

<b>ITEM: 6.3</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A043/23 17 SOUTHLAWN DRIVE, WOODBRIDGE</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

None		
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**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A043/23  
17 Southlawn Drive, Woodbridge**

<b>ITEM NUMBER: 6.3</b>	<b>CITY WARD #: 2</b>
<b>APPLICANT:</b>	David Viti & Franca Ugolini
<b>AGENT:</b>	Tomasz Goral
<b>PROPERTY:</b>	17 Southlawn Drive, Woodbridge
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed cabana and covered deck.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1B – First Density Residential Zone and subject to the provisions of Exception 14.406 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A minimum rear yard setback of 2.4m is required to the proposed residential accessory structure. (4.1.2.1.b)	To permit a minimum rear yard setback of 0.61m to the proposed residential accessory structure. <b>*Variance confirmed using Zoning Review Waiver</b>
2	A minimum side yard setback of 2.4m is required to the proposed residential accessory structure. (4.1.2.1.b)	To permit a minimum side yard setback of 1.27m to the proposed residential accessory structure. <b>*Variance confirmed using Zoning Review Waiver</b>
3	A maximum building height of 3.0m is permitted for the proposed residential accessory structure. (4.1.4.1)	To permit a maximum building height of <del>3.73m</del> <b>3.60 m</b> for the proposed residential accessory structure. <b>*Variance confirmed using Zoning Review Waiver</b>

**The subject lands are zoned R1 – Residential Zone and subject to the provisions of Exception 9(665) under Zoning By-law 1-88, as amended.**

#	Zoning By-law 1-88	Variance requested
1	The maximum permitted encroachment of the proposed porch into the rear yard is 0.0m. (3.14)	To permit the proposed porch to encroach a maximum of 0.21m into the required rear yard. <b>*Variance confirmed using Zoning Review Waiver</b>

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, June 22, 2023  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Woodbridge Room (2<sup>nd</sup> Floor), 2141 Major Mackenzie Drive  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

## HEARING INFORMATION

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

To speak electronically, pre-registration is required by completing the [Request to Speak Form](#) on-line and submitting it to [cofa@vaughan.ca](mailto:cofa@vaughan.ca) no later than NOON on the last business day before the meeting.

**THE DEADLINE TO REGISTER TO SPEAK ELECTRONICALLY OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	June 8, 2023
<b>Date Applicant Confirmed Posting of Sign:</b>	May 25, 2023
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	We are asking for a little more height.
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On June 2, 2023, Development Planning provided:</p> <p>Development Planning has now completed our review of the above noted Minor Variance application. Our Urban Design division has also provided the attached comments that must be addressed. Development Planning would like to reiterate the recommendation for reducing the height of the proposed cabana.</p> <p>We would also like to reiterate our previous requirement of an Arborist Report for our review, as this will be required prior to the meeting date.</p> <p>On June 8, 2023, the applicant provided:</p> <p>We are fine with the recommendation to reduce the overall height of the cabana. The revised drawing will be completed and submitted on or before next Wednesday, June 14th.</p> <p>On June 14, 2023, the applicant submitted reviews plans and Zoning Review Waiver, reducing height of cabana from 3.73 metres to 3.60 metres.</p>

<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>	Yes
<small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>	
<small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>	
<small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	

**Adjournment Fees:**  
In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

### COMMITTEE OF ADJUSTMENT COMMENTS

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	An adjournment fee is required to reschedule the application should it be adjourned from the June 22, 2023, Committee of Adjustment hearing.

### BUILDING STANDARDS (ZONING) COMMENTS

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	TBD
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### DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

As the proposed cabana in the subject property is 38.23 m<sup>2</sup>, the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m<sup>2</sup> requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Conditions attached)

The proposed work by the Owner / Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A043/23, subject to the following condition(s):

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> .
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### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

See recommended conditions of approval below.

<b>PFH Recommended Conditions of Approval:</b>	<ol style="list-style-type: none"> <li>1. Applicant/owner shall obtain a "Private Property Tree Removal &amp; Protection" permit through the forestry division prior to any construction works on the subject property.</li> <li>2. Tree protection &amp; preservation methods must be followed according to City of Vaughan By-law 052-2018</li> </ol>
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### DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

Active Pool Permit.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT COMMENTS

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

## SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Committee of Adjustment <a href="mailto:christine.vigneault@vaughan.ca">christine.vigneault@vaughan.ca</a>	An adjournment fee is required to reschedule the application should it be adjourned from the June 22, 2023, Committee of Adjustment hearing.
2	Development Planning <a href="mailto:Joshua.cipolletta@vaughan.ca">Joshua.cipolletta@vaughan.ca</a>	TBD
3	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> .
4	Parks, Forestry and Horticulture Operations <a href="mailto:zachary.quizzetti@vaughan.ca">zachary.quizzetti@vaughan.ca</a>	1)Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property. 2) Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.

## IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.



## IMPORTANT INFORMATION – PLEASE READ

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

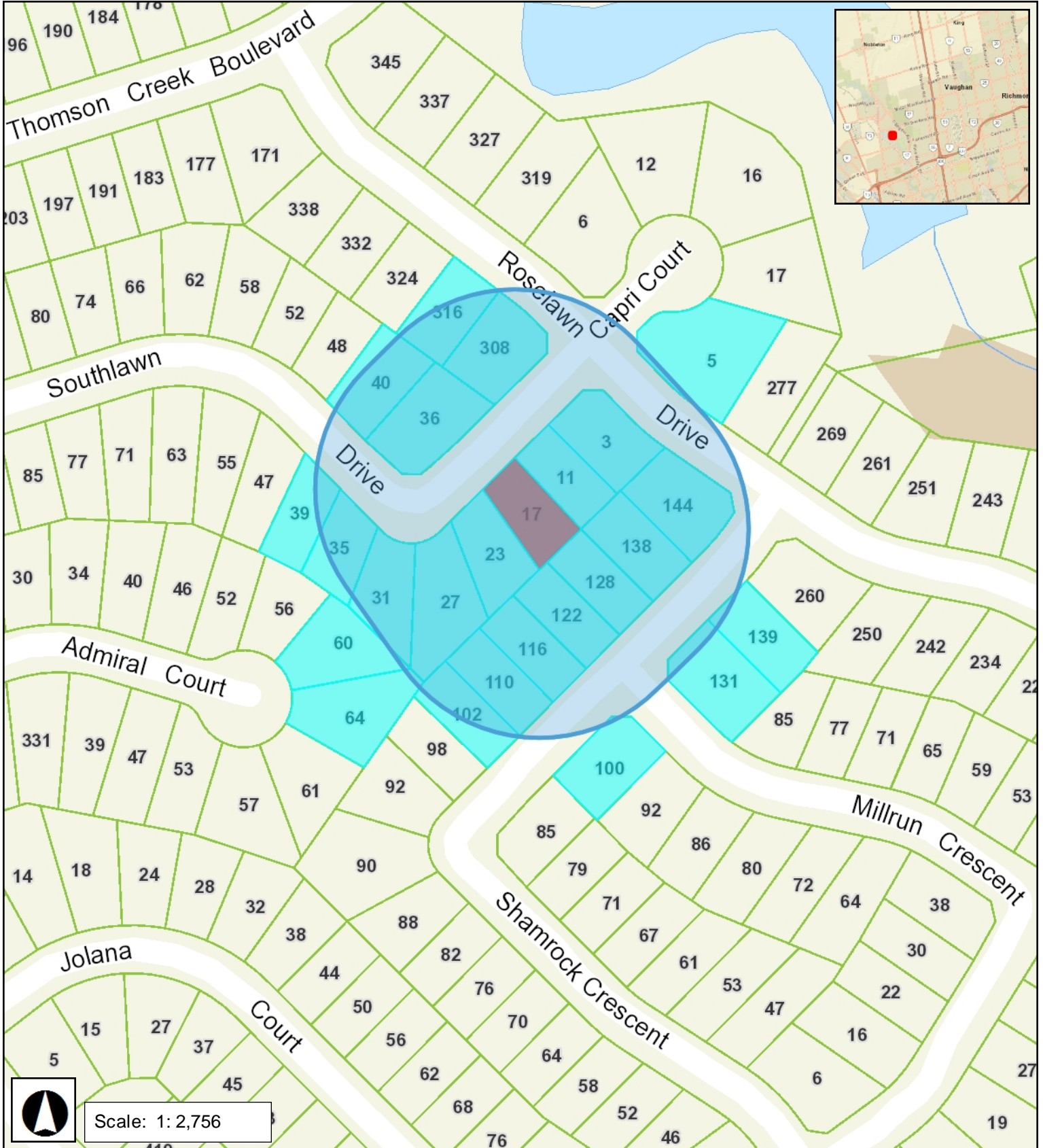
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

