827	1072	1982	CONDO
32	46	65M-3827	1073	1982	CONDO
33	45	65M-3827	1074	1982	CONDO
34	46	65M-3827	1075	1982	CONDO
35	45	65M-3827	1076	1982	CONDO
36	46	65M-3827	1077	1982	CONDO
37	45	65M-3827	1078	1982	CONDO
38	46	65M-3827	1079	1982	CONDO
39	45	65M-3827	1080	1982	CONDO
40	46	65M-3827	1081	1982	CONDO
41	45	65M-3827	1082	1982	CONDO
42	46	65M-3827	1083	1982	CONDO
43	45	65M-3827	1084	1982	CONDO
44	46	65M-3827	1085	1982	CONDO
45	45	65M-3827	1086	1982	CONDO
46	46	65M-3827	1087	1982	CONDO
47	45	65M-3827	1088	1982	CONDO
48	46	65M-3827	1089	1982	CONDO
49	45	65M-3827	1090	1982	CONDO
50	46	65M-3827	1091	1982	CONDO
51	45	65M-3827	1092	1982	CONDO
52	46	65M-3827	1093	1982	CONDO
53	45	65M-3827	1094	1982	CONDO
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55	45	65M-3827	1096	1982	CONDO
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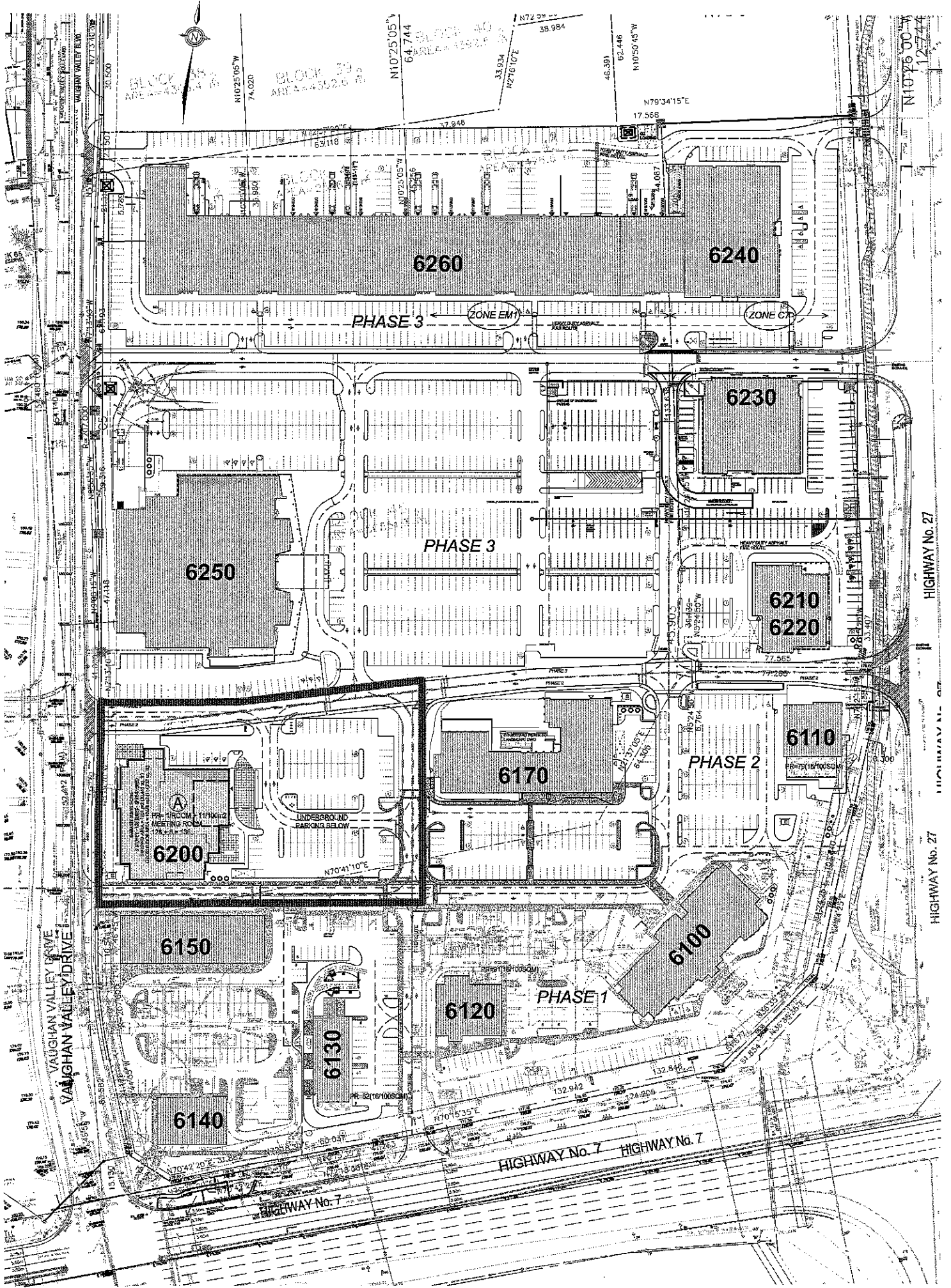
YORK REGION ROAD No. 27
 (DESIGNATED AS YORK REGION ROAD No. 27 BY ORDER-IN-COUNCIL O.C. 2260/87 AS
 AMENDED BY ORDER-IN-COUNCIL O.C. 2009/99, REG. NO. L2 121(87/99))

NOTES:
 1. THE CONDO PLAN IS SUBJECT TO THE CONDO ACT AND THE CONDO REGULATIONS.
 2. THE CONDO PLAN IS SUBJECT TO THE CONDO ACT AND THE CONDO REGULATIONS.
 3. THE CONDO PLAN IS SUBJECT TO THE CONDO ACT AND THE CONDO REGULATIONS.
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SUBMISSION CERTIFICATE
 1. THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SCHAEFER ZALOWY BENNETT LTD.
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 3. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS SUBMITTED.

