

ITEM: 6.12	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A079/23 6100 LANGSTAFF ROAD, VAUGHAN
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/condition
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
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PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

None		
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A079/23
6100 LANGSTAFF ROAD, VAUGHAN**

ITEM NUMBER: 6.12	CITY WARD #: 2
APPLICANT:	3288212 Nova Scotia Ltd.
AGENT:	Weston Consulting
PROPERTY:	6100 Langstaff Road, Vaughan
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment," Volume 2, Section 11.9 West Vaughan Employment Area Secondary Plan
RELATED DEVELOPMENT APPLICATIONS:	DA.22.008.
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed development consisting of two, 2-storey data processing centre buildings that include an ancillary office component. Relief is also required to facilitate related Site Plan Application DA.22.008.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned and has been reviewed as EM1, Prestige Employment Zone and subject to exception 14.1131. under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	The number of parking spaces required is 146 spaces. [Table 6-2]	To permit a total of 75 parking spaces.
2	The minimum number of loading spaces required is 1 Type A, 3 Type B, and 1 Type C loading spaces. [Table 6-18].	To permit a minimum of 3 loading spaces.

The subject lands are zoned and has been reviewed as EM1, Prestige Employment Zone and subject to exception 9(1514) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
3	The number of parking spaces required is 259 spaces. [Section 3.8]	To permit a total of 75 parking spaces.
4	The minimum number of loading spaces required is 4 loading spaces. [Section 3.9 a)]	To permit a minimum of 3 loading spaces.
5	A driveway and/or aisle which serves the movement of trucks to and from a loading space shall have a maximum width of 13.5 metres [Section 3.9 b)].	To permit a maximum driveway width of 22.0 metres which serves the movement of trucks to and from a loading space.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 22, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

HEARING INFORMATION

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	June 8, 2023	
Date Applicant Confirmed Posting of Sign:	June 2, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The Zoning By-law does not establish parking/loading space rates for data processing centres, which is a permitted use for the property. Further, a variance is required from the old Zoning By-law (1-88) to increase the drive aisle width which reflects the unique security considerations needed for the use. Please see attached the Minor Variance cover letter for further details.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
Adjournment Fees: <small>In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.</small>		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	That the applicant's solicitor consolidate 6100 Langstaff Road, owned by 3288212 Nova Scotia Ltd., together with Part of Lot 9, Concession 3 also owned by 3288212 Nova Scotia Ltd., together comprising of the subject lands for Minor Variance Application A079/23 and provide a letter confirming that the parcels have been merged and are no longer separately conveyable under Section 50 (3) (5) of the Planning Act.	

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

BUILDING STANDARDS (ZONING) COMMENTS

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering (DE) Department does not object to variance application A079/23 subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall obtain approval for the related Site Development Application (DA.22.008) from the Development Engineering (DE) Department.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments received to date.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

We have reviewed the package documents and have the following comments for the developer during the construction process.

Owner shall agree to provide the following for the purpose of fire safety and firefighting operations.

1. Water supply for firefighting, including hydrants, municipal or private shall be identified in the plans and code requirements to be installed and operational prior to construction of building.
2. Hydrants shall be unobstructed and ready for use at all times.
3. Assess roadways shall be maintained and suitable for large heavy vehicles.
4. Temporary Municipal address to be posted and visible for responding emergency vehicles

FIRE DEPARTMENT COMMENTS

- satisfactory to the City.
7. Fire Route to be posted prior to construction.
 8. Information not provided in review package addressing Fire Route.
 9. Fire route not identified on drawing.
 10. Is the fire route posted as per by-laws
 11. What is the weight of the fire route
 12. Ensure compliance with OBC 3.2.5.5. Location of Access Routes and 3.2.5.6. Access Route Design.
 13. Ensure application/Permits submitted for review comply with applicable Ontario Building code requirements and all other referenced standards.

Fire Department Recommended Conditions of Approval:

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Committee of Adjustment christine.vigneault@vaughan.ca	That the applicant's solicitor consolidate 6100 Langstaff Road, owned by 3288212 Nova Scotia Ltd., together with Part of Lot 9, Concession 3 also owned by 3288212 Nova Scotia Ltd., together comprising of the subject lands for Minor Variance Application A079/23 and provide a letter confirming that the parcels have been merged and are no longer separately conveyable under Section 50 (3) (5) of the Planning Act.
2	Development Planning Joshua.cipolletta@vaughan.ca	TBD
3	Development Engineering Rex.bondad@vaughan.ca	The Owner/Applicant shall obtain approval for the related Site Development Application (DA.22.008) from the Development Engineering (DE) Department.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

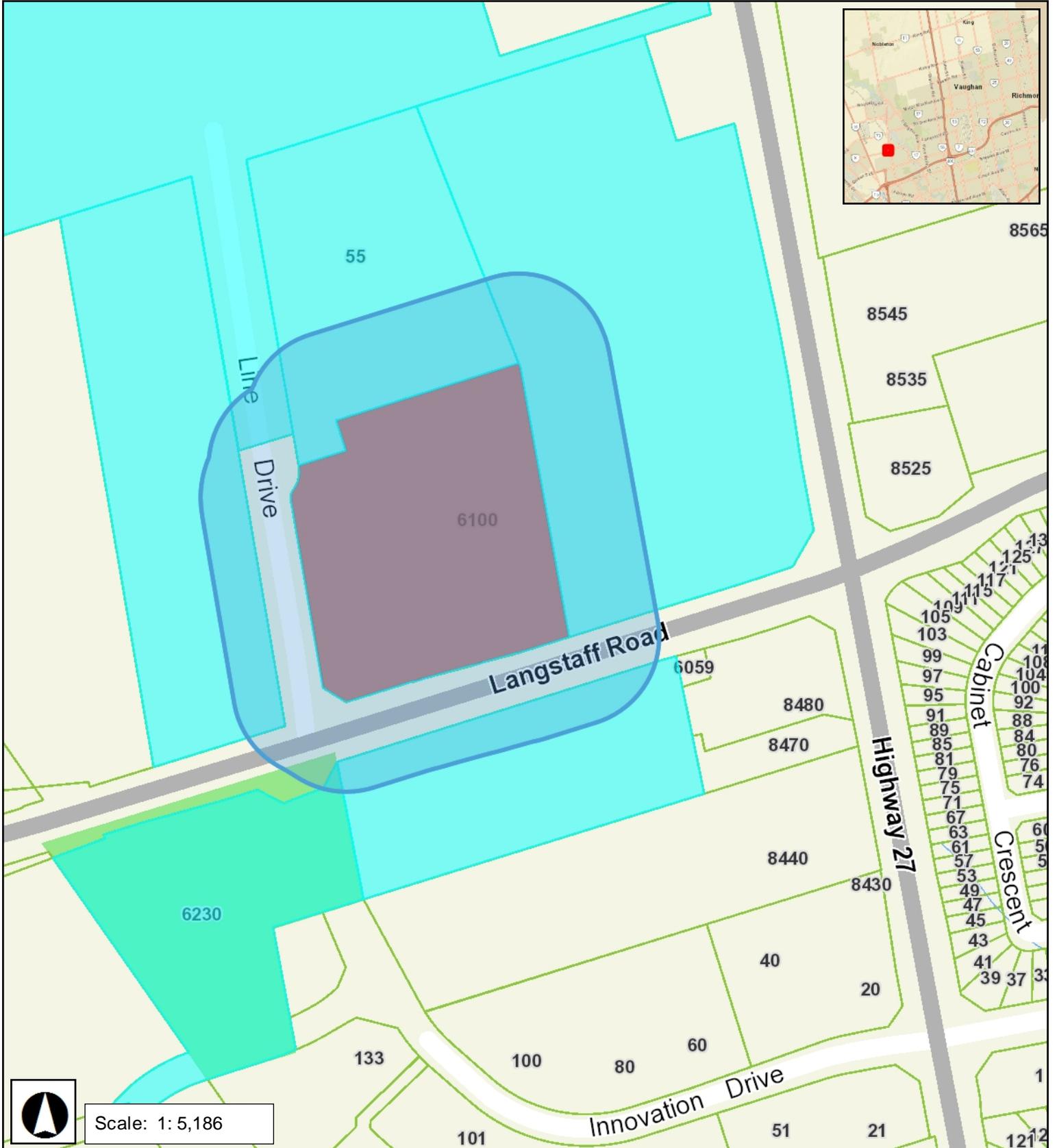
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS





#	Zoning By-law 01-2021	Variance requested
1	The number of parking spaces required is 146 spaces. [Table 6-2]	To permit a total of 75 parking spaces.
2	The minimum number of loading spaces required is 1 Type A, 3 Type B, and 1 Type C loading spaces. [Table 6-18].	To permit a minimum of 3 loading spaces.
Zoning By-law 1-88		
3	The number of parking spaces required is 259 spaces. [Section 3.8]	To permit a total of 75 parking spaces.
4	The minimum number of loading spaces required is 4 loading spaces. [Section 3.9 a)]	To permit a minimum of 3 loading spaces.
5	A driveway and/or aisle which serves the movement of trucks to and from a loading space shall have a maximum width of 13.5 metres [Section 3.9 b)].	To permit a maximum driveway width of 22.0 metres which serves the movement of trucks to and from a loading space.

RECEIVED

By Christine Vigneault at 5:13 pm, May 30, 2023

MORRISON
HERSHFIELD

YTO 11

ISSUED FOR COMMITTEE OF ADJUSTMENT APPLICATION

May 3, 2023

DRAWING LIST SPA

SHEET NUMBER	SHEET NAME
SPA-DWG-00	COVER PAGE
SPA-A003	ARCHITECTURAL - OVERALL SITE PLAN
SPA-A004	ARCHITECTURAL - OVERALL SITE PLAN COMPLETE DEVELOPMENT
SPA-A005	ARCHITECTURAL - ENLARGED BUILDING SITE PLAN
SPA-A006	ARCHITECTURAL - ENLARGED SITE PLANS
SPA-A007	ARCHITECTURAL - ENLARGED SITE PLANS
SPA-A008	ARCHITECTURAL - ENLARGED SITE PLANS
SPA-A008A	ARCHITECTURAL - ENLARGED SITE PLANS
SPA-A008B	ARCHITECTURAL - ENLARGED SITE PLANS
SPA-A008C	ARCHITECTURAL - ENLARGED SITE PLANS
SPA-A011	STATISTICS
SPA-A100	OVERALL GROUND FLOOR PLAN
SPA-A101	OVERALL SECOND FLOOR PLAN
SPA-A102	OVERALL MAIN ROOF FLOOR PLAN
SPA-A103	OVERALL ROOF PLAN
SPA-A200	ARCHITECTURAL - OVERALL - BUILDING ELEVATIONS
SPA-A201	ARCHITECTURAL - OVERALL - BUILDING ELEVATIONS - W/O GENERATOR AREA
SPA-A201A	OVERALL BUILDING ELEVATIONS - BRD FRIENDLY DESIGN
SPA-A202	ARCHITECTURAL - ADMIN - ENLARGED ELEVATIONS
SPA-A203	ARCHITECTURAL - EQUIPMENT 1-2 - ENLARGED ELEVATIONS
SPA-A204	ARCHITECTURAL - EQUIPMENT 3-4 - ENLARGED ELEVATIONS
SPA-A205	ARCHITECTURAL - EQUIPMENT 5 - ENLARGED ELEVATIONS
SPA-A206	ARCHITECTURAL - EQUIPMENT 5 - ENLARGED ELEVATIONS
SPA-A300	ARCHITECTURAL - OVERALL BUILDING SECTIONS
SPA-A300	PERSPECTIVE VIEWS
SPA-A601	ARCHITECTURAL MATERIAL BOARD - EXTERIOR FINISHES
SPA-A602	ARCHITECTURAL MATERIAL BOARD - EXTERIOR FINISHES
TOTAL SHEETS: 27	

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FUTURE DEVELOPMENT

MORRISON HERSHFIELD
MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110

WZMH
Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111

WSP
Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Toronto, ON L3T 1A1, Canada
Tel: 905-882-1100

TECOM
Telecom Engineer
50 California Street, Suite 1500
San Francisco, CA, USA
Tel: 510-337-2900

World Wide Technology
Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO, USA
Tel: 314-569-7000

Ross Baruzzini
Security Engineer
2321 Whitney Ave., Suite 501
Hamden, CT, USA
Tel: 203-288-6490

YTO11 DATA CENTER
6100 LANGSTAFF RD, VAUGHAN, ONTARIO

Design Team

Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	P 17856
All Project No.	2023566-00

Design Manager	CHRIS OUELLETTE
Layout Manager	
Civil, Site Survey, Landscaping Technical Lead	NALINI CHANDRAN
Architectural & Structural Technical Lead	SANDRA SULSKIC DAVID SWANSON
Mech, Plumbing & Fire Protection Technical Lead	SAMANTHA BISCOTTINI
Building Automation Systems (BAS) Technical Lead	WAYNE BROADWATER
Electrical Technical Lead	JIA YAN
Electrical Power Management Systems (EPMS) Technical Lead	AMMAR ALKHUWAITER
Telecommunications / Network Technical Lead	SYED ALI
Security Design Manager	AMY SMITH

DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHALNAK PANDIT
Plumbing Engineering Lead	SHALNAK PANDIT
Fire Protection Engineering Lead	MATT JARDINE
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	TITEL GURAU
Telecommunications Engineering Lead	JOHN PEDRO
Security Systems Engineering Lead	JEREMY ZWEERES

Revisions

No.	Date	Description
A	2022-02-08	ISSUED FOR SPA DRAFT
B	2022-02-18	ISSUED FOR SPA
C	2022-09-23	ISSUED FOR SPA SUBMISSION 1
D	2023-03-17	ISSUED FOR SPA SUBMISSION 2
E	2023-05-03	ISSUED FOR COMMITTEE OF ADJUSTMENT

Registration

Key Plan

Package

Sheet Title/Number

ARCHITECTURAL - OVERALL SITE PLAN

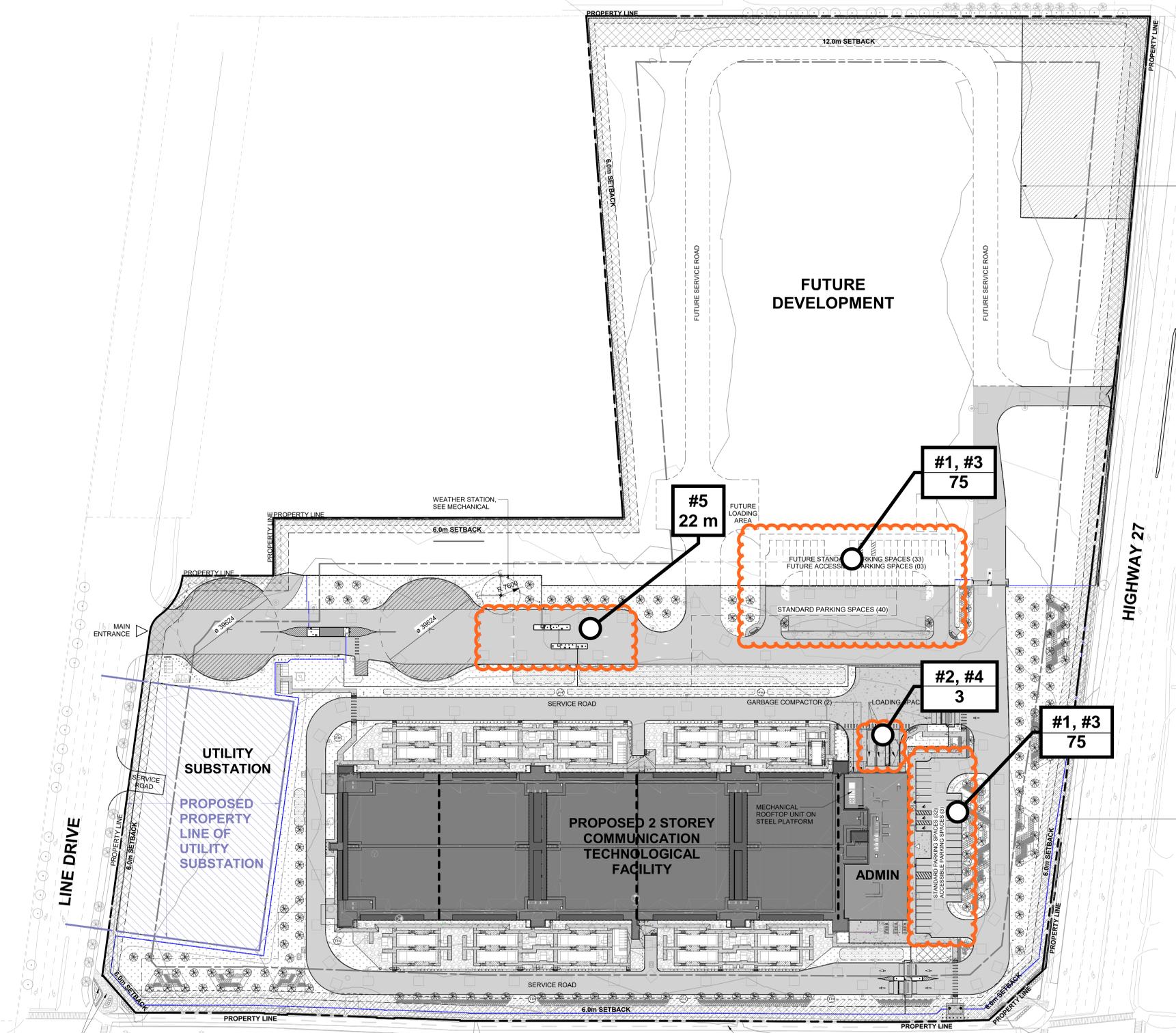
YTO11-SPA-A003

SITE PLAN LEGEND

PROPOSED PROPERTY LINE	STANDARD PARKING SPACE 2700mm X 6000mm
UTILITY SUBSTATION PROPERTY LINE	CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE BRIMING AS REQUIRED. SEE CIVIL.
EXISTING PROPERTY LINE	ACCESSIBLE PARKING SPACE - TYPE A 3400mm X 6000mm
ENTRANCE	ACCESSIBLE PARKING SPACE - TYPE B 2400mm X 6000mm
EXIT ONLY	CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE BRIMING AS REQUIRED. SEE CIVIL.
FIRE HYDRANT, SEE CIVIL	SHORT TERM BIKE PARKING SPACE 600mm X 1800mm
ELECTRIC VEHICLE CHARGING STATION PARKING SPACE, SEE ELECTRICAL	ROAD SURFACE MARKING - CROSSING
BOLLARD	CENTERLINE OF FIRE ROUTE
CATCHBASIN, SEE CIVIL	CENTERLINE OF FIRE ROUTE (FUTURE DEVELOPMENT, REFERENCE ONLY)
MANHOLE, SEE CIVIL	5'0" CRITICAL ASSET SECURITY SETBACK
SIAMSESE CONNECTION, SEE CIVIL	2.4m HIGH K-RATED AMERISTAR SECURITY PERIMETER FENCE
ASPHALT PAVING, SEE CIVIL	2.4m HIGH NON-RATED AMERISTAR SECURITY PERIMETER FENCE
CONCRETE PAVING, SEE LANDSCAPE	UTILITY SUBSTATION PERIMETER FENCE (N.I.C.)
SOFT LANDSCAPE, SEE LANDSCAPE	1.83m HIGH FOH/BOH CHAINLINK FENCE, SEE LANDSCAPE
GRAVEL, SEE LANDSCAPE	TEMPORARY FENCE / PHASING FENCE
ZONING SETBACK	LIGHTING POLE, SEE ELECTRICAL
SERVICING EASEMENT	SURFACE MOUNT LIGHTING FIXTURE, SEE ELECTRICAL
SNOW STORAGE	CURB DEPRESSION, SEE LANDSCAPE
EXISTING TREES, SEE LANDSCAPE	
TREES, SEE LANDSCAPE	
TELECOM VAULT, SEE CIVIL & TELECOM	

