

ITEM: 6.9	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A075/23 126 PINE VALLEY CRESCENT, WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
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PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

None		
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A075/23
126 PINE VALLEY CRESCENT, WOODBRIDGE**

ITEM NUMBER: 6.9	CITY WARD #: 3
APPLICANT:	Dino Martinelli
AGENT:	Ian Robertson Design
PROPERTY:	126 Pine Valley Crescent, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed single-family dwelling, swimming pool and location of A/C unit and generator.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum westerly interior side yard setback of 9.16 m is required to a dwelling. [4.5.2b]	To permit a minimum westerly interior side yard setback of 6.21 m to a dwelling.
2	A minimum easterly interior side yard setback of 17.66 m is required to a dwelling. [4.5.2b]	To permit a minimum easterly interior side yard setback of 5.0 m to a dwelling.
3	A maximum encroachment of 0.6 m is permitted into the minimum required easterly interior side yard for an air conditioning unit and a generator. [4.13, Table 4.1]	To permit a maximum encroachment of 0.91 m into the minimum required easterly interior side yard for an air conditioning unit and a generator.
4	A maximum building height of 9.5 m is permitted for a dwelling. [Table 7-3, 4.5.1]	To permit a maximum building height of 11.61 m for a dwelling.
5	A maximum encroachment of 0.5 m is permitted into a minimum required yard for eaves and gutters for a dwelling. [4.13, Table 4.1]	To permit a maximum encroachment of 0.6 m for eaves and gutters for a dwelling.
6	A minimum lot area of 4000 m ² is required. [7.0, Table 7-3]	To permit a minimum lot area of 3820.70 m ² .
7	An outdoor swimming pool shall only be permitted in the rear yard of a lot. [4.21.2]	To permit an outdoor swimming pool not to be in the rear yard of a lot.

The subject lands are zoned RR, Rural Residential under Zoning By-law 1-88.

#	Zoning By-law 1-88	Variance requested
1	A maximum encroachment of 0.5 m is permitted into a minimum required yard for eaves and gutters for a dwelling. [3.14 i]	To permit a maximum encroachment of 0.6 m for eaves and gutters for a dwelling.
2	A maximum encroachment of 0.6 m is permitted into the minimum required easterly interior side yard for an air conditioning unit and a generator. [3.14 h]	To permit a maximum encroachment of 0.91 m into the minimum required easterly interior side yard for an air conditioning unit and a generator.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 22, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	June 8, 2023	
Date Applicant Confirmed Posting of Sign:	June 6, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Please refer to attached justification letter for reasoning.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	TBD
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed residence in the subject property is 702.62 m², the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Conditions attached)

The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.

The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A075/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca .
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

See recommended condition:

PFH Recommended Conditions of Approval:	Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property. Horticulture:
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DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

DEVELOPMENT FINANCE COMMENTS

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Joshua.cipolletta@vaughan.ca	TBD
2	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca.
3	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for**

IMPORTANT INFORMATION – PLEASE READ

contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

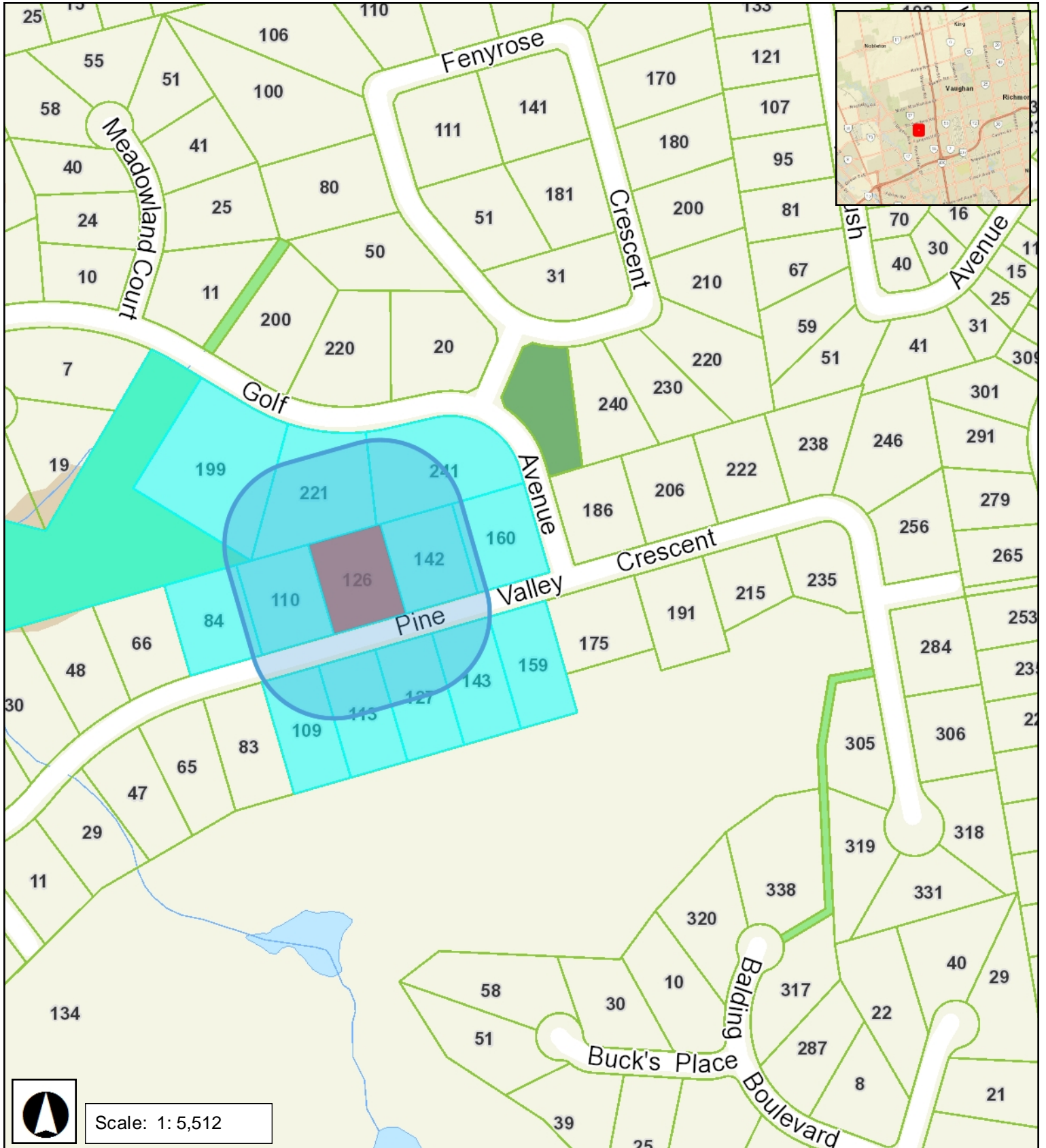
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



