

ITEM: 6.4	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A045/23 87 BELL HARBOUR PLACE, WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A045/23
87 BELL HARBOUR PLACE, WOODBRIDGE**

ITEM NUMBER: 6.4	CITY WARD #: 3
APPLICANT:	Joe & Marietta Valenzano
AGENT:	Lou Mazzon
PROPERTY:	87 Bell Harbour Place, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed covered patio (loggia) and existing shed.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1A – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.316 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 35% is permitted [Schedule T-47].	To permit a maximum lot coverage of 38.2%.
2	A residential accessory structure shall be subject to the minimum interior side yard requirement for the principal building on the lot, as indicated in the applicable zone (1.5 metres) [Section 4.1.2.1.a].	To permit a minimum interior side yard setback of 0.69 metres for an accessory building (shed).
3	A residential accessory structure with a height less than 2.8 metres shall not be located closer than 0.6 metres to any lot line [Section 4.1.2.1.c].	To permit a residential accessory structure with a height less than 2.8 metres to be located 0.53 metres to the rear lot line.

HEARING INFORMATION

DATE OF MEETING: Thursday, June 22, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Woodbridge Room (2nd Floor), 2141 Major Mackenzie Drive
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to cofa@vaughan.ca no later than NOON on the last business day before the meeting.

THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	June 8, 2023	
Date Applicant Confirmed Posting of Sign:	June 5, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Use of covered patio requires area as drawn.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>		No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That the final Arborist Report and Tree Preservation Plan be approved to the satisfaction of the Development Planning Department
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed covered loggia in the subject property is 62.6 m², the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A045/23, subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca .
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment at this time.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

Note: Owner to ensure all required permits are applied for and process closed.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Joshua.cipolletta@vaughan.ca	That the final Arborist Report and Tree Preservation Plan be approved to the satisfaction of the Development Planning Department
2	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

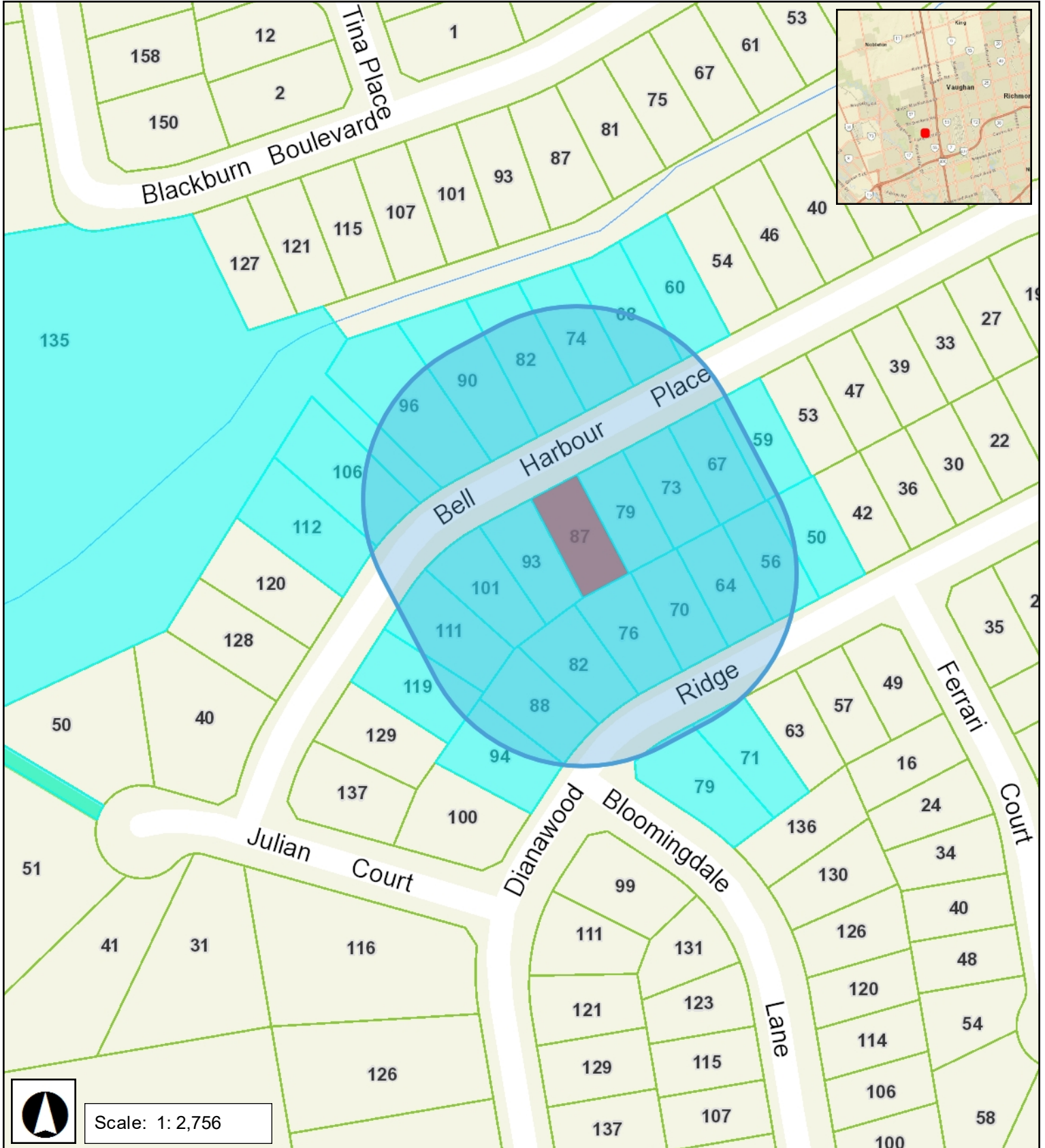
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

