

<b>ITEM: 6.3</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A039/23 193 GRANDVISTA CRESCENT, WOODBRIDGE</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

<b>File Number</b>	<b>Date of Decision</b> MM/DD/YYYY	<b>Decision Outcome</b>
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A039/23  
193 GRANDVISTA CRESCENT, WOODBRIDGE**

<b>ITEM NUMBER: 6.3</b>	<b>CITY WARD #: 3</b>
<b>APPLICANT:</b>	Roquia Shah & Muhammad Raheel Qureshi
<b>AGENT:</b>	Anthony Bartolini
<b>PROPERTY:</b>	193 Grandvista Crescent, Woodbridge
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" and "Natural Areas"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested requesting variances to permit a proposed cabana and circular driveway.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned RV2– Rural Residential and subject to the provisions of Exception 9(1024) under Zoning By-law 1-88, as amended.**

<b>Zoning By-law 1-88</b>		<b>Variance requested</b>
1	The minimum rear yard setback for an accessory structure from OS1 lands is 10.0m. Exception 1024 section civ)	To permit a rear yard setback for the residential accessory structure of 2.13m.
2	The maximum height to the nearest part of the roof of the accessory structure shall not exceed 3.0m. Section 4.1.1 b)	To permit a maximum height of 3.35m to the nearest part of the roof of the accessory structure.
3	The maximum permitted driveway width for a lot with a lot frontage greater than 12.0m is 9.0m. Section 4.1.4 f v)	To permit a maximum driveway width of 18.05m.
4	Circular driveways having two points of access shall have a maximum driveway width and curb cut width of 9.0m. Section 4.1.4 f i)	To permit a maximum driveway width of 11.59m for a circular driveway having two points of access.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, July 13, 2023  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

## HEARING INFORMATION

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	June 30, 2023
<b>Date Applicant Confirmed Posting of Sign:</b>	June 7, 2023
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Rear and Side yard setbacks are less than permitted. 2. Soft landscape percentage is less than required. 3. Cabana coverage increases the total allowable lot coverage percentage. 4. Asking for 0.48 meters over the allowable height permitted.
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING) COMMENTS

**\*\*See Schedule B for Building Standards (Zoning) Comments**

<b>Building Standards Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT PLANNING COMMENTS

**\*\*See Schedule B for Development Planning Comments.**

<b>Development Planning Recommended Conditions of Approval:</b>	That the Owners provide to the satisfaction of the Development Planning Department the final Landscape Plan that includes the planting of Tree "R3" within the front yard to contribute towards reestablishing the landscape condition along the street, and the plan be approved by said department.
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## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

As the proposed dwelling in the subject property is 53.3m<sup>2</sup>, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m<sup>2</sup> requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to the variance application A039/23, subject to the following condition:

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/applicant shall submit a Lot Grading plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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## PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

See below (Conditions)

<b>PFH Recommended Conditions of Approval:</b>	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.
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## DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No objection or comment

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT COMMENTS

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

## SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning <a href="mailto:Joshua.cipolletta@vaughan.ca">Joshua.cipolletta@vaughan.ca</a>	That the Owners provide to the satisfaction of the Development Planning Department the final Landscape Plan that includes the planting of Tree “R3” within the front yard to contribute towards reestablishing the landscape condition along the street, and the plan be approved by said department.
2	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/applicant shall submit a Lot Grading plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
3	Parks, Forestry and Horticulture Operations <a href="mailto:zachary.quizzetti@vaughan.ca">zachary.quizzetti@vaughan.ca</a>	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.
4	TRCA <a href="mailto:Kristen.Regier@trca.ca">Kristen.Regier@trca.ca</a>	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

## IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s

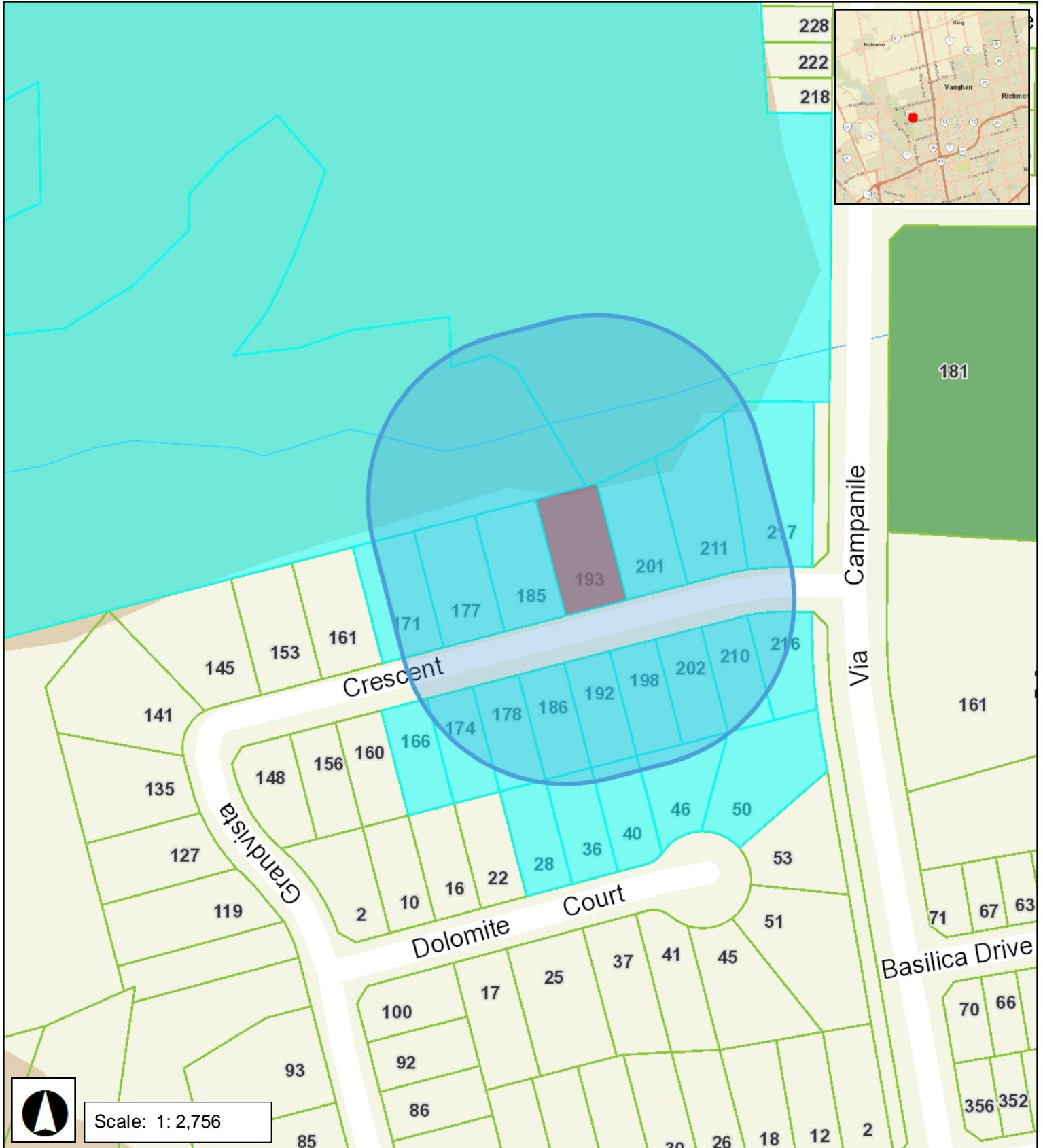
### IMPORTANT INFORMATION – PLEASE READ

Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



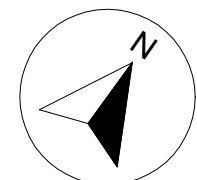
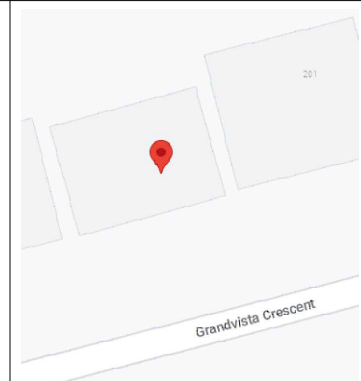
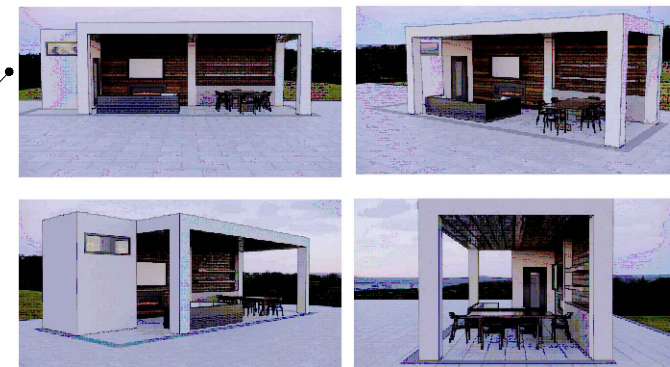
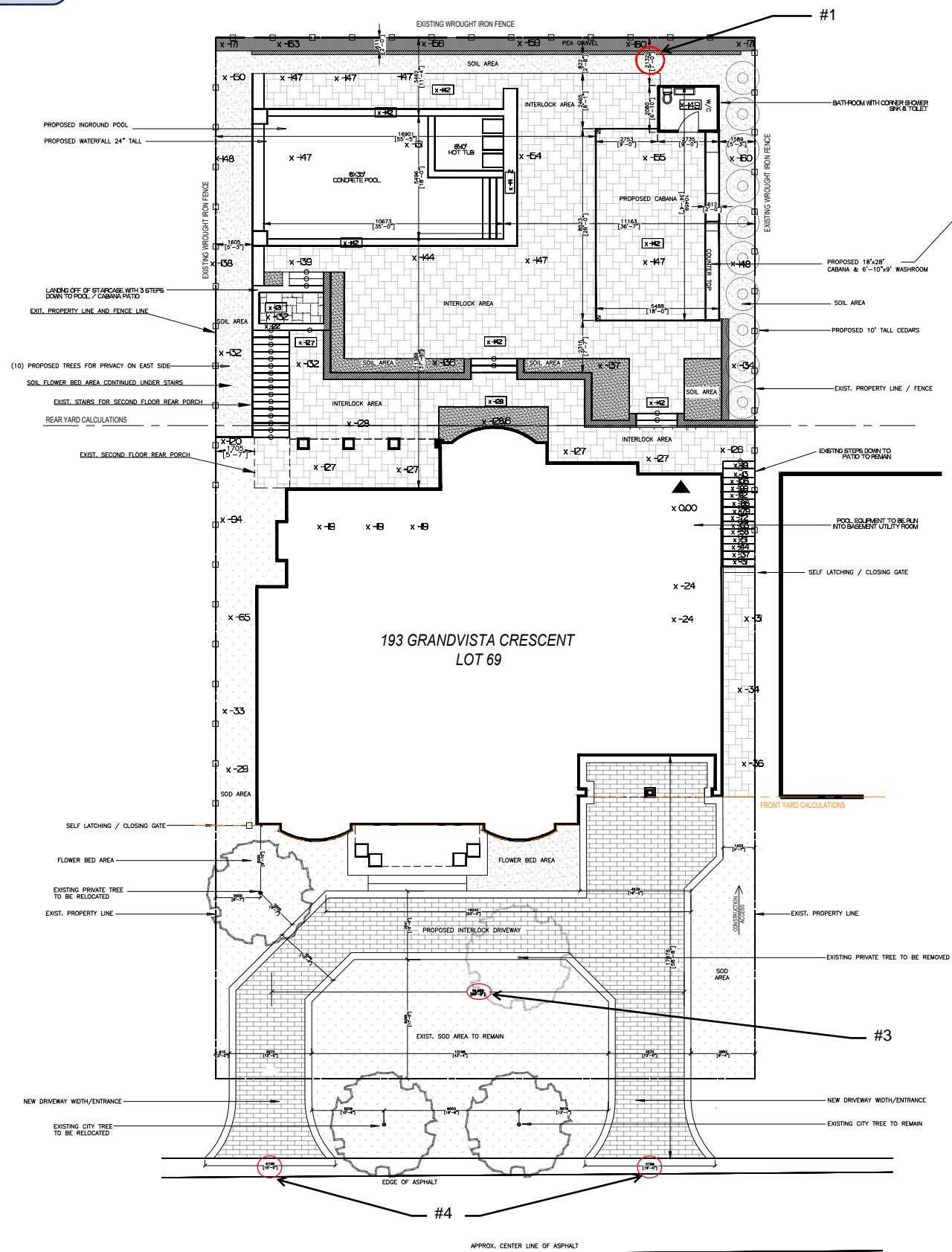