RECEIVED

By Christine Vigneault at 4:40 pm, May 25, 2023

REGISTERED PLAN M-1857
LOT 31

#6
3820.70M2

#2
5.00M

#3
0.91M

#7
POOL
LOCATION

LOT 34
REGISTERED

#7
0.3284-1171

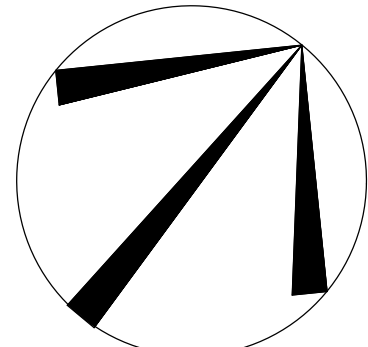
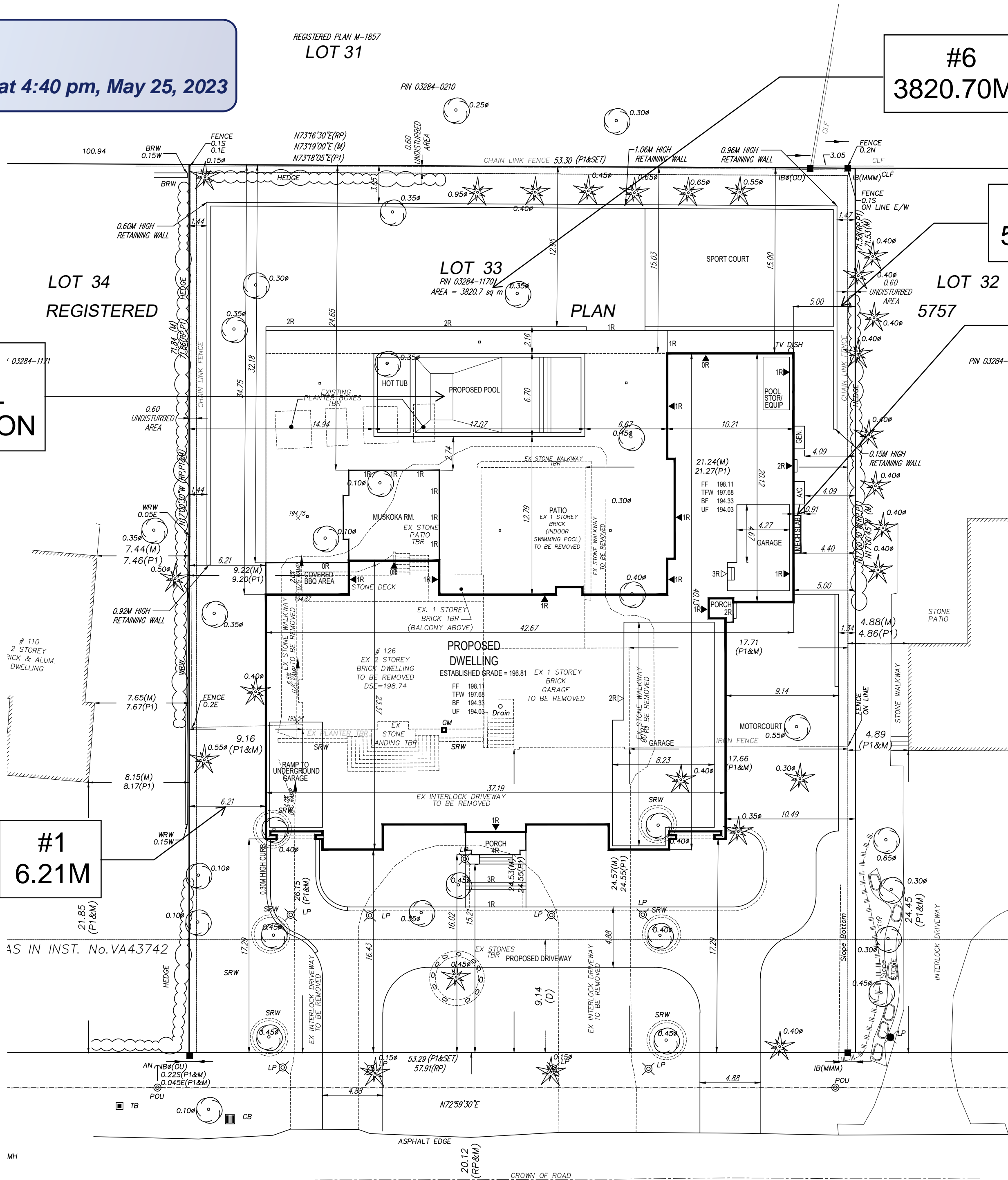
#1
6.21M