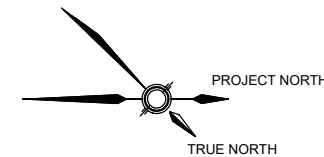
**SCHEDULE A: DRAWINGS & PLANS**





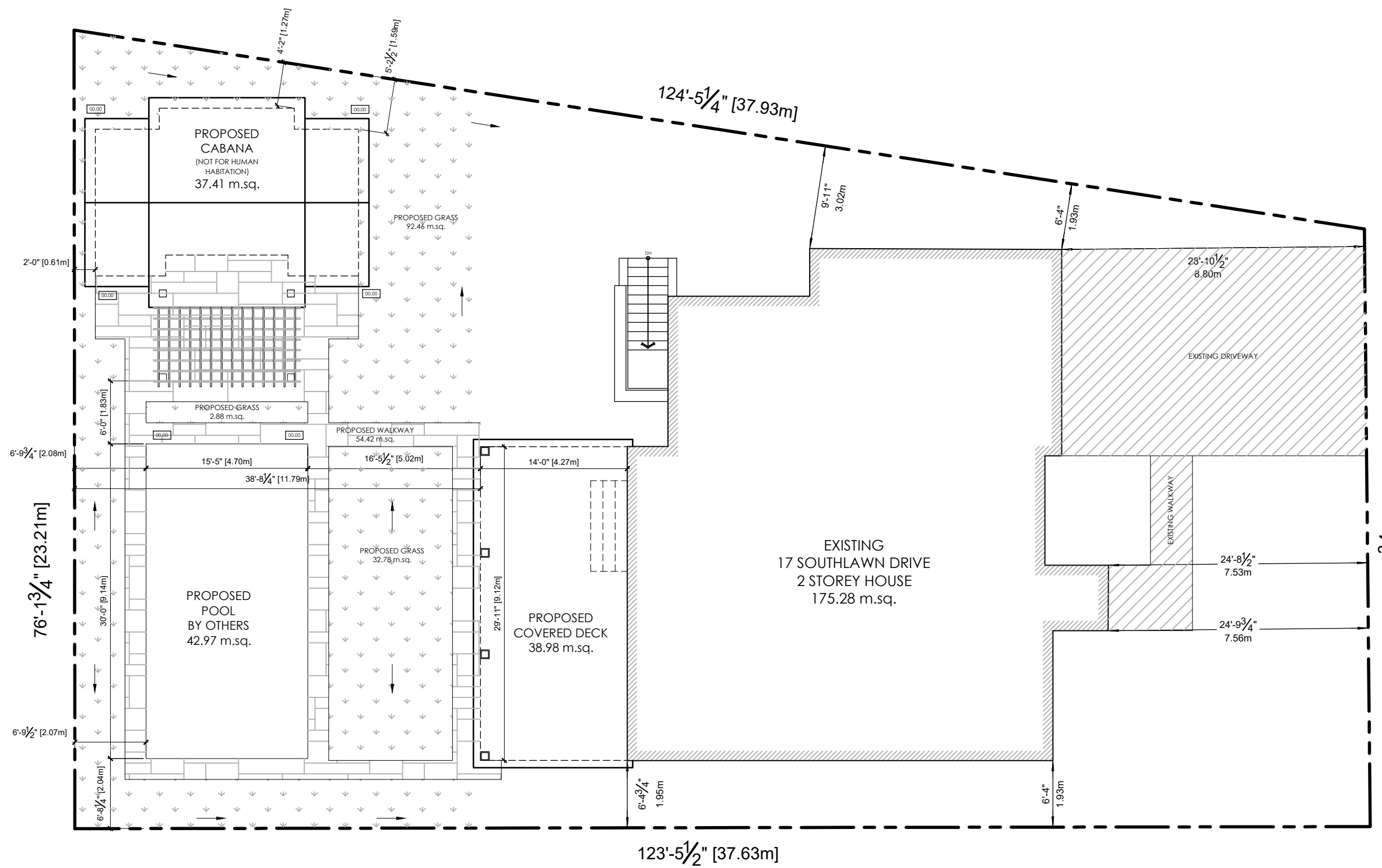
**RECEIVED**

By Christine Vigneault at 2:12 pm, Jun 14, 2023



SITE PLAN INFORMATION TAKEN FROM:  
 LOT 2  
 PLAN 65M - 2987  
 IN THE TOWN OF VAUGHAN  
 IN THE REGIONAL MUNICIPALITY OF YORK  
 BY: RUDY MAK SURVEYING LTD.  
 DATED: 10 APRIL 1996

LOT AREA: 761.81 SQ.M.  
 EXISTING HOUSE FOOTPRINT: 175.28 SQ.M.  
 COVERED DECK: 38.91 SQ.M.  
 CABANA: 38.23 SQ.M.



DIRECTION OF WATERFLOW

SCALE	N.T.S.	DATE	JAN 2023	PROJECT NUMBER	2312
DRAWN BY	TC	CHECKED BY	TC	DRAWING NUMBER	A-1.1

DRAWING TITLE	SITE PLAN
SOUTHLAWN RESIDENCE	
17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT., L4H 1A1	

No.	DATE	REVISION/SUBMISSION	ISSUED BY

GORAL DESIGN  
 T: 647.505.9632  
 E: tgoral@goraldesign.ca

**GORAL**  
 DESIGN

THIS DRAWING IS THE PROPERTY OF GORAL DESIGN LTD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. THE DESIGNER AND/OR ARCHITECT ASSUME NO LIABILITY FOR ANY DAMAGE, LOSS OF PROFITS, OR OTHER CONSEQUENCES ARISING FROM THE USE OF THIS DRAWING, WHETHER OR NOT SUCH DAMAGE, LOSS OF PROFITS, OR OTHER CONSEQUENCES ARE CAUSED IN WHOLE OR IN PART BY THE NEGLIGENCE OF THE DESIGNER AND/OR ARCHITECT. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO THE DESIGNER AND/OR ARCHITECT. THE DESIGNER AND/OR ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INFORMATION PROVIDED TO THEM BY THE USER, NOR FOR ANY DAMAGE, LOSS OF PROFITS, OR OTHER CONSEQUENCES ARISING FROM THE USE OF SUCH INFORMATION. THE DESIGNER AND/OR ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE, LOSS OF PROFITS, OR OTHER CONSEQUENCES ARISING FROM THE USE OF THIS DRAWING IF THE USER DOES NOT COMPLY WITH THE CONDITIONS OF THIS AGREEMENT. THIS DRAWING IS THE PROPERTY OF GORAL DESIGN LTD. AND SHALL REMAIN THE PROPERTY OF GORAL DESIGN LTD. EVEN IF IT IS USED IN CONNECTION WITH A PROJECT THAT HAS BEEN COMPLETED. ANY REVISIONS TO THIS DRAWING SHALL BE MADE BY THE DESIGNER AND/OR ARCHITECT. THIS DRAWING IS VOID IF IT IS USED IN CONNECTION WITH A PROJECT THAT HAS NOT BEEN COMPLETED BY GORAL DESIGN LTD.

STRUCTURAL NOTES AND SPECIFICATIONS

THESE NOTES ARE TO BE FULLY READ AND UNDERSTOOD IN CONJUNCTION WITH THE DESIGN/CONSTRUCTION PERMIT DRAWINGS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO READ AND FULLY UNDERSTAND THE REQUIREMENTS OF THE PROPOSED WORK. THE CONTRACTOR SHALL CONTACT THE DESIGNER AND/OR ENGINEER. IF THEY HAVE QUESTIONS PERTAINING TO THE WORK PRIOR TO COMMENCING THE PROJECT.