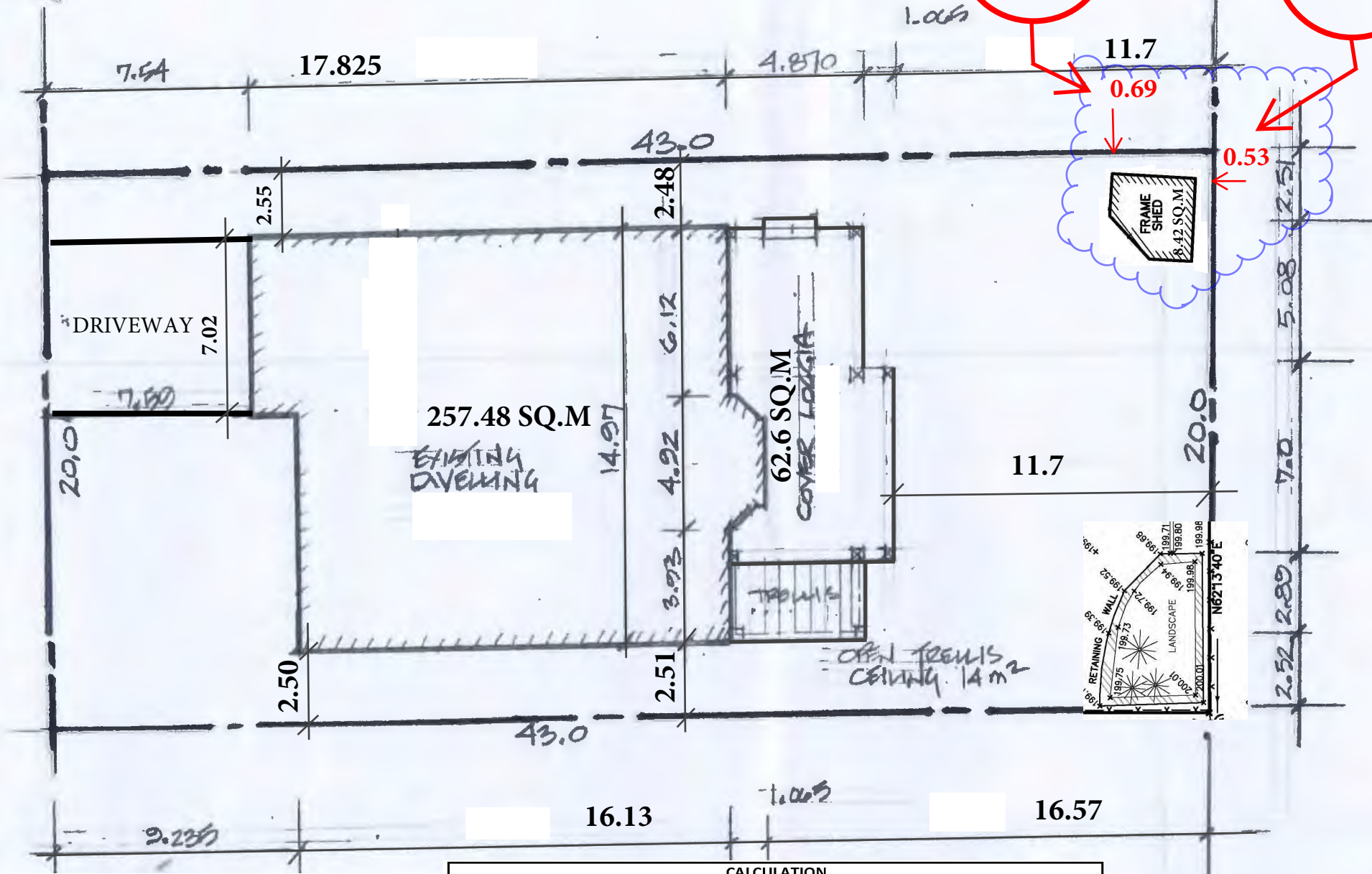




ADDED APRIL 24 2023

RECEIVED
By Christine Vigneault at 8:44 am, May 05, 2023

BELL HARBOUR PLACE




APRIL 15 2023		
REAR YARD - SOFT LANDSCAPING	AREA SQ.M	TOTAL AREA
11.7 X 20 AREA A SOFT LANDSCAPING	234	
1.065 X (5.08+ 2.51) AREA B SOFT LANDSCAPING	8.08	
1.065 X (2.89+ 2.51) AREA C SOFT LANDSCAPING	5.75	
PROPOSED TOTAL REAR LOT AREA		247.83
REQ'D		
TOTAL REAR YD AREA	247.83	
LESS 135 SQ M	135.00	
		112.83
REQ SOFT LANDSCAPING	60%	67.698
SHED AREA	8.42	
PROPOSED SOFT LANDSCAPING 247.83-8.42		239.41

CALCULATION				
87 BELL HARBOUR PLACE				
FEB 5 2023 REV MAR.23 2023				
ITEM	AREA SQ.M	TOTALS AREA	% LOT COVERAGE	% OVER ALLOW.
LOT AREA	860			
ALLOWABLE LOT COVERAGE	301		35%	
<u>EXISTING</u>				
-RESIDENTIAL STRUCTURE	257.48			
-SHED	8.42			
EXISTING COVERAGE		265.9	31%	
<u>PROPOSED</u>				
-COVERED LOGGIA ADDITION	62.60			
TOTAL ADDITIONAL AREA		62.60		
TOTAL PROPOSED AREA	257.48			
PROPOSED LOT COVERAGE		328.50	38.2%	3.2%
OPEN TRELLIS	14.09			