AS IN INST. No. VA43742

MH

PINE VALLEY CRESCENT

(BY REGISTERED PLAN 5757)
PIN 03284-1179



The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021.

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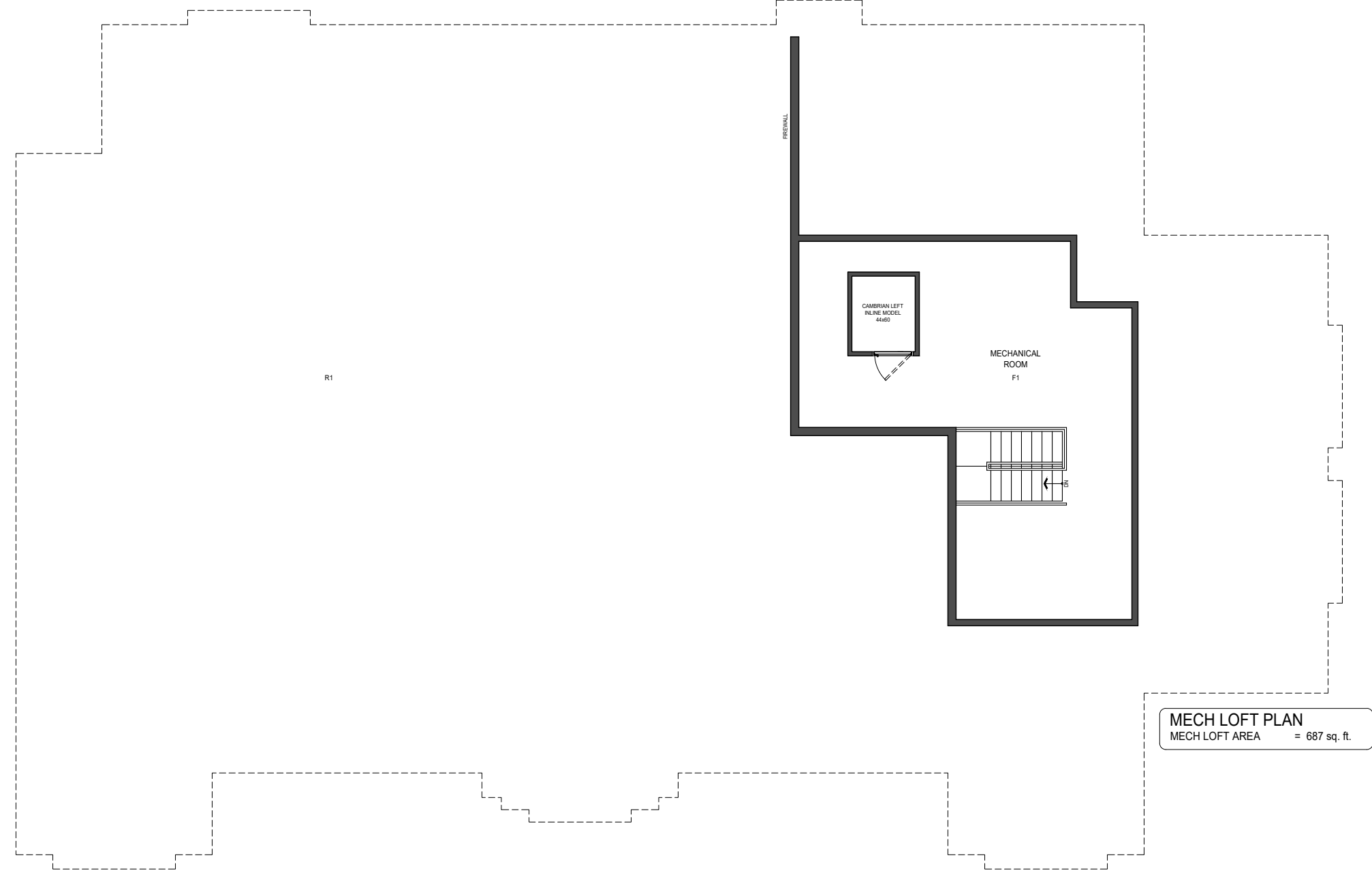
SITE DATA	ZONING	
	BY-LAW 001-2021	PROPOSED
ZONE	RE (EN)	
LOT FRONTAGE	45.0 M	53.89 M
LOT AREA	4000 M2	3820.70 M2
FRONT YARD SETBACK	15.0 M	16.43 M (HOUSE)
		15.21 M (STAIRS)
SIDE YARD SETBACK	WEST 9.16 M	6.21 M
	EAST 17.66 M	4.40 M (MECH SLAB) 5.00 M (1 CAR GARAGE) 10.49 M (COACH GARAGE)
REAR YARD SETBACK	15.0 M	15.0 M (CABANA)
GROUND FLOOR AREA		24.65 M (PORCH)
GROSS FLOOR AREA		702.62 M2
LOT COVERAGE		1300.64 M2
NOT INCL. PORCH		24.71% (943.98 M2)
LOT COVERAGE OF FRONT PORCH		0.23% (8.56 M2)
LOT COVERAGE OF MUSKOKA ROOM		1.44% (55.13 M2)
LOT COVERAGE OF COVERED BBQ AREA		0.45% (17.37 M2)
LOT COVERAGE OF SIDE PORCH		0.09% (3.40 M2)
TOTAL COVERAGE		26.92% (1028.43 M2)
BLDG HEIGHT TO PEAK	9.5 M	11.61 M
BLDG HEIGHT TO MIDPOINT	9.5 M	10.14 M
DRIVEWAY WIDTH	9.0 M	4.88 M
COMBINED DRIVEWAY WIDTH AT STREET	15.0 M	9.76 M
EAVE PROJECTION	0.5 M	0.56 M
FRONT YARD AREA		928.99 M2
DRIVEWAY AREA		317.79 M2
WALKWAY & STEP AREA		16.85 M2
FRONT YARD LANDSCAPING	50% (464.49M2)	928.99 - 317.29 = 611.70 M2 (65.84%)
FRONT YARD SOFT LANDSCAPING	60% (278.69M2)	611.70 - 16.85 = 594.85 M2 (128%)
REAR YARD AREA		1478.57 M2
HARDSCAPE AREA		812.45 M2
INC. RET. WALLS, POOL, POOL DECK, SPORT COURT		
REAR YARD SOFT LANDSCAPING	60% (887.14 M2)	1478.57 - 812.45 = 666.12 M2 (45.05%)