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DEMONSTRATION PLAN FOR APPLICATIONS B006-19 AND B007-19



LANDS SUBJECT TO PARTIAL DISCHARGE APPLICATION B006-19 AND NEW CHARGE APPLICATION B007-19

Received
March 7, 2019



Planning • Design • Development
54 JARDIN DRIVE - UNIT 1B, CONCORD, ONT. L4K 3P3
PHONE (905) 609-4298 FAX (905) 610-0297 info@kmlplanning.com

NOTICE OF DECISION
Consent Application B007/19
 Section 53 of the Planning Act, R.S.O, 1990, c.P.13

- Date of Hearing:** Thursday, June 27, 2019
- Applicant:** Roybridge Holdings Ltd.
- Agent:** Ryan Virtanen - KLM Planning Partners Inc.
- Property:** **6100-6260 Highway 7, Woodbridge**
- Zoning:** The subject lands are zoned EM1 Prestige Employment Area, subject to the provisions of Exception No. 9(1137) and and C7 Service Commercial, subject to the provisions of Exception No. 9(1126) under By-law 1-88 as amended.
- OP Designation:** Vaughan Official Plan ('VOP 2010'): Employment Commercial Mixed-Use, Prestige Employment & General Employment
- Related Files:** Consent Applications: B004/19, B005/19 and B006/19
Minor Variance Application: A075/19
- Purpose:** Consent is being requested for mortgage purposes over the lands described as Parts 1, 2 & 3 on the Draft R Plan submitted (being 6200 Highway 7).

The balance of the lands (retained land), as shown on the sketch provided with the application, is described as the lands contained within PINs 03317-0719, 03317-0131, 03317-0126, PIN 03317-0187 except Parts 1, 2, 3, 4, 5, 6, 7 & 8 on the Draft R Plan.
- Sketch:** A sketch illustrating the request has been attached to the decision.

Having regard to the written and oral submissions related to this application as required by Section 53(18), the requirements of Section 51(24) as required by Section 53(12) and matters of Provincial interest (Provincial Policy Statement) as required by Section 3(1) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, it is the decision of the Committee that provisional consent of the application:

THAT Application No. B007/19 on behalf of Roybridge Holdings Ltd., be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

	Department/Agency	Condition
1	Committee of Adjustment Christine Vigneault 905-832-8585 x 8332 christine.vigneault@vaughan.ca	<ol style="list-style-type: none"> 1. That the applicant's solicitor provides the secretary-treasurer with a copy of the prepared draft transfer document to confirm the legal description and PIN of the subject lands. Subject land applies only to the severed parcel, leased land, easement etc. as conditionally approved by the Committee of Adjustment. 2. That the applicant provides two (2) full size copies of the deposited plan of reference of the entire land which conforms substantially with the application as submitted. 3. That Consent Application B004/19 & B005/19 receive final certification from the Secretary Treasurer and be registered on title. A copy of the registered transfer confirming registration of the Certificate of Official must be provided to the Secretary Treasurer to satisfy this condition.

	Department/Agency	Condition
		<p>4. That Minor Variance Application A075/19 are approved at the same time as the Consent application and becomes final and binding.</p> <p>5. Payment of the Certificate Fee as provided on the City of Vaughan's Committee of Adjustment Fee Schedule.</p>
2	<p>Development Planning Christopher Cosentino</p> <p>905-832-8585 x 8215 christopher.cosentino@vaughan.ca</p>	<p>1. That Minor Variance A075/19 be approved and the decision be Final and Binding.</p> <p>2. The Owner shall register a Section 118 Restriction on title to the lands known municipally as 6100, 6110, 6120, 6130, 6140, 6150, 6170, 6200, 6210, 6220, 6230, 6240, 6250 and 6260 Highway 7 whereby no transfer or charge shall be registered without the consent of the City of Vaughan.</p>
3	<p>Development Finance Nelson Pereira</p> <p>905-832-8585 x 8393 nelson.pereira@vaughan.ca</p>	<p>The owner shall pay all property taxes as levied. Payment is to be made by certified cheque, to the satisfaction of the City of Vaughan Financial Planning and Development Finance Department (contact Nelson Pereira to have this condition cleared).</p>

WARNING:

Conditions must be fulfilled within one year from the date of the giving of the Notice of Decision, failing which this application shall be deemed to be refused. *Section 53(41), The Planning Act R.S.O., 1990*


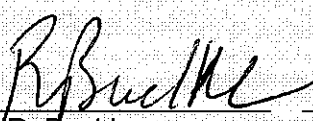



For the following reasons:

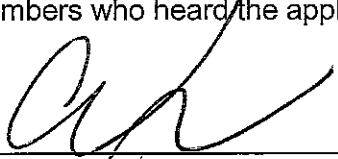
1. The proposal conforms to Section 51(24) as required by Section 53(12) of the Planning Act.
2. The proposal conforms to the City of Vaughan Official Plan.
3. The proposal conforms to the Provincial Policy Statements as required by Section 3(1) of the Planning Act.