1. GENERAL

- 1.1 CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING AND/OR TEMPORARY WORKS DURING CONSTRUCTION FOR THE SAFE INSTALLATION OF ALL CONSTRUCTION MATERIALS...
1.2 CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACTUAL CONSTRUCTION OF THE WORK AND BE RESPONSIBLE FOR THE CONTROL, DIRECTION AND SUPERVISION OF THE CONSTRUCTION METHODS, MEANS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR ALL SHORING AND/OR TEMPORARY WORKS...
1.3 THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE HEALTH AND CONSTRUCTION SAFETY LEGISLATION AT THE PLACE OF THE WORK...
1.4 PRIOR TO THE COMMENCEMENT OF NEW WORKS, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT THE EXISTING STRUCTURE IS INTACT AND FREE OF DEFECTS SUCH AS, BUT NOT LIMITED TO, CRACKS, SPALLING, ROT, DEFLECTIONS, DEFORMATIONS AND SETTLEMENTS...
1.5 WHERE THE CONTRACTOR IS REQUIRED TO VERIFY SITE CONDITIONS, THIS SHALL MEAN THAT THE CONTRACTOR SHALL EXPOSE THE EXISTING CONDITION AND REPORT THEIR FINDING TO THE ENGINEER...
1.6 THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE BUILDING DEPARTMENT FOR REQUIRED INSPECTION (REFER TO THE BUILDING PERMIT FOR INSPECTION REQUIREMENTS)...
1.7 THE CONTRACTOR SHALL REVIEW ALL DIMENSIONS SHOWN ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS WITH ALL THE OTHER DISCIPLINE DRAWINGS (ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL) AND REPORT ANY DISCREPANCIES TO THE APPLICABLE DISCIPLINE IMMEDIATELY...
1.8 STRUCTURAL DETAILS SHALL SUPERSEDE THOSE ON TYPICAL DETAILS. IN THE CASE OF A DISCREPANCY, THE MORE STRINGENT SHALL GOVERN...
1.9 ALL WORK AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE (O.B.C.). IT IS EXPECTED THAT ALL WORK SHALL BE CARRIED OUT BY PERSONS WHO ARE KNOWLEDGEABLE AND COMPETENT WITHIN THEIR TRADES OF SPECIALIZATION TO CARRY OUT THE WORK AS IT PERTAINS TO THIS PROJECT...
1.10 STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH CAN/CSA G40.21M, WIDE FLANGE SECTIONS 350W, HSS SECTIONS ARE ASTM A500 GRADE C (FY=345MPa). ALL OTHER STEEL 300W...
1.11 ANCHOR RODS IN ACCORDANCE WITH ASTM F1554 GRADE 36 (FY=248MPa)...
1.12 ALL STEEL CONNECTIONS SHALL BE WELDED UNLESS NOTED OTHERWISE. ALL WELDING IN ACCORDANCE WITH CSA W59. ELECTRODE CLASSIFICATION: E490X...
1.13 ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH LATEST EDITIONS OF STANDARDS CSA A23.1 AND CSA A23.3...
1.14 MINIMUM CONCRETE SPECIFIED COMPRESSIVE STRENGTH FC=25MPa...
1.15 REINFORCING STEEL SHALL BE IN ACCORDANCE WITH CAN/CSA G30.18M GRADE 400R/400W...
1.16 STRUCTURAL DESIGN LOADING (UNFACTORED).

GENERAL DESIGN PARAMETERS

Table with 2 columns: Parameter and Value. Includes BASIC SNOW/RAIN LOAD (Ss = 1.10 kPa), WIND LOAD FACTORS (Sr = 0.40 kPa), ROOF (DL = 0.75 kPa, SL = 1.00 kPa), FLOOR (DL = 1.00 kPa, LL = 1.90 kPa).

2. DESIGN INFORMATION

- 2.1 DESIGN WAS DONE IN ACCORDANCE WITH THE PART 9 OF THE ONTARIO BUILDING CODE.
2.2 PLAIN CONCRETE FOR FOOTINGS WHERE DESIGNED IN ACCORDANCE WITH PART 9 OF THE O.B.C. AND ALL OTHER UNREINFORCED AND REINFORCED CONCRETE WAS DESIGNED TO CSA A23.3
2.3 UNREINFORCED MASONRY FOUNDATION WALLS WHERE DESIGNED IN ACCORDANCE WITH PART 9 OF THE O.B.C. AND ALL OTHER UNREINFORCED AND REINFORCED MASONRY TO CSA S304.1
2.4 STRUCTURAL STEEL DESIGN IS IN ACCORDANCE CAN/CSA S16.1
2.5 ROOF JOISTS AND CEILING JOISTS AND RAFTERS WHERE DESIGNED IN ACCORDANCE WITH PART 9 OF THE O.B.C. AND FLOOR JOISTS AND ALL WOOD MEMBERS ARE DESIGNED TO CSA 086
2.6 UNLESS NOTED OTHERWISE, LOADS ARE SHOWN ON THE DRAWINGS. CONSTRUCTION LOADS SHALL NOT EXCEED THOSE TABULATED IN THE DESIGN NOTES OR THE DRAWINGS.
2.7 CONTRACTOR SHALL MAKE SPECIAL PROVISION FOR THE WORK IF UNDERTAKEN IN COLD WEATHER CONDITIONS AND SHALL COMPLY WITH ALL STANDARDS OF PRACTICE PERTAINING TO COLD WEATHER CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF IT IS THE INTENTION TO PERFORM WORK THROUGH COLD WEATHER CONDITIONS, PRIOR TO BEGINNING OF WORK.