LOT 33
126 PINE VALLEY CRES.
FILE NO.

CLIENT: DINO MARTELLI
PROJECT: 126 PINE VALLEY CRES., CITY OF VAUGHAN

SHEET TITLE: SITE PLAN
PROJECT NUMBER: 22-24
SCALE: 1:250
DRAWING NO.: 1 OF 1

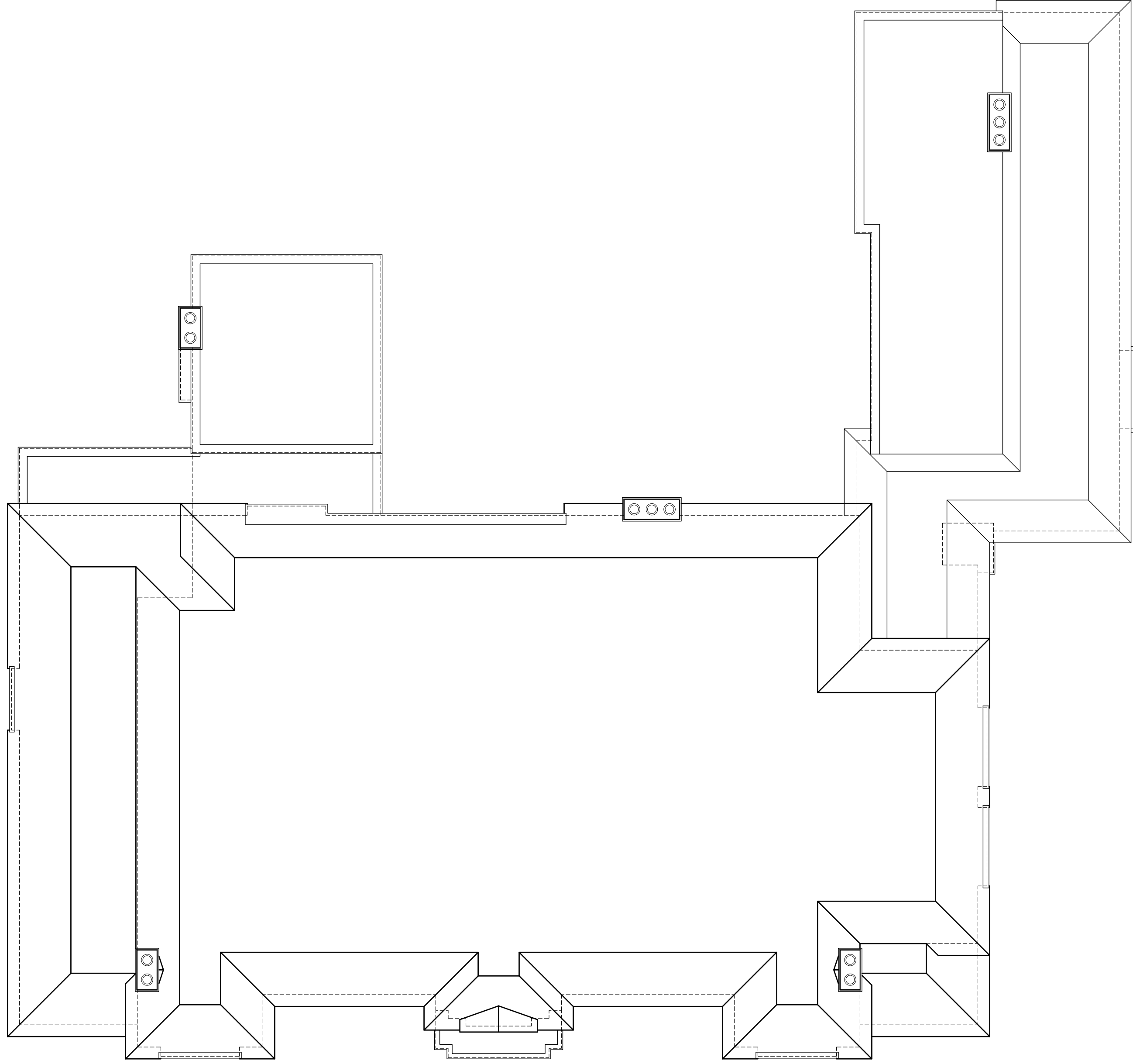
REVISIONS
1 APR. 14/23 ISSUED FOR REVIEW