Written & oral submissions were received from the following:

Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of Thursday , June 27, 2019 meeting for submission details.
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

		
H. Zheng Member	R. Buckler Chair	A. Perrella Vice Chair
		
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	Thursday, June 27, 2019
DATE OF NOTICE:	July 5, 2019
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	July 25, 2019 4:30 p.m.
LAST DAY FOR FULFILLING CONDITIONS:	July 5, 2020 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan Hill Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, ACST Manager Development Services & Secretary-Treasurer Committee of Adjustment	

Appealing to The Local Planning Appeal Tribunal
The *Planning Act*, R.S.O. 1990, as amended, Section 53

The applicant, the Minister or any other person or public body who has an interest in the matter may within **20 days after** the giving of notice appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days after the giving of notice the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

Local Planning Appeal Tribunal: The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elfo.gov.on.ca or by visiting our office.

City of Vaughan LPAT Processing Fee: \$817.00 per application

*Please note that all fees are subject to change.

Important Information

Conditions of Approval: It is the applicant's responsibility to ensure that all conditions of approval have been fulfilled in accordance with the Committee's decision and the last day for fulfilling conditions (by 4:30 p.m.). Contact information has been provided for each respective department and agency to assist you with completing these conditions. Please note that some conditions may require two to three months to process.

No extension to the last day for fulfilling conditions is permissible and no further notice will be provided regarding the lapsing of your consent application.

Notice of Changes to the Provisional Consent: The Committee of Adjustment may change the conditions of a provisional consent at any time before the consent is given. You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have made a written request to be notified of changes to the conditions of the provisional consent.

Lapsing of the Consent: If the conditions of approval are not satisfied within the prescribed time period (as provided in Section 53(41) of the Planning Act), the consent is deemed refused for failure to fulfill the conditions and has lapsed.

Final Approval: Final approval of the application will be issued in the form of a Certificate (pursuant to Section 53(42) of the Planning Act) once **all** conditions of the provisional consent have been satisfied.

Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

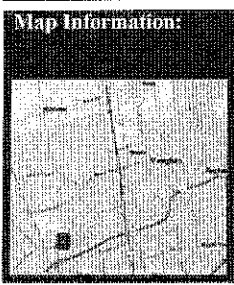
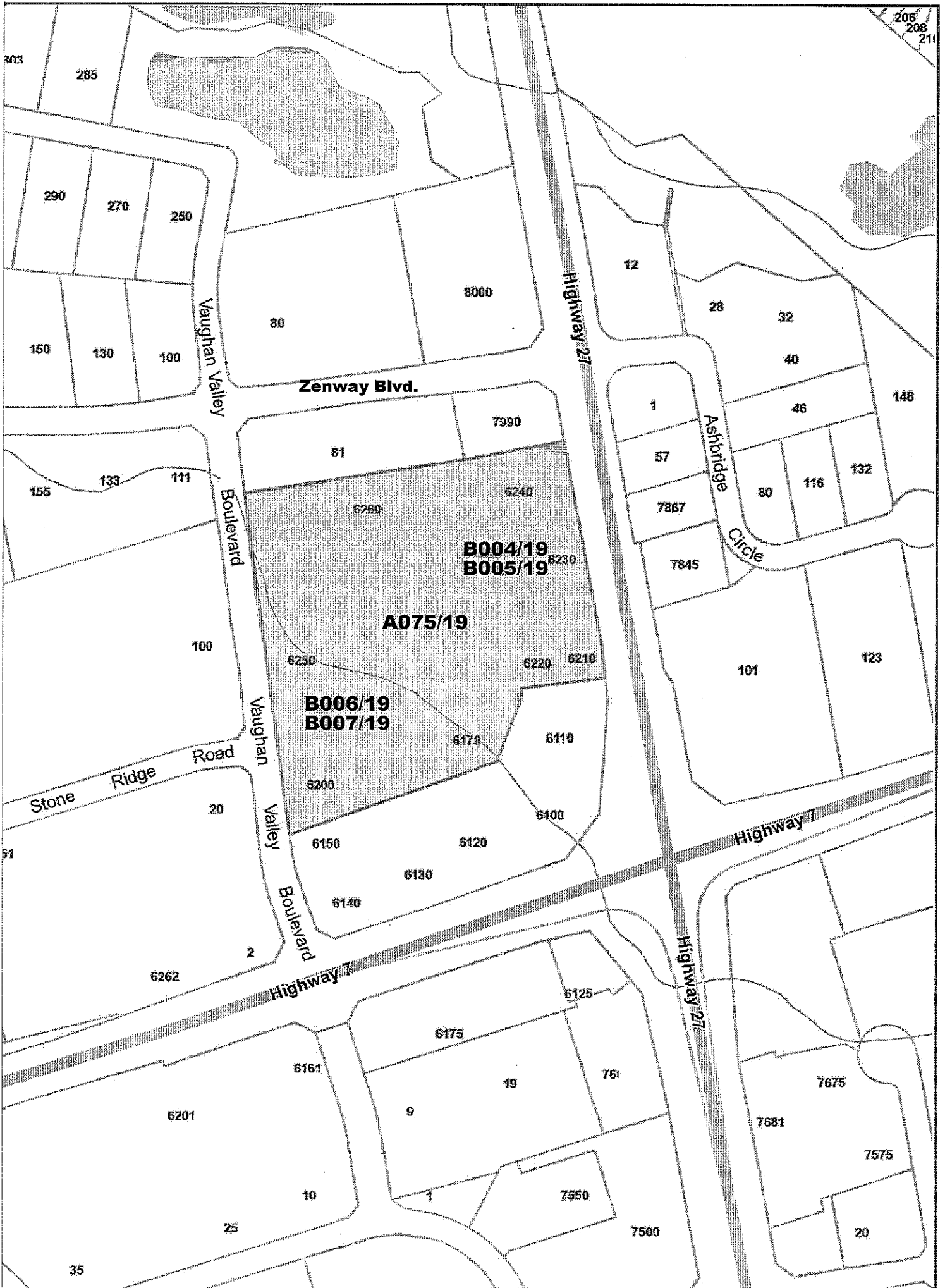
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 x 8332
E CofA@vaughan.ca