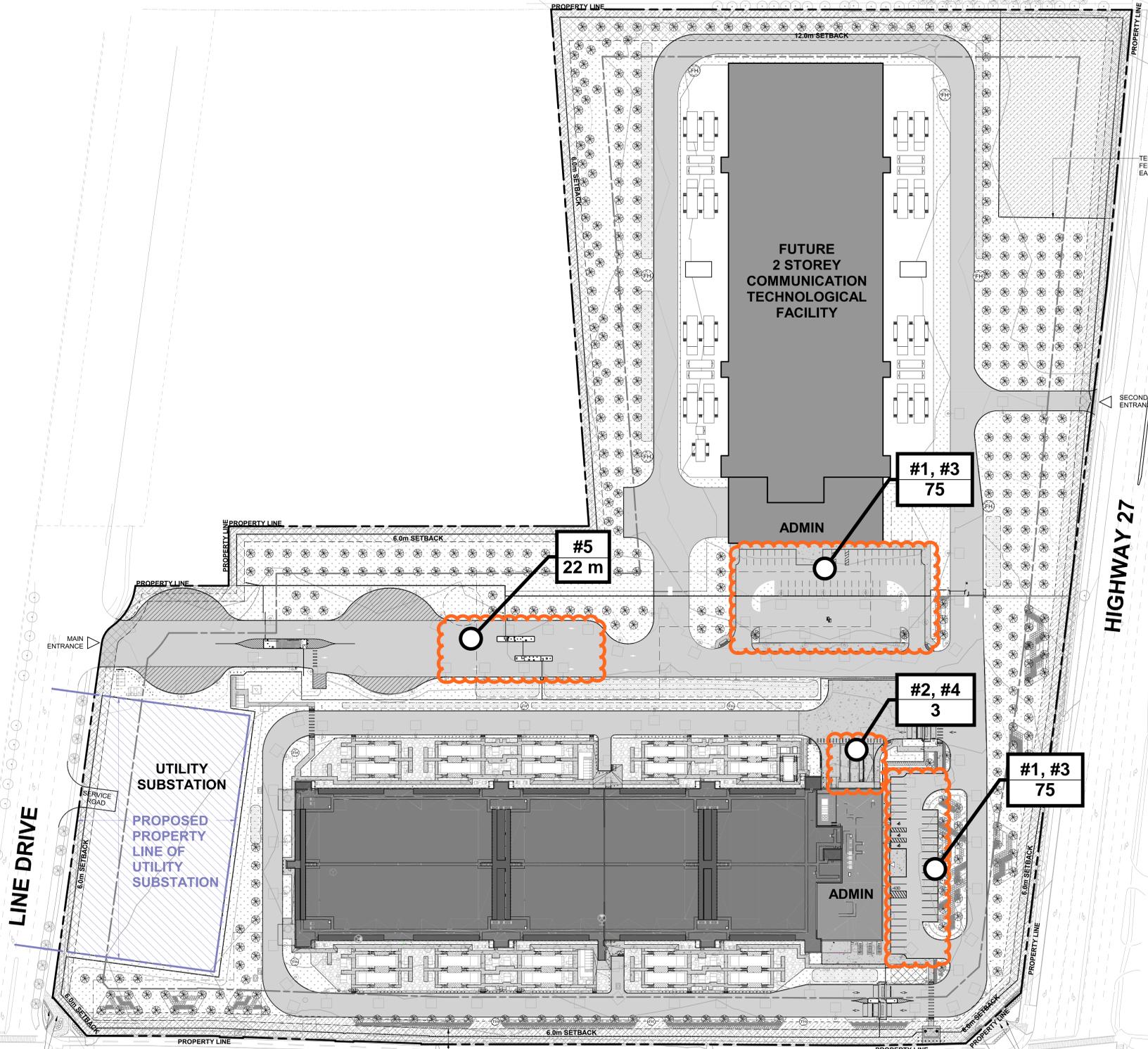
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#	Zoning By-law 1-88 (Section 3.8)	Variance requested
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• CONCEPTUAL FUTURE DEVELOPMENT /
LANDSCAPE DESIGN, FOR REFERENCE ONLY

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SITE PLAN LEGEND

--- PROPOSED PROPERTY LINE	--- STANDARD PARKING SPACE 2700mm X 6000mm
--- UTILITY SUBSTATION PROPERTY LINE	--- CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE DIMENSIONS AS REQUIRED. SEE CIVIL.
--- EXISTING PROPERTY LINE	--- ACCESSIBLE PARKING SPACE - TYPE A 3400mm X 6000mm
▽ ENTRANCE	--- ACCESSIBLE PARKING SPACE - TYPE B 2400mm X 6000mm
▽ EXIT ONLY	--- CONCRETE PARKING STOP BLOCK, WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE DIMENSIONS AS REQUIRED. SEE CIVIL.
⊕ FIRE HYDRANT, SEE CIVIL	--- SHORT TERM BIKE PARKING SPACE 600mm X 1800mm
⊕ E.V.C. ELECTRIC VEHICLE CHARGING STATION PARKING SPACE, SEE ELECTRICAL	--- ROAD SURFACE MARKING - CROSSING
○ BOLLARD	--- CENTERLINE OF FIRE ROUTE (FUTURE DEVELOPMENT, REFERENCE ONLY)
⊕ CATCHBASIN, SEE CIVIL	--- 50' CRITICAL ASSET SECURITY SETBACK
⊕ MANHOLE, SEE CIVIL	--- 2.4m HIGH K-RATED AMERISTAR SECURITY PERIMETER FENCE
--- SIAMESE CONNECTION, SEE CIVIL	--- 2.4m HIGH NON-RATED AMERISTAR SECURITY PERIMETER FENCE (N.I.C.)
--- ASPHALT PAVING, SEE CIVIL	--- 1.83m HIGH FOH/BOH CHAINLINK FENCE, SEE LANDSCAPE
--- CONCRETE PAVING, SEE LANDSCAPE	--- TEMPORARY FENCE / PHASING FENCE
--- SOFT LANDSCAPE, SEE LANDSCAPE	⊕ LIGHTING POLE, SEE ELECTRICAL
--- ZONING SETBACK	⊕ SURFACE MOUNT LIGHTING FIXTURE, SEE ELECTRICAL
--- GRAVEL, SEE LANDSCAPE	--- CURB DEPRESSION, SEE LANDSCAPE
--- SERVING EASEMENT	
--- SNOW STORAGE	
--- EXISTING TREES, SEE LANDSCAPE	
--- TREES, SEE LANDSCAPE	
⊕ TELECOM VAULT, SEE CIVIL & TELECOM	

#	Zoning By-law 01-2021	Variance requested
1	The number of parking spaces required is 146 spaces. [Table 6-2]	To permit a total of 75 parking spaces.
2	The minimum number of loading spaces required is 1 Type A, 3 Type B, and 1 Type C loading spaces. [Table 6-18]	To permit a minimum of 3 loading spaces.
#	Zoning By-law 1-88	Variance requested
3	The number of parking spaces required is 259 spaces. [Section 3.8]	To permit a total of 75 parking spaces.
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5	A driveway and/or aisle which serves the movement of trucks to and from a loading space shall have a maximum width of 13.5 metres [Section 3.9 b)].	To permit a maximum driveway width of 22.0 metres which serves the movement of trucks to and from a loading space.

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Tel: 314-569-7000
- Ross Baruzzini** Security Engineer
2321 Whitney Ave., Suite 501
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Tel: 203-288-6490

**YTO11
DATA CENTER**
6100 LANGSTAFF RD, VAUGHAN,
ONTARIO

Design Team

Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	P 17856
All Project No.	2103546.00

Design Manager CHRIS OUELLETTE

Layout Manager

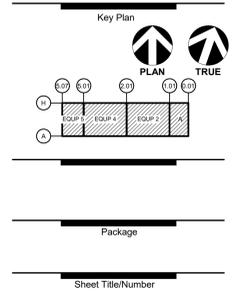
Civil, Site Survey, Landscaping Technical Lead	NALINI CHANDRAN
Architectural & Structural Technical Lead	SANDRA SLSKIC DAVID SWANSON
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Security Systems Engineering Lead	JEREMY ZWEERES

Revisions

No.	Date	Description
A	2022-02-08	ISSUED FOR SPA DRAFT
B	2022-02-18	ISSUED FOR SPA
C	2022-08-23	ISSUED FOR SPA RESUBMISSION 1
D	2023-03-17	ISSUED FOR SPA RESUBMISSION 2
E	2023-05-03	ISSUED FOR COMMITTEE OF ADJUSTMENT



**ARCHITECTURAL -
OVERALL SITE
PLAN COMPLETE
DEVELOPMENT**

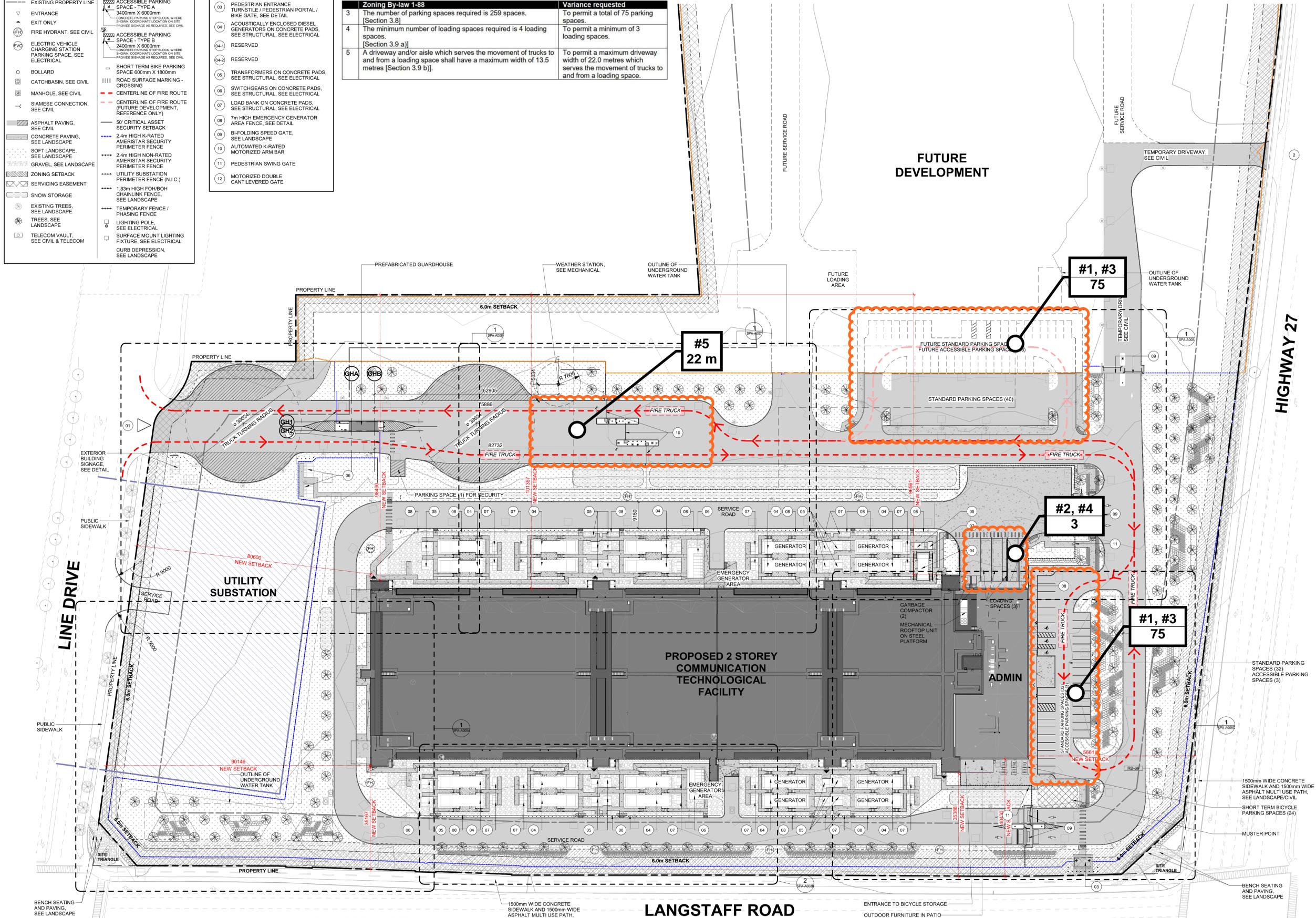
YTO11-SPA-A004

SITE PLAN LEGEND	
--- PROPOSED PROPERTY LINE	STANDARD PARKING SPACE 2700mm X 6000mm
--- EXISTING PROPERTY LINE	CONCRETE PARKING STOP BLOCK WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE SIGNAGE AS REQUIRED. SEE CIVIL.
▲ ENTRANCE	ACCESSIBLE PARKING SPACE - TYPE A 3400mm X 6000mm
▽ EXIT ONLY	CONCRETE PARKING STOP BLOCK WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE SIGNAGE AS REQUIRED. SEE CIVIL.
⊕ FIRE HYDRANT, SEE CIVIL	ACCESSIBLE PARKING SPACE - TYPE B 2400mm X 6000mm
⊕ ELECTRIC VEHICLE CHARGING STATION PARKING SPACE, SEE ELECTRICAL	CONCRETE PARKING STOP BLOCK WHERE SHOWN, COORDINATE LOCATION ON SITE. PROVIDE SIGNAGE AS REQUIRED. SEE CIVIL.
○ BOLLARD	SHORT TERM BIKE PARKING SPACE 600mm X 1800mm
⊕ CATCHBASIN, SEE CIVIL	ROAD SURFACE MARKING - CROSSING
⊕ MANHOLE, SEE CIVIL	--- CENTERLINE OF FIRE ROUTE
--- SIAMSESE CONNECTION, SEE CIVIL	--- CENTERLINE OF FIRE ROUTE (FUTURE DEVELOPMENT, REFERENCE ONLY)
ASPHALT PAVING, SEE CIVIL	--- 50' CRITICAL ASSET SECURITY SETBACK
CONCRETE PAVING, SEE LANDSCAPE	--- 2.4m HIGH K-RATED AMERISTAR SECURITY PERIMETER FENCE
SOFT LANDSCAPE, SEE LANDSCAPE	--- 2.4m HIGH NON-RATED AMERISTAR SECURITY PERIMETER FENCE
GRAVEL, SEE LANDSCAPE	--- UTILITY SUBSTATION PERIMETER FENCE (N.I.C.)
ZONING SETBACK	--- 1.83m HIGH FOH/BOH CHAINLINK FENCE, SEE LANDSCAPE
SERVICING EASEMENT	--- TEMPORARY FENCE / PHASING FENCE
SNOW STORAGE	○ LIGHTING POLE, SEE ELECTRICAL
EXISTING TREES, SEE LANDSCAPE	○ SURFACE MOUNT LIGHTING FIXTURE, SEE ELECTRICAL
TREES, SEE LANDSCAPE	○ CURB DEPRESSION, SEE LANDSCAPE
TELECOM VAULT, SEE CIVIL & TELECOM	

SITE PLAN NOTES	
01	PRIMARY VEHICULAR ENTRANCE, SEE DETAIL
02	SECONDARY VEHICULAR ENTRANCE, SEE DETAIL
03	PEDESTRIAN ENTRANCE TURNSTILE / PEDESTRIAN PORTAL / BIKE GATE, SEE DETAIL
04	ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
04-1	RESERVED
04-2	RESERVED
05	TRANSFORMERS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
06	SWITCHGEARS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
07	LOAD BANK ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
08	7m HIGH EMERGENCY GENERATOR AREA FENCE, SEE DETAIL
09	BI-FOLDING SPEED GATE, SEE LANDSCAPE
10	AUTOMATED K-RATED MOTORIZED ARM BAR
11	PEDESTRIAN SWING GATE
12	MOTORIZED DOUBLE CANTILEVERED GATE

#	Zoning By-law 01-2021	Variance requested
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#	Zoning By-law 1-88	Variance requested
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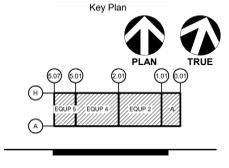
YTO11 DATA CENTER
 6100 LANGSTAFF RD, VAUGHAN,
 ONTARIO

Design Team	
Design	Author
Drawn	Checker
Checked	Checker
M.S. Project No.	P 17856
All Project No.	2103566.00

DESIGN TEAM	
Design Manager	CHRIS OUELLETTE
Layout Manager	
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Telecommunications / Network	SYED ALI
Technical Lead	
Security Design Manager	AMY SMITH

Revisions		
No.	Date	Description
A	2022-03-08	ISSUED FOR SPA DRAFT
B	2022-03-18	ISSUED FOR SPA
C	2022-08-23	ISSUED FOR SPA SUBMISSION 1
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E	2022-05-03	ISSUED FOR COMMITTEE OF ADJUSTMENT

Registration	
Professional Engineer	
Professional Architect	
Professional Geotechnical Engineer	
Professional Audio & Visual Engineer	
Professional Security Engineer	