MECH LOFT PLAN
MECH LOFT AREA = 687 sq. ft.

LOT 33
126 PINE VALLEY CRES.
FILE NO.

REVISIONS	CLIENT:	SHEET TITLE:
1 APR. 1423	DINO MARTELLI	MECHANICAL LOFT PLAN
	PROJECT:	PROJECT NUMBER: 22-24
	126 PINE VALLEY CRES,	DRAWN BY: MG
	CITY OF VAUGHAN	SCALE: 1/8" = 1'-0"
		DRAWING NO.: 4 OF 7



TOTAL ROOF AREA: 8813 SQ.FT
 FLAT ROOF AREA: 5074 SQ.FT
 PERCENTAGE OF FLAT ROOF AREA: 57.57%

LOT 33
126 PINE VALLEY CRES.
FILE NO.

REVISIONS

NO.	DATE	DESCRIPTION
1	APR. 14/23	ISSUED FOR REVIEW

CLIENT:

DINO MARTELLI
 126 PINE VALLEY CRES,
 CITY OF VAUGHAN

SHEET TITLE:

ROOF PLAN

PROJECT:

126 PINE VALLEY CRES,
 CITY OF VAUGHAN

SCALE:

1/8" = 1'-0"

PROJECT NUMBER:

22-24

DRAWN BY:

MG

DRAWING NO.:

5 OF 7



FRONT ELEVATION

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2. A maximum encroachment of 0.6 m is permitted into the minimum required easterly interior side yard for an air conditioning unit and a generator. [3.14.3]	To permit a maximum encroachment of 0.91 m into the minimum required easterly interior side yard for an air conditioning unit and a generator.



REAR ELEVATION

LOT 33
126 PINE VALLEY CRES.
FILE NO.

CLIENT: DINO MARTELLI
PROJECT: 126 PINE VALLEY CRES, CITY OF VAUGHAN

REVISIONS:
 1 APR. 14/23 ISSUED FOR REVIEW

SHEET TITLE: FRONT & REAR ELEVATION
PROJECT NUMBER: 22-24
SCALE: 1/8" = 1'-0"
DRAWN BY: MG
DRAWING NO.: 6 OF 7

#4
11.61M



The subject lands are zoned RE (EN) - Estate Residential Zoning By-law 2021.
Neighborhoods under Zoning By-law 2021:

Zone	Zone Name	Zone Description
1	Zone 1 (see 4.1.1)	To permit a maximum westerly interior side yard setback of 5.16 m to a dwelling. (4.5.26)
2	Zone 2 (see 4.1.2)	To permit a maximum westerly interior side yard setback of 6.21 m to a dwelling. (4.5.26)
3	Zone 3 (see 4.1.3)	To permit a maximum westerly interior side yard setback of 5.0 m to a dwelling. (4.5.26)
4	Zone 4 (see 4.1.4)	To permit a maximum westerly interior side yard setback of 6.21 m to a dwelling. (4.5.26)
5	Zone 5 (see 4.1.5)	To permit a maximum westerly interior side yard setback of 5.0 m to a dwelling. (4.5.26)
6	Zone 6 (see 4.1.6)	To permit a maximum westerly interior side yard setback of 5.0 m to a dwelling. (4.5.26)
7	Zone 7 (see 4.1.7)	To permit a maximum westerly interior side yard setback of 5.0 m to a dwelling. (4.5.26)