3. GEOTECHNICAL AND EXCAVATION WORKS

- 3.1 THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE TO RUN OF 7:10.
3.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO EXCAVATING (I.E. "CALL BEFORE YOU DIG" ONTARIO ONE CALL).
3.3 UNLESS NOTED ON THE DRAWINGS, THE CONTRACTOR IS REQUIRED TO VERIFY THAT THE ALLOWABLE SOIL BEARING CAPACITY IS A MINIMUM OF 3000 PSF AND PROVIDE THE DESIGNER AND/OR ENGINEER WITH A COPY OF THE GEOTECHNICAL LETTER CONFIRMING THE SOIL BEARING CAPACITY.
3.4 CONTRACTOR SHALL PLACE FOOTINGS AND PIERS ON NATURALLY UNDISTURBED SOIL. THE EXPOSED SOIL SURFACE SHALL BE FREE FROM ALL DELETERIOUS MATERIALS. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IF THEY IDENTIFY WET OR WEAK AREAS AND THESE AREAS SHOULD BE INVESTIGATED BY A GEOTECHNICAL ENGINEER.
3.5 THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNDERTAKING ALL EXCAVATION WORK AND SHALL PERFORM THE WORKS AS TO PREVENT DAMAGE TO ADJACENT STRUCTURES, PROPERTY, UTILITIES, ROADS, SIDEWALKS DURING ALL STAGES OF CONSTRUCTION.
3.6 THE BASE AND SIDE OF EVERY EXCAVATION AREA SHALL BE FREE FROM ORGANIC MATERIAL.
3.7 IN AREAS WHERE TERMITES ARE KNOWN TO BE PROBLEMATIC, ALL STUMPS, ROOTS, AND OTHER WOOD DEBRIS SHALL BE REMOVED FROM THE SOIL TO A DEPTH NOT LESS THAN 300mm (12") IN UNEXCAVATED AREAS UNDER A BUILDING OR STRUCTURE. EXCAVATION SHALL BE FREE FROM STANDING WATER. IF THIS CONDITION EXISTS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY. THIS CONDITION SHALL GIVE RISE TO A FURTHER GEOTECHNICAL INVESTIGATION TO CONFIRM THE ALLOWABLE BEARING CAPACITY OF THE SOIL.
3.9 IF THE WORK IS TO PROCEED DURING WINTER MONTHS, THE EXCAVATED AREAS SHALL BE KEPT FROM FREEZING THROUGHOUT THE CONSTRUCTION PERIOD.
3.10 ALL FOOTINGS AND FOUNDATIONS SHALL BE FOUNDED AT A DEPTH NOT LESS THAN 1.2M (4FT) BELOW GRADE, EXCEPT WHERE INSULATING MEASURES HAVE BEEN MADE TO REDUCE THE DEPTH OF FROST PENETRATION AND DIRECTION OF THE ICE LENSING.

4. CONCRETE NOTES

- 4.1 DESIGN AND CONSTRUCTION OF CONCRETE SHALL CONFORM TO CSA A23.3
4.2 UNLESS OTHERWISE NOTED, THE CONCRETE SHALL HAVE MINIMUM PROPERTIES:
- TYPE GU CEMENT, NOMINAL SIZE AGGREGATE OF 20mm
- GENERAL USE CONCRETE: 25MPa At 28 DAYS, 75mm SLUMP & 0.55 WATER/CEMENT RATIO.
- CONCRETE FOR EXTERIOR USE AND/OR EXPOSED TO FREEZING: 32MPa at 28 DAYS, 75mm SLUMP, 0.45 WATER/ CEMENT RATIO & 5-8% AIR ENTRAINMENT
4.3 REINFORCED CONCRETE SHALL HAVE THE FOLLOWING COVER TO REINFORCEMENT:
- CONCRETE CAST AGAINST SOIL AND/OR EXPOSED TO FREEZING SHALL HAVE A 75mm (3") COVER
- CONCRETE NOT EXPOSED TO FREEZING OR CAST AGAINST SOIL SHALL HAVE A 25mm (1") COVER
4.4 ALL ANCHOR RODS SHALL ALL BE THREADED ASTM A193 B7 ROD.
4.5 ALL GROUT SHOWN ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS SHALL BE Sikagrout 212 OR APPROVED EQUAL. GROUT SHALL BE PLACED UNDER ALL COLUMN BASE PLATES TO ENSURE FULL BEARING ON THE CONCRETE.
4.6 THE FINISHED CONCRETE PRODUCT SHALL BE PLACED IN SUCH A MANNER THAT ANY ARCHITECTURALLY EXPOSED OR COMMONLY VISIBLE CONCRETE SURFACE SHALL BE FREE FROM VISIBLE SIGNS OF STREAKING OR HONEYCOMBING.
4.7 ALL REINFORCING STEEL SHALL BE GRADE 400MPa AND CONFORM TO CSA G3018
4.8 REINFORCEMENT SHALL BE SUPPORTED BY WIRE CHAIRS OR APPROVED EQUAL TO MAINTAIN CONCRETE COVER.
4.9 REINFORCING STEEL SHALL BE FREE FROM LOOSE SCALE, RUST, MUD, OIL OR ANY OTHER CONTAMINATE THAT MAY REDUCE THAT BOND BETWEEN THE STEEL REINFORCEMENT AND THE CONCRETE.
4.10 VERTICAL REINFORCEMENT IN FOUNDATION WALLS SHALL BE ONE PIECE AND NOT SPLICED.
4.11 TACK WELDING, HEATING OR CUTTING OF STEEL REINFORCEMENT IS PROHIBITED UNLESS DIRECTED BY THE ENGINEER.
4.12 LOCATION OF FLOOR CONTROL JOINTS SHALL BE SPACED AT A MAXIMUM OF 6m (20FT) AND SHALL BE PROVIDED AROUND ALL COLUMN FOOTINGS.
4.13 CONCRETE SHALL CURE AS PER CSA A23.1.2.
4.14 ALL CONCRETE SHALL BE CONSOLIDATED WITH A MECHANICAL VIBRATOR.