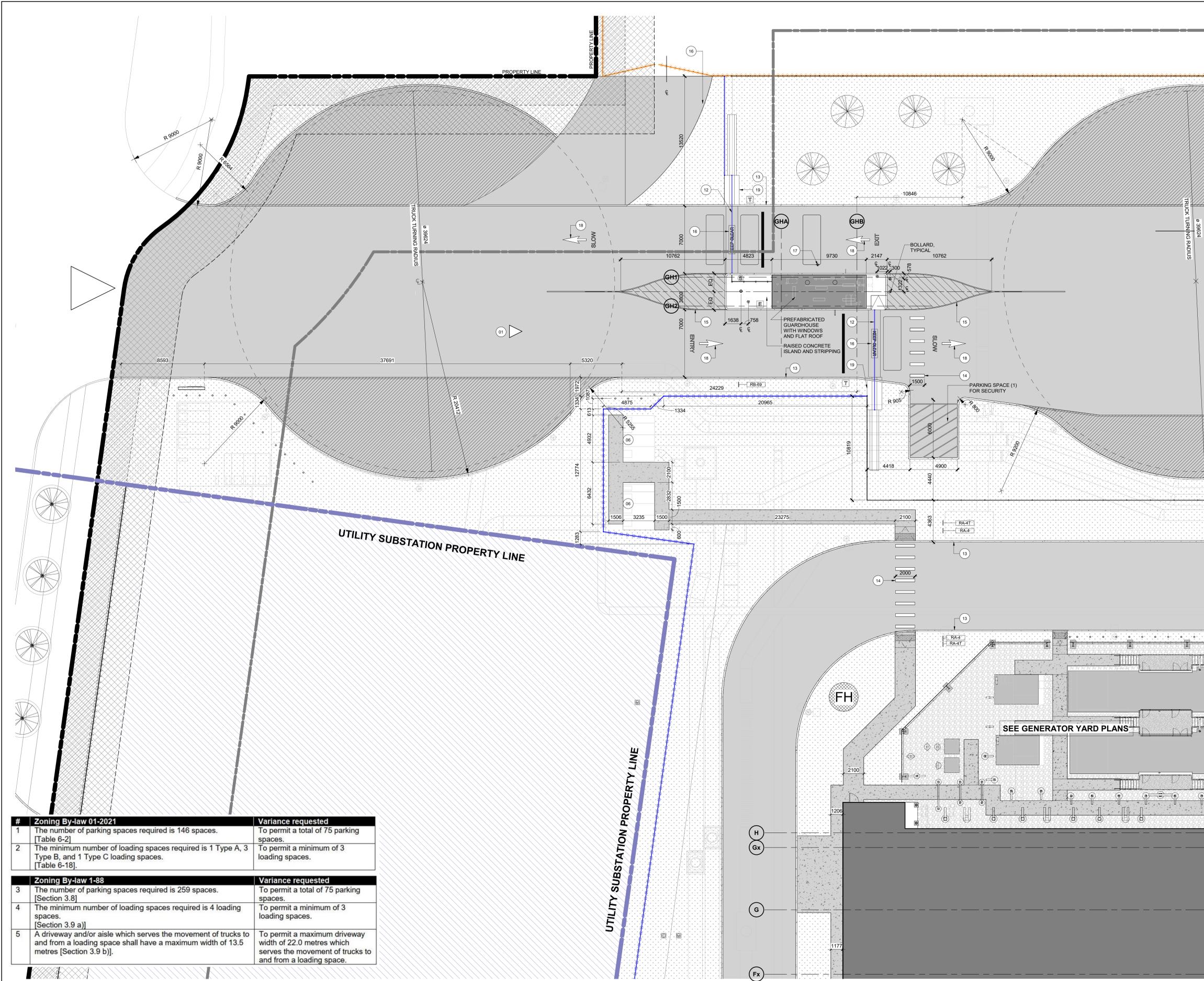
Package	
Sheet Title/Number	

ARCHITECTURAL - ENLARGED BUILDING SITE PLAN

YTO11-SPA-A005

1 SITE PLAN - SPA
 SPA-A005 1:500

Autodesk Docs/YTO11/YTO11-ARCH-BLDG-R22.rvt 2023-05-04 4:58:40 PM SPA-A005



ENLARGED SITE LEGEND

- PROPOSED PROPERTY LINE
- UTILITY SUBSTATION PROPERTY LINE
- EXISTING PROPERTY LINE
- (FH) FIRE HYDRANT, SEE CIVIL
- (EVC) ELECTRIC VEHICLE CHARGING STATION PARKING SPACE, SEE ELECTRICAL
- (K) K-RATED BOLLARD, SEE DETAIL
- (N) NON-RATED BOLLARD, SEE DETAIL
- (C) CATCHBASIN, SEE CIVIL
- (M) MANHOLE, SEE CIVIL
- (S) SIAMESE CONNECTION, SEE CIVIL
- (A) ASPHALT PAVING, SEE CIVIL
- (C) CONCRETE PAVING, SEE LANDSCAPE
- (S) SOFT LANDSCAPE, SEE LANDSCAPE
- (G) GRAVEL, SEE LANDSCAPE
- (Z) ZONING SETBACK
- (E) SERVING EASEMENT
- (+)+ 2.4m HIGH K-RATED AMERISTAR SECURITY PERIMETER FENCE, PROVIDE FENCE SIGNAGE THROUGHOUT
- (+)- 2.4m HIGH NON-RATED AMERISTAR SECURITY PERIMETER FENCE, NOT IN CONTRACT
- (-)- UTILITY SUBSTATION PERIMETER FENCE, NOT IN CONTRACT
- (-)- 1.83m HIGH FOHBH CHAINLINK FENCE, SEE LANDSCAPE
- (-)- TEMPORARY FENCE / PHASING FENCE
- (L) LIGHTING POLE, SEE ELECTRICAL
- (S) SURFACE MOUNT LIGHTING FIXTURE, SEE ELECTRICAL
- (D) CURB DEPRESSION WITH DETECTABLE WARNING SURFACE, SEE LANDSCAPE
- (T) TRAFFIC SIGNAL
- (E) ENTRANCE PEDESTAL
- (X) EXIT PEDESTAL
- (B) BARRIER ARM GATE OPERATOR
- (S) SECURITY CAMERA PEDESTAL, SEE SECURITY
- (S) LOOP INSTALL (DIRECT BURIAL IN ASPHALT)
- (S) STOP BAR
- XX-XX EXTERIOR SIGNAGE, SEE SIGNAGE DETAIL
- (01) PRIMARY VEHICULAR ENTRANCE, SEE DETAIL
- (02) SECONDARY VEHICULAR ENTRANCE, SEE DETAIL
- (03) PEDESTRIAN ENTRANCE TURNSTILE / PEDESTRIAN PORTAL / BIKE GATE, SEE DETAIL
- (04) ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
- (05) TRANSFORMERS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
- (06) SWITCHGEARS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
- (07) LOAD BANK SWITCHGEARS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
- (08) 7m HIGH EMERGENCY GENERATOR AREA FENCE, SEE DETAIL
- (09) BI-FOLDING SPEED GATE, SEE LANDSCAPE
- (10) AUTOMATED K-RATED MOTORIZED ARM BAR
- (11) PEDESTRIAN SWING GATE
- (12) MOTORIZED DOUBLE CANTILEVERED GATE
- (13) CONCRETE CURB
- (14) ROAD SURFACE MARKING - CROSSING
- (15) ROAD SURFACE MARKING - YELLOW THERMOPLASTIC STRIP WITH 45 DEGREE ANGLED STRIP INFILL, SEE DETAIL FOR RAISED ISLAND
- (16) ROAD SURFACE MARKING - EXCLUSION ZONE STRIPPING
- (17) ROAD SURFACE MARKING - MOTORCYCLE POSITION STRIPPING
- (18) ROAD SURFACE MARKING - DIRECTIONAL ARROW WITH PAVEMENT MARKING
- (19) CONCRETE MAINTENANCE STRIP
- (20) OUTLINE OF UNDERGROUND WATER TANK, SEE CIVIL
- (21) RESERVED
- (22) RESERVED
- (23) RESERVED
- (24) RESERVED
- (25) DOUBLE SWING GATE WITH MANUAL K RATED BARRIER ARM
- (26) TEMPORARY ROAD FOR CONSTRUCTION ACCESS, SEE CIVIL

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**YTO11
 DATA CENTER
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 ONTARIO**

Design Team

Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	P 17856
All Project No.	2103566-00

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Layout Manager

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Technical Lead	DAVID SWANSON
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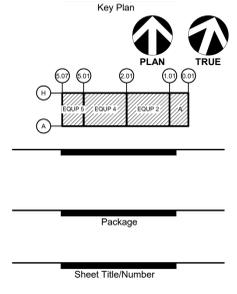
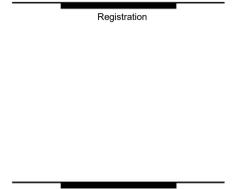
Security Design Manager AMY SMITH

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Revisions

No.	Date	Description
C	2022-09-23	ISSUED FOR SPA SUBMISSION 1
C	2022-09-17	ISSUED FOR SPA SUBMISSION 2
E	2022-05-03	ISSUED FOR COMMITTEE OF ADJUSTMENT

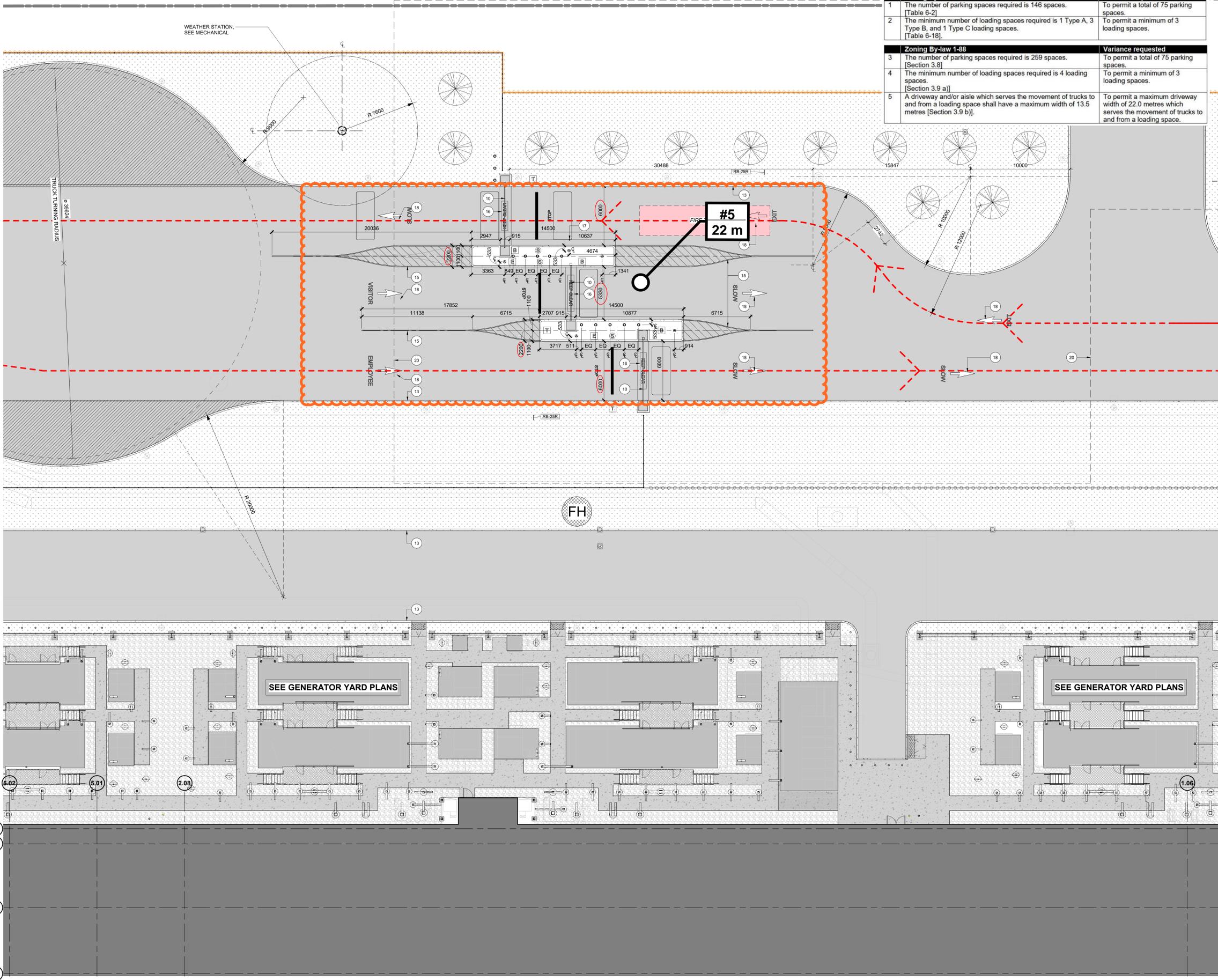


**ARCHITECTURAL -
 ENLARGED SITE
 PLANS**

YTO11-SPA-A006

#	Zoning By-law 01-2021	Variance requested
1	The number of parking spaces required is 146 spaces. [Table 6-2]	To permit a total of 75 parking spaces.
2	The minimum number of loading spaces required is 1 Type A, 3 Type B, and 1 Type C loading spaces. [Table 6-18]	To permit a minimum of 3 loading spaces.

#	Zoning By-law 1-88	Variance requested
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ENLARGED SITE LEGEND

- PROPOSED PROPERTY LINE
 - EXISTING PROPERTY LINE
 - (FH) FIRE HYDRANT, SEE CIVIL
 - (EVC) ELECTRIC VEHICLE CHARGING STATION PARKING SPACE, SEE ELECTRICAL
 - (K) K-RATED BOLLARD, SEE DETAIL
 - (NB) NON-RATED BOLLARD, SEE DETAIL
 - (CB) CATCHBASIN, SEE CIVIL
 - (MH) MANHOLE, SEE CIVIL
 - (SC) SIAMESE CONNECTION, SEE CIVIL
 - (AS) ASPHALT PAVING, SEE CIVIL
 - (CP) CONCRETE PAVING, SEE LANDSCAPE
 - (SL) SOFT LANDSCAPE, SEE LANDSCAPE
 - (GL) GRAVEL, SEE LANDSCAPE
 - (ZS) ZONING SETBACK
 - (SE) SERVING EASEMENT
 - (+H) 2.4m HIGH K-RATED AMERISTAR SECURITY PERIMETER FENCE, PROVIDE FENCE SIGNAGE THROUGHOUT
 - (+N) 2.4m HIGH NON-RATED AMERISTAR SECURITY PERIMETER FENCE
 - (US) UTILITY SUBSTATION PERIMETER FENCE, NOT IN CONTRACT
 - (1.8) 1.8m HIGH FOXBOW CHAINLINK FENCE, SEE LANDSCAPE
 - (TF) TEMPORARY FENCE / PHASING FENCE
 - (LP) LIGHTING POLE, SEE ELECTRICAL
 - (SM) SURFACE MOUNT LIGHTING FIXTURE, SEE ELECTRICAL
 - (CD) CURB DEPRESSION WITH DETECTABLE WARNING SURFACE, SEE LANDSCAPE
 - (TS) TRAFFIC SIGNAL
 - (EP) ENTRANCE PEDESTAL
 - (XP) EXIT PEDESTAL
 - (BAG) BARRIER ARM GATE OPERATOR
 - (SCS) SECURITY CAMERA PEDESTAL, SEE SECURITY
 - (LI) LOOP INSTALL (DIRECT BURIAL IN ASPHALT)
 - (SB) STOP BAR
 - (XX-XX) EXTERIOR SIGNAGE, SEE SIGNAGE DETAIL
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- (01) PRIMARY VEHICULAR ENTRANCE, SEE DETAIL
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 - (05) TRANSFORMERS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
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 - (16) ROAD SURFACE MARKING - EXCLUSION ZONE STRIPPING
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 - (18) ROAD SURFACE MARKING - DIRECTIONAL ARROW WITH PAVEMENT MARKING
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 - (20) OUTLINE OF UNDERGROUND WATER TANK, SEE CIVIL
 - (21) RESERVED
 - (22) RESERVED
 - (23) RESERVED
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 - (26) TEMPORARY ROAD FOR CONSTRUCTION ACCESS, SEE CIVIL

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 6100 LANGSTAFF RD, VAUGHAN, ONTARIO

Design Team

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Drawn	Author
Checked	Checker
M.S. Project No.	P 17856
All Project No.	2103566.00

Design Manager	CHRIS OUELLETTE
Layout Manager	
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Revisions

No.	Date	Description
C	2022-09-23	ISSUED FOR SPA RESUBMISSION 1
D	2022-09-17	ISSUED FOR SPA RESUBMISSION 2
E	2022-05-03	ISSUED FOR COMMITTEE OF ADJUSTMENT

Registration

Key Plan

PLAN TRUE

Package

Sheet Title/Number

ARCHITECTURAL - ENLARGED SITE PLANS

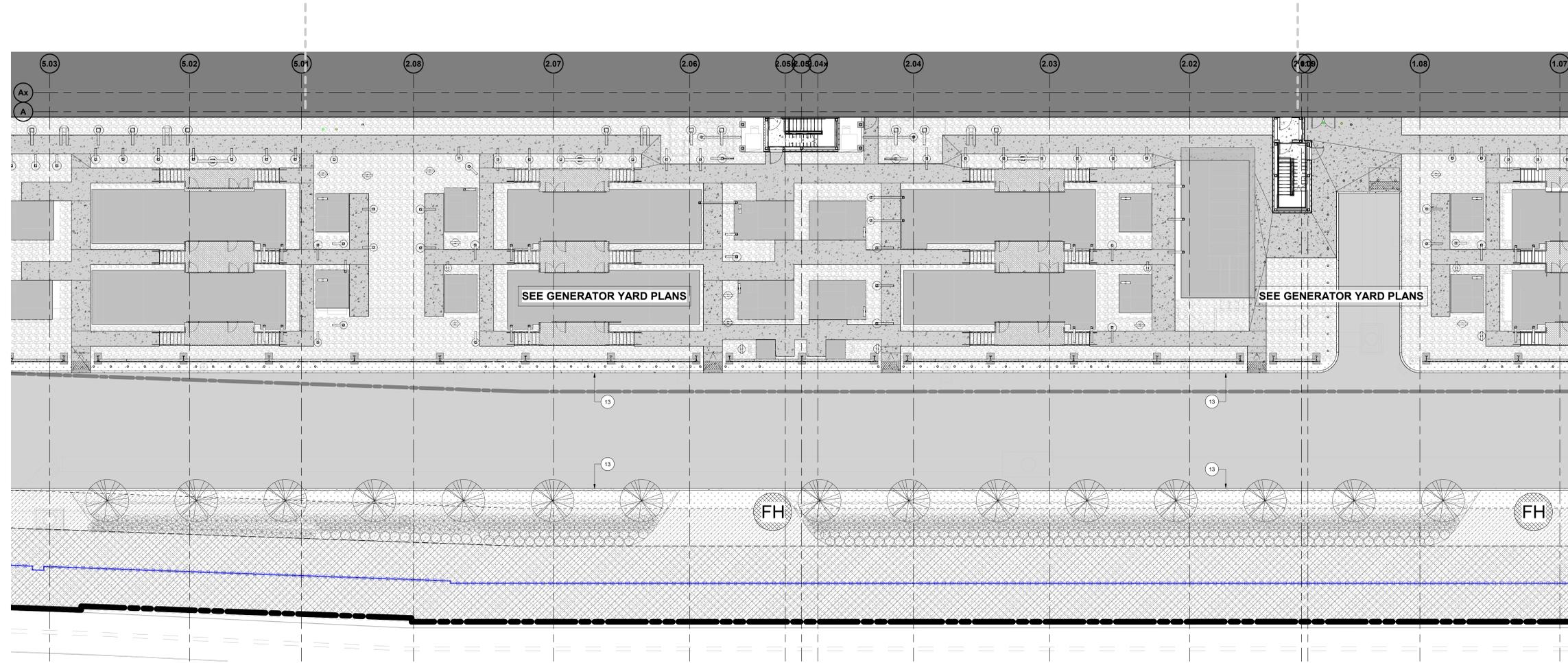
YTO11-SPA-A007

#	Zoning By-law 01-2021	Variance requested
1	The number of parking spaces required is 146 spaces. [Table 6-2]	To permit a total of 75 parking spaces.
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#	Zoning By-law 1-88	Variance requested
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ENLARGED SITE LEGEND

- PROPOSED PROPERTY LINE
- UTILITY SUBSTATION PROPERTY LINE
- EXISTING PROPERTY LINE
- (FH) FIRE HYDRANT, SEE CIVIL
- (EVC) ELECTRIC VEHICLE CHARGING STATION
- (K) K-RATED BOLLARD, SEE DETAIL
- (N) NON-RATED BOLLARD, SEE DETAIL
- (C) CATCHBASIN, SEE CIVIL
- (M) MANHOLE, SEE CIVIL
- (S) SIAMESE CONNECTION, SEE CIVIL
- (A) ASPHALT PAVING, SEE CIVIL
- (C) CONCRETE PAVING, SEE LANDSCAPE
- (S) SOFT LANDSCAPE, SEE LANDSCAPE
- (G) GRAVEL, SEE LANDSCAPE
- (Z) ZONING SETBACK
- (E) SERVICING EASEMENT
- (+)- 2.4m HIGH K-RATED AMERISTAR SECURITY PERIMETER FENCE, PROVIDE FENCE SIGNAGE THROUGHOUT
- (+)- 2.4m HIGH NON-RATED AMERISTAR SECURITY PERIMETER FENCE
- (-)- UTILITY SUBSTATION PERIMETER FENCE, NOT IN CONTRACT
- (-)- 1.8m HIGH FOHBH CHAINLINK FENCE, SEE LANDSCAPE
- (-)- TEMPORARY FENCE / PHASING FENCE
- (L) LIGHTING POLE, SEE ELECTRICAL
- (S) SURFACE MOUNT LIGHTING FIXTURE, SEE ELECTRICAL
- (D) CURB DEPRESSION WITH DETECTABLE WARNING SURFACE, SEE LANDSCAPE
- (T) TRAFFIC SIGNAL
- (E) ENTRANCE PEDESTAL
- (X) EXIT PEDESTAL
- (B) BARRIER ARM GATE OPERATOR
- (S) SECURITY CAMERA PEDESTAL, SEE SECURITY
- (S) LOOP INSTALL (DIRECT BURIAL IN ASPHALT)
- (S) STOP BAR
- (XX-XX) EXTERIOR SIGNAGE, SEE SIGNAGE DETAIL

- (01) PRIMARY VEHICULAR ENTRANCE, SEE DETAIL
- (02) SECONDARY VEHICULAR ENTRANCE, SEE DETAIL
- (03) PEDESTRIAN ENTRANCE TURNSTILE / PEDESTRIAN PORTAL / BIKE GATE, SEE DETAIL
- (04) ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
- (05) TRANSFORMERS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
- (06) SWITCHGEARS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
- (07) LOAD BANK SWITCHGEARS ON CONCRETE PADS, SEE STRUCTURAL, SEE ELECTRICAL
- (08) 7m HIGH EMERGENCY GENERATOR AREA FENCE, SEE DETAIL
- (09) BI-FOLDING SPEED GATE, SEE LANDSCAPE
- (10) AUTOMATED K-RATED MOTORIZED ARM BAR
- (11) PEDESTRIAN SWING GATE
- (12) MOTORIZED DOUBLE CANTILEVERED GATE
- (13) CONCRETE CURB
- (14) ROAD SURFACE MARKING - CROSSING
- (15) ROAD SURFACE MARKING - YELLOW THERMOPLASTIC STRIP WITH 45 DEGREE ANGLED STRIP INFILL, SEE DETAIL FOR RAISED ISLAND
- (16) ROAD SURFACE MARKING - EXCLUSION ZONE STRIPPING
- (17) ROAD SURFACE MARKING - MOTORCYCLE POSITION STRIPING
- (18) ROAD SURFACE MARKING - DIRECTIONAL ARROW WITH PAVEMENT MARKING
- (19) CONCRETE MAINTENANCE STRIP
- (20) OUTLINE OF UNDERGROUND WATER TANK, SEE CIVIL
- (21) RESERVED
- (22) RESERVED
- (23) RESERVED
- (24) RESERVED
- (25) DOUBLE SWING GATE WITH MANUAL K RATED BARRIER ARM
- (26) TEMPORARY ROAD FOR CONSTRUCTION ACCESS, SEE CIVIL



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**YTO11
DATA CENTER
6100 LANGSTAFF RD, VAUGHAN,
ONTARIO**

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Drawn	Author
Checked	Checker
M.S. Project No.	P 17856
All Project No.	2102566.00

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Landscape Manager

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Electrical Technical Lead	JIA YAN
Electrical Power Management Systems (EPMS) Technical Lead	AMMAR ALKHUWATER
Telecommunications / Network Technical Lead	SYED ALI
Security Design Manager	AMY SMITH

DESIGN TEAM

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Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
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Security Systems Engineering Lead	JEREMY ZWEERES

Revisions

No.	Date	Description
C	2022-09-23	ISSUED FOR SPA SUBMISSION 1
D	2022-09-17	ISSUED FOR SPA SUBMISSION 2
E	2022-09-03	ISSUED FOR COMMITTEE OF ADJUSTMENT



Key Plan

PLAN TRUE

Package

Sheet Title/Number

**ARCHITECTURAL -
ENLARGED SITE
PLANS**

YTO11-SPA-A008B

YTO11
DATA CENTER
6100 LANGSTAFF RD, VAUGHAN,
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Drawn	Author
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Security Systems Engineering Lead: JEREMY ZVEERES