SHEET TITLE:		LEFT & RIGHT SIDE ELEVATION	
CLIENT:		DINO MARTELLI	
PROJECT:		126 PINE VALLEY CRES, CITY OF VAUGHAN	
DRAWN BY:		22-24 MG	
PROJECT NUMBER:		18" = 1'-0"	
SCALE:		DRAWING NO.: 7 OF 7	
REVISIONS			
1	APR. 14/23	ISSUED FOR REVIEW	

#4
11.61M



RIGHT SIDE ELEVATION

LOT 33
126 PINE VALLEY CRES.
FILE NO.

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application Under Review
Building Standards (Zoning)	X	X		General Comments

Date: May 25th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A075-23**

Related Files:

Applicant Dino Martelli

Location 126 Pine Valley Crescent

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

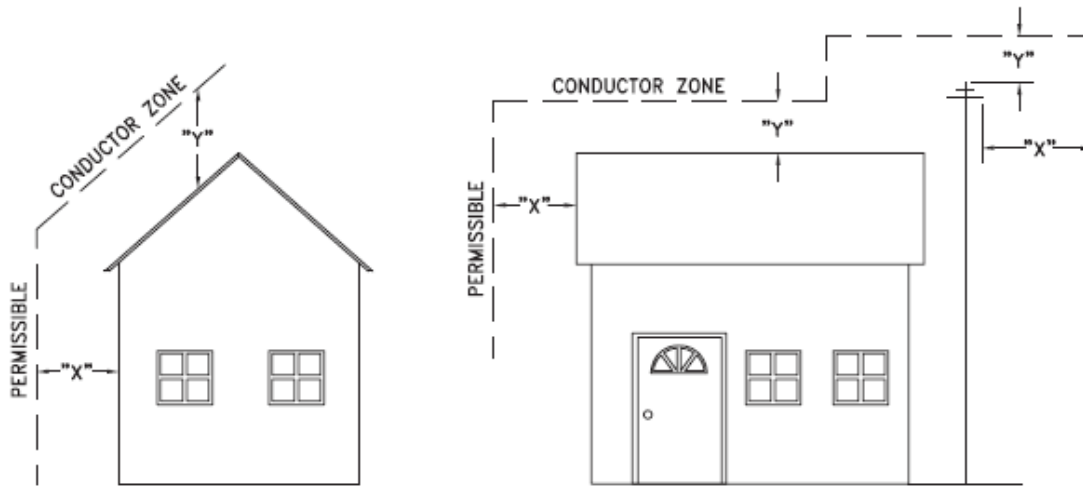
Mitchell Penner

Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

E-mail: stephen.cranley@alectrautilities.com

Email: Mitchell.Penner@alectrautilities.com



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

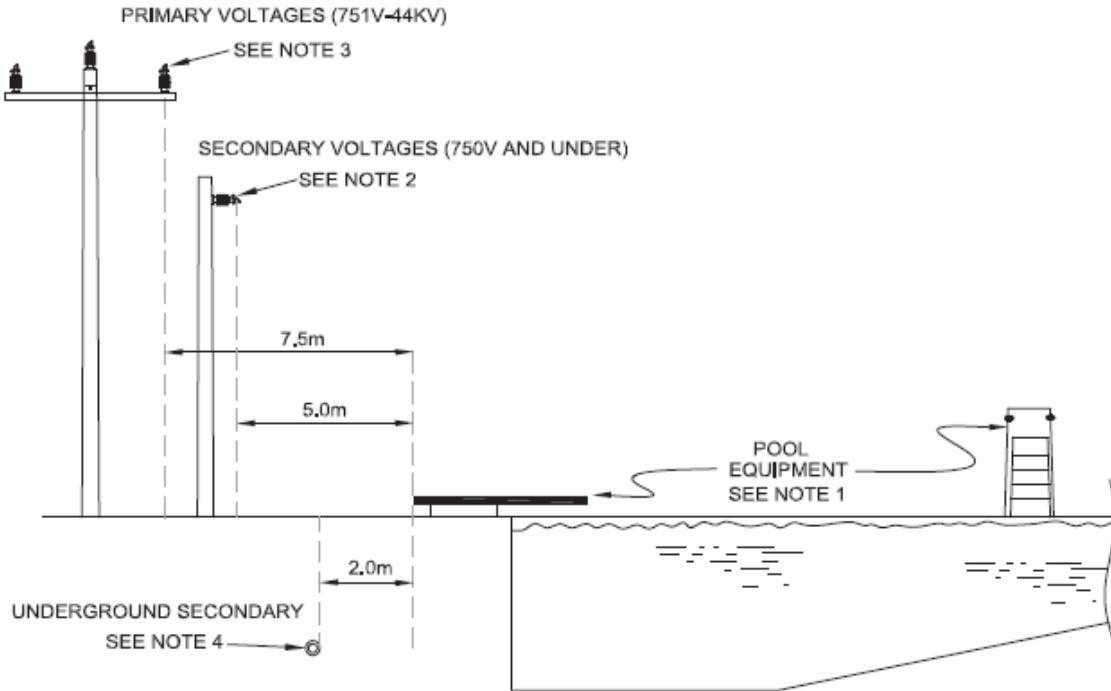
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:22:02 AM, Adobe PDF