**RECEIVED**

By Christine Vigneault at 11:31 am, Jun 26, 2023

SITE DEVELOPMENT (BY-LAW 1-88)	
LOT AREA	M2
TOTAL LOT AREA	1109.5m2
HOUSE AREA	M2
HOUSE FOOTPRINT	353.6m2
CABANA FOOTPRINT	53.3m2
LOT COVERAGE	BY LAW
EXISTING HOUSE + ALL PORCHES	31.8%
PROPOSED CABANA	4.8%
TOTAL LOT COVERAGE %	36.6%
LANDSCAPE AREA (REAR LOT)	BY LAW
TOTAL REAR AREA	413.3m2
REAR SOFT LANDSCAPE AREA (REQ)	413.3m2-135m2 x 60%=166.9m2
REAR SOFT LANDSCAPE AREA	89m2 OR 32%
REAR YARD HARD LANDSCAPE AREA	324.3m2
TOTAL FRONT YARD AREA	276.3m2
TOTAL FRONT YARD SOFTSCAPE	138.3m2
FRONT YARD SOFT LANDSCAPE %	50%

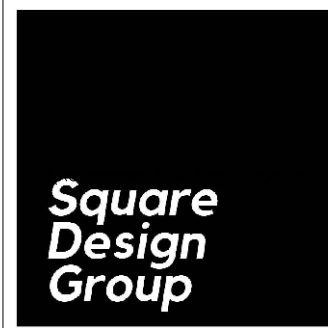
LEGEND			
x-XX	-Proposed Grades	T.W	-Top Of Wall
x	-Existing Grades	B.W	-Bottom Of wall
▲	-Entrance Door		



No.	DESCRIPTION	REVISIONS

ISSUED FOR CONSTRUCTION  
 ISSUED FOR BID  
 ISSUED FOR BUILDING PERMIT  
 ISSUED FOR SITE PLAN APPROVAL DATE: \_\_\_\_\_  
 SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.  
 DO NOT SCALE DRAWINGS.