5. STEEL NOTES

- 5.1 THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH CSA S16 AND THE CISC STANDARD CODE OF PRACTICE.
5.2 ALL STRUCTURAL STEEL SHALL BE GRADE 350W AND CONFORM TO CSA G40.20-13/G40.21-13
5.3 ALL STEEL PLATES OTHER MISCELLANEOUS SHAPES SHALL BE GRADE 300W AND CONFORM G40.20-13/G40.21-13
5.4 WELDING PRACTICES SHALL CONFORM TO CSA W59-13.
5.5 CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTIONS IF WELDING IS TO BE DONE ON SITE AND NEAR COMBUSTIBLE MATERIALS, WHERE CUTTING OR WELDING IS DONE NEAR WALLS, PARTITIONS, CEILING OR ROOF OF COMBUSTIBLE CONSTRUCTION, FIRE-RESISTANT SHIELDS OR GUARDS SHALL BE PROVIDED TO PREVENT IGNITION. CONNECTION NOT DETAILED ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS SHALL BE DESIGNED AND DETAILED BY THE FABRICATOR'S ENGINEER.
5.7 USE A MINIMUM OF 2 BOLTS FOR EVERY BOLTED CONNECTION. ALL BOLTED CONNECTIONS SHALL BE DONE USING TURN-ON-NUT METHOD, UNLESS NOTED OTHERWISE ON THE DESIGN/CONSTRUCTION PERMIT DRAWINGS.
5.8 ALL EXPOSED STEEL MEMBERS AND CONNECTORS SHALL BE HOT DIPPED GALVANIZED.
5.9 STEEL FABRICATOR IS RESPONSIBLE FOR THE DESIGN OF ALL STEEL CONNECTIONS. CONNECTION SHOP DRAWINGS TO BE PREPARED BY A SPECIALTY STRUCTURAL ENGINEER RETAINED BY THE FABRICATOR AND SHALL BE SEALED AND SIGNED BY THIS ENGINEER.
5.10 SUBMIT FABRICATION SHOP DRAWINGS TO RWP ENGINEERING FOR REVIEW PRIOR TO START OF STEEL FABRICATION.
5.11 THE STEEL FABRICATOR SHALL BE CERTIFIED TO CSA W47.1 DIV 1 OR 2.
5.12 ALL WELDING SHALL COMPLY WITH CSA W59.
5.13 COLUMNS TO BE SET CENTERED ON WALLS AND FOOTINGS UNLESS NOTED OTHERWISE.
5.14 STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCTURAL SECTION SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS 'H'.
5.15 REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R

6. CONCRETE MASONRY (C.M.U.) NOTES

- 6.1 THE DESIGN AND ERECTION OF MASONRY ELEMENTS SHALL BE IN ACCORDANCE WITH CAN/CSA-A371-04 (R2009) - MASONRY CONSTRUCTION FROM BUILDINGS AND S304.1-04 - DESIGN OF MASONRY STRUCTURE
6.2 CONCRETE SHALL BE TESTED AT A FREQUENCY NO LESS THAN SET OF CYLINDERS/DAY/TYPE OF CONC. OR EVERY 50 CUBIC METERS OF CONCRETE. TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER.
6.3 CONCRETE BLOCKS SHALL CONFORM TO CSA A165 AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 15MPa/H/15/D/M.
6.4 USE ONLY TYPE S MORTAR CONFORMING TO CSA-A179-04
6.5 MASONRY WALLS ARE TO BE RUNNING BOND WITH FULL MORTAR BEDS, UNLESS NOTED OTHERWISE. COURSE HEIGHT SHALL BE 200MM (8") FOR ONE BLOCK AND ONE JOINT.
6.6 ALL MORTAR JOINTS ARE TO BE TOOLED TO A CONCAVE JOINT, BOTH INTERIOR AND EXTERIOR EXPOSURES.
6.7 CONTINUOUS WELDED DOUBLE WIRE WELDED LADDER OR TRUSS TYPE SHALL CONFORM TO CAN/CSA-A370-04 (R2009)-CONNECTORS FOR MASONRY.
6.8 ALL MASONRY USED AS FOUNDATION WALLS SHALL BE PARGED AS PER O.B.C 9.15.6
6.9 ALL REINFORCING STEEL SHALL BE GRADE 400MPa AND CONFIRM TO CSA G30.18
6.10 REINFORCEMENT SHALL BE SUPPORTED BY WIRE CHAIRS OR APPROVED EQUAL TO MAINTAIN CONCRETE COVER.
6.11 REINFORCING STEEL BE FREE FROM LOOSE SCALE, RUST, MUD, OIL OR ANY OTHER CONTAMINATE THAT MAY REDUCE THE BOND BETWEEN THE STEEL REINFORCEMENT AND THE CONCRETE
6.12 VERTICAL REINFORCEMENT IN FOUNDATION WALLS SHALL BE ONE PIECE AND NOT SPLICED.
6.13 TACK WELDING, WELDING, HEATING OR CUTTING OF STEEL REINFORCEMENT IS PROHIBITED UNLESS DIRECTED BY THE ENGINEER.
6.14 ERECT ALL MASONRY VENEER PLUMB, SQUARE AND TRUE TO LINES.
6.15 INSTALL METAL CONNECTORS AND PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