Revisions

No.	Date	Description
A	2022-02-08	ISSUED FOR SPA DRAFT
B	2022-02-18	ISSUED FOR SPA
C	2022-09-23	ISSUED FOR SPA SUBMISSION 1
D	2023-03-17	ISSUED FOR SPA SUBMISSION 2
E	2023-03-03	ISSUED FOR COMMITTEE OF ADJUSTMENT

Registration

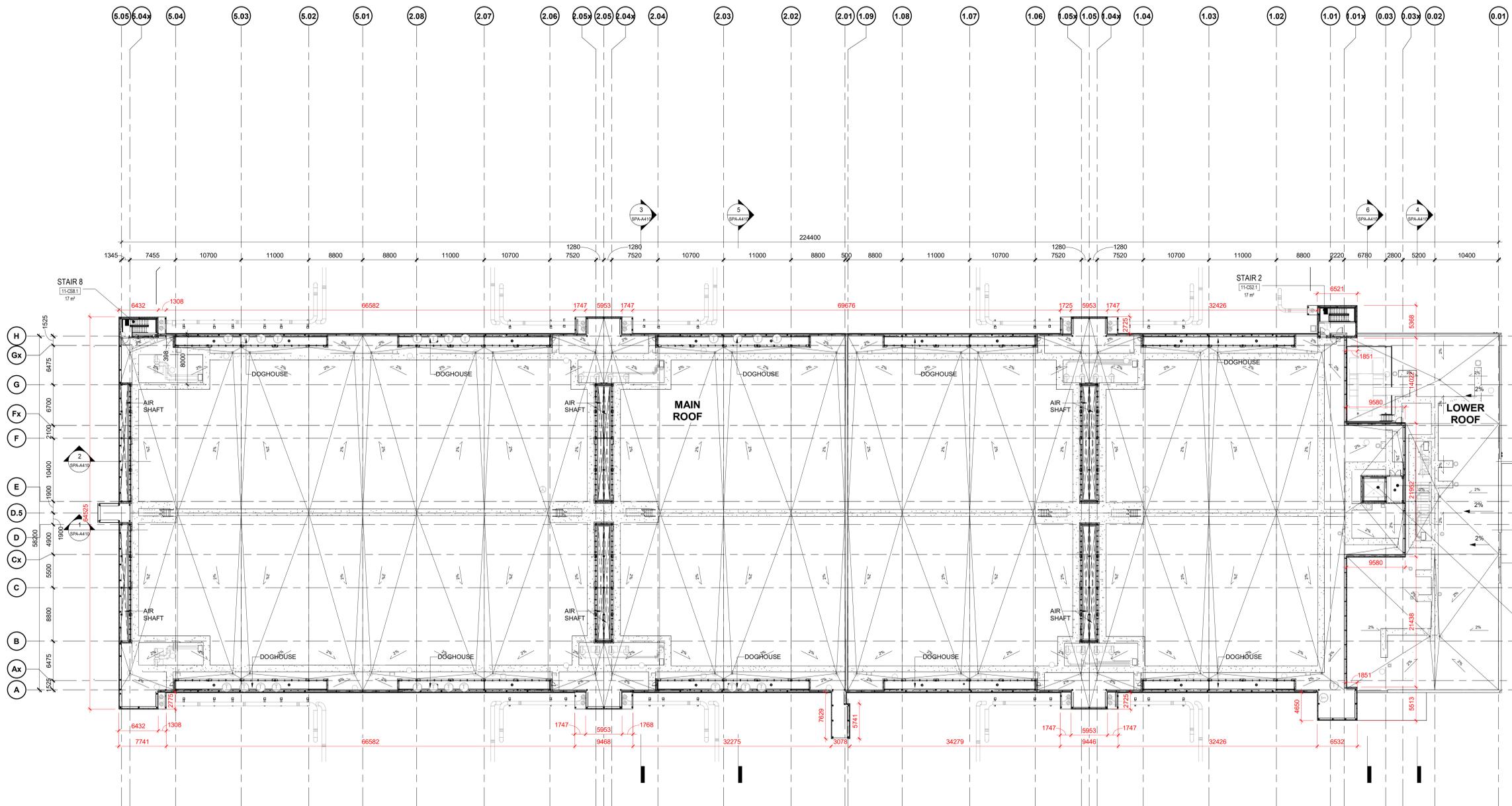


Package

Sheet Title/Number

OVERALL MAIN ROOF FLOOR PLAN

YTO11-SPA-A102



#	Zoning By-law	Variance requested
1	Zoning By-law 01-2021 The number of parking spaces required is 146 spaces. [Table 6-2]	To permit a total of 75 parking spaces.
2	The minimum number of loading spaces required is 1 Type A, 3 Type B, and 1 Type C loading spaces. [Table 6-18]	To permit a minimum of 3 loading spaces.
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YTO11
DATA CENTER
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Checked	Checker
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Electrical Technical Lead: JIA YAN

Electrical Power Management Systems (EPMS) Technical Lead: AMMAR ALKHAWAITER

Telecommunications / Network Technical Lead: SYED ALI

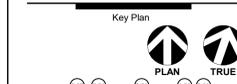
Security Design Manager: AMY SMITH

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Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHALNAK PANDIT
Plumbing Engineering Lead	SHALNAK PANDIT
Fire Protection Engineering Lead	MATT JARDINE
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	TITEL GURAU
Telecommunications Engineering Lead	JOHN PEDRO
Security Systems Engineering Lead	JEREMY ZWEEBES

Revisions

No.	Date	Description
A	2022-02-08	ISSUED FOR SPA DRAFT
B	2022-02-18	ISSUED FOR SPA
C	2022-09-23	ISSUED FOR SPA RESUBMISSION 1
D	2023-03-17	ISSUED FOR SPA RESUBMISSION 2
E	2023-03-03	ISSUED FOR COMMITTEE OF ADJUSTMENT

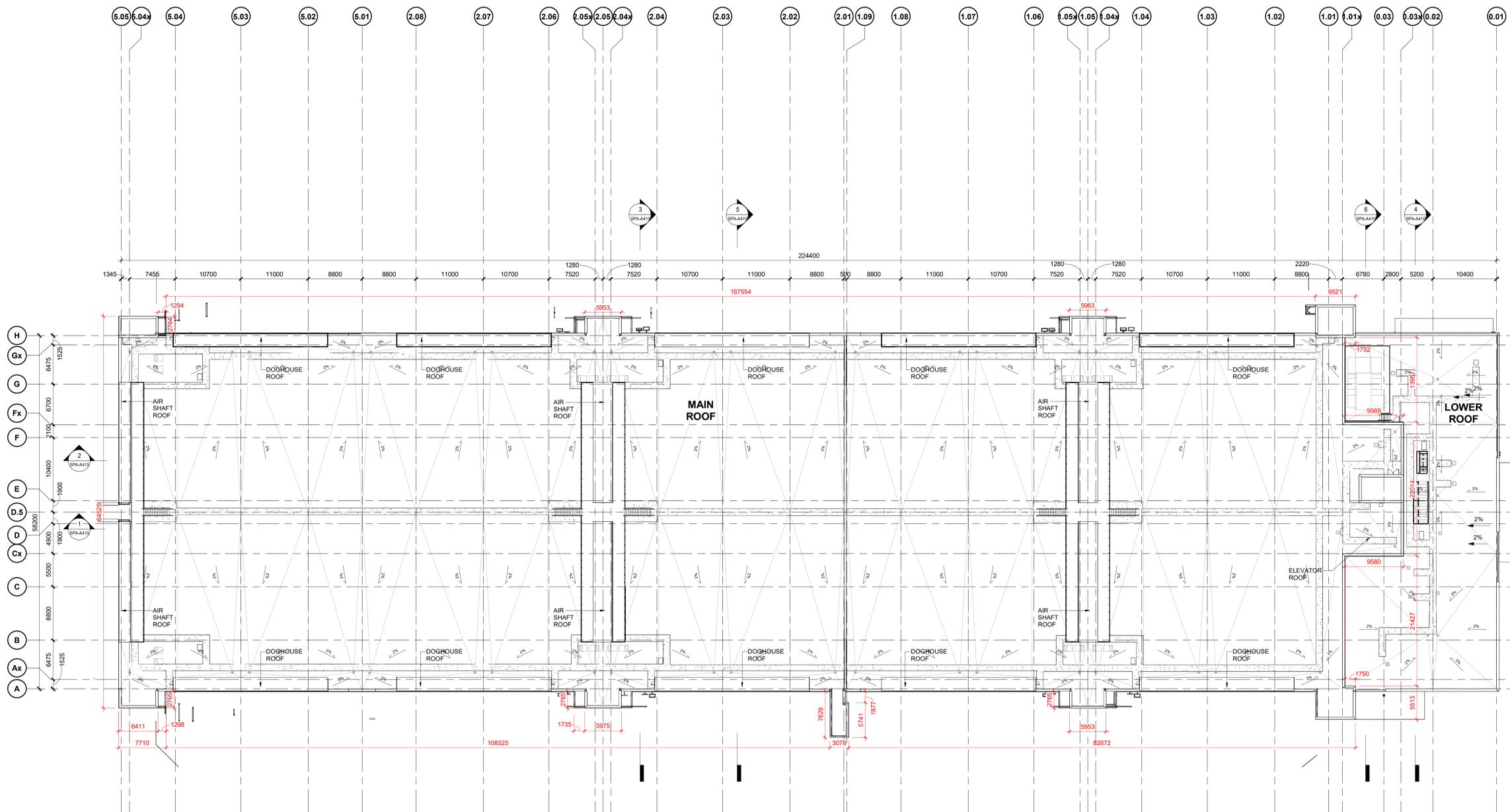


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Sheet Title/Number

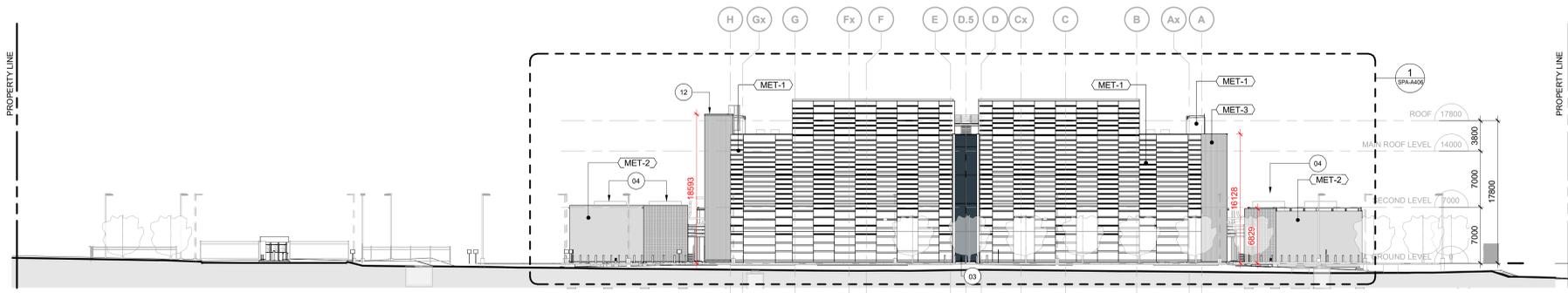
OVERALL ROOF PLAN

YTO11-SPA-A103

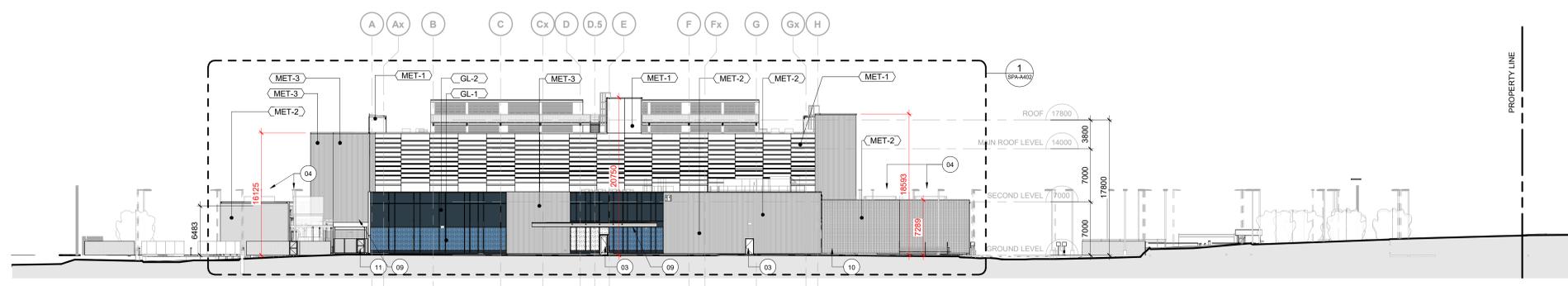


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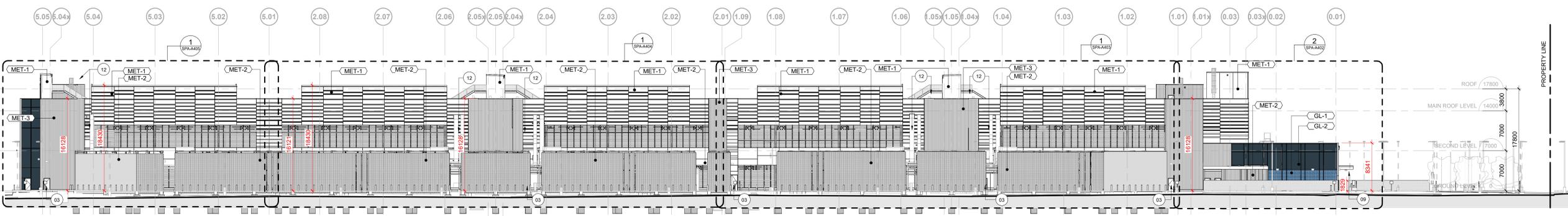
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 SPA-A103 1:300



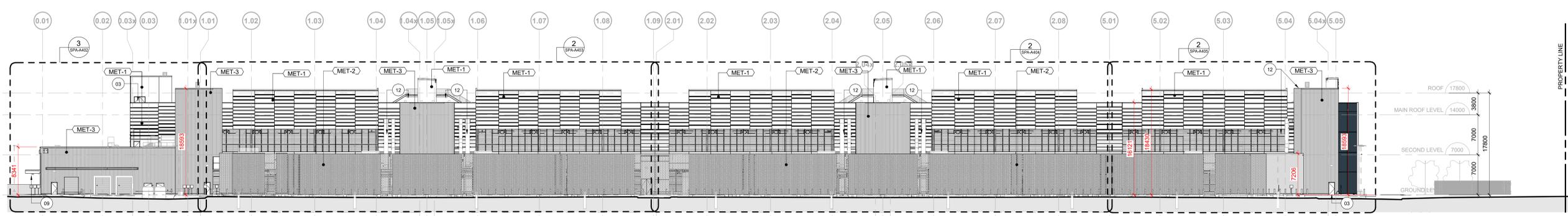
4 WEST BUILDING ELEVATION - SPA
SPA-A400 1:300



3 EAST BUILDING ELEVATION - SPA
SPA-A400 1:300



2 SOUTH BUILDING ELEVATION - SPA
SPA-A400 1:300



1 NORTH BUILDING ELEVATION - SPA
SPA-A400 1:300

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MATERIAL LEGEND

- GL-3 DOUBLE GLAZED VISION PANEL
- GL-4 DOUBLE GLAZED VISION PANEL
- GL-8 DOUBLE GLAZED SPANDREL PANEL
- MET-1 METAL PANEL
- COLOR: WHITE
- COLOR: GREY
- COLOR: BLACK
- MET-2 PERFORATED CORRUGATED METAL PANEL
- MET-3 CORRUGATED METAL PANEL
- LVR-1 ARCHITECTURAL PREFINISHED LOUVER

ELEVATION NOTES

- 01 OVERHEAD DOOR
- 02 GARBAGE COMPACTOR DOOR
- 03 EXTERIOR DOOR
- 04 ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS
- 05 TRANSFORMERS ON CONCRETE PADS
- 06 SWITCHGEARS ON CONCRETE PADS
- 07 LOAD BANK SWITCHGEARS ON CONCRETE PADS
- 08 GARBAGE COMPACTOR
- 09 CANOPY
- 10 WIRE FENCE
- 11 PEDESTRIAN SWING GATE
- 12 ELECTRICAL / MECHANICAL SERVICE
- 13 OPENING FOR ELECTRICAL SERVICE
- 14 NORTH-SOUTH ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
- 15 EAST-WEST ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
- 16 EXTERIOR BUILDING SIGNAGE REFER TO DETAIL 7/A-S-015-0

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YTO11 DATA CENTER
6100 LANGSTAFF RD, VAUGHAN, ONTARIO

Design Team

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Drawn: Author

Checked: Checker

M.S. Project No. P 17895

AE Project No. 2102566.00

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Telecommunications Engineering Lead: JOHN PEDRO

Security Systems Engineering Lead: JEREMY ZWIERES

Revisions

No.	Date	Description
A	2022-02-08	ISSUED FOR SPA DRAFT
B	2022-02-18	ISSUED FOR SPA
C	2022-02-23	ISSUED FOR SPA RESUBMISSION 1
D	2022-03-17	ISSUED FOR SPA RESUBMISSION 2
E	2022-05-03	ISSUED FOR COMMITTEE OF ADJUSTMENT

Registration

Key Plan

PLAN TRUE

Package

Sheet Title/Number

ARCHITECTURAL - OVERALL - BUILDING ELEVATIONS

YTO11-SPA-A400

Autodesk Docs/YTO11/YTO11-ARCH-BLDG-R22.rvt
2023-03-17 11:47:23 AM
SPA-A400

#	Zoning By-law 01-2021	Variance requested
1	The number of parking spaces required is 146 spaces. [Table 6-2]	To permit a total of 75 parking spaces.
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MATERIAL LEGEND

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	DOUBLE GLAZED VISION PANEL
	DOUBLE GLAZED SPANDREL PANEL
	METAL PANEL
	COLOR: WHITE
	COLOR: GREY
	COLOR: BLACK
	PERFORATED CORRUGATED METAL PANEL
	CORRUGATED METAL PANEL
	ARCHITECTURAL PREFINISHED LOUVER

ELEVATION NOTES

- 01 OVERHEAD DOOR
- 02 GARBAGE COMPACTOR DOOR
- 03 EXTERIOR DOOR
- 04 ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS
- 05 TRANSFORMERS ON CONCRETE PADS
- 06 SWITCHGEARS ON CONCRETE PADS
- 07 LOAD BANK SWITCHGEARS ON CONCRETE PADS
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- 15 EAST-WEST ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
- 16 EXTERIOR BUILDING SIGNAGE. REFER TO DETAIL 7/A-S-015-0

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YTO11 DATA CENTER 6100 LANGSTAFF RD, VAUGHAN, ONTARIO

Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	P. 17896
AE Project No.	2102566.00

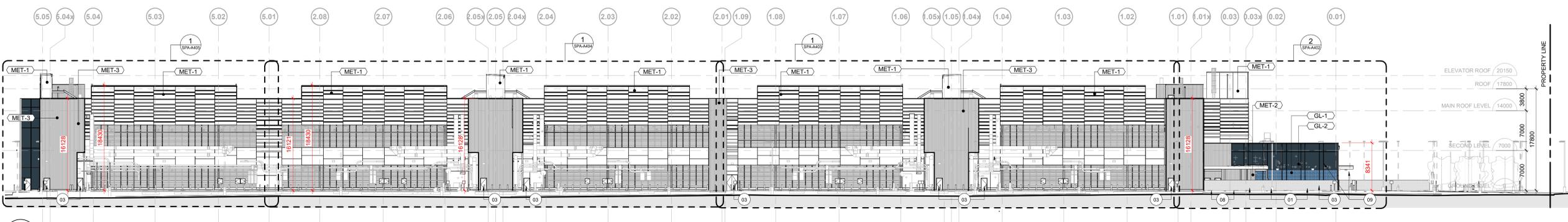
Design Manager	CHRIS OUELLETTE
Layout Manager	
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Architectural & Structural Technical Lead	SANDRA SLSKIC DAVID SWANSON
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Security Design Manager	AMY SMITH

DESIGN TEAM

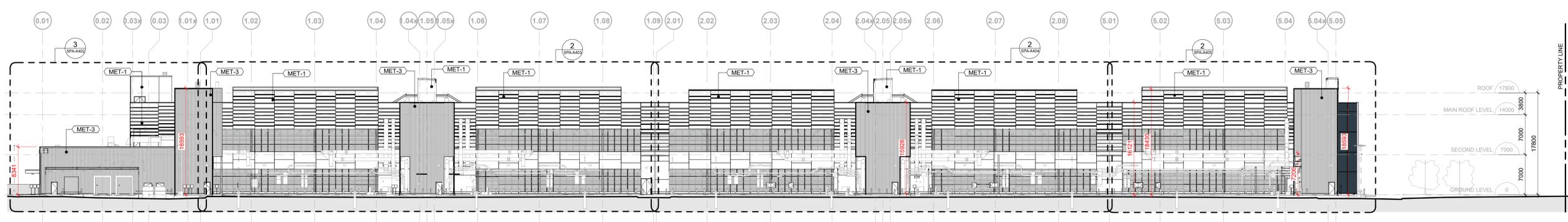
Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHALNAK PANDIT
Plumbing Engineering Lead	SHALNAK PANDIT
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BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	TITEL GURAU
Telecommunications Engineering Lead	JOHN PEDRO
Security Systems Engineering Lead	JEREMY ZWEERES

Revisions

No.	Date	Description
B	2022-02-16	ISSUED FOR SPA
C	2022-09-23	ISSUED FOR SPA RESUBMISSION 1
D	2023-03-17	ISSUED FOR SPA RESUBMISSION 2
E	2023-05-09	ISSUED FOR COMMITTEE OF ADJUSTMENT



2 SOUTH BUILDING ELEVATION - WITHOUT GENERATOR AREA
SPA-A401 1:300



1 NORTH BUILDING ELEVATION - WITHOUT GENERATOR AREA
SPA-A401 1:300

Key Plan

PLAN TRUE

Package

Sheet Title/Number

ARCHITECTURAL - OVERALL - BUILDING ELEVATIONS - W/O GENERATOR AREA YTO11-SPA-A401

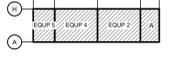
**YTO11
DATA CENTER**
6100 LANGSTAFF RD, VAUGHAN,
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Design Team	
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Drawn	Checker
Checked	Author
M.S. Project No.	P: 17895
AE Project No.	2102568.00

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Plumbing Engineering Lead	SHALJNAK PANDIT
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Telecommunications Engineering Lead	JOHN PEDRO
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Revisions		
No.	Date	Description
D	2023-03-17	ISSUED FOR SPA RESUBMISSION 2
E	2023-03-03	ISSUED FOR COMMITTEE OF ADJUSTMENT

Registration



Sheet Title/Number

OVERALL BUILDING ELEVATIONS - BIRD FRIENDLY DESIGN

YTO11-SPA-A401A

TGS - BIRD FRIENDLY DESIGN STATISTICS						
	ELEVATION FIRST 16m ² ABOVE GRADE					
	NORTH	SOUTH	EAST	WEST	TOTAL (m ²)	TOTAL (%)
GLAZING AREA (m ²)	50	193	237	42	523	100%
UNTREATED AREA (m ²)	0	1	1	0	3	1%
TREATED AREA (m ²)	50	192	235	42	520	99%
- SHADED (m ²)	0	138	147	42	377	72%
- VISUAL MARKERS (m ²)	0	54	89	0	142	27%
- BLINDS (m ²)	0	54	82	0	136	26%

FOR SITE PLAN APPROVAL APPLICATIONS RECEIVED BEFORE JANUARY 1, 2020, TREAT THE FIRST 12m² ABOVE GRADE.