PROJECT:
87 BELL HARBOUR PLACE
VAUGHAN
PROPOSED LOGGIA

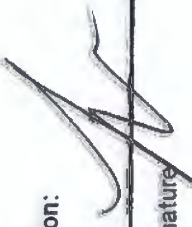
TITLE:
SITE PLAN
REV MAR 23 2023

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

 LOU MAZZON GROUP LIMITED
32 GERANIUM CRT
RICHMOND HILL, ONTARIO, L4C 0N4

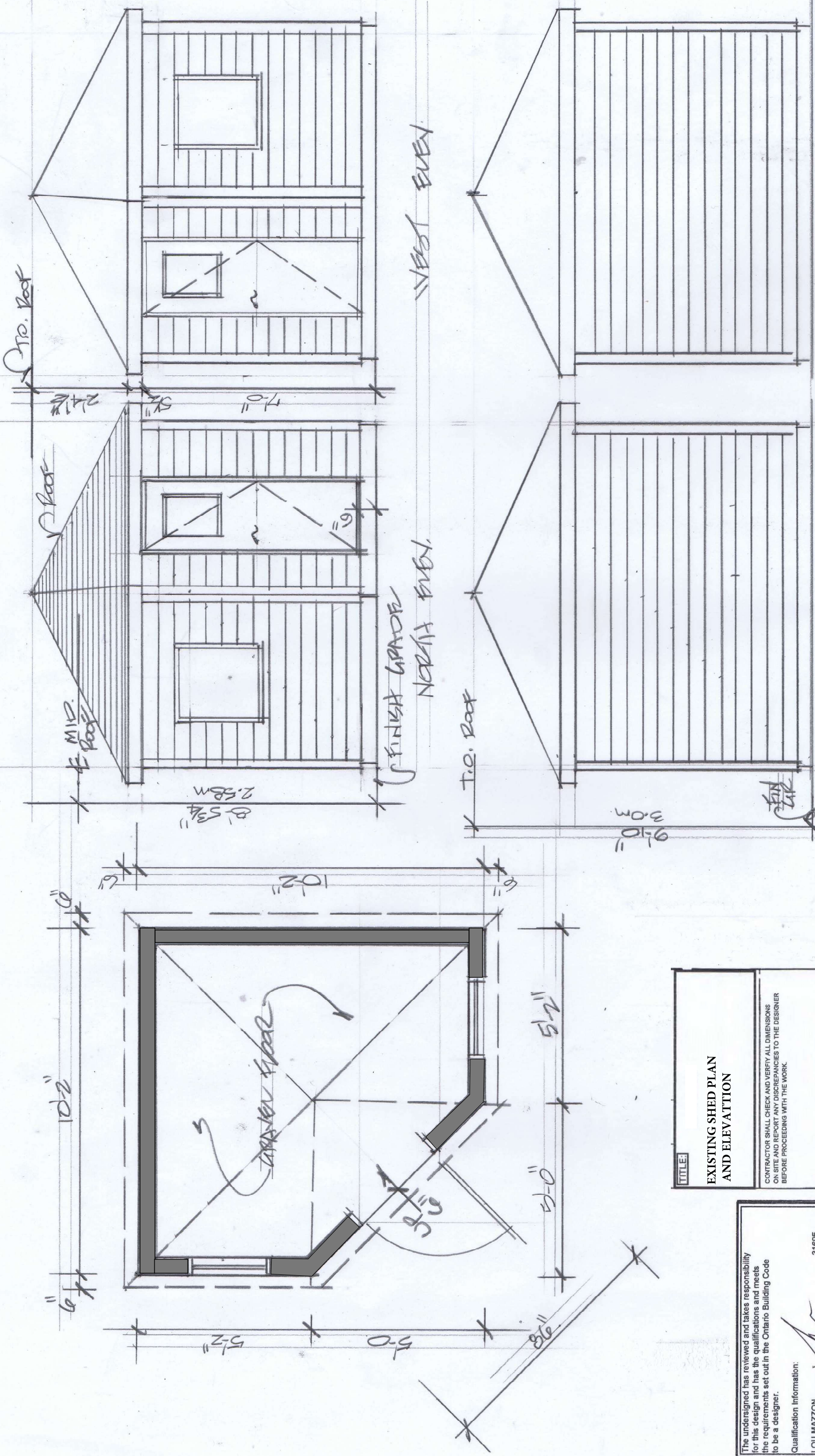
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.


Qualification Information:
LOU MAZZON 31695 BCIN

Signature: 

Registration Information:
LOU MAZZON GROUP LIMITED 33688 BCIN
Firm Name

DRAWN BY: LM
REVIEWED BY: LM
DATE: APRIL 18 2022
SCALE: 1:200 METRIC
PAGE _____ OF _____



TITLE: EXISTING SHED PLAN AND ELEVATION	CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK
 LOU MAZZON GROUP LIMITED 32 GERANIUM CRT RICHMOND HILL, ONTARIO, L4C 0N4	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
Qualification Information:	
LOU MAZZON	31695
Name	BCIN
Registration Information:	
LOU MAZZON GROUP LIMITED	33688
Firm Name	BCIN

PROJECT:	87 BELL HARBOUR PLACE VAUGHAN PROPOSED LOGGIA
DRAWN BY:	LM
REVIEWED BY:	LM
DATE:	APRIL 24 2023
SCALE:	3/8" = 1'-0" OR 1:30 METRIC
PAGE	OF

WEST ELEV.

EAST ELEV.

NORTH ELEV.

SOUTH ELEV.