Title:
6170 TO 6260 HIGHWAY #27

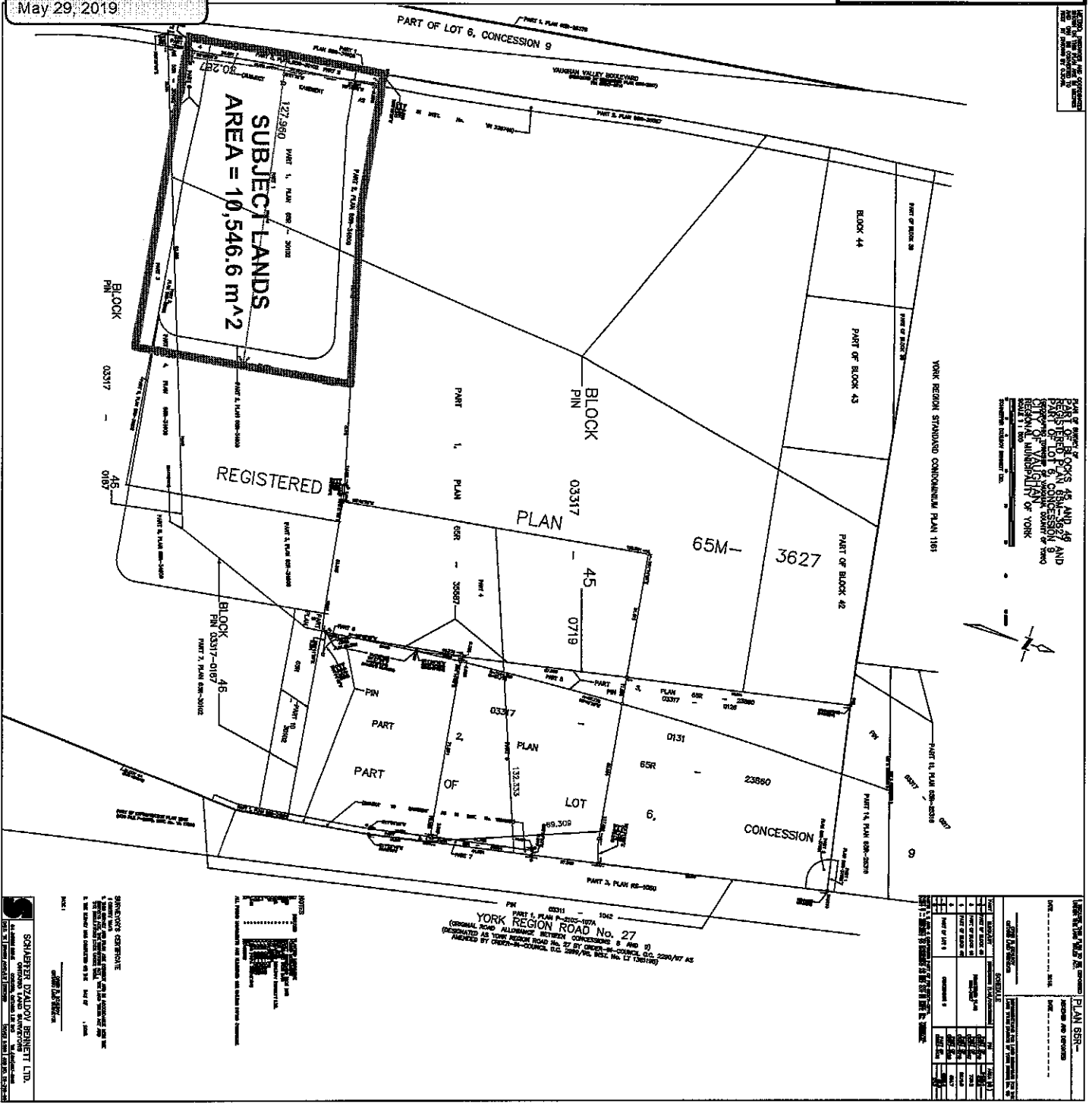
LOCATION MAP - B004/19, B005/19, B006/19 & B007/19

Disclaimer:
 Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please refer any discrepancies to Infrastructure Programming.

Scale: 1:4,514
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Created By:
 Infrastructure Delivery
 Department
 February 25, 2019 5:17 PM

Projection:
 NAD 83
 UTM Zone
 17N



Consent Sketch
Mortgage Charge (Hotel Lands)