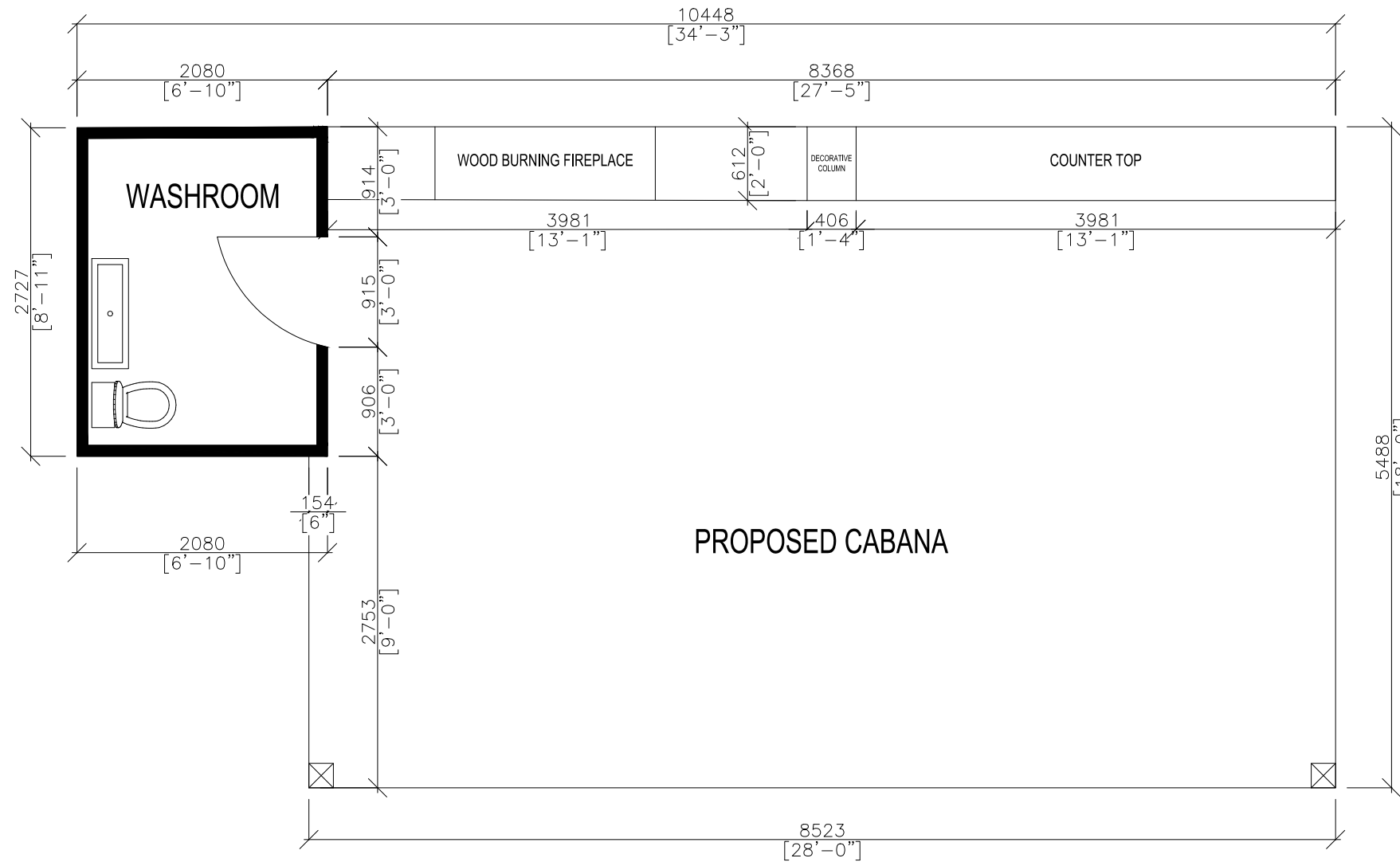


PROJECT:  
 Minor Variance Proposal  
 ON  
 193 Grandvista Crescent  
 Vaughan

DRAWING: SITE PLAN	
PLOTTED:	
DATE: 2023-05-23	PROJECT No.
SCALE: AS NOTED	DRAWING No.
DRAWN BY:	REVIEWED BY:
<b>A1</b>	

A1.0 Site Plan  
 1:250

XREFS:  
FILE NAME:  
PLOT SCALE: 1"



A2.0 Floor Plan  
1:50

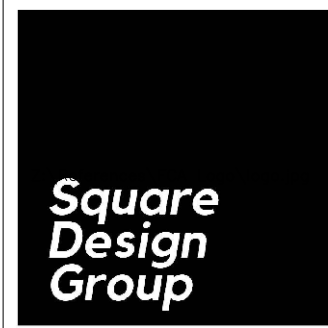
No.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION	
ISSUED FOR BID	
ISSUED FOR BUILDING PERMIT	
ISSUED FOR SITE PLAN APPROVAL	DATE
SUBMITTALS	

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PROJECT:  
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ON  
193 Grandvista Crescent  
Vaughan