FINISH GRADE

T.O. Roof

MID. Roof

T.O. Roof

2.58M

3.0M

10'-2"

5'-2"

5'-0"

5'-2"

10'-2"

5'-2"

5'-0"

5'-2"

9'-10"

7'-0"

2'-4 1/2"

9'-10"

7'-0"

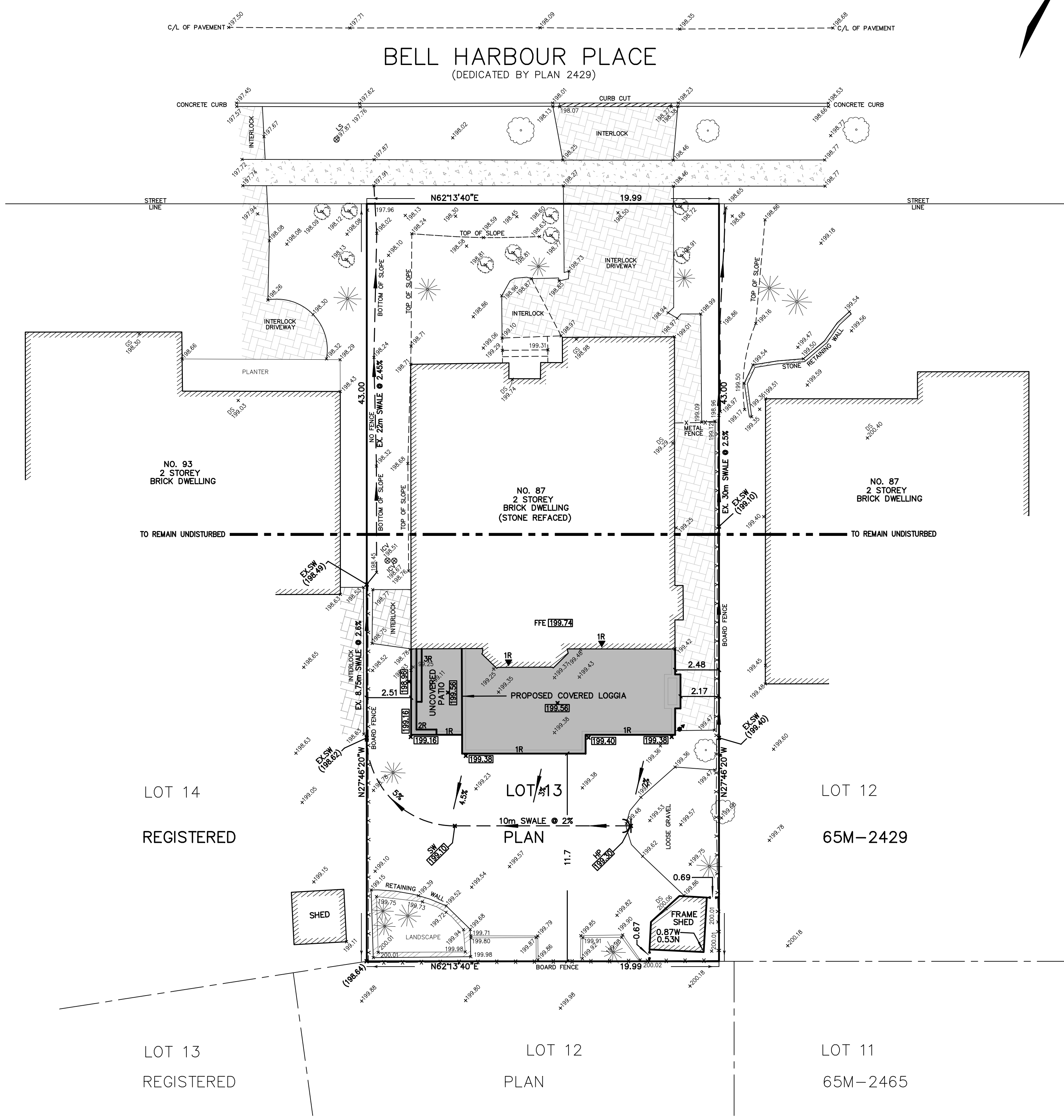
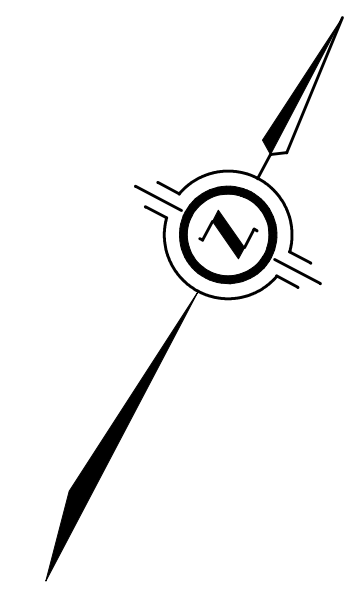
2'-4 1/2"

9'-10"

7'-0"

2'-4 1/2"

Received 04/24/2023



NO. 87 BELL HARBOUR PLACE

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GEODETIC: ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM THE CITY OF VAUGHAN BENCHMARK NO. 38-2 ELEVATION = 208.799 METRES.

CAUTION
THIS IS NOT A PLAN OF SURVEY AND SHALL ONLY BE USED FOR THE PURPOSE AS SHOWN IN THE TITLE BLOCK. THIS PLAN SHALL NOT BE USED FOR MORTGAGE OR TRANSACTION PURPOSES.
THIS SKETCH HAS BEEN PREPARED FOR MR. FRANCESCO BERNAUDO AND GUIDO PAPA SURVEYING A DIVISION OF J. D. BARNES LIMITED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.
BOUNDARY INFORMATION SHOWN HEREON HAS BEEN DERIVED FROM OFFICE RECORDS AND IS SUBJECT TO A LEGAL SEARCH AND A FINAL SURVEY.

LEGEND:

MH(WAT)	DENOTES	WATER MANHOLE
DS	DENOTES	DOOR SILL
GS	DENOTES	GARAGE SILL
LS	DENOTES	LIGHT STANDARD
ICV	DENOTES	IRRIGATION CONTROL VALVE
100.00	DENOTES	EXISTING ELEVATION
(Symbol)	DENOTES	DECIDUOUS TREE
(Symbol)	DENOTES	CONIFEROUS TREE
(Symbol)	DENOTES	SHRUB
N.E.S.W	DENOTES	NORTH, EAST, SOUTH, WEST
100.00	DENOTES	EXISTING ELEVATION
100.00	DENOTES	PROPOSED ELEVATION
(Symbol)	DENOTES	RAINWATER LEADERS - DIRECTED CARDISH STREET
(Symbol)	DENOTES	SUMP PUMP TO DISCHARGE ONTO CONCRETE SPLASH PAD.