6200 Regional Road 7

Part of Block 45 and 46 on

Registered Plan 65M-3627

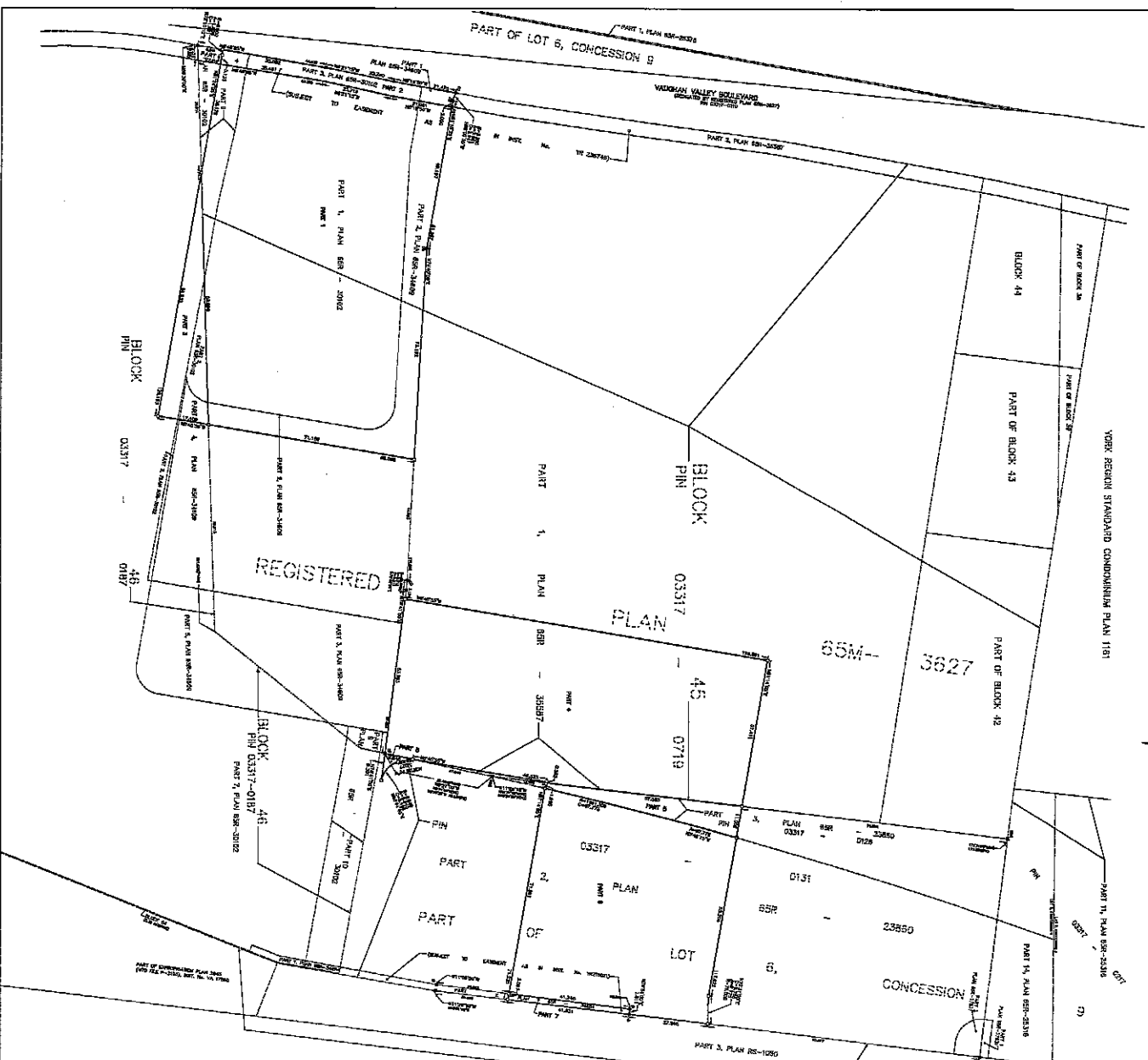
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YORK REGION ROAD No. 27
 (ORIGINAL ASSESSMENT ALLOWANCE BETWEEN CONCESSIONS 9 AND 6)
 (REGISTERED AS YORK REGION ROAD No. 27 BY ORDER-IN-COUNCIL 60/200/187 AS
 PASSED BY COUNCIL IN COUNCIL 101/2018/187 ON 17/11/2018)

SCHAEFER DYALDOW BENNETT LTD.
 40 SHEPPARD AVENUE EAST, SUITE 200, SCARBOROUGH, ONTARIO M1S 1T7
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LETTERS, NUMBERS AND SYMBOLS
 REFER TO THE PLAN AND TO THE
 CITY OF VAUGHAN RECORDS
 FOR THE RECORD OF THIS PLAN.

PLAN OF PART OF
 REGISTERED PLAN 65M-3627 AND
 PART OF LOT 6, CONCESSION 9
 CITY OF VAUGHAN, COUNTY OF YORK
 REGIONAL MUNICIPALITY OF YORK
 REGISTRATION NUMBER 1181