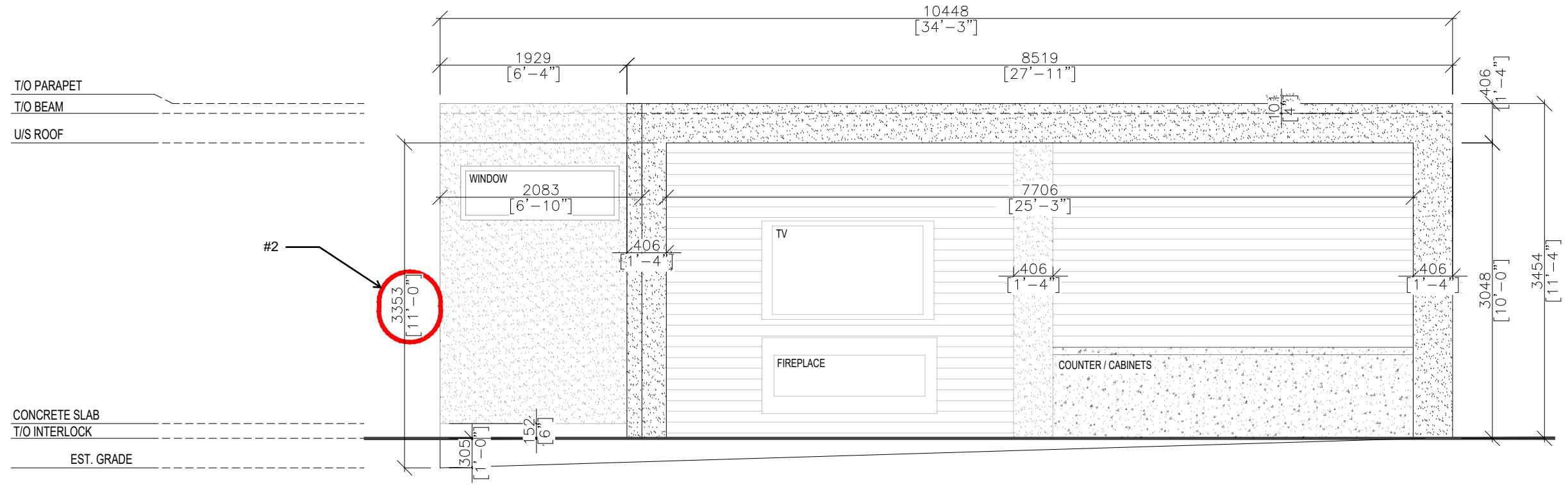
DRAWING:  
Floor Plan

PLOTTED:  
DATE: PROJECT No.

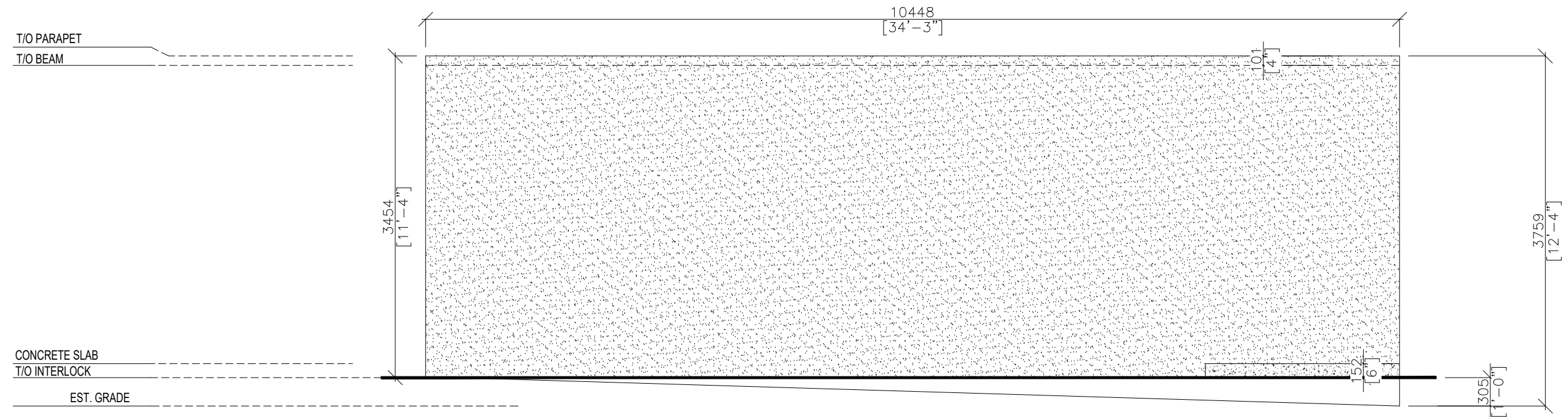
SCALE: AS NOTED DRAWING No.

DRAWN BY: REVIEWED BY: A2

XREFS: FILE NAME: PLOT SCALE: 1" =



**1 East Elevation**  
 A3.0 1:50



**2 West Elevation**  
 A3.0 1:50

No.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION  
 ISSUED FOR BID  
 ISSUED FOR BUILDING PERMIT  
 ISSUED FOR SITE PLAN APPROVAL DATE: \_\_\_\_\_  
 SUBMITTALS

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
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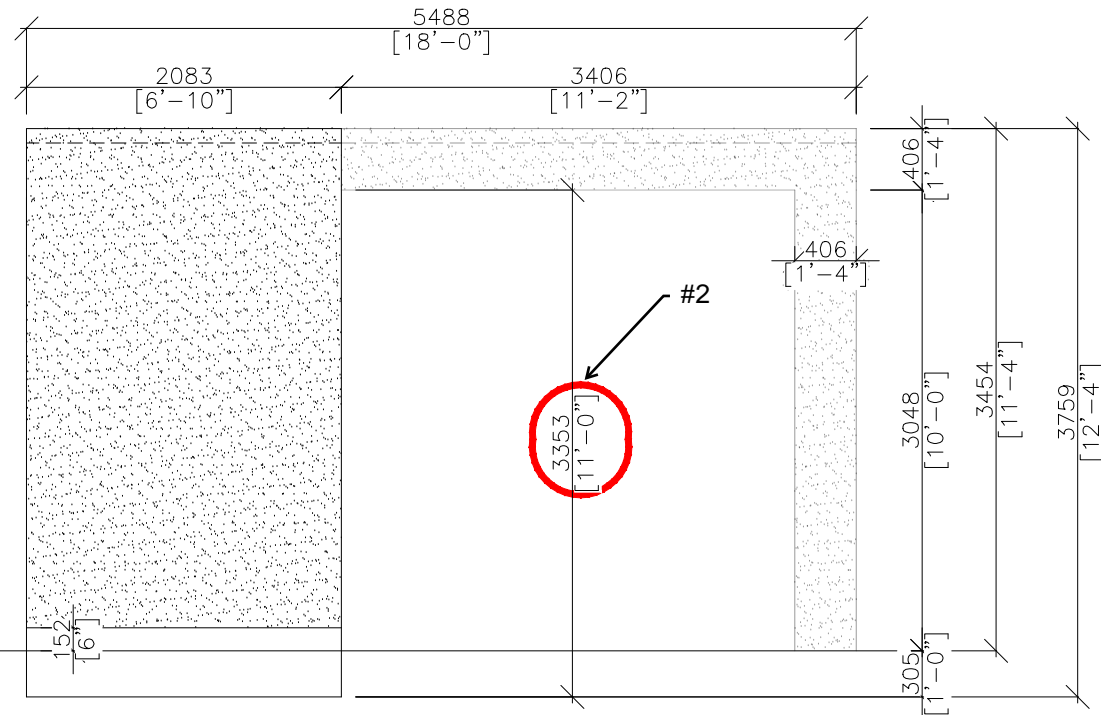
DRAWING:  
 Elevations