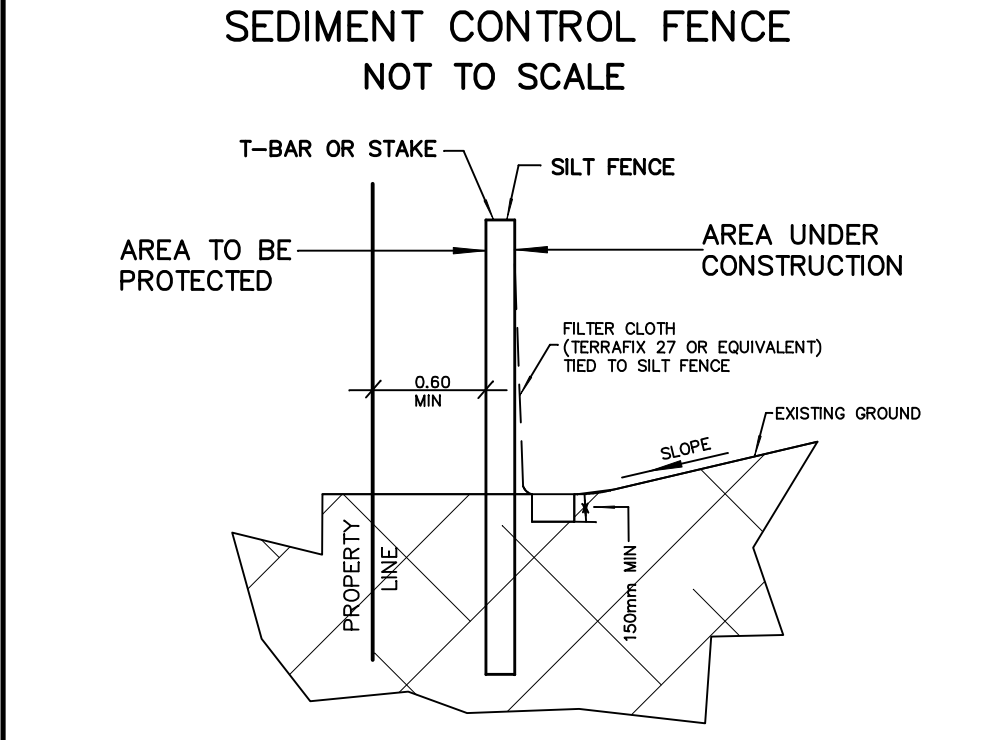
PLAN SHOWING TOPOGRAPHY FOR SITE DEVELOPMENT PURPOSES OF LOT 13 REGISTERED PLAN 65M-2429 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK
SCALE = 1:150 m

- GRADING AND DRAINAGE NOTES**
- All site plans, drawings and construction shall comply with the City of Vaughan Lot Grading Criteria, City of Vaughan Engineering Standards, and applicable Provincial Standards, the Ontario Building Code, Subdivision Agreement and By-Law 1-88 unless otherwise approved.
 - Approval of this site plan does not release the Builder/Applicant/Owner of their responsibilities to ensure the proposed drainage works are compatible with the overall drainage within the subdivision. Proposed lot drainage shall not adversely affect adjacent properties.
 - Alterations to existing grades shall not be permitted within 600mm of lot lines unless specifically approved as part of this permit. The approved grading/drainage pattern for this lot/block shall be maintained and alterations not approved as part of this Permit shall be restored by the Builder/Applicant/Owner to the satisfaction of the City of Vaughan.
 - Sedimentation/siltation control measures shall be installed prior to construction and offset a minimum of 600mm from lot lines. These measures shall be maintained in order to prevent sediment to adjacent lands. Refer to attached sample drawing. Builder shall verify existing and proposed grade elevations prior to construction. Footings to bear on undisturbed soil and be a minimum of 1.22m below finished grade.
 - Provide elevation for: top of foundation wall; underside of footing; top of basement floor and finish floor.
 - Show reverse veneer wall where applicable.
 - Sanitary and Storm Invert Elevation shall be shown at main lateral connection and at property line. City Engineering Department/York Region approval is required for sanitary, storm and water box location and installation to the lot line prior to construction.
 - Water, storm and sanitary services that are to be reused or decommissioned are to be identified on the drawing.
 - Downspouts of Rain Water Leaders shall discharge onto splash pads and drain towards the street. Splash pads shall outlet over sodded land where possible to encourage infiltration of surface runoff.
 - High Point on split lot drainage to be a minimum of 2.0m behind front downspout location to ensure drainage outlets to street.
 - Top of foundation walls, exterior cladding, window and door sills shall be a minimum of 150mm above finished grade.
 - The Designer/Consultant/Engineer/Architect is responsible to ensure that height, thickness, lateral bracing, etc. off all foundation walls conform to OBC. OBC subsection 9.15.4 shall apply.
 - All front and rear yards shall be graded at a 2% - 5% gradient within 5m of the building.
 - Drainage swales shall be graded with a 2% - 5% gradient. Desirable swale depth is 250mm. Minimum swale depth is 150mm. Maximum swale depth is variable and depends on location and safety considerations, but must not exceed 450mm.
 - Centerline of swales shall be located 600mm from lot lines unless otherwise approved.
 - Centerline of swales must not be located less than 600mm from any foundation wall.
 - Artificial embankments and retaining walls shall not be permitted unless approved as part of this Permit. The maximum embankment slope shall be 3:1 (horizontal to vertical) with a maximum grade differential of 600mm.
 - Proposed retaining walls are to be constructed in accordance with the City of Vaughan Lot Grading Criteria and By-Law 1-88. Retaining walls exceeding 1.0 metre in height shall be designed, inspected and certified by a Professional Engineer and shall be served by guards or otherwise treated to reduce any public hazard. All retaining walls shall be constructed of stone, precast blocks or concrete. A retaining wall which exceeds 1.0 metre in height must be set back from the nearest property line or distance equal to its height.
 - Driveway grades shall be 1.5% - 8% and compatible with approved sidewalk grades. Boulevard grades shall be 2% - 5%. Driveways shall be a minimum of 1.0m from any trees, catch basin or above ground utility or other obstruction.
 - Water service stops are to be located in the grass portion of the front yard as per City of Vaughan Standard 1-1.
 - Driveways, curb cuts and driveway culverts shall be located, approved and constructed in accordance with the requirements of the City Engineering Department, York Region and By-Law 1-88. A separate permit is required from the City of Engineering/Public Works Department for curb cuts and/or proposed culverts.
 - Footings constructed next to catch basin lead pipe or other Municipal Service shall be inspected below lead pipe excavation. Footings must be constructed on undisturbed soil or Soil Consultants verification required.
 - If the proposed construction is in an area of fill a Professional Engineer is to inspect the excavation and certify the stability and bearing capacity of the soil prior to construction.
 - Prior to Letter of Credit release the Owner shall submit an as-built survey illustrating both proposed and as constructed grade elevations. A Storm Water Management report authored by a Professional Engineer and/or Lot Grading Certification by a Professional Engineer or Ontario Land Surveyor shall be submitted to the City upon their request.
 - Post construction flows, from a 5 year storm frequency, shall not exceed the flows for preconstruction conditions, for the same storm, unless it is demonstrated to the satisfaction of the City that uncontrolled flows will not adversely affect the existing drainage patterns. (These flows shall be computed using the rational method only.)
 - The building shall be located or the building site graded so that water will not accumulate at or near the building and will not adversely affect adjacent properties. TOBC 9.14.6.1(1)
 - TRCA approval required where grade changes will occur that abut regulated areas; existing natural or artificial watercourse, open channel, swale or ditch used to drain land.