REGISTERED PLAN 65M-3627		PLAN 65M-	
NO.	DESCRIPTION	DATE	STATUS
1	REGISTERED PLAN 65M-3627	1981	REGISTERED
2	REGISTERED PLAN 65M-3627	1981	REGISTERED
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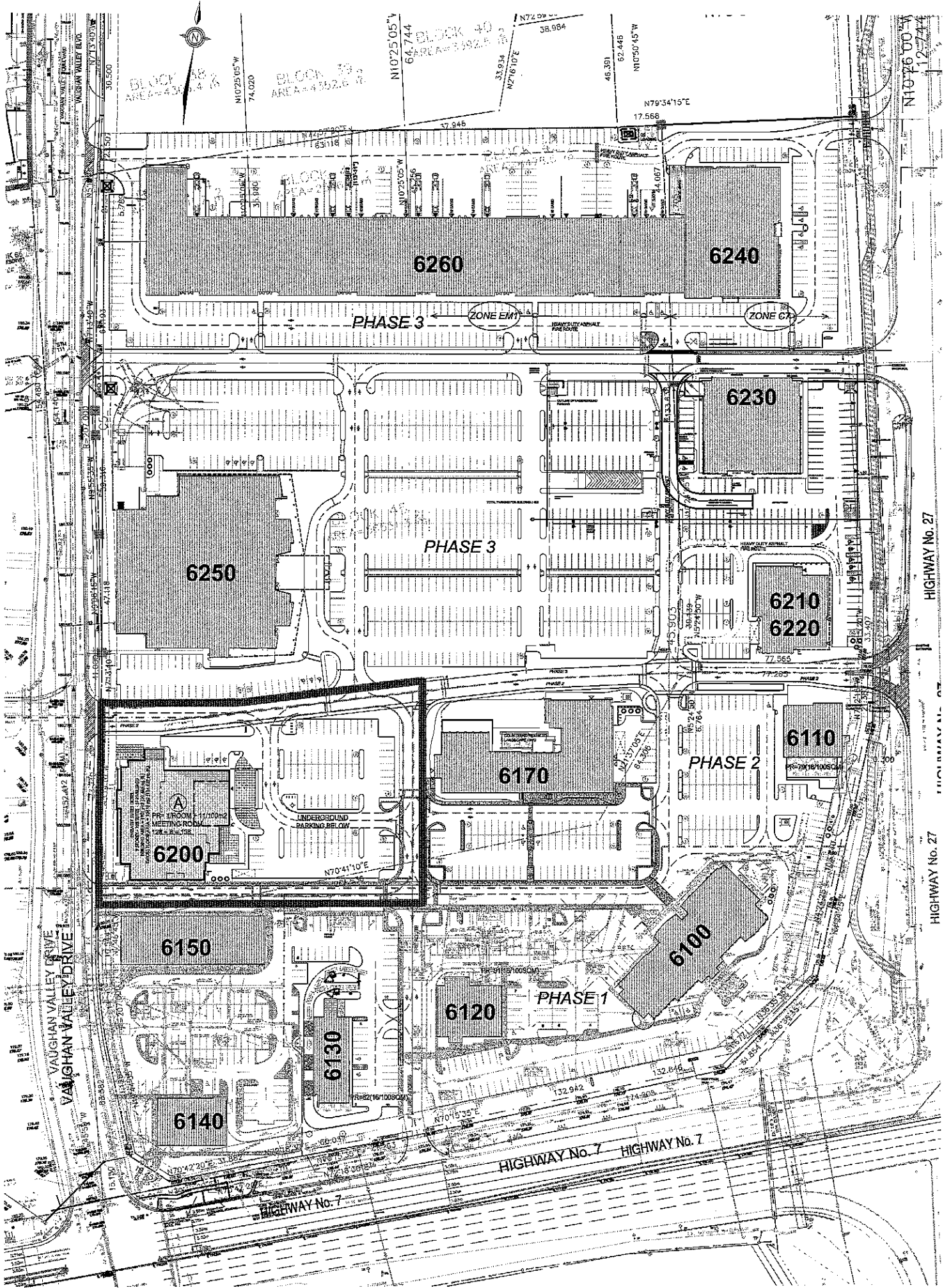
YORK REGION ROAD No. 27
 (ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS 8 AND 9)
 DESIGNATED AS YORK REGION ROAD No. 27 BY ORDER-IN-COUNCIL, O.C. 2590/97 AS
 AMENDED BY ORDER-IN-COUNCIL, O.C. 2598/97, P.S.T. No. 17 (2001/01)

NOTES:
 1. THIS PLAN IS A PART OF THE REGISTERED PLAN 65M-3627.
 2. THE REGISTERED PLAN 65M-3627 IS A PART OF THE REGISTERED PLAN 65M-3627.
 3. THE REGISTERED PLAN 65M-3627 IS A PART OF THE REGISTERED PLAN 65M-3627.
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REVISIONS:
 1. THIS PLAN IS A PART OF THE REGISTERED PLAN 65M-3627.
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DEMONSTRATION PLAN FOR APPLICATIONS B006-19 AND B007-19



LANDS SUBJECT TO PARTIAL DISCHARGE APPLICATION B006-19 AND NEW CHARGE APPLICATION B007-19

Received
March 7, 2019



Planning • Design • Development
64 JARDIN DRIVE - UNIT 116, CONCORD, ONT. L4K 3P3
PHONE (905) 885-2266 FAX (905) 885-2267 email@kclm.com

NOTICE OF DECISION
Minor Variance Application A075/19
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

Date of Hearing: Thursday, June 27, 2019
Applicant: Roybridge Holdings Ltd.
Agent: Ryan Virtanen - KLM Planning Partners Inc.
Property: 6100-6260 Highway 7, Woodbridge.
Zoning: The subject lands are zoned C7 Service Commercial, and subject to the provisions of Exception No. 9(1137) under By-law 1-88 as amended.
OP Designation: Vaughan Official Plan ('VOP 2010'): Employment Commercial Mixed-Use, Prestige Employment & General Employment
Related Files: Consent Applications: B004/19, B005/19, B006/19 and B007/19
Purpose: Relief is being requested to vary the definition of a lot in By-law 1-88 to include the lands described in PINs 03317-0719, 03317-0131, 03317-0126, PIN 03317-0187 further described as including all of Blocks 44, 45 and 46 and Part of Blocks 38, 39, 42 & 43, Registered Plan 65M-3627 and Part of Lot 6, Concession 9 in the City of Vaughan, Regional Municipality of York, to be considered one lot for zoning purposes.

For additional clarity, the subject lands as described above shall be deemed to be one lot regardless of the creation of a new lot by way of, condominium, part-lot control, consent or any easements, or other rights or registrations given or made for zoning purposes only.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
The definition of a "LOT" shall be complied with.	For the purposes of zoning conformity, the subject lands as shown on the attached sketch shall be deemed to be one lot regardless of the creation of a new lot by way of condominium, part-lot control, consent or any easements, or other rights or registrations given or made.