DATE:	PROJECT No.
SCALE: AS NOTED	DRAWING No. <b>A3</b>
DRAWN BY:	REVIEWED BY:

XREFS:  
 FILE NAME:  
 PLOT SCALE: 1" =

T/O PARAPET  
 T/O BEAM  
 U/S ROOF

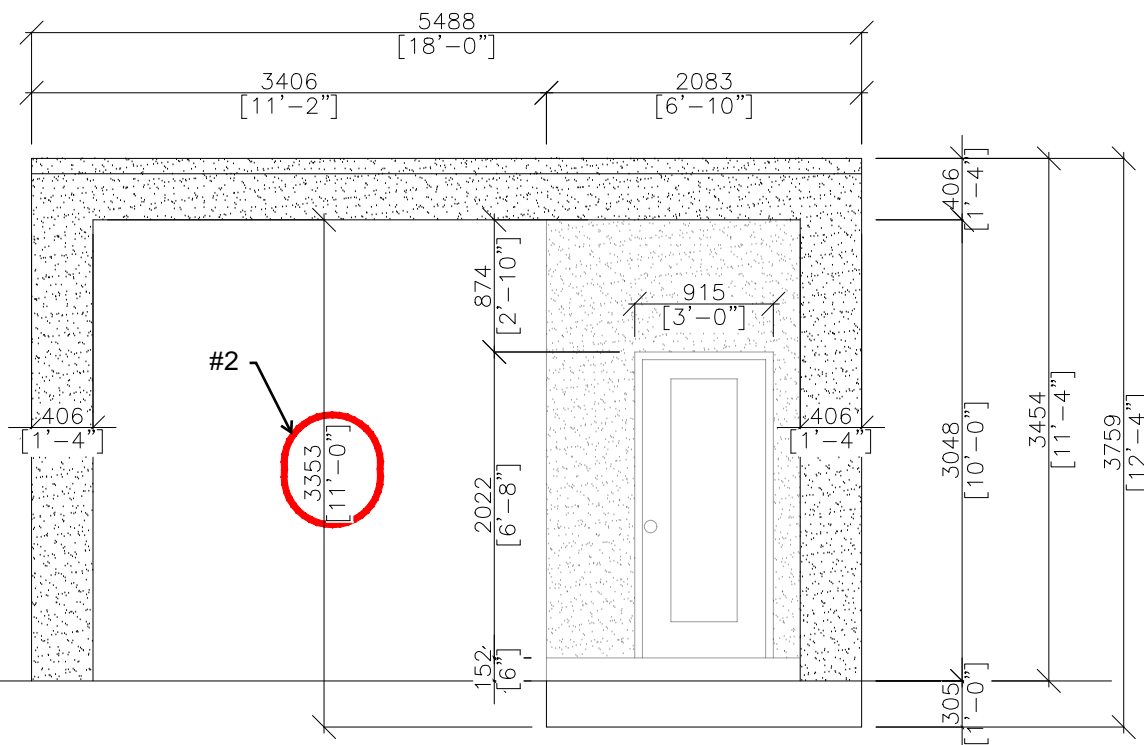
CONCRETE SLAB  
 T/O INTERLOCK  
 EST. GRADE



1 South Elevation  
 A3.1 1:50

T/O PARAPET  
 T/O BEAM  
 U/S ROOF

CONCRETE SLAB  
 T/O INTERLOCK  
 EST. GRADE

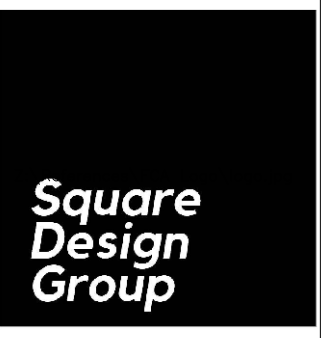


2 North Elevation  
 A3.1 1:50

No.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION	
ISSUED FOR BID	
ISSUED FOR BUILDING PERMIT	
ISSUED FOR SITE PLAN APPROVAL	DATE
SUBMITTALS	

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PROJECT:  
 Minor Varaince Proposal  
 ON  
 193 Grandvista Crescent  
 Vaughan

DRAWING:  
 Elevations

DATE:	PROJECT No.
SCALE: AS NOTED	DRAWING No. <b>A3.1</b>
DRAWN BY:	REVIEWED BY:

XREFS: FILE NAME: PLOT SCALE: 1" =

<b>SCHEDULE B: STAFF &amp; AGENCY COMMENTS</b>				
<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X	X	X	Recommend Approval w/condition
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval/with conditions
Building Standards (Zoning)	X	X		General Comments

**Date:** May 8<sup>th</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A039-23**

**Related Files:**

**Applicant** Roquia Shah & Muhammad Raheel Qureshi

**Location** 193 Grandvista Crescent



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

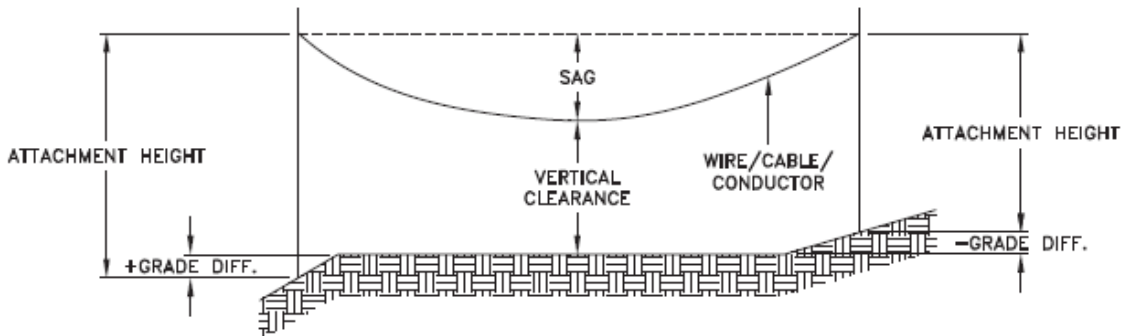
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)



LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

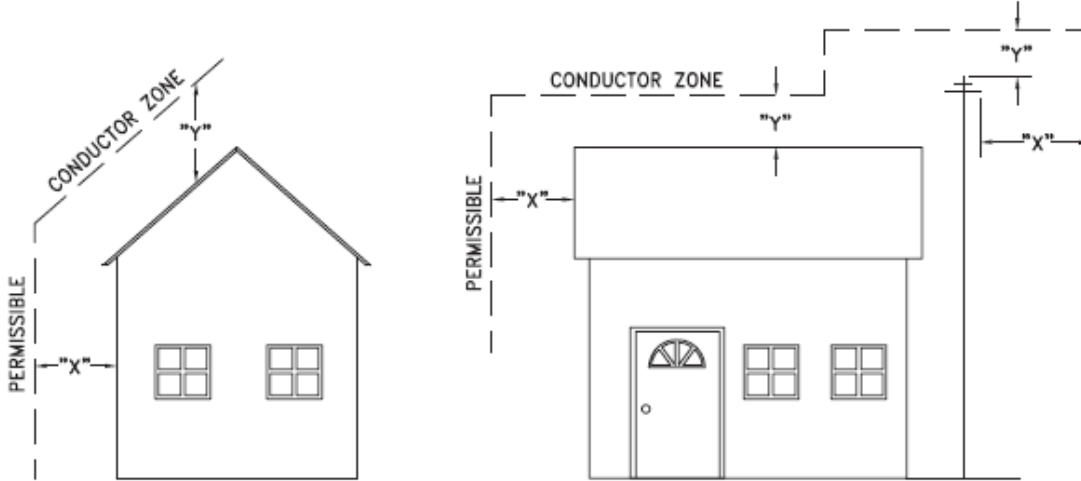
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Bernd Paessler, Building Standards Department  
**Date:** June 7, 2023  
**Applicant:** Roquia Shah & Muhammad Raheel Qureshi  
**Location:** 193 Grandvista Crescent  
 PLAN 65M3812 Lot 69  
**File No.(s):** A039/23

**Zoning Classification:**

The subject lands are zoned RV2– Rural Residential and subject to the provisions of Exception 9(1024) under Zoning By-law 1-88, as amended.

<b>Zoning By-law 1-88</b>		<b>Variance requested</b>
1	The minimum rear yard setback for an accessory structure from OS1 lands is 10.0m.  Exception 1024 section civ)	To permit a rear yard setback for the residential accessory structure of 2.13m.
2	The maximum height to the nearest part of the roof of the accessory structure shall not exceed 3.0m.  Section 4.1.1 b)	To permit a maximum height of 3.35m to the nearest part of the roof of the accessory structure.
3	The maximum permitted driveway width for a lot with a lot frontage greater than 12.0m is 9.0m. Section 4.1.4 f v)	To permit a maximum driveway width of 18.05m.
4	Circular driveways having two points of access shall have a maximum driveway width and curb cut width of 9.0m.  Section 4.1.4 f i)	To permit a maximum driveway width of 11.59m for a circular driveway having two points of access.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

<b>Zoning By-law 1-88</b>	
1	The subject property is transitioned under sections 1.6.2 6 and is only subject to bylaw 1-88 as amended.

<b>General Comments</b>	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA – Toronto and Region Conservation Authority).