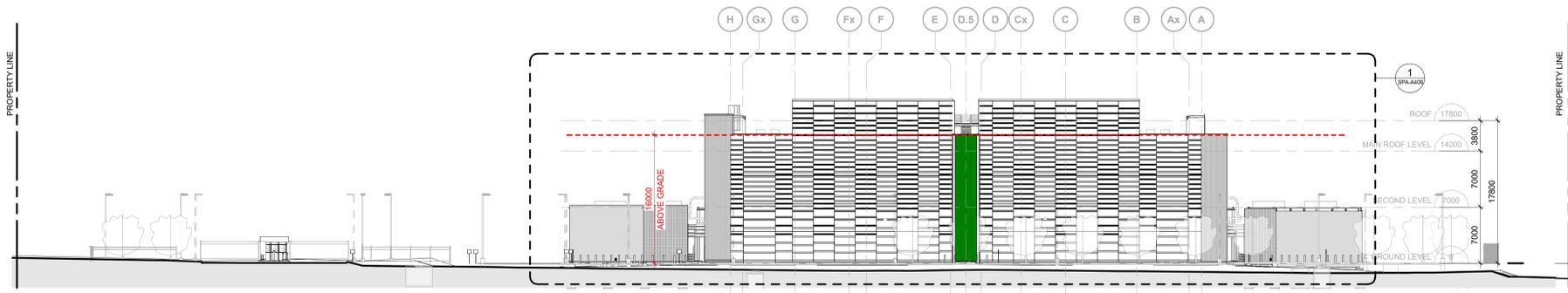
	ELEVATION FIRST 4m ² ABOVE ROOFTOP VEGETATION					
	NORTH (FLOOR #S)	SOUTH (FLOOR #S)	EAST (FLOOR #S)	WEST (FLOOR #S)	TOTAL (m ²)	TOTAL (%)
GLAZING AREA (m ²)	N/A	N/A	N/A	N/A	N/A	N/A
UNTREATED AREA (m ²)	N/A	N/A	N/A	N/A	N/A	N/A
TREATED AREA (m ²)	N/A	N/A	N/A	N/A	N/A	N/A
- LOW REFLECTANCE CRAGUE GLASS (m ²)	N/A	N/A	N/A	N/A	N/A	N/A
- SHADED (m ²)						
- VISUAL MARKERS (m ²)						

INCLUDE THIS SECTION ONLY WHEN APPLICABLE AND PROVIDE RELEVANT FLOOR NUMBERS FOR REFERENCE.
BUILDING WINDOW : WALL RATIO
1:17

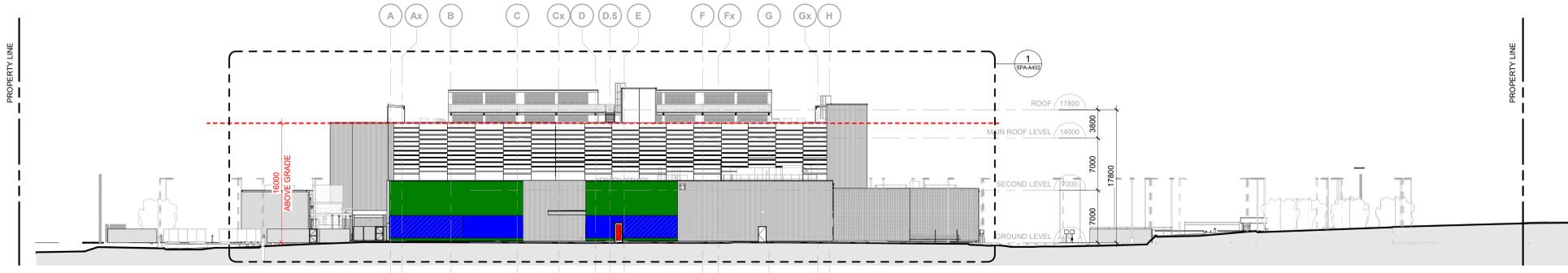
#	Zoning By-law 01-2021 [Table 6-2]	Variance requested
1	The number of parking spaces required is 146 spaces.	To permit a total of 75 parking spaces.
2	The minimum number of loading spaces required is 1 Type A, 3 Type B, and 1 Type C loading spaces. [Table 6-18]	To permit a minimum of 3 loading spaces.

#	Zoning By-law 1-88 [Section 3.8]	Variance requested
3	The number of parking spaces required is 259 spaces.	To permit a total of 75 parking spaces.
4	The minimum number of loading spaces required is 4 loading spaces. [Section 3.9 a)]	To permit a minimum of 3 loading spaces.
5	A driveway and/or aisle which serves the movement of trucks to and from a loading space shall have a maximum width of 13.5 metres [Section 3.9 b)].	To permit a maximum driveway width of 22.0 metres which serves the movement of trucks to and from a loading space.

GLAZING LEGEND	
	AREA OF TREATED GLAZING; SHADED GLAZING
	AREA OF TREATED GLAZING; VISUAL MARKERS
	AREA OF TREATED GLAZING; INTERIOR BLINDS / ROLLER SHADES
	AREA OF UNTREATED GLAZING



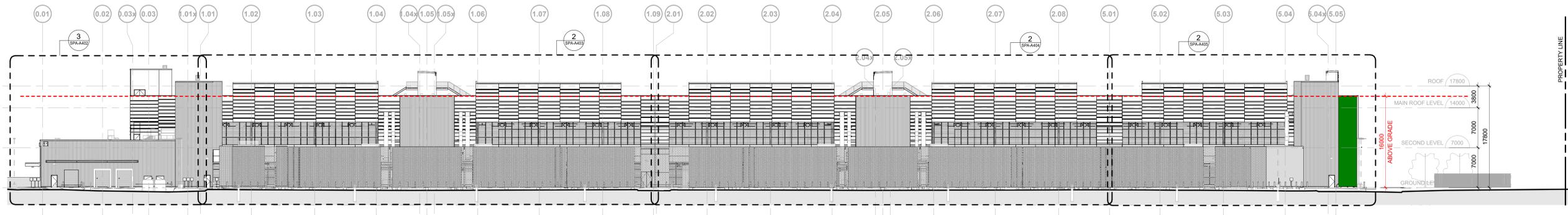
4 WEST BUILDING ELEVATION - SPA BIRD FRIENDLY DESIGN
SPA-A401A 1:300



3 EAST BUILDING ELEVATION - SPA BIRD FRIENDLY DESIGN
SPA-A401A 1:300



2 SOUTH BUILDING ELEVATION - SPA BIRD FRIENDLY DESIGN
SPA-A401A 1:300



1 NORTH BUILDING ELEVATION - SPA BIRD FRIENDLY DESIGN
SPA-A401A 1:300

**YTO11
 DATA CENTER
 6100 LANGSTAFF RD, VAUGHAN,
 ONTARIO**

Design Team

Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	P 17896
AE Project No.	2102566.00

Design Manager CHRIS OUELLETTE

Layout Manager

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Security Systems Engineering Lead	JEREMY ZWEERES

Revisions

No.	Date	Description
B	2022-02-18	ISSUED FOR SPA
C	2022-09-23	ISSUED FOR SPA RESUBMISSION 1
D	2023-03-17	ISSUED FOR SPA RESUBMISSION 2
E	2023-05-03	ISSUED FOR COMMITTEE OF ADJUSTMENT



Package

Sheet Title/Number

**ARCHITECTURAL -
 ADMIN - ENLARGED
 ELEVATIONS**

YTO11-SPA-A402

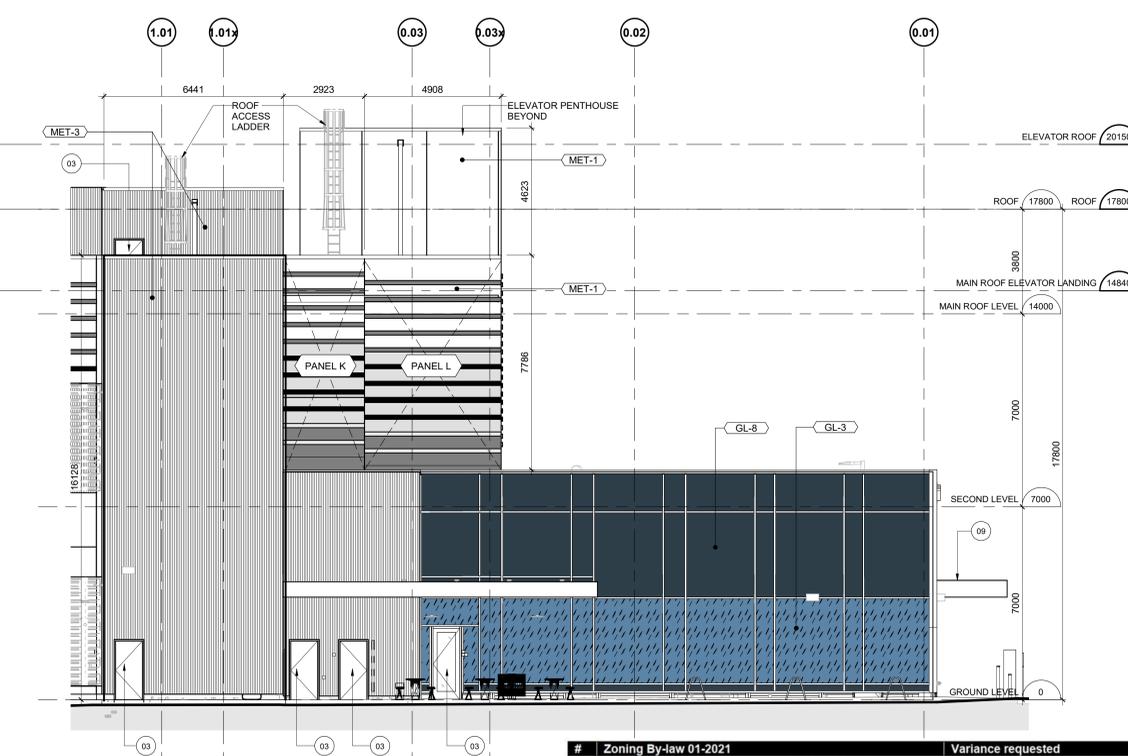
MATERIAL LEGEND

GL-3	DOUBLE GLAZED VISION PANEL
GL-4	DOUBLE GLAZED VISION PANEL
GL-8	DOUBLE GLAZED SPANDREL PANEL
MET-1	METAL PANEL
	COLOR: WHITE
	COLOR: GREY
	COLOR: BLACK
MET-2	PERFORATED CORRUGATED METAL PANEL
MET-3	CORRUGATED METAL PANEL
LVR-1	ARCHITECTURAL PREFINISHED LOUVER

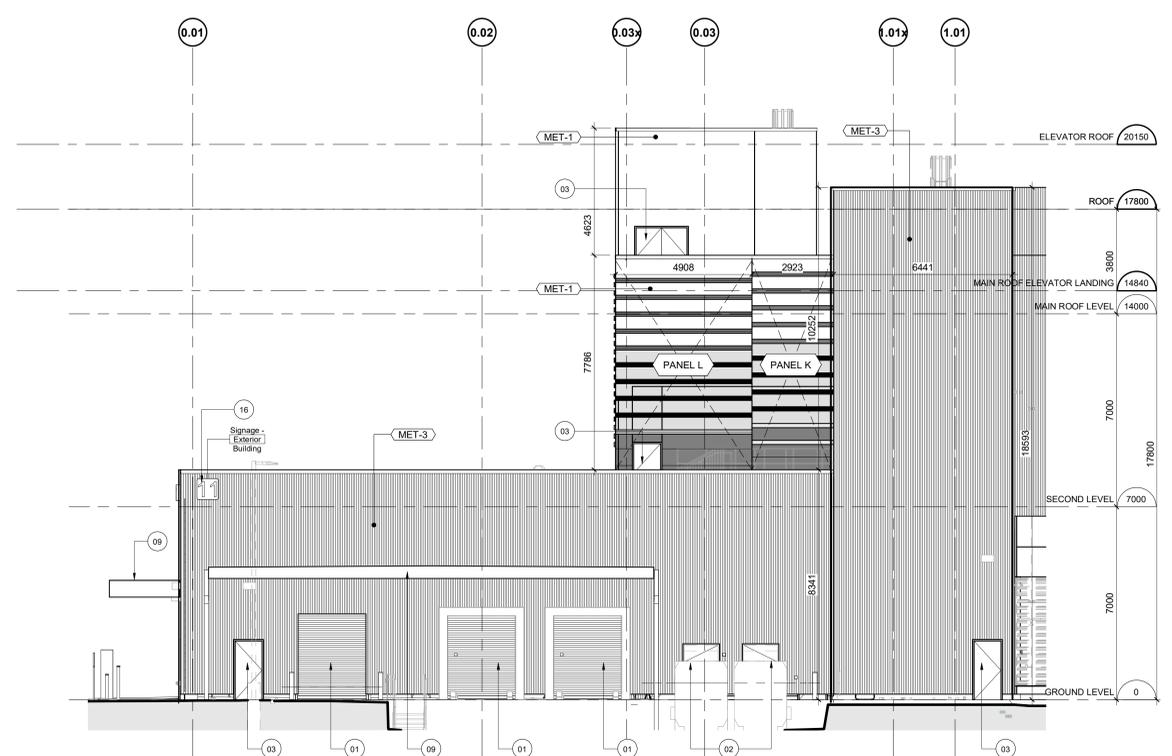
ELEVATION NOTES

01	OVERHEAD DOOR
02	GARBAGE COMPACTOR DOOR
03	EXTERIOR DOOR
04	ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS
05	TRANSFORMERS ON CONCRETE PADS
06	SWITCHGEARS ON CONCRETE PADS
07	LOAD BANK SWITCHGEARS ON CONCRETE PADS
08	GARBAGE COMPACTOR
09	CANOPY
10	WIRE FENCE
11	PEDESTRIAN SWING GATE
12	ELECTRICAL / MECHANICAL SERVICE
13	OPENING FOR ELECTRICAL SERVICE
14	NORTH-SOUTH ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
15	EAST-WEST ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
16	EXTERIOR BUILDING SIGNAGE, REFER TO DETAIL 7/A-S-015-0

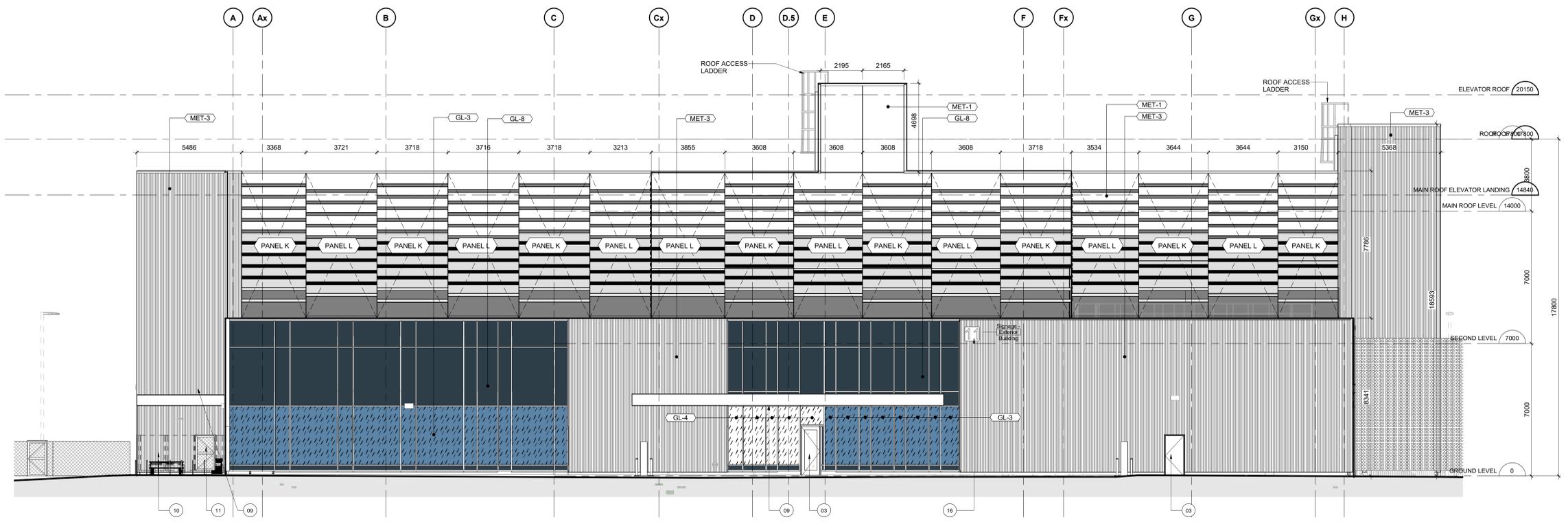
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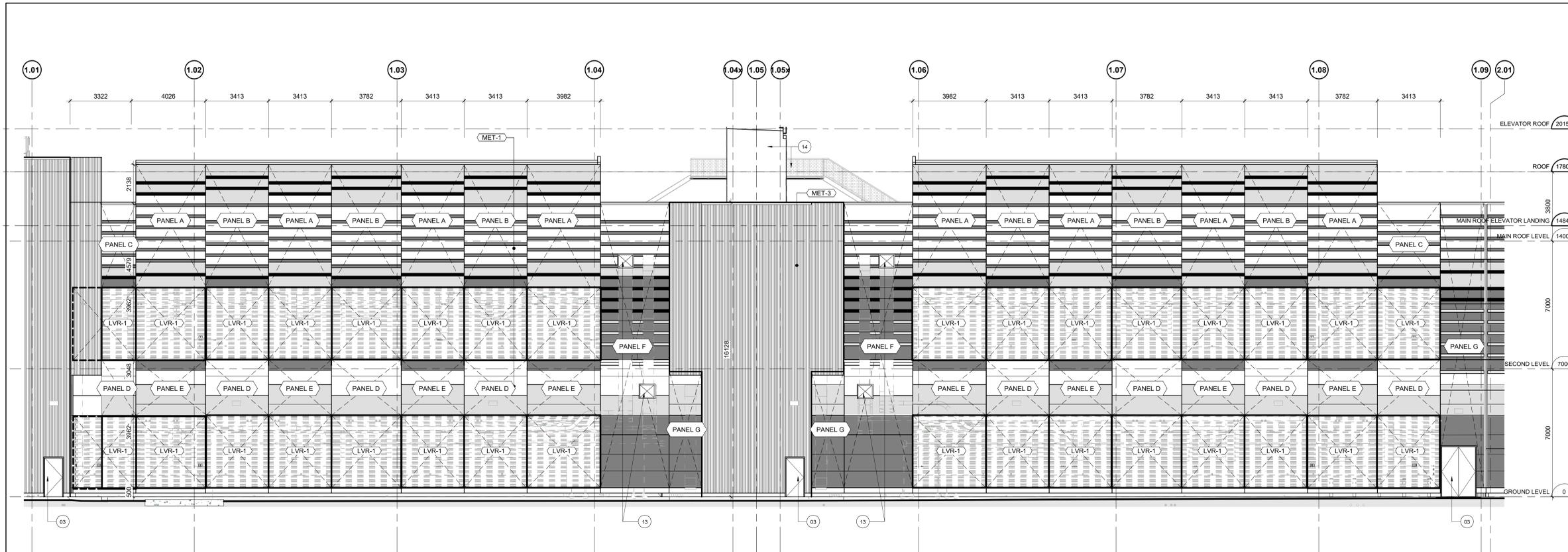
2 ENLARGED ELEVATION - ADMIN - SOUTH - SPA
 SPA-A402 1:100