7. MASONRY VENEER NOTES

- 7.1 DESIGN AND CONSTRUCTION OF MASONRY VENEER FOR RESIDENTIAL CONSTRUCTION SHALL CONFORM TO PART 9 OF THE O.B.C.: SECTIONS 9.20.64 - MASONRY VENEER, SECTION 9.20.9.5 - TIES FOR MASONRY VENEER.
7.2 MASONRY VENEER SHALL BE SOLID WITH A MINIMUM COMPRESSIVE STRENGTH OF 15MPa
7.3 MASONRY VENEER SHALL BE LAID IN A RUNNING BOND PATTERN.
7.4 MORTAR AND GROUT SHALL CONFORM TO CSA-A173-04. USE ONLY TYPE S MORTAR FOR ALL CONSTRUCTION.
7.5 ALL MORTAR JOINTS ARE TO BE TOOLED TO A CONCAVE JOINT, BOTH INTERIOR AND EXTERIOR EXPOSURES.
7.6 MASONRY VENEER TIES SHALL HAVE A MAXIMUM VERTICAL SPACING OF 400MM (16") AND A MAXIMUM HORIZONTAL SPACING OF 400MM (16"). THE VERTICAL SPACING SHALL MATCH EVERY VERTICAL STUD SPACING.
7.7 TIES SHALL BE CORROSION-RESISTANT METAL TIES NAILED TO THE STUDS AND EMBEDDED IN THE MORTAR JOINTS BETWEEN THE MASONRY TO TIE THE VENEER TO THE FRAMEWORK.
7.8 MASONRY TIES SHALL NOT BE LESS THAN 0.78MM THICK AND 22MM WIDE. CORROSION RESISTANT AND SHAPED TO PROVIDE A KEY WITH THE MORTAR JOINT. MASONRY STRAPS ARE NOT PERMITTED.
7.9 MASONRY VENEER SHALL NOT PROJECT MORE THAN 30MM BEYOND THE FACE OF THE SUPPORTING BASE, PROVIDED THAT THE UNITS ARE AT LEAST 90MM (3 1/2") THICK.
7.10 ALL MASONRY VENEER LINTELS SHALL BE HOT DIPPED GALVANIZED.
7.11 ALL MASONRY VENEER LINTELS SHALL SUPPORT AT LEAST TWO THIRDS OF THE VENEER THICKNESS.
7.12 ERECT ALL MASONRY VENEER PLUMB, SQUARE AND TRUE TO LINES.
7.13 INSTALL METAL CONNECTORS AND PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.

8. WOOD NOTES

- 8.1 DESIGN AND CONSTRUCTION OF WOOD MEMBERS AND CONNECTORS SHALL CONFORM TO PART 9 OD THE O.B.C., CSA 086, & CWC "ENGINEERING GUIDE FOR WOOD FRAME CONSTRUCTION".
8.2 ALL WOOD EXPOSED TO THE EXTERIOR SHALL BE PRESERVATIVE TREATED. EXTERIOR PLYWOOD SHEATHING SHALL BE STAMPED EXTERIOR GRADE. SHEATHING SHALL CONFORM TO CSA 0151 AND BE GRADE D-FIR PLYWOOD. OSB BOARD IS NOT PERMITTED ON ANY EXTERIOR SURFACE.
8.3 SAWN LUMBER SHALL CONFORM TO CSA 0141 AND BE STAMPED SPF NO. 2 OR GREATER
8.4 IN AREAS WHERE TERMITES ARE KNOWN TO OCCUR, DESIGN AND CONSTRUCTION SHALL CONFORM TO CLAUSE 9.3.2.8 OF THE O.B.C.
8.5 ERECT ALL WOOD FRAMING PLUMB, SQUARE AND TRUE TO LINES.
8.6 COMMON WIRE NAILS SHALL PENETRATE THE WOOD SUBSTRATE PER THE FOLLOWING TABLE

Table with 4 columns: SIZE, DIAMETER, WIRE GAUGE, PENETRATION. Lists specifications for 8d, 10d, 16d, and 20d nails.

NOTE: PENETRATION IS MEASURED INTO THE PIECE OF WOOD RECEIVING THE NAIL. 38mm (1.5") OF PENETRATION IS ACCEPTABLE FOR 10D AND 16D NAILS FOR TOP PLATE SAND 38mmx (2x) MEMBERS.