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

REFERENCES	
FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: May 25, 2023
Applicant: Dino Martelli
Location: 126 Pine Valley Crescent
 Plan RP5757, Lot 33
File No.(s): A075/23

Zoning Classification:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum westerly interior side yard setback of 9.16 m is required to a dwelling. [4.5.2b]	To permit a minimum westerly interior side yard setback of 6.21 m to a dwelling.
2	A minimum easterly interior side yard setback of 17.66 m is required to a dwelling. [4.5.2b]	To permit a minimum easterly interior side yard setback of 5.0 m to a dwelling.
3	A maximum encroachment of 0.6 m is permitted into the minimum required easterly interior side yard for an air conditioning unit and a generator. [4.13, Table 4.1]	To permit a maximum encroachment of 0.91 m into the minimum required easterly interior side yard for an air conditioning unit and a generator.
4	A maximum building height of 9.5 m is permitted for a dwelling.[Table 7-3, 4.5.1]	To permit a maximum building height of 11.61 m for a dwelling.
5	A maximum encroachment of 0.5 m is permitted into a minimum required yard for eaves and gutters for a dwelling. [4.13, Table 4.1]	To permit a maximum encroachment of 0.6 m for eaves and gutters for a dwelling.
6	A minimum lot area of 4000 m ² is required. [7.0, Table 7-3]	To permit a minimum lot area of 3820.70 m ² .
7	An outdoor swimming pool shall only be permitted in the rear yard of a lot. [4.21.2]	To permit an outdoor swimming pool not to be in the rear yard of a lot.

The subject lands are zoned RR, Rural Residential under Zoning By-law 1-88.

#	Zoning By-law 1-88	Variance requested
1	A maximum encroachment of 0.5 m is permitted into a minimum required yard for eaves and gutters for a dwelling. [3.14 i]	To permit a maximum encroachment of 0.6 m for eaves and gutters for a dwelling.
2	A maximum encroachment of 0.6 m is permitted into the minimum required easterly interior side yard for an air conditioning unit and a generator. [3.14 h]	To permit a maximum encroachment of 0.91 m into the minimum required easterly interior side yard for an air conditioning unit and a generator.

Staff Comments:**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file.

Building Permit(s) Issued:

A building permit shall be obtained from the Building Standards Department for the proposed construction of a dwelling.

A permit shall be obtained from the Engineering Department for the proposed outdoor pool.

Other Comments:

General Comments	
1	A Hot Tub is shown on the Site Plan, is deemed to be a Swimming Pool, as defined in Section 3.0 of this bylaw, and has been reviewed accordingly.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

A permit for the demolition of the existing dwelling shall be obtained from the Building Standards Department and the existing dwelling shall be demolished prior to the issuance of a building permit for the replacement dwelling.

* Comments are based on the review of documentation supplied with this application.

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A075/23 (126 Pine Valley Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, May 30, 2023 6:42:20 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

May 5, 2023

Project No: 22-24

Christine Vigneault
Secretary-Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan ON, L6A 1T1

**RE: Minor Variance Application
Residential Development
126 Pine Valley Cres.**

Ian Robertson Design is the Designer retained to act on behalf of the home owner Dino Martelli (the 'Owner') of the lands municipally known as 126 Pine Valley Crescent. (the 'Subject Property' or 'Site'). On behalf of the Owner, we are pleased to provide this Justification Letter in support of a Minor Variance Application to facilitate the construction of a new single family detached dwelling.

SUBJECT PROPERTY & SURROUNDING AREA

126 Pine Valley Crescent is located in the National between Clubhouse Road and Golf Avenue with the nearest intersection being Pine Valley Drive and Langstaff Road.

The neighbourhood is comprised of mainly two storey homes with attached garages, circular driveways, large parking surfaces, accessory structures and inground pools. There are 19 lots in the area between Clubhouse Road and Golf Avenue of the 19 lots, 14 of these lots have been redeveloped within the last 15 years.

OFFICIAL PLAN AND ZONING

The subject property is designated 'Low Rise Residential' by the Vaughan Official Plan.

The site is subject to the City of Vaughan zoning by-law 2021-001 as amended, which zones the site 'Estate Residential' (RE-EN) per By-Law 2021-001. Single detached dwellings are permitted.