3 ENLARGED ELEVATION - ADMIN - NORTH - SPA
 SPA-A402 1:100



1 ENLARGED ELEVATION - ADMIN - EAST - SPA
 SPA-A402 1:100



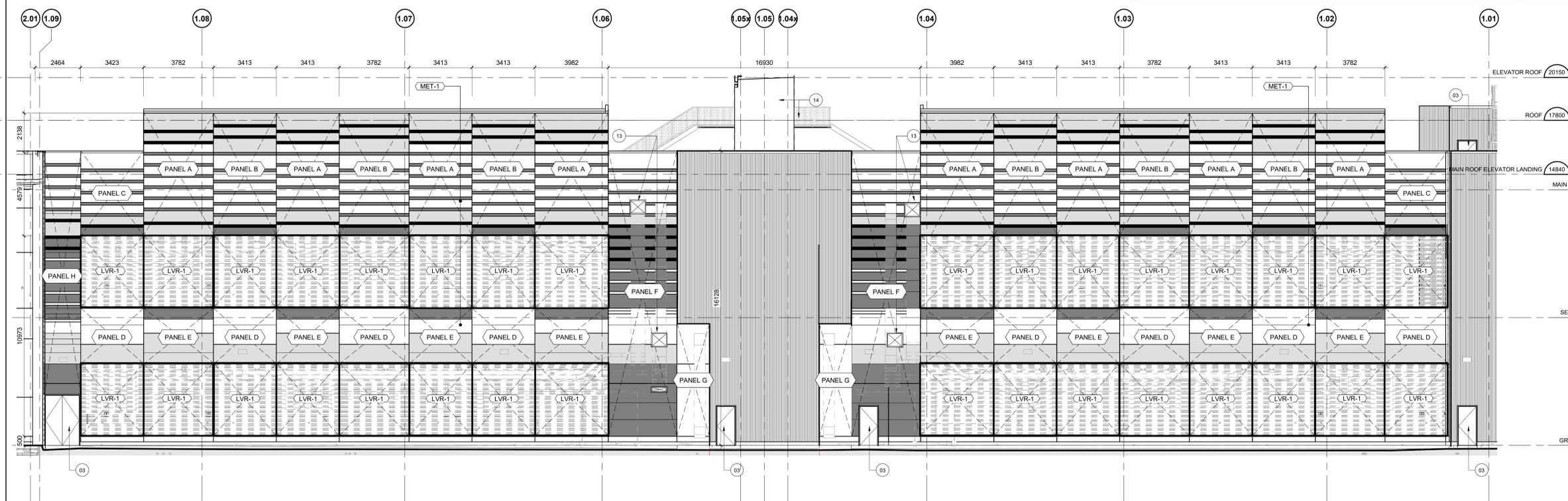
2 ENLARGED ELEVATION - EQUIPMENT 1&2 - NORTH - SPA
SPA-A403 1:100

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MATERIAL LEGEND

- GL-3 DOUBLE GLAZED VISION PANEL
- GL-4 DOUBLE GLAZED VISION PANEL
- GL-8 DOUBLE GLAZED SPANDREL PANEL
- MET-1 METAL PANEL
- COLOR: WHITE
- COLOR: GREY
- COLOR: BLACK
- MET-2 PERFORATED CORRUGATED METAL PANEL
- MET-3 CORRUGATED METAL PANEL
- LVR-1 ARCHITECTURAL PREFINISHED LOUVER

- ELEVATION NOTES**
- OVERHEAD DOOR
 - GARBAGE COMPACTOR DOOR
 - EXTERIOR DOOR
 - ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS
 - TRANSFORMERS ON CONCRETE PADS
 - SWITCHGEARS ON CONCRETE PADS
 - LOAD BANK SWITCHGEARS ON CONCRETE PADS
 - GARBAGE COMPACTOR
 - CANOPY
 - WIRE FENCE
 - PEDESTRIAN SWING GATE
 - ELECTRICAL / MECHANICAL SERVICE
 - OPENING FOR ELECTRICAL SERVICE
 - NORTH-SOUTH ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
 - EAST-WEST ORIENTED AIR SHAFT WITH MAINTENANCE PLATFORM AND STAIRCASE
 - EXTERIOR BUILDING SIGNAGE. REFER TO DETAIL 7/A-S-015-0



1 ENLARGED ELEVATION - EQUIPMENT 1&2 - SOUTH - SPA
SPA-A403 1:100

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YTO11 DATA CENTER
6100 LANGSTAFF RD, VAUGHAN, ONTARIO

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Drawn	Author
Checked	Checker
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AE Project No.	202566-00

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Layout Manager

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Security Systems Engineering Lead	JEREMY ZWEERES

Revisions

No.	Date	Description
B	2022-02-16	ISSUED FOR SPA
C	2022-09-23	ISSUED FOR SPA RESUBMISSION 1
D	2023-03-17	ISSUED FOR SPA RESUBMISSION 2
E	2023-05-03	ISSUED FOR COMMITTEE OF ADJUSTMENT



Key Plan

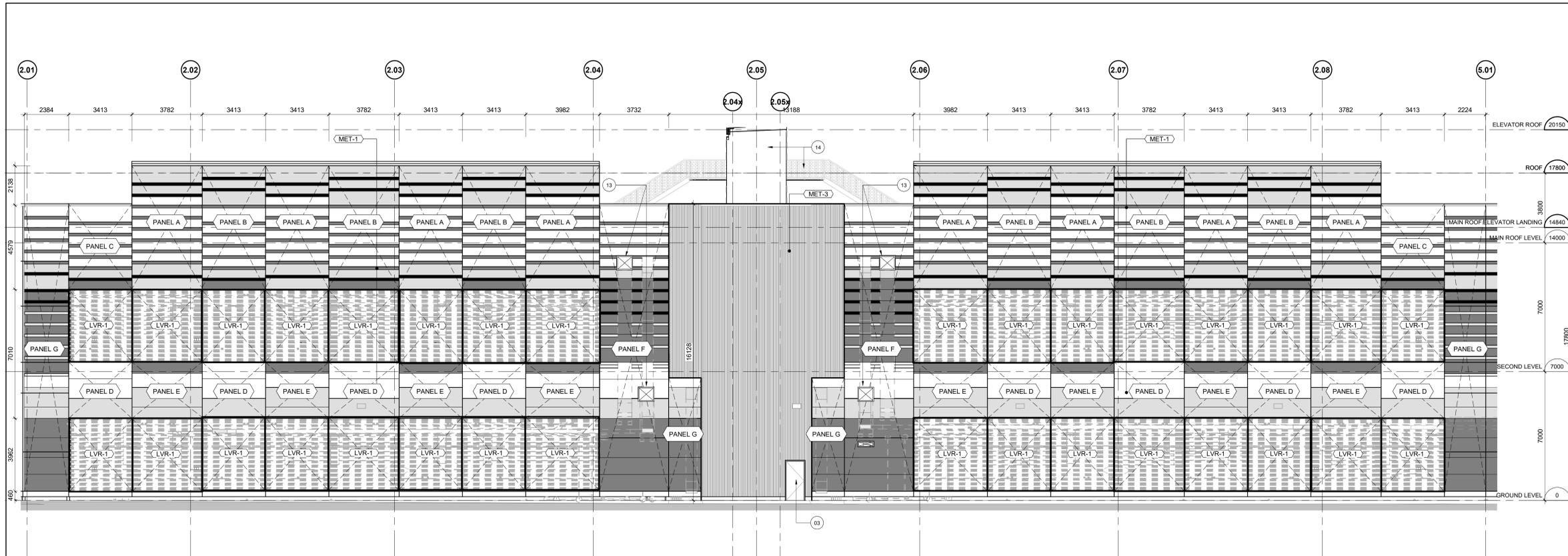
PLAN TRUE

Package

Sheet Title/Number

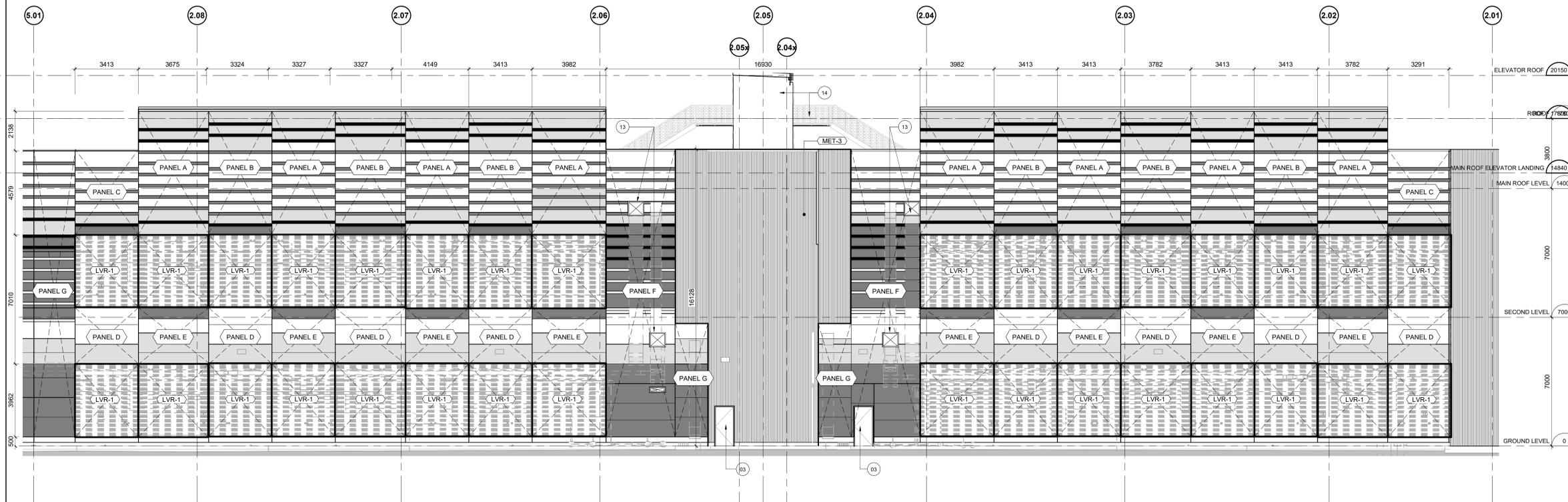
ARCHITECTURAL - EQUIPMENT 1-2 ENLARGED ELEVATIONS

YTO11-SPA-A403



2 ENLARGED ELEVATION - EQUIPMENT 3&4 - NORTH - SPA
SPA-A404 1:100

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1 ENLARGED ELEVATION - EQUIPMENT 3&4 - SOUTH - SPA
SPA-A404 1:100

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- GL-4 DOUBLE GLAZED VISION PANEL
- GL-8 DOUBLE GLAZED SPANDREL PANEL
- MET-1 METAL PANEL
- COLOR: WHITE
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- COLOR: BLACK
- MET-2 PERFORATED CORRUGATED METAL PANEL
- MET-3 CORRUGATED METAL PANEL
- LVR-1 ARCHITECTURAL PREFINISHED LOUVER

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- 01 OVERHEAD DOOR
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- 04 ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS
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YTO11 DATA CENTER
6100 LANGSTAFF RD, VAUGHAN, ONTARIO

Design Team

Design: Design
Drawn: Author
Checked: Checker
M.S. Project No.: P-17056
AE Project No.: 2020566-00

Design Manager: CHRIS OUELLETTE
Layout Manager:
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Mech, Plumbing & Fire Protection: SAMANTHA BISCOTTINI
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Revisions

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B	2022-02-16	ISSUED FOR SPA
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Key Plan

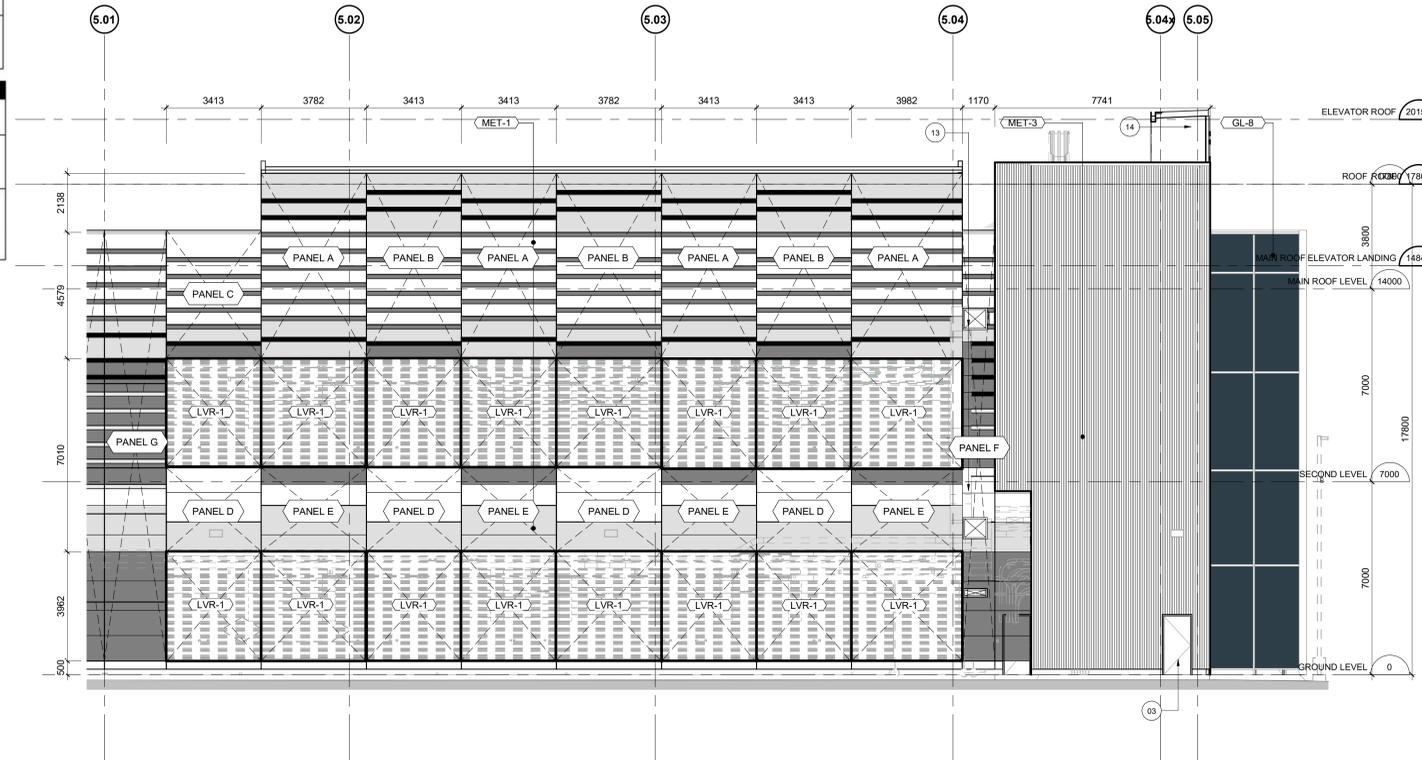
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Sheet Title/Number

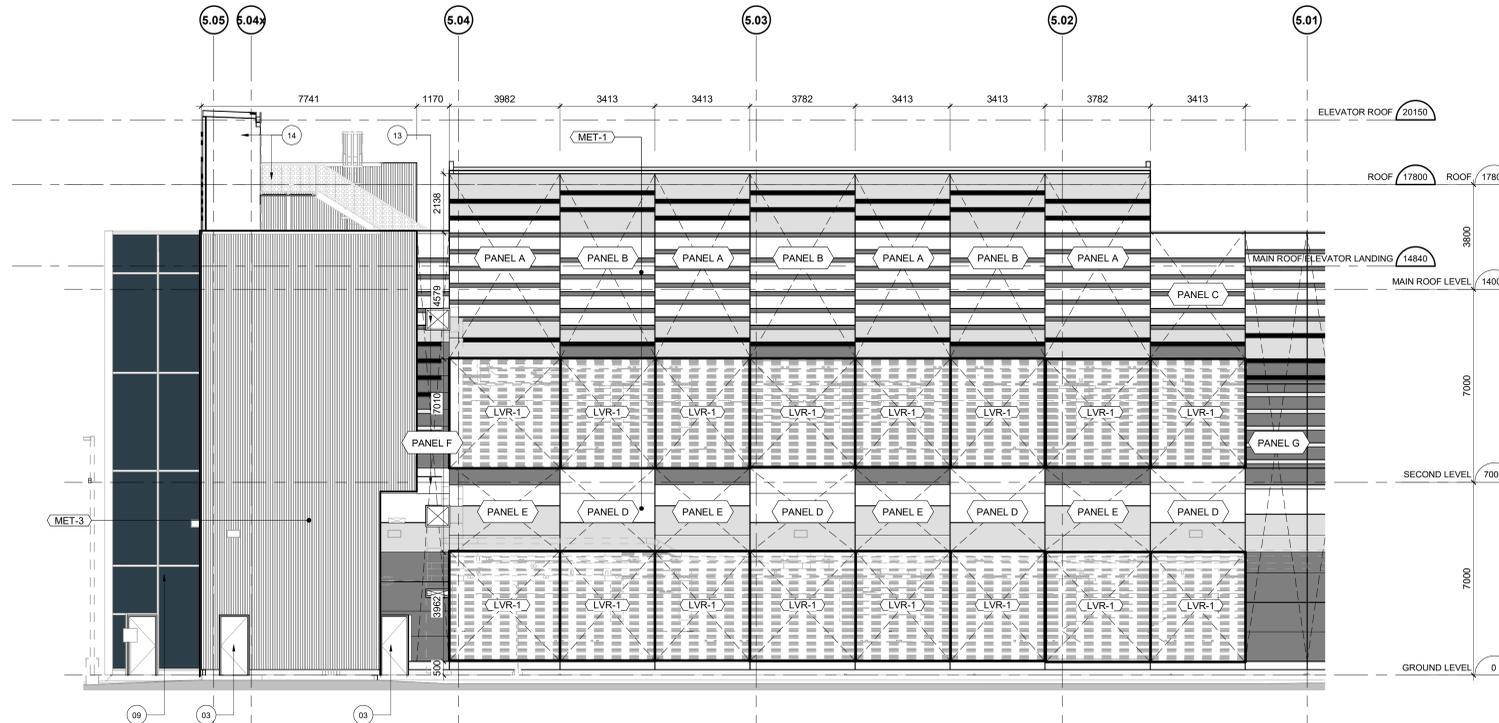
ARCHITECTURAL - EQUIPMENT 3-4 ENLARGED ELEVATIONS

YTO11-SPA-A404

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2 ENLARGED ELEVATION - EQUIPMENT 5 - NORTH - SPA
SPA-A405 1:100



1 ENLARGED ELEVATION - EQUIPMENT 5 - SOUTH - SPA
SPA-A405 1:100

MATERIAL LEGEND

- GL-3 DOUBLE GLAZED VISION PANEL
- GL-4 DOUBLE GLAZED VISION PANEL
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- MET-1 METAL PANEL
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- MET-3 CORRUGATED METAL PANEL
- LVR-1 ARCHITECTURAL PREFINISHED LOUVER

ELEVATION NOTES

- 01 OVERHEAD DOOR
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- 04 ACOUSTICALLY ENCLOSED DIESEL GENERATORS ON CONCRETE PADS
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ONTARIO**

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Drawn	Author
Checked	Checker
M.S. Project No.	P 17896
AE Project No.	2102568.00

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Layout Manager:

Technical Lead	Technical Lead
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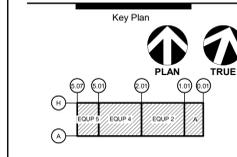
DESIGN TEAM

Engineering Lead	Engineering Lead
Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHALNAK PANDIT
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Revisions

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Registration



Package

Sheet Title/Number

**ARCHITECTURAL -
EQUIPMENT 5
ENLARGED
ELEVATIONS 1**

YTO11-SPA-A405

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- MET-1 METAL PANEL
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ELEVATION NOTES

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- 02 GARBAGE COMPACTOR DOOR
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DATA CENTER**
6100 LANGSTAFF RD, VAUGHAN,
ONTARIO

Design Team

Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	P 17896
AE Project No.	2102646.00

Design Manager CHRIS OUELLETTE

Layout Manager

Civil, Site Survey, Landscaping Technical Lead	NALINI CHANDRAN
Architectural & Structural Technical Lead	SANDRA SLSKIC
Mech, Plumbing & Fire Protection Technical Lead	SAMANTHA BISCOTTINI
Building Automation Systems (BAS) Technical Lead	WAYNE BROADWATER
Electrical Technical Lead	JIA YAN
Electrical Power Management Systems (EPMS) Technical Lead	AMMAR ALKHUWATER
Telecommunications / Network Technical Lead	SYED ALI
Security Design Manager	AMY SMITH

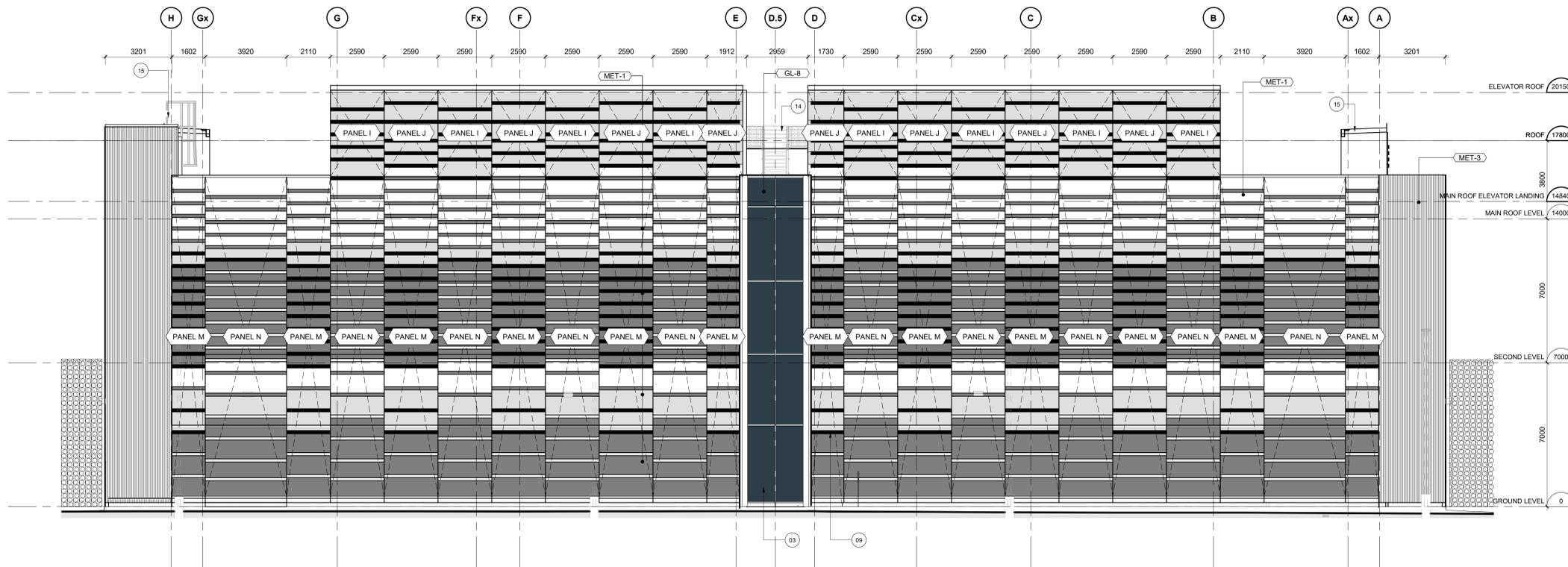
DESIGN TEAM

Civil Engineering Lead	MICHAEL OLDHAM
Architectural Lead	ZENON RADEWYCH
Structural Engineering Lead	PHILLIP KWAN
Mechanical Engineering Lead	SHALUNAK PANDIT
Plumbing Engineering Lead	SHALUNAK PANDIT
Fire Protection Engineering Lead	MATT JARDINE
BAS Engineering Lead	PAUL HO
Electrical Engineering Lead	TITEL GURAU
Telecommunications Engineering Lead	JOHN PEDRO
Security Systems Engineering Lead	JEREMY ZWEERES

Revisions

No.	Date	Description
B	2022-02-16	ISSUED FOR SPA
C	2022-09-23	ISSUED FOR SPA RESUBMISSION 1
D	2023-03-17	ISSUED FOR SPA RESUBMISSION 2
E	2023-05-09	ISSUED FOR COMMITTEE OF ADJUSTMENT

Registration



1 ENLARGED ELEVATION - EQUIPMENT 5 - WEST - SPA
SPA-A406 1:100

**ARCHITECTURAL -
EQUIPMENT 5
ENLARGED
ELEVATIONS 2**

YTO11-SPA-A406



3 AERIAL VIEW - EXTERIOR FINISHES
SPA-A901 1:1



2 VIEW FROM SOUTH EAST - EXTERIOR FINISHES
SPA-A901 1:1



1 VIEW FROM SOUTH WEST - EXTERIOR FINISHES
SPA-A901 1:1

MATERIAL LEGEND	
GL-3	DOUBLE GLAZED VISION PANEL
GL-4	DOUBLE GLAZED VISION PANEL
GL-8	DOUBLE GLAZED SPANDREL PANEL
MET-1	METAL PANEL
	COLOR: WHITE
	COLOR: GREY
	COLOR: BLACK
MET-2	PERFORATED CORRUGATED METAL PANEL
MET-3	CORRUGATED METAL PANEL
LVR-1	ARCHITECTURAL PREFINISHED LOUVER

#	Zoning By-law 01-2021	Variance requested
1	The number of parking spaces required is 146 spaces. [Table 6-2]	To permit a total of 75 parking spaces.
2	The minimum number of loading spaces required is 1 Type A, 3 Type B, and 1 Type C loading spaces. [Table 6-18].	To permit a minimum of 3 loading spaces.
Zoning By-law 1-88		Variance requested
3	The number of parking spaces required is 259 spaces. [Section 3.8]	To permit a total of 75 parking spaces.
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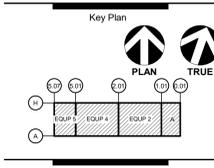
- MH MORRISON HERSFIELD** MEP & Structural Engineer
Suite 300,
125 Commerce Valley Dr W
Markham, Ontario, Canada
Tel: 416-499-3110
- WZMH** Architect / Landscape Architect
95 St Clair Ave W #1500
Toronto, Ontario, Canada
Tel: 416-961-4111
- wsp** Civil / Geotechnical Engineer
100 Commerce Valley Dr W
Thornhill, ON L3T 4T1, Canada
Tel: 905-882-1100
- TECOM** Telecom Engineer
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San Francisco, CA, USA
Tel: 510-331-2900
- World Wide Technology** Audio & Visual Engineer
1 World Wide Way
Maryland Heights, MO, USA
Tel: 314-569-7000
- Ross Baruzzini** Security Engineer
2321 Whitney Ave., Suite 501
Hamden, CT, USA
Tel: 203-288-6490

**YTO11
DATA CENTER**
6100 LANGSTAFF RD, VAUGHAN,
ONTARIO

Design Team	
Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	P. 17896
AE Project No.	2102566.00

Design Manager	CHRIS OUELLETTE
Landscape Manager	
Civil, Site Survey, Landscaping	NALINI CHANDRAN
Technical Lead	
Architectural & Structural	SANDRA SLSKIC
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Revisions		
No.	Date	Description
C	2022-09-23	ISSUED FOR SPA RESUBMISSION 1
D	2022-09-17	ISSUED FOR SPA RESUBMISSION 2
E	2022-09-03	ISSUED FOR COMMITTEE OF ADJUSTMENT



Package
Sheet Title/Number

**ARCHITECTURAL
MATERIAL BOARD -
EXTERIOR
FINISHES**

YTO11-SPA-A901



1 MET-1 (INSULATED METAL PANEL)
COLOR: BLACK



2 MET-1 (INSULATED METAL PANEL)
COLOR: GREY



3 MET-1 (INSULATED METAL PANEL)
COLOR: WHITE



4 GL-1 (DOUBLE GLAZED VISION PANEL)



5 GL-2 (DOUBLE GLAZED SPANDREL PANEL)



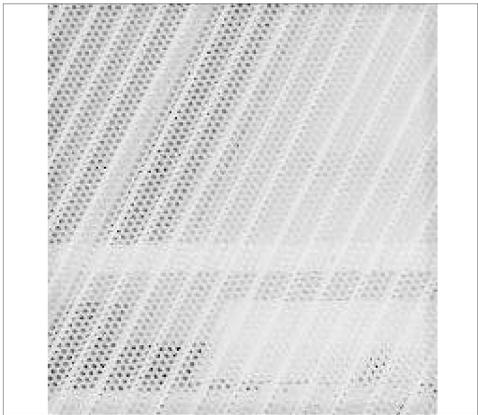
6 ACCENT FIN
COLOR: BLACK



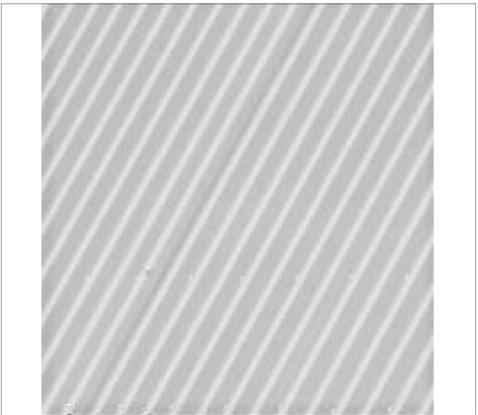
7 ACCENT FIN
COLOR: GREY



11 ACCENT FIN
COLOR: WHITE



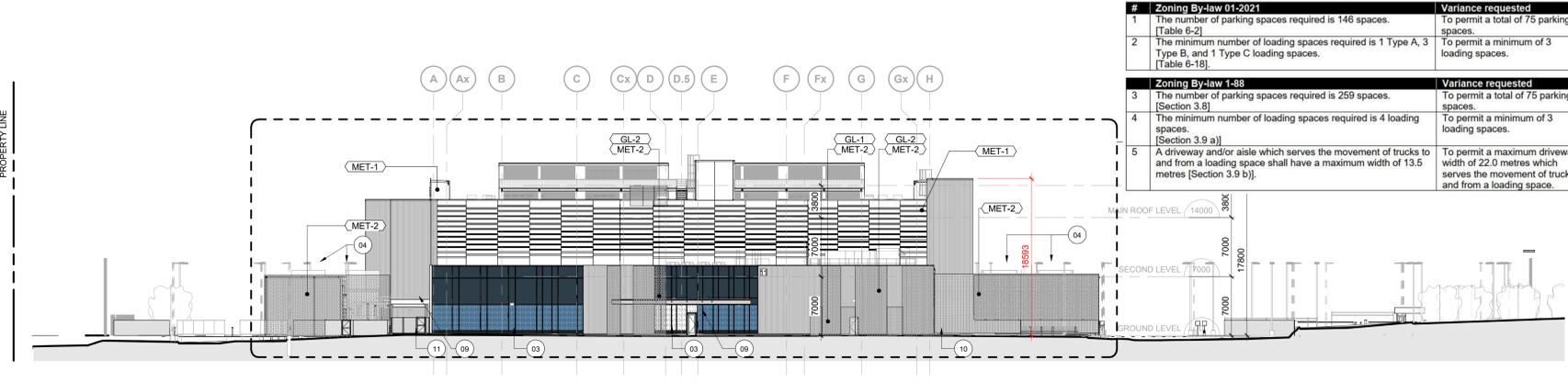
8 MET-2 (PERFORATED CORRUGATED METAL PANEL)
COLOR: WHITE / DIRECTION: VERTICAL



9 MET-3 (CORRUGATED METAL PANEL)
COLOR: WHITE / DIRECTION: VERTICAL



10 LVR-1 (ARCHITECTURAL PREFINISHED LOUVER)
COLOR: BLACK

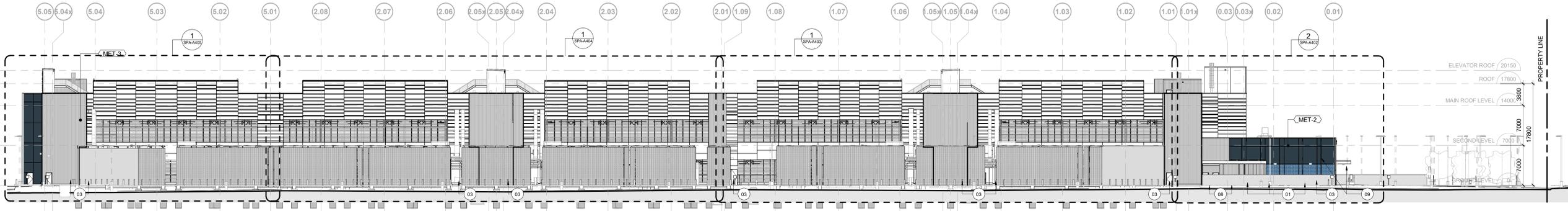


13 EAST BUILDING ELEVATION - SPA
1:300

#	Zoning By-law 01-2021	Variance requested
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MATERIAL LEGEND

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- GL-4 DOUBLE GLAZED VISION PANEL
- GL-8 DOUBLE GLAZED SPANDREL PANEL
- MET-1 METAL PANEL
- COLOR: WHITE
- COLOR: GREY
- COLOR: BLACK
- MET-2 PERFORATED CORRUGATED METAL PANEL
- MET-3 CORRUGATED METAL PANEL
- LVR-1 ARCHITECTURAL PREFINISHED LOUVER



12 SOUTH BUILDING ELEVATION - SPA
1:300

MORRISON HERSFIELD MEP & Structural Engineer
Suite 300, 125 Commerce Valley Dr W Markham, Ontario, Canada Tel: 416-499-3110

WZMH Architect / Landscape Architect
95 St Clair Ave W #1500 Toronto, Ontario, Canada Tel: 416-961-4111

wsp Civil / Geotechnical Engineer
100 Commerce Valley Dr W Thornhill, ON L3T 4T1, Canada Tel: 905-882-1100

TECOM Telecom Engineer
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World Wide Technology Audio & Visual Engineer
1 World Wide Way Maryland Heights, MO, USA Tel: 314-569-7000

Ross Baruzzini Security Engineer
2321 Whitney Ave., Suite 501 Hamden, CT, USA Tel: 203-288-6490

YTO11 DATA CENTER
6100 LANGSTAFF RD, VAUGHAN, ONTARIO

Design Team

Design	Designer
Drawn	Author
Checked	Checker
M.S. Project No.	P 17896
AE Project No.	2102566.00

Design Manager CHRIS OUELLETTE

Layout Manager

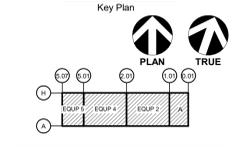
Civil, Site Survey, Landscaping	NALINI CHANDRAN
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Revisions

No.	Date	Description
C	2022-09-23	ISSUED FOR SPA RESUBMISSION 1
D	2022-03-17	ISSUED FOR SPA RESUBMISSION 2
E	2022-05-03	ISSUED FOR COMMITTEE OF ADJUSTMENT



Package
Sheet Title/Number

ARCHITECTURAL MATERIAL BOARD - EXTERIOR FINISHES

YTO11-SPA-A902

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application Under Review
Building Standards (Zoning)	X	X		General Comments

Date: May 23rd 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A079-23**

Related Files:

Applicant Weston Consulting

Location 6100 Langstaff Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

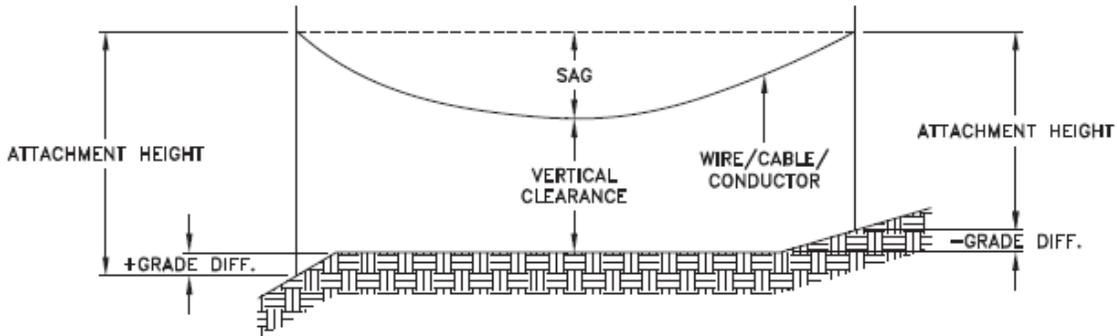
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

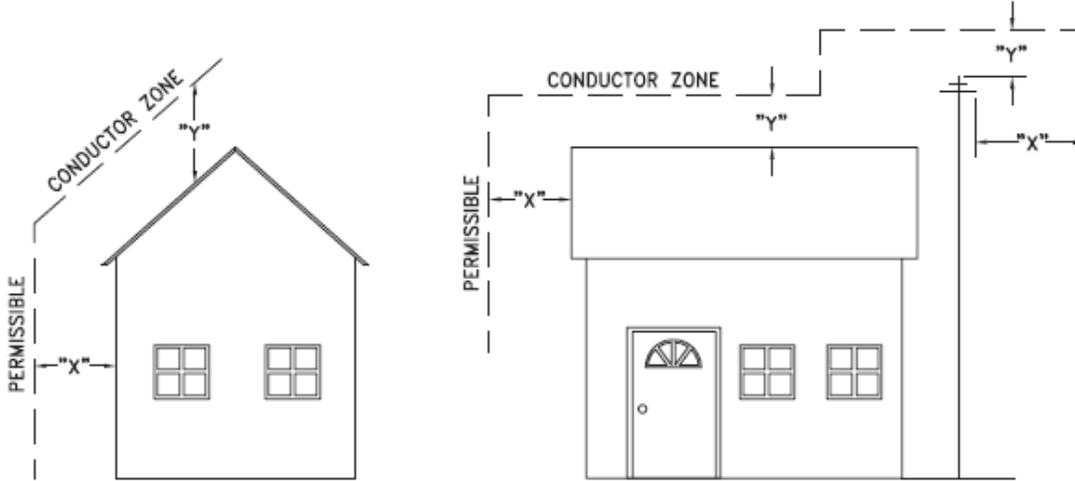
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: May 29, 2023
Applicant: Weston Consulting
Location: 6100 Langstaff Road
 CONC 9 Part of Lot 11
File No.(s): A079/23

Zoning Classification:

The subject lands are zoned and has been reviewed as *EM1, Prestige Employment Zone* and subject to exception 14.1131. under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	The number of parking spaces required is 146 spaces. [Table 6-2]	To permit a total of 75 parking spaces.
2	The minimum number of loading spaces required is 1 Type A, 3 Type B, and 1 Type C loading spaces. [Table 6-18].	To permit a minimum of 3 loading spaces.

The subject lands are zoned and has been reviewed as *EM1, Prestige Employment Zone* and subject to exception 9(1514) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
3	The number of parking spaces required is 259 spaces. [Section 3.8]	To permit a total of 75 parking spaces.
4	The minimum number of loading spaces required is 4 loading spaces. [Section 3.9 a)]	To permit a minimum of 3 loading spaces.
5	A driveway and/or aisle which serves the movement of trucks to and from a loading space shall have a maximum width of 13.5 metres [Section 3.9 b)].	To permit a maximum driveway width of 22.0 metres which serves the movement of trucks to and from a loading space.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 21-101275 for Barn/Shed/Greenhouse (Agricultural - Non-Residential Demolition, Issue Date: Mar 05, 2021)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A079/23 (6100 Langstaff Road) - Agency Circulation
Date: Thursday, June 1, 2023 11:53:35 AM
Attachments: [image002.png](#)
[image004.png](#)
[image005.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Please note regional comments are being sent through the associated Site Plan (SP.22.V.0111 - DA.22.008).