- LID NOTES:**
- Installing a Trench drain to collect and redirect the flow of water. The perforated pipes will enable the stormwater to be redirected to a more desirable location away from the property and into a more pervious surface or stormwater drain.
 - By increasing the depth of top soil from 4" to 6" thereby providing more water retaining capacity and drainage.
 - Adding mulch in the existing soft landscape will further provide more drainage.

I HAVE REVIEWED THE SITE AND GRADING PLAN FOR THE PROPOSED BUILDING TO BE CONSTRUCTED AND HEREBY CERTIFY THAT:
 1) THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING PRINCIPLES.
 2) THE PROPOSED GRADING IS IN CONFORMITY WITH THE GRADING PLAN APPROVED FOR THIS SUBDIVISION AND WILL NOT ADVERSELY AFFECT ADJACENT LANDS.
 3) THE PROPOSED BUILDING IS COMPATIBLE WITH THE PROPOSED GRADING.
 4) THE BUILDER IS RESPONSIBLE FOR RELOCATION OF THE UTILITIES ON THE SITE.
 5) ROOF LEADER DOWNSPOUTS MUST DRAIN TO FRONT OF HOUSE.
 6) WATER SERVICE TO BE LOCATED IN THE GRASSED PORTION OF THE YARD.

SEPTEMBER 8, 2022
DATE
 VALERIO G. PAPA
ONTARIO LAND SURVEYOR
(This is NOT an original copy unless embossed with a seal)



NOTES:
1. MATERIAL REMOVED FROM TRENCH TO BE PLACED ON TOP OF FILTER CLOTH

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No.	REVISIONS	APPROVED	DATE

CITY OF VAUGHAN LOT GRADING PLAN
 PROPOSED LOGGIA

GUIDO PAPA SURVEYING
A Division of J.D. Barnes Limited SURVEYING MAPPING GIS
 UNIT B7 - 9135 KEBBLE ST., VAUGHAN, ON L4K 0J4
 T: (289) 553-5961 F: (289) 553-5966 www.jdbarnes.com

DRAWN BY: V.G.P. CHECKED BY: V.G.P. REFERENCE NO.: 22-18-354-00

87 BELL HARBOUR PLACE

001



TREE NOT
MORE
THAN 0.20

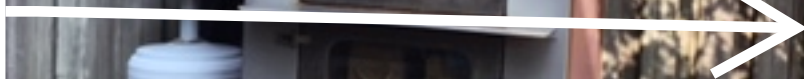
MAY 16 2023 EAST LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