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** July 5, 2023  
**Name of Owners:** Roquia Shah & Muhammad Raheel Qureshi  
**Location:** 193 Grandvista Crescent  
**File No.(s):** A039/23

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**Proposed Variance(s) (By-law 1-88):**

1. To permit a rear yard setback for the residential accessory structure of 2.13 m.
2. To permit a maximum height of 3.35 m to the nearest part of the roof of the accessory structure.
3. To permit a maximum driveway width of 18.05 m.
4. To permit a maximum driveway width of 11.59 m for a circular driveway having two points of access.

**By-Law Requirement(s) (By-law 1-88):**

1. The minimum rear yard setback for an accessory structure from OS1 lands is 10.0 m.
2. The maximum height to the nearest part of the roof of the accessory structure shall not exceed 3.0 m.
3. The maximum permitted driveway width for a lot with a lot frontage greater than 12.0 m is 9.0 m.
4. Circular driveways having two points of access shall have a maximum driveway width and curb cut width of 9.0 m.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" and "Natural Areas"

**Comments:**

The Owners are requesting relief to permit the construction of a cabana and circular driveway, with the above-noted variances.

The Development Planning Department has no objection to Variances 1 and 2 for the proposed cabana. The cabana is a partially open structure with a flat roof and an enclosed washroom on the northeast side. The eastern side of the cabana abutting the neighbour will be fully walled. Hedge plantings are proposed to the east of the cabana to provide screening from the neighbouring property. Environmental Planning staff have also reviewed the materials provided and determined that no natural heritage features will be impacted by the reduced rear yard setback. As such, the increased height and reduced rear yard setback for the cabana are not anticipated to pose adverse use, privacy, or massing impacts to the neighbouring properties.

The Development Planning Department has no objection to Variances 3 and 4 for the proposed circular driveway. The maximum driveway width for the two points of access is measured at the curb cut. The two sections of driveway leading from the curve of the circular driveway towards the front lot line begin at a width of 3.67 m and flare out to 5.8 m as they approach the curb. The maximum driveway width is measured along the portion directly in front of the dwelling, which facilitates the circular shape of the driveway. The front yard is sufficiently sized to maintain an appropriate amount of soft landscaping and vegetation in conjunction with the single-lane circular driveway design proposed. Replacement trees are proposed in the front yard to maintain the existing character of the neighbourhood and maintain canopy cover. As such, the circular driveway fits the character of the neighbourhood and will not have negative impacts to the existing streetscape.

In support of the application, the Owners have submitted an Arborist Report and Tree Protection Plan prepared by Tree Doctors Inc., dated June 27, 2023. The report inventoried seven trees, three of which are proposed to be removed. Urban Design staff

have reviewed the report and recommend that Tree “R3” be proposed within the front yard to contribute to reestablishing the landscape condition along the street. A condition to this effect is included as a condition of approval.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application, subject to the following condition:

**Condition of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the Owners provide to the satisfaction of the Development Planning Department the final Landscape Plan that includes the planting of Tree “R3” within the front yard to contribute towards reestablishing the landscape condition along the street, and the plan be approved by said department.

**Comments Prepared by:**

Joshua Cipolletta, Planner  
David Harding, Senior Planner

May 16, 2023

X-Ref CFN 68099

**SENT BY E-MAIL: Christine.Vigneault@vaughan.ca**

Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A039.23  
Plan 65M3812, Lot 69  
193 Grandvista Crescent  
City of Vaughan, Region of York  
Owner: Roquia Shah and Muhammad Raheel Qureshi**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on May 5, 2023. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

**Purpose of the Application**

It is our understanding that the purpose of the above noted application is to request the following variances under By-law 1-88:

- To permit a rear yard setback for the residential accessory structure of 2.13 m, whereas the minimum rear yard setback for an accessory structure from OS1 lands is 10.0 m.
- To permit 39% landscaping for a yard containing a circular driveway, whereas the minimum landscaping of a yard in which a circular driveway is located shall be 50%.
- To permit a maximum height of 3.35 m to the nearest part of the roof of the accessory structure, whereas the maximum height to the nearest part of the roof of the accessory structure shall not exceed 3.0 m.
- To permit a maximum driveway width of 21.09 m, whereas the maximum permitted driveway width for a lot with a frontage greater than 12.0 m is 9.0 m.
- To permit a maximum driveway width of 13.81 m for a circular driveway having two points of access, whereas circular driveways having two points of access shall have a maximum driveway width and curb cut width of 9.0 m.

The noted variances are being requested to facilitate the construction of a pool, cabana, and landscaping in the rear yard and a driveway in the front yard of an existing dwelling.

**Ontario Regulation 166/06**

A portion of the subject lands are located within TRCA's Regulated Area due to a valley corridor associated with a tributary of the Don River located to the rear of the property. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to

Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

**Application-Specific Comments**

TRCA issued a permit for the construction of the subject swimming pool on December 9, 2022 (TRCA Permit No. C-221448).

Based on a review of the plans submitted with this variance application, the noted works are consistent with the plans that were approved as part of TRCA Permit No. C-221448. As such, TRCA has no concerns with the proposed variances.

**Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

**Recommendations**

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A039.23 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at [Kristen.regier@trca.ca](mailto:Kristen.regier@trca.ca)

Sincerely,

*Kristen Regier*

Kristen Regier  
Planner I  
Development Planning and Permits

KR/sb



**From:** [Development Services](#)  
**To:** [Christine Vigneault](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A039/23 (193 Grandvista Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Friday, May 12, 2023 10:51:58 AM  
**Attachments:** [image001.png](#)  
[image003.png](#)

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Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None