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

Development Planning Department
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, ON L6A 1T1

May 12, 2023
File 10648

**Attn: Christine Vigneault,
Manager Development Services & Secretary Treasurer Committee of Adjustment**

**RE: Minor Variance Application
6100 Langstaff Road, Part of Lot 11, Concession 9
Related Site Development Application File No. DA.22.008**

Weston Consulting is the planning consultant for 3288212 Nova Scotia Ltd., owner of two adjacent parcels of land, one of which is municipally known as 6100 Langstaff Road and the other does not contain a municipal address but is legally described as Part Lot 11, Concession 9 (“subject property”). A development consisting of two, 2-storey data processing centre buildings with an ancillary office component is proposed for the subject property, which is proposed to be completed in two phases. The Phase 1 of the proposed development is currently subject to a Site Development Application (File No. DA.22.008), consisting primarily of the southerly portion of the landholding. A future Site Development Application will be required for the Phase 2 of the proposed development and is not expected for the near future.

Background on Proposed Development and Site Plan Application

This Minor Variance application has been submitted in review/consultation with City Planning, Engineering and Building Standards staff through the application review process of the related Site Development Application. The Site Development Application for Phase 1 is currently in progress, with a third submission provided to the City of Vaughan on April 24, 2023, which is currently under review. Through the Site Development Application process, comments received from City staff, dated May 11, 2023 confirmed that a Minor Variance application will be required to:

1. Permit a reduction in the number of parking spaces provided;
2. Permit a reduction in the number of loading spaces provided; and
3. To increase the maximum width permitted for driveways/aisles serving the movement of trucks to/from a loading space.

It is noted that the City of Vaughan recently undertook a comprehensive Zoning By-law update (By-law No. 001-2021) which was approved by the Ontario Land Tribunal (“OLT”) on January 18, 2023, and subject to subsequent amendments. As the new Zoning By-law has yet to include amendments approved by the OLT where written decisions have not been issued and according to City staff comments, relief from the new Zoning By-law No. 001-2021, as well as the previous Zoning By-law No. 1-88 is required.

Requested Variances

The following variances from Zoning By-law No. 1-88 are proposed:

Parking Requirements Section 3.8:

- *To permit a minimum of 75 parking spaces;*
Whereas, the zoning by-law requires a parking requirement of 259 parking spaces.

Loading Space Requirements Section 3.9 (a)

- *To permit a minimum of three (3) loading spaces.*
Whereas, the zoning by-law requires a minimum of four (4) loading spaces.

Loading Space Requirements Section 3.9 (b):

- *To permit a maximum a driveway and/or aisle width of 22.0 metres, serving the movement of trucks to and from a loading space.*
Whereas, the zoning by-law permits a maximum driveway and/or aisle width of 13.5 metres, serving the movement of trucks to and from a loading space

The following variances from Zoning By-law No. 001-2021 are proposed:

Parking Requirements Section 3.8:

- *To permit a minimum of 75 parking spaces.*
Whereas, the zoning by-law requires a parking requirement of 146 parking spaces.

Loading Space Requirements Section 6.11.4:

- *To permit a minimum of three (3) loading spaces.*
Whereas, the zoning by-law requires a minimum of five (5) loading spaces.

With respect to the proposed reduction in parking and loading spaces, discussions with City Planning and Traffic Engineering staff have been held to outline the rationale and merits of the sought relief. It is noted that the Parking Justification Letter prepared by WSP (dated March 20, 2023) in support of the reduction in parking spaces has been provided to City Traffic Engineering staff who have since confirmed that the proposed parking supply provided is adequate and appropriate for the data centre use. The confirmation e-mail from City staff has been included with the submission package under separate cover.

Description of the Subject property

The subject property is located at the northwest intersection of Langstaff Road and Highway 27. The subject property consists of two parcels of land that have an approximate combined lot area of 113,896 m² (11.39 ha) with approximately 305 metres of frontage along Langstaff Road and approximately 350 metres of frontage along Highway 27. The property is currently a vacant agricultural field and does not contain any buildings/structures.

The surrounding land uses are as follows:

North	Costco distribution centre and commissary
South	Variety of commercial uses, including service stations and event centre
East	Commercial plaza and residential uses
West	Agricultural uses and Highway 427

The subject property is zoned 'Prestige Employment (EM1) Zone' within the City of Vaughan's Zoning By-law No. 1-88, as amended by site-specific By-law No. 039-2021, which permits a range of employment uses including a data processing centre. Within the City of Vaughan's new Zoning By-law No. 001-2021, the subject property is zoned 'Prestige Employment (EM1) Zone' in accordance with By-law No. 261-2022, a by-law to amend the City of Vaughan Zoning Bylaw No. 001-2021, as was approved by the City of Vaughan Council on December 13, 2022. By-law No. 261-2022 was a City-initiated Zoning By-law amendment which rezoned the subject property from 'Future Development (FD) Zone' to 'Prestige Employment (EM1) Zone' which permits the proposed development. Confirmation to this effect has been received from Christian Tinney, Plans Examiner II (Zoning), whom provided an updated zoning review memo on the proposed development dated May 11, 2023.

We note that through the concurrent application of site development application file number DA.22.008, trees are intended to be removed due to conflict with site grading, location of building, in addition to poor tree health, located within private lands and the both the local and regional boulevards. These trees have been inventoried and captured by way of an Arborist Report and Tree Protection and Removal Plan, prepared by Morrison Hershfield, which accompanies this application submission for minor variance. We understand that discussions between Chrisa Assimopoulos and representatives from Morrison Hershfield have taken place, where a draft Tree Protection Agreement has been shared with Staff for consideration.

Proposed Development

The proposed development consists of two (2) data processing centre buildings, including on-site ancillary office space, which is proposed to be completed in two phases. The Site Development Application at this time is for one data processing centre located within the south portion of the landholdings, along the frontage of Langstaff Road with a total of 22,627 m² GFA, including 21,332 m² GFA devoted for the data processing component, and 1,295 m² GFA devoted for the ancillary office use. The proposed building is two (2) storeys in height (16.1 m) from average elevation to top of roof.

It is noted that the proposed development exceeds the minimum required building setbacks for the 'Prestige Employment (EM1) Zone', has a proposed lot coverage of 12.52%, including a total of 24% of the site being utilized for landscaping areas/purposes, including substantive landscape strips along all property edges. The proposed development provides a parking supply of 76 parking spaces, of which 3 are to be used for accessible parking spaces, and another to be used for a security parking space, which is generally located near the security gate access from Line Drive. The balance of parking spaces are available for employees and approved site visitors as required. The proposal provides three loading spaces located along the northerly building façade of the data center building, sufficiently screened and away from the streetscape.

A component of this proposal is the interlinked driveway system, which is a design feature often associated with data processing centres. On-site security, a future utility substation, and on-site data generators are proposed at grade,

generally abutting the proposed buildings, and intended to be heavily screened from street views. Given the prominence of the subject property being located at the intersection of two regional arterial roads, high-quality building materials, landscaping, and fencing material have been incorporated, as demonstrated through the submission of an Architectural Drawing Package, prepared by WZMH Architect– dated March 3, 2023.

The owner of the subject property has advised that the proposed parking supply associated with the data processing centre provides the minimum parking requirements needed, established on an internal assessment of their parking needs based on various sites throughout Ontario. Over the years, the owner have prepared an internal parking needs assessment which is based on the level of energy consumption for the various sites. Based on their analysis, a minimum parking supply required based on the needs of the owner is 60 parking spaces. The proposed development includes 76 parking spaces, which results in a surplus of parking spaces more than the business needs of the owner.

Planning Policy Framework

City of Vaughan Official Plan

The City of Vaughan Official Plan designates the subject property as ‘Employment Area’, areas with a planned function of economic activity which are to be protected for long-term growth and prosperity. The subject property is further designated ‘Prestige Employment’ according to the West Vaughan Employment Area Secondary Plan, as approved by the Ontario Municipal Board on June 4, 2014. The ‘Prestige Employment’ designation is intended for light industrial, manufacturing, and warehouse uses that do not produce noxious emissions and that do not require outdoor storage. The ‘Prestige Employment’ designation applies to sites that act as an interface/buffer between other, more sensitive, community areas of the City, and the heavy industrial areas designated as ‘General Employment’.

The ‘Prestige Employment’ designation permits limited office uses as well as industrial uses including manufacturing, warehousing (but not a retail warehouse), processing, and distribution uses located within wholly enclosed buildings, and which do not require outside storage. It is noted that the subject property is located within the City of Vaughan’s Block 59 Area which maintains the ‘Prestige Employment’ designation for the lands.

The proposed development will facilitate the construction of two (2) data processing centres constructed in two phases, which is permitted within the ‘Prestige Employment’ land use designation.

City of Vaughan Comprehensive Zoning By-law’s

Zoning By-law No. 1-88

The subject property is zoned ‘Prestige Employment Area (EM1) Zone’ within the City of Vaughan Zoning By-law No. 1-88, as amended by site-specific by-law No. 039-2021. Within the ‘Prestige Employment Area (EM1) Zone’, employment uses are permitted as defined below:

USE EMPLOYMENT – means the use of land, buildings or structures for the warehousing, manufacturing, processing, or assembly of materials to finished products or by products, and may include other similar operations such as, but not limited to, data processing, research and development, and printing and publishing.

Section 3.8(a) of Zoning By-law No. 1-88 establishes the minimum parking rates required for various uses within the City of Vaughan. The Zoning By-law does not provide a specific parking rate for a data processing centre, therefore the use would fall under the category of a warehouse use which requires a minimum of 1.0 parking spaces per 100 m² GFA devoted to the use, plus 3.5 parking spaces per 100 m² GFA devoted to ancillary office use. The proposed development includes 21,332 m² devoted to the data processing centre, plus 1,295 m² for the ancillary office, resulting in a total requirement of 259 parking spaces for the proposed development. As such, a variance is required for a reduction in the number of parking spaces to permit a minimum of 75 parking spaces.

Section 3.8(g) of the Zoning By-law establishes that a parking area shall be provided by a means of access or driveway at least 5.4 metres wide but not exceeding 7.5 metres wide, measured perpendicular to the centre line of the driveway, unless the driveway is a joint ingress and egress driveway, in which case the width shall be 7.5 metres. Further, Section 3.9(b) identifies that, notwithstanding Section 3.8(g) of the By-law, a driveway and/or aisle which serves the movement of trucks to and from a loading space shall have a minimum width of 6 metres and maximum width of 13.5 metres. The proposed development includes a section of drive aisle that is approximately 21.5 m wide, in excess of the 13.5 m permitted. As such, a variance is required to permit the proposed drive aisle width.

Section 3.9(a) of the Zoning By-law identifies that for developments that have more than 10,001 m² GFA devoted to industrial uses, a minimum of two (2) loading spaces is required per 10,000 m² GFA. This would result in a minimum of four (4) loading spaces for the proposed development, which exceeds the needs of a data processing centre. As such, a minor variance is required to permit a maximum of three (3) loading spaces as proposed.

Zoning By-law No. 001-2022

The subject property is zoned 'Prestige Employment (EM1) Zone' within the City of Vaughan Zoning By-law No. 001-2022. The 'Prestige Employment (EM1) Zone' permits a variety of employment uses, including manufacturing or processing and research and development facilities. A data processing facility aligns with the employment uses permitted in the City of Vaughan Official Plan.

Section 6.3.5 of the new Zoning By-law 001-2022 establishes the required parking rates for new development in the City. A data processing centre is not a defined term within the Zoning By-law and does not have an explicit assigned parking rate. For the purposes of determining the required number of parking spaces for the proposed development, City staff have identified that the 'Warehouse Use' category would be applied in accordance with the staff memo provided on May 11, 2023. For warehouse uses, the new Zoning By-law requires a minimum one (1) parking spaces per 100 m² GFA devoted to the warehouse use, plus three (3) parking spaces per 100 m² GFA devoted for ancillary office. This would result in a total parking requirement of 259 parking spaces for the proposed development. As such, a minor variance is required to permit a minimum of 75 parking spaces for the proposed development.

Section 6.11.4.2, Table 6-18: Non-residential Use Loading Space Requirements, requires that industrial buildings containing more than 20,000 m² GFA are to provide a minimum of one (1) Type A, three (3) Type B, and one (1) Type C loading spaces for a total of 5 loading spaces as identified below:

Table 6-18: Non-residential Use Loading Space Requirements

Principal Use	GFA (m ²) of the Use	Minimum Loading Space Requirement
Industrial or commercial uses involving the shipping of persons, animals, goods, wares or merchandise, except <i>supermarket, hotel, or place of assembly</i>	0-499	None
	500-1,999	1 Type B
	2,000-4,999	2 Type B
	5,000-9,999	3 Type B
	10,000-19,999	1 Type A and 3 Type B
	20,000 or greater	1 Type A, 3 Type B, and 1 Type C

As such, a variance is required to permit a minimum of three (3) loading spaces for the proposed development.

It is noted that the new Zoning By-law does not contain a maximum driveway and/or aisle width for trucks accessing a loading space. As such, a variance is not required from Zoning By-law No. 001-2022 to permit an increased drive aisle width.

Minor Variance Rationale

Section 45(1) of the *Planning Act* directs that a minor variance may be granted if, in the opinion of the Committee, the following tests are met:

- The variance requested maintains the general intent and purpose of the Official Plan;
- The variance requested maintains the general intent and purpose of the Zoning By-law;
- The variance is desirable for the appropriate use of the land; and,
- The variance is minor in nature.

The following is a summary of how the proposed variances meet the four tests under the *Planning Act*.

Do the variances maintain the general intent and purpose of the Official Plan?

The proposed development will facilitate the construction of two (2) data processing centres constructed in two phases, which is permitted within the 'Prestige Employment' land use designation within the City of Vaughan Official Plan ("OP"). The OP provides that parking requirements can be reduced, where feasible, when establishing context-sensitive parking requirements that respond to diverse settings (s.4.3.2.2). The proposed data processing centre is not a high traffic generator as the majority of the building's GFA is devoted to the storage of technological equipment associated with data storage/processing and results in a limited number of employees/visitors to the site to maintain/replace equipment. Further, due to the high-security nature of the data processing centre, limited visitors are permitted on the site and are subject to security clearances before entering the parking area/building.

As demonstrated in the Parking Justification Letter, prepared by WSP, dated March 20, 2023, the proposed development for data processing centres is unique in the sense it houses data generators, rather than people, and the variance provides an opportunity to address site-specific parking rates that will not result in an oversupply of parking for the proposed use. As previously noted, the Parking Justification Letter identifies that a maximum of 60

parking spaces are required to accommodate employees/visitors to the building. A total of 75 parking spaces is proposed which will provide an additional buffer to the proposed parking spaces provided, which will ensure adequate parking is provided for the use, while also ensuring that an oversupply of parking is not provided which would represent an inefficient use of land.

As such, it is our opinion that the minor variances maintain the general intent and purpose of the Official Plan to permit appropriate employment uses on the subject property while accommodating an appropriate rate of parking and loading spaces that are appropriate for the use.

Do the variances maintain the general intent and purpose of the Zoning By-law?

The subject lands are currently zoned as 'Prestige Employment (EM1)' within the City of Vaughan Zoning By-law No. 001-2021, and further, are zoned 'Prestige Employment (EM1)' within the City of Vaughan Zoning By-law No. 1-88. By-law No. 1-88 specifies the parking requirements for employment, industrial, and warehouse uses. It is noted that data processing centers are a separate and distinct use that have very different parking demand characteristics than the traditional employment/industrial uses. The application of by-law rates for these traditional industrial/employment uses is not appropriate and would result in a significant parking oversupply on the site.

The Parking Justification Letter included with the submission identifies that the number of employees required for such a use is based on the energy consumption within the data processing facility. For the Phase 1 development, a maximum of 70 employees would be required for the site, which is split between day shift (35-42 people) and afternoon/ night shift employees (18-21 people). The most conservative assumption would be that all employees take private vehicles to work and would occur at shift changes, where a total of 60 vehicles would be on site, between day and afternoon/ night shift change. A maximum of 60 spaces would be required, whereas 76 spaces are provided. The facility will be secured, and visitors will need to schedule an appointment to gain entrance. Therefore, it is likely that there will be only a few visitors during the day shift, and they will be present on the site outside of the shift change periods.

The Parking Justification Letter notes that a requirement of 75 parking spaces would be considered an oversupply of parking spaces but would accommodate the current and future needs of the site.

Similar to the parking space requirements, the loading space requirements for a data processing centre differ from that of a typical industrial/warehouse use. It is noted that the buildings will predominantly be used for technological infrastructure (i.e., data rooms) and would require loading spaces for the distribution of materials for maintenance of the buildings, and to replace the infrastructure on an as-needed basis. As such, the three (3) loading spaces proposed has been determined to be appropriate for the proposed development and will not result in an oversupply of loading spaces than would be required through the current by-law provisions.

As it relates to the drive aisle, Zoning By-law No. 1-88 establishes a maximum drive aisle width for driveways and/or aisles providing access for trucks to a loading space. It is noted that the new By-law No. 001-2022 does not have this provision included and is reflective of the varying design standards needed for individual sites. The proposed development includes a drive aisle width that exceeds the 13.5 m permitted, however, this drive aisle width is required for the enhanced level of security required for a data processing centre of this nature. The increase in drive aisle width

to a maximum width of 22 m will not adversely impact the proposed development from a landscaping/open space perspective and it is noted that the zoning provisions for landscaping and lot coverage are in compliance.

It is our opinion that the requested variances maintain the general intent and purpose of the Zoning By-law.

Are the variances desirable for the appropriate development or use of the lands?

The City of Vaughan Official Plan identifies that uses such as data processing centres are appropriate within the 'Prestige Employment (EM1) Zone'. The requested variances will facilitate the development of Phase 1 on the site and the requested parking reduction is reflective of other Data Centres in the Greater Toronto Area, as detailed in the Parking Justification Letter submitted in support of the minor variances being sought. In meeting the required number of parking/loading spaces in accordance with the Zoning By-laws, an oversupply of parking and loading spaces would be provided and would reflect an inefficient use of the land. Further, the proposed development includes an appropriate number of loading spaces for the functionality of the proposed use, and provides a high-quality architectural presence and landscaping design that will enhance the streetscaping adjacent to the site and is appropriate.

From an overall site perspective, the proposed enhancements to the streetscapes along Highway 27 and Langstaff Road will provide a significantly enhanced condition than presently exists. Further, it is noted that all setbacks from the property lines have exceeded the requirements of the Zoning By-laws due to the high level of security provided.

In our opinion, the requested variances are desirable for the appropriate development or use of the lands.

Are the variances minor in nature?

The proposed variances are considered minor in nature as the parking/loading space reductions represents an omission in the Zoning By-laws as data processing centres are not established as a defined use. As previously noted, these types of uses do not generate the typical amount of traffic or parking supply demands that would be associated with other industrial/warehouse uses. Through the inclusion of site-specific parking and loading requirements, the proposed variances will provide an adequate amount of parking and loading relative to the needs of the data processing centre, without resulting in an oversupply of parking. This aligns with the Official Plan and Zoning By-laws and will ultimately result in a development that has more than adequate parking spaces.

The requested increase in drive aisle width is technical in nature, as this relief is only required from the Zoning By-law No. 1-88. The drive aisle width proposed reflects the high-security requirements of the site and will still allow for drive aisles and parking spaces to be adequately screened from the public realm through the inclusion of robust landscaping/screening and enhanced setbacks.

It is our opinion that the requested variances are minor in nature.

Conclusion

Based on the above and the accompanying materials submitted in support of the application, it is our opinion that the Minor Variance application is appropriate and represents an ideal use for the vacant lot within an area designated 'Prestige Employment'. Further, it is our opinion that the proposed minor variance application maintains the general intent and purpose of the Official Plan and Zoning By-law(s), is desirable and appropriate for the use of the land, and is minor in nature. As such, the applications satisfy the four tests prescribed in Section 45(1) of the *Planning Act*, has planning merit, and represents good planning.

Submission Materials

In support of the Minor Variance application, the following materials have been included with the submission:

No.	Item	Consultant/Author	Date
0.	Cover Letter	Weston Consulting	May 12, 2023
1.	Minor Variance Application Form		
2.	Authorization Forms		
3.	Architectural Drawings Package	WZMH	May 3, 2023
4.	Parking Justification Letter	WSP	March 20, 2023
5.	E-mail from the Development Engineering & Infrastructure Planning department at the City confirming acceptance of the Parking Justification Letter.	City Staff	April 12, 2023
6.	Arborist Report	Morrison Hershfield	April 19, 2023
7.	Tree Protection and Removal Plan		January 20, 2023
8.	Minor Variance Application Fee (\$3,838.00)	Client	-----

It is our understanding that the above is in order and that staff have all of the required materials to facilitate their review. We respectfully request that the application be scheduled for the next available Committee of Adjustment hearing date. If you have any questions or require any further information, please contact myself at extension 245 or Adam Santos at extension 276.

Yours truly,

Weston Consulting

Per:



Sandra K. Patano, BES, MES, MCIP, RPP
Vice President

- c. Shaunak Pandit, Morrison Hershfield
- Zenon Radewych, WZMH Architects
- Judy Jeffers, City of Vaughan