Sketch: A sketch illustrating the request has been attached to the decision.

Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:

THAT Application No. A075/19 on behalf of Roybridge Holdings Ltd., be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

Department/Agency	Condition
1 Committee of Adjustment Christine Vigneault 905-832-8585 x 8332 christine.vigneault@vaughan.ca	That Consent Applications B004/19, B005/19, B006/19 and B007/19 receive final certification from the Secretary Treasurer and be registered on title. A copy of the registered transfer confirming registration of the Certificate of Official must be provided to the Secretary Treasurer to satisfy this condition.

For the following reasons:

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

Please Note:

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.






Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

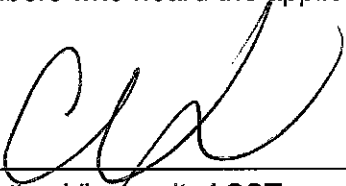
Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Written & oral submissions considered in the making of this decision were received from the following:

Public Written Submissions * Public Correspondence received and considered by the Committee in making this decision	Public Oral Submissions *Please refer to the approved Minutes of the Thursday , June 27, 2019 meeting for submission details.
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

		
H. Zheng Member	R. Buckler Chair	A. Perrella Vice Chair
		
S. Kerwin Member		A. Antinucci Member

DATE OF HEARING:	Thursday , June 27, 2019
DATE OF NOTICE:	July 5, 2019
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	July 17, 2019 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.	
 _____ Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

Appealing to The Local Planning Appeal Tribunal
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

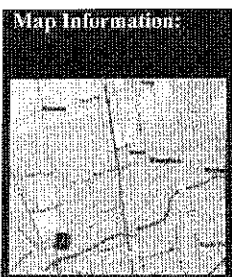
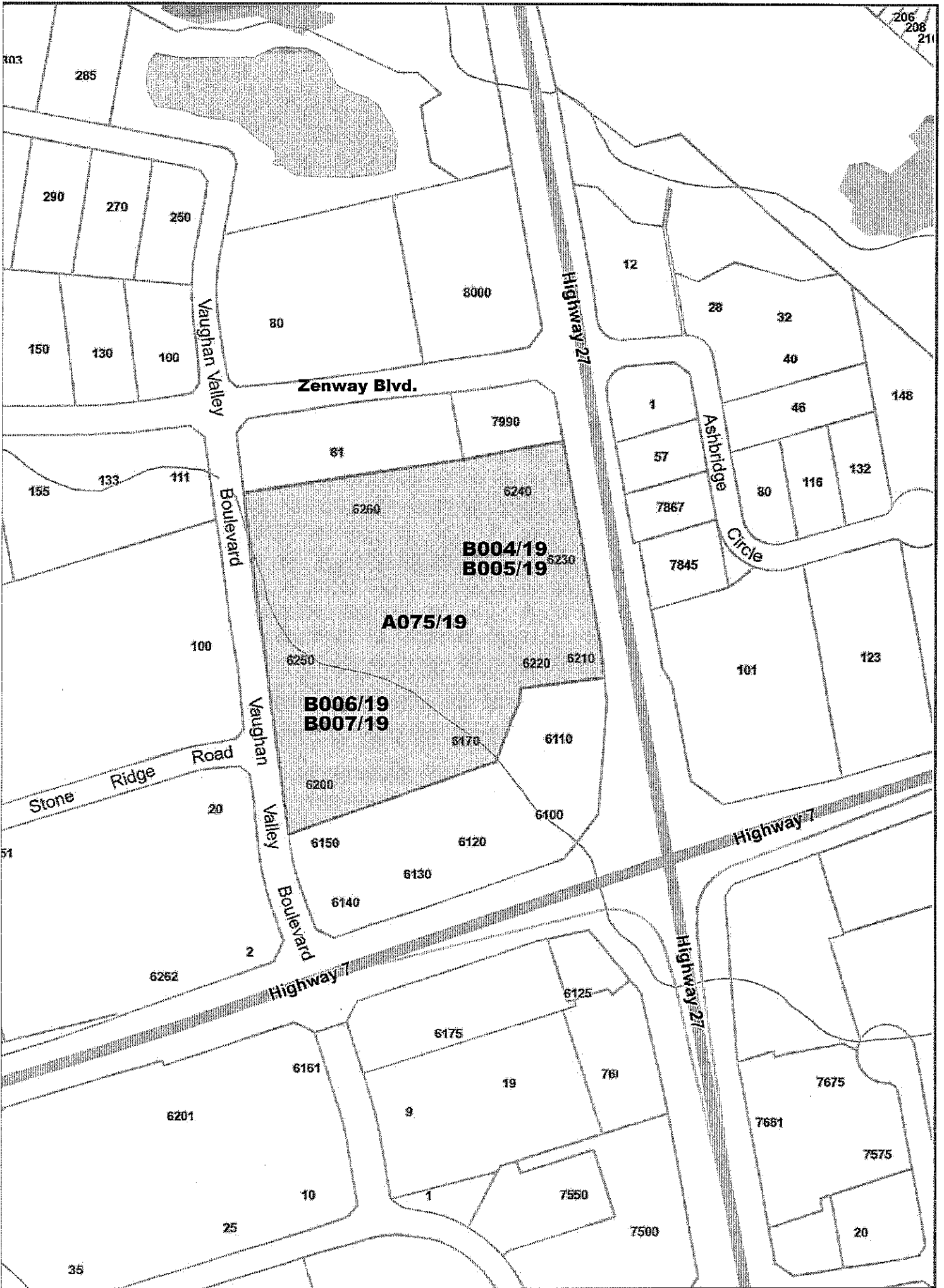
Local Planning Appeal Tribunal: The LPAT appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (A1 Appeal Form – Minor Variance) can be obtained at www.elfto.gov.on.ca or by visiting our office.