002

TREE NOT
MORE
THAN 0.20



MAY 16 2023 EAST LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

003

MAY 16 2023 EAST LOT LINE

05/16/2023



87 BELL HARBOUR PLACE

004

TREE NOT
MORE
THAN 0.20



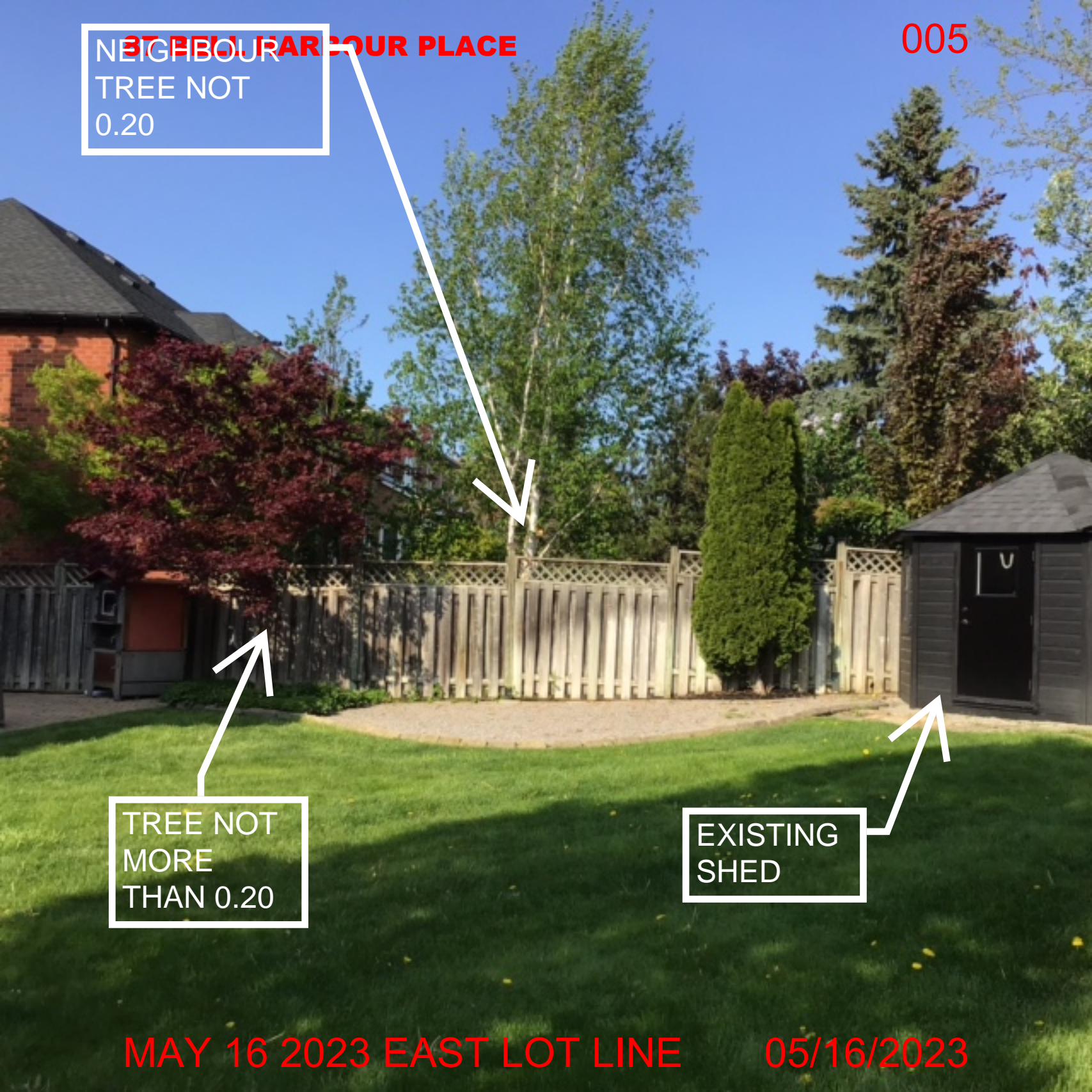
MAY 16 2023 EAST LOT LINE

05/16/2023

005

NEIGHBOUR
TREE NOT
0.20

37 BURNHAMBOUR PLACE



TREE NOT
MORE
THAN 0.20

EXISTING
SHED

MAY 16 2023 EAST LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

006

EXISTING
SHED



MAY 16 2023 EAST LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

007

LESS THAN 0.20



MAY 16 2023 EAST LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

008

LESS THAN 0.20



MAY 16 2023 EAST LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

001



EAST NEIGHBOUR TREE AT LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

002



EAST NEIGHBOUR TREE AT LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

003

**NOT
MORE
THAN 0.20**



EAST NEIGHBOUR TREE AT LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

004



EAST NEIGHBOUR TREE AT LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

005

NOT
MORE
THAN 0.20



EAST NEIGHBOUR TREE AT LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

006



EAST NEIGHBOUR TREE AT LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

007

EAST NEIGHBOUR TREE AT LOT LINE

05/16/2023



87 BELL HARBOUR PLACE

008



EAST NEIGHBOUR TREE AT LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

009



EAST NEIGHBOUR TREE AT LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

010



EAST NEIGHBOUR TREE AT LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

REAR LOT LINE

EAST LOT LINE

WEST LOT LINE

PANORAMIC PIC



87 BELL HARBOUR PLACE

001



SOUTH REAR LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

002



SOUTH REAR LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

003



**EXISTING
SHED**

SOUTH REAR LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

001



CEDAR TREE
WITH
MULTIPLE
TRUCKS

WEST LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

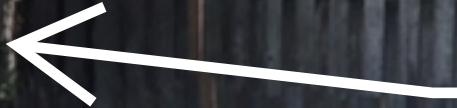
002

**CEDAR
TREE
WITH
MULTIPLE
TRUCKS**



WEST LOT LINE

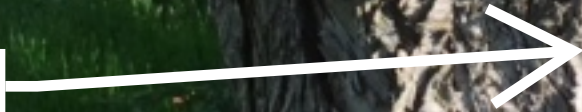
05/16/2023



**CEDAR
TREE
WITH
MULTIPLE
TRUNKS**



**CEDAR
TREE
WITH
MULTIPLE
TRUNKS**



87 BELL HARBOUR PLACE

005



CEDAR
TREE
WITH
MULTIPLE
TRUNKS

WEST LOT LINE

05/16/2023

87 BELL HARBOUR PLACE

006



**CEDAR
TREE
WITH
MULTIPLE
TRUCKS**

WEST LOT LINE

05/16/2023

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval/w conditions
Building Standards (Zoning)	X	X		General Comments

Date: May 3rd 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A045-23**

Related Files:

Applicant Joe & Marietta Valenzano

Location 87 Bell Harbour Place



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

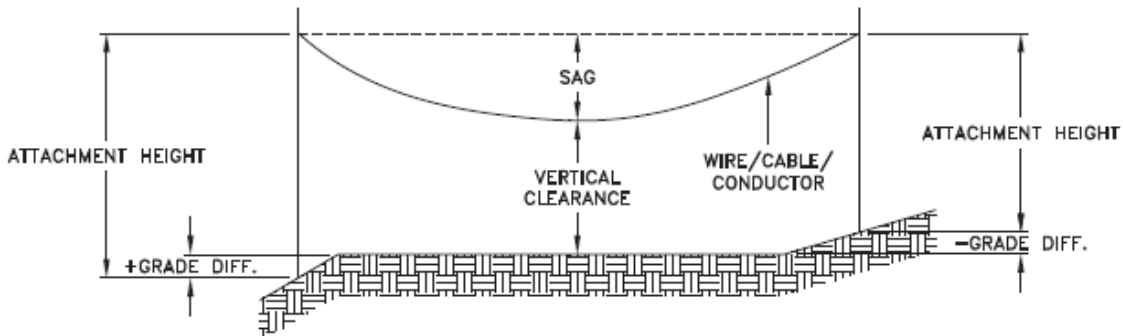
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

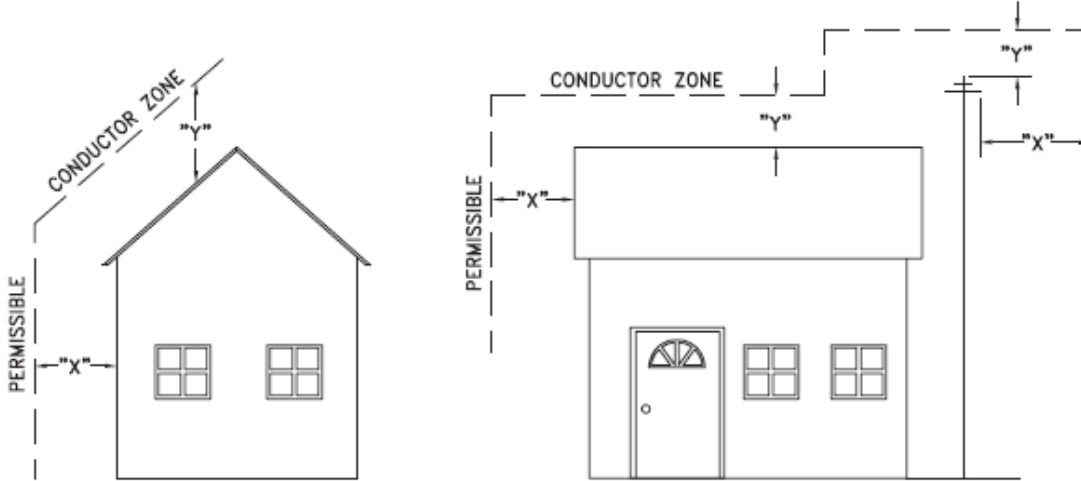
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: May 2, 2023
Applicant: Joe & Marietta Valenzano
Location: 87 Bell Harbour Place
 PLAN 65M2429 Lot 13
File No.(s): A045/23

Zoning Classification:

The subject lands are zoned R1A – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.316 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 35% is permitted [Schedule T-47].	To permit a maximum lot coverage of 38.2%.
2	A residential accessory structure shall be subject to the minimum interior side yard requirement for the principal building on the lot, as indicated in the applicable zone (1.5 metres) [Section 4.1.2.1.a].	To permit a minimum interior side yard setback of 0.69 metres for an accessory building (shed).
3	A residential accessory structure with a height less than 2.8 metres shall not be located closer than 0.6 metres to any lot line [Section 4.1.2.1.c].	To permit a residential accessory structure with a height less than 2.8 metres to be located 0.53 metres to the rear lot line.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-123404 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: June 15, 2023
Name of Owners: Joe & Marietta Valenzano
Location: 87 Bell Harbour Place
File No.(s): A045/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum lot coverage of 38.2%.
2. To permit a minimum interior side yard setback of 0.69 m for an accessory building (shed).
3. To permit a residential accessory structure with a height less than 2.8 m to be located 0.53 m to the rear lot line.

By-Law Requirement(s) (By-law 001-2021):

1. A maximum lot coverage of 35% is permitted.
2. A residential accessory structure shall be subject to the minimum interior side yard requirement for the principal building on the lot, as indicated in the applicable zone (1.5 m).
3. A residential accessory structure with a height less than 2.8 m shall not be located closer than 0.6 m to any lot line.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the construction of a covered loggia and the existing shed, with the above noted variances.

The existing dwelling and shed have lot coverages of 29.9% and 1.0% respectively. The proposed covered loggia will have a lot coverage of and 7.3%. The application proposes a rear yard of sufficient depth to maintain its outdoor amenity and landscaping function. The 3.2% increase to the permitted lot coverage is minor in nature, appropriate for the size of the lot and is not anticipated to pose a significant impact to neighbourhood character. As such, the Development Planning Department has no objection to Variance 1 for the increase in lot coverage.

The Development Planning Department has no objection to Variances 2 and 3 for the proposed shed. The shed complies with the height requirements of the Zoning By-law. Due to its modest height, the reduced interior side and rear yard setbacks are not anticipated to have adverse impacts to the neighbouring properties and maintain an appropriate area for maintenance access. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Arborist Report and Tree Preservation Plan be approved to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner

David Harding, Senior Planner

From: [Development Services](#)
To: [Christine Vigneault](#)
Subject: [External] RE: A045/23 (87 Bell Harbour Place)- REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, May 4, 2023 11:54:55 AM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Region has completed its review of Minor Variance A045/23 and has no comment.

Many thanks,

Christine Meehan, B.U.R.Pl., B. B. A | Associate Planner, Programs and Process Improvement,
Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 | christine.meehan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None