REQUESTED RELIEF

The owner is seeking permission to build a two-storey single detached dwelling with two attached garages and one attached garage that leads to underground parking. The existing dwelling on the property is to be demolished. The proposed dwelling has been

designed to comply with the applicable zoning regulations where possible. The following are the variances the Owner is seeking approval;

No.	Zoning By-Law Regulation 2021-001	Variance Request
1	The minimum interior side yard setback required is 17.66 metres on the east side and 9.16 metres on the west side. [Section 4.5.2.b]	To permit a minimum interior side yard setback of 5.00 metres on the east side and 6.21 metres on the west side of the proposed dwelling.
2	The maximum Building height permitted is 9.50 metres [Section 4.5.1.b]	To permit a maximum building height of 11.61 metres measured to the top of the roof.
3	The maximum encroachment of an eaves and gutter permitted is 0.50 metres [Table 4-1]	To permit the encroachment of eaves and gutters of 0.56 metres into the required interior side yards.
4	Where lot frontage is 12.0 m or greater, the minimum landscape requirement shall be 50%, of which 60% shall be soft landscaping. [Section 4.19.1.2.b]	To permit a rear yard landscaping percentage of 45% (666.12 m ²).

MINOR VARIANCE TESTS

Section 45(1) of the *Planning Act*, as amended, identifies the four tests which must be satisfied in order for the Committee to approve this application. Those tests are:

1. The variance maintains the general intent and purpose of the Official Plan.
2. The variance maintains the general intent and purpose of the Zoning By-law.
3. The variance is desirable for the appropriate development or use of the land.
4. The variance is minor in nature.

In my opinion, the requested variances are supportable and meet the four tests under the *Planning Act* in the following ways:

The Variance Maintains the General Intent & Purpose of the Official Plan

The subject property is designated 'Low Rise Residential' by the in-effect Vaughan Official Plan. The intent of 'Low Rise Residential' is to facilitate a range of permitted low density housing types including single detached dwellings. The existing use and detached dwellings are permitted.

The Variance Maintains the General Intent & Purpose of the Zoning By-law

As mentioned above, the Subject Property is subject to By-law 2021-001, as amended. The requested variances seek the following relief:

Reduced Side Yard Setbacks

The minimum interior side yard setback required is 17.66 metres on the east side and 9.16 metres on the west side; whereas interior side yard setbacks of 5.0m on the east and 6.21m on the south are being proposed.

The purpose and intent of this regulation is to prevent a mass and scale that appears larger than other dwellings within the neighbourhood. In this case 50% of the east side elevation is located 5.0m from the interior side lot line. The portion of the dwelling within the 5.0m setback is a one-storey element measuring 7.89m in height (measured to the peak). The other 50% of the east side elevation is setback 10.49m from the interior lot line. On the west side we are seeking a 32% reduction of the side yard setback. This portion of the dwelling is also a one storey element measuring 9.08m (measured to the peak) in height.

Increased Building Height

The maximum Building height permitted is 9.50 metres whereas a maximum building height of 11.61m measured to the top of roof is proposed.

The purpose and intent of this regulation is to ensure prevent a mass and scale that appears larger than other dwellings within the neighbourhood. In this case, the driving factor for the increase in building height is the existing lot design combined with calculation of established grade. The lot naturally drains back to front with grades at the rear wall of the dwelling being over 1.0m higher than the grades at the front. This change in grade forces the dwelling out of the ground adding additional steps to the front entry.

The requested building height is within range of previous approvals in the surrounding Neighbourhood as shown in the table below;

Address	Building Height	Adjustment
11 Pine Valley Cres.	12.9m	3.40m
110 Pine Valley Cres.	11.81m	2.31m
143 Pine Valley Cres.	13.0m	3.50m
246 Pine Valley Cres.	12.0m	2.50m

Encroachment of Eaves and Gutters

The maximum encroachment of an eaves and gutter permitted is 0.50 metres whereas; an encroachment of 0.56m is proposed.

The general intent of the by-law is to prevent overlapping roof lines from adjacent dwellings. The eaves and gutters on the proposed dwelling project an additional 0.06m into the interior side yard. This projection still allows for a 4.44m and 5.65m setback to the eaves and gutters.

Reduced Rear Yard Soft Landscaping

The minimum rear yard landscaping requirement is 50% of the rear yard area. Of that 50%, 60% is to be comprised of soft landscaping whereas 45% soft landscaping is being proposed. Although the Owner is requesting a reduction for the rear yard soft landscaping the total front yard soft scape significantly exceeds the by-law requirements.

The general intent of the by-law is to allow for enough green space for water run off and drainage. In this case most of the water on the site is being directed by on grade swales and brought to the front of the house. The remainder of the site (specifically pool deck, sport court and patio) will be directed to area drains and connected to a French drain or soak away pit. This will prevent any excess run-off from spiling over into the adjacent properties.

The Variance is Desirable for the Appropriate Development or Use of the Land

The variances are desirable and appropriate as the built form maintains a similar mass and scale that is comparable to the majority of the newly built dwellings in the area.

The Variance is Minor in Nature

These variances we believe to be minor in nature as the height, is below most in the area while working with the adverse grading on the property. The reductions of setbacks from the current by-law are for one storey elements, while the 2 storey elements are set significantly further back from the lot lines. From the street view perspective, the dwelling as designed maintains a similar feeling in mass and setback to that of adjacent and comparable homes. It is for these reasons we believe our application for minor as a whole should be considered minor.

CONCLUSION

It is in my opinion that the requested variances satisfy the four tests of the Section 45(1) of the Planning Act and represent good planning.

Sincerely,
Ian Robertson Design



Ian Robertson
President