City of Vaughan LPAT Processing Fee: \$817.00 per application

*Please note that all fees are subject to change.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.



Title:
6170 TO 6260 HIGHWAY #27

LOCATION MAP - B004/19, B005/19, B006/19 & B007/19

Disclaimer:
 Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514
 0 0.07 km

Created By:
 Infrastructure Delivery
 Department
 February 25, 2019 5:17 PM

Projection:
 NAD 83
 UTM Zone
 17N

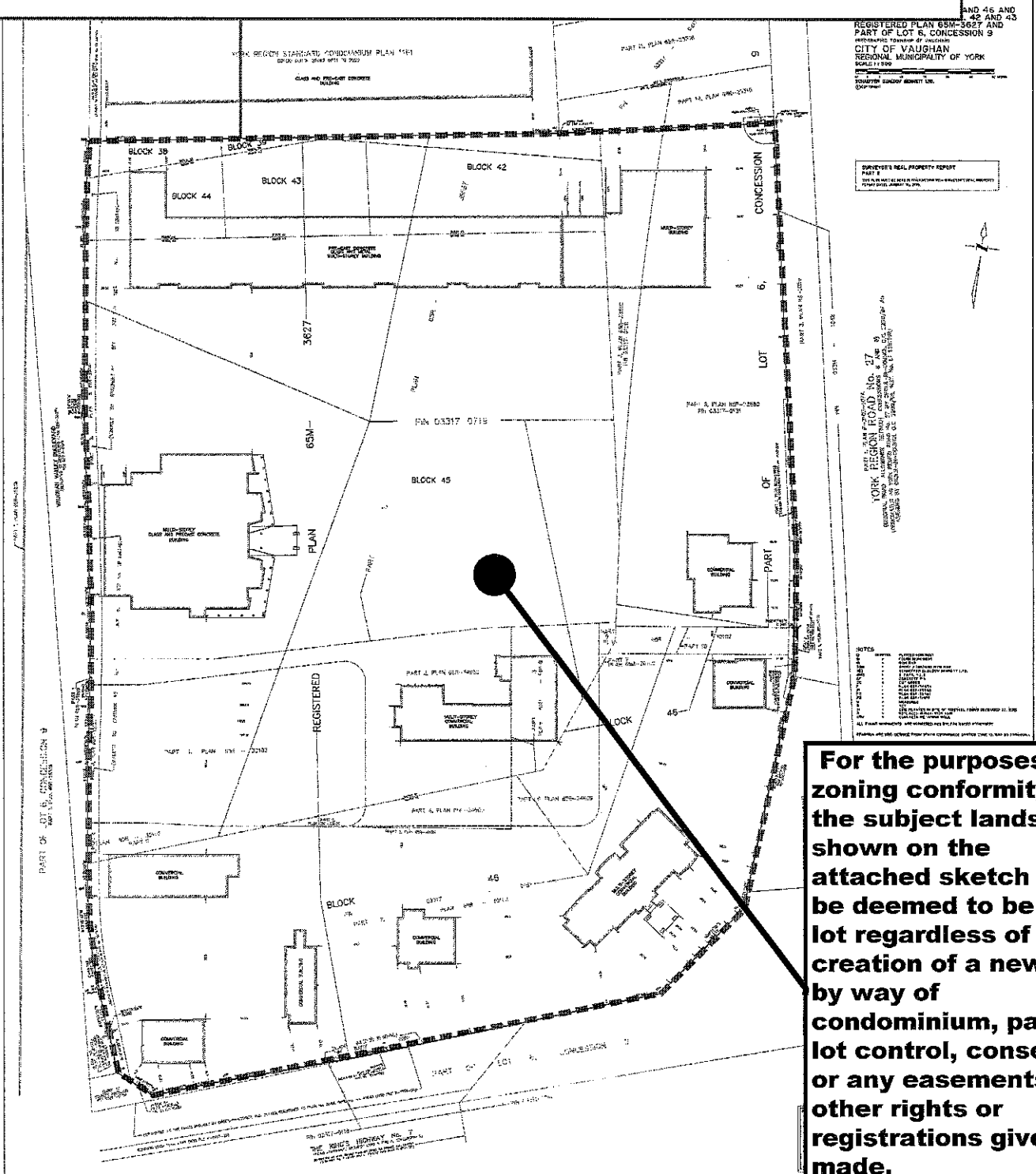
P-3035 Minor Variance Sketch, Roybridge Holdings Limited

6100, 6110, 6120, 6130, 6140, 6150, 6170 6200, 6210, 6220,
6230, 6240, 6250, 6260 Regional Road 7

All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42, and 43, Registered Plan 65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan), in the City of Vaughan, Regional Municipality of York

A075/19

To re-define 'lot' on a site-specific basis as follows, "Lands legally described as "All of Blocks 44, 45 and 46, and Parts of Blocks 38, 39, 42, and 43, Registered Plan 65M-3627, and Part of Lot 6, Concession 9 (Geographic Township of Vaughan), in the City of Vaughan, Regional Municipality of York" shall be considered one lot for the purposes of Zoning By-law compliance".



For the purposes of zoning conformity, the subject lands as shown on the attached sketch shall be deemed to be one lot regardless of the creation of a new lot by way of condominium, part-lot control, consent or any easements, or other rights or registrations given or made.

Lands Subject to Minor Variance

May 24, 2019