- 8.7 STEEL WIRE NAILS OR COMMON SPIRAL NAILS, SPIKES, AND STAPLES SHALL CONFORM TO ASTM F 1667 OR CSA B111. ALL FASTENERS SHALL BE HOT DIPPED GALVANIZED IF USED FOR EXTERIOR APPLICATIONS.
8.8 HOLES SHALL BE DRILLED TO PREVENT SPLITTING OF WOOD AS REQUIRED.
8.9 INSTALL ENGINEERED LUMBER, METAL CONNECTORS AND PROPRIETARY PRODUCTS IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND RECOMMENDATIONS.
8.10 TOP PLATES SHALL BE CONSTRUCTED OF TWO PLATES, SAME SIZE AS STUD, STAGGERED SPLICES MINIMUM OF 1220MM (4'-0"). CENTRE SPLICES OVER STUDS. SPLICES SHALL CONSTRUCTED WITH A MINIMUM OF 1-16D NAILS.
8.11 BUILT-UP WOOD MEMBER SHALL CONFORM TO CSA 086 CLAUSE 5.5.6.4 AND BE NAILED TOGETHER WITH (2-75MM LONG NAILS EVERY 200MM ON CENTERS AND WITHIN 60MM FROM EACH END. HOT DIPPED GALVANIZED NAILS SHALL BE USED IF EXPOSED TO THE ELEMENTS.
8.12 SOLID BLOCKING OR CROSS BRACING SHALL BE INSTALLED FOR ALL FLOOR JOISTS. BLOCKING/BRACING SHALL BE PROVIDED WITHIN 2.1M (6'-10") FROM EACH SUPPORT AND THE SPACING OF BLOCKING/BRACING SHALL NOT EXCEED 2.1M (6'-10").
8.13 ALL OPENINGS SHALL BE REINFORCED WITH A MINIMUM OF DOUBLE HEADERS AND DOUBLE TRIMMERS, UNLESS NOTED OTHERWISE ON THE STRUCTURAL PLANS.
8.14 NON-LOAD BEARING WALLS SHALL HAVE DOUBLE JOISTS PROVIDED WHEN THE JOISTS RUN PARALLEL WITH THE WALL OR SOLID BLOCKING SHALL BE PROVIDED WHEN THE JOIST ARE PERPENDICULAR TO THE WALL.
8.15 END SUPPORTS OF ALL ROOF AND JOISTS SHALL HAVE THEIR ENDS HILD IN POSITION BY EITHER, SOLID BLOCKING, NAILED BRIDGING, NAILING TO OTHER MEMBERS OR JOISTS HANGERS.
8.16 ALL FLOOR AND ROOF SHEATHING SHALL HAVE A MINIMUM OF THICKNESS OF 19MM (3/4"), T&G, GLUED AND NAILED TO FLOOR JOISTS.
8.17 WALL SHEATHING SHALL HAVE A MINIMUM OF THICKNESS PF 127MM (1/2") AND BE OF A PLYWOOD CONSTRUCTION.
8.18 ALL WALLS OVER 244M (8'-0") HIGH SHALL HAVE BLOCKING PROVIDED AT MID-HEIGHT OF THE STUDS.
8.19 ALL WOODS PRODUCTS SHALL BE KEPT FROM THE GROUND AND SHALL BE PROTECTED FROM THE EXTERIOR ENVIRONMENT.
8.20 THE STRUCTURE SHALL NOT BE FULLY ENCLOSED UNTIL THE WOOD MOISTURE CONTENT HAS BEEN VERIFIED TO BE AT OR BELOW 15% ANY SIGNS OF MOLD OR ROT SHALL BE REMOVED IMMEDIATELY AND REPLACED BY AN ACCEPTABLE WOOD ELEMENT.
8.21 WHERE FRAMING HANGERS ARE REQUIRED BUT HAVE NOT BEEN SPECIFIED BY THE ENGINEER, THE CONTRACTOR SHALL CONTACT THE ENGINEER TO OBTAIN THE APPROPRIATE WOOD CONNECTOR BEFORE PROCEEDING WITH THE WORK.
8.22 NOTCHING OR DRILLING HOLES IN FLOOR JOISTS OR WALL STUDS IS STRICTLY PROHIBITED. THE CONTRACTOR SHALL OBTAIN CONSENT FROM THE ENGINEER BEFORE NOTCHING OR DRILLING HOLES.
8.23 TIMBER FRAMING DESIGNED TO THE LATEST STANDARD CSA 086.
8.24 ENSURE MINIMUM BEARING LENGTH OF 1-1/2" FOR JOISTS AND 3" FOR BEAMS UNLESS NOTED OTHERWISE.
8.25 ALL BUILT-UP WOOD COLUMNS AND BUILT-UP WOOD BEAMS TO BE SPLICED AS PER OBC PART 9.
8.26 PROVIDE ADEQUATE RESTRAINT TO THE TOPS AND BOTTOMS OF ALL BUILT-UP COLUMNS.
8.27 REFER TO PLANS FOR STRUCTURAL PANEL SHEATHING NAIL SCHEDULE.
8.28 ALL NAILS/SCREWS/BOLTS EXPOSED TO THE ELEMENTS TO BE HOT-DIPPED GALVANIZED, STAINLESS STEEL, OR COATED WITH EQUIVALENT CORROSION PROTECTION COATING AS PER MANUFACTURER.
8.29 SIMPSON STRONG TIE CONNECTORS TO BE PROVIDED AS INDICATED IN THE DRAWINGS. ALL CONNECTORS TO BE INSTALLED N STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
8.30 ENGINEERED I-JOISTS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

SHOP DRAWINGS REVIEW

REVIEW OF SHOP DRAWINGS IS FOR GENERAL CONFORMITY WITH STRUCTURAL CONTRACT DOCUMENTS AND SPECIFICATIONS ONLY. ANY COMMENTS MADE ON THE SUBMITTED SHOP DRAWINGS DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE REQUIREMENT OF THE STRUCTURAL CONTRACT DOCUMENTS AND SPECIFICATIONS NOR DO THEY AUTHORIZE CHANGES TO THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITIES, FIELD MEASUREMENTS, DETAIL DIMENSIONS, COORDINATION WITH ALL TRADES, FABRICATION PROCESSES AND PROCEDURES, METHODS, MEANS, AND SEQUENCE OF CONSTRUCTION, AND THE PERFORMANCE OF ALL WORK IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE IN A SAFE MANNER. THE REVIEW OF SHOP DRAWINGS DOES NOT IMPLY ANY CHANGE TO NOR DIMINISH THE RESPONSIBILITIES OF OTHER CONSULTANTS IN THE CARRYING OUT OF THEIR WORK.

STEEL LINTEL table with columns LINTEL and SIZE. Lists specifications for L1 through L7.

NOTE: MIN. 6" BEARING FOR ALL STEEL LINTELS

WOOD LINTELS AND BUILT-UP WOOD BEAMS:

Table with columns LINTEL, SIZE, and SPAN. Lists specifications for W2-6 through W4-12.

LAMINATED VENEER LUMBER (LVL) BEAMS:

Table with columns LINTEL and SIZE. Lists specifications for LVL2-7 through LVL3-14.

SOLID BEARING

Table with columns SB2 and SB3, and MEMBER BUILT-UP STUD.

NOTE: SOLID LOAD BEARING (THE WIDTH OF THE STUD POST SHALL NOT BE LESS THAN THE WITH OF THE BEAM IT SUPPORTS) ALL SOLID LOAD BEARING POINTS MUST BE CONTINUOUS AND CARRIED DOWN TO BEAMS, FOUNDATION WALLS OR FOOTINGS. PROVIDE BLOCKING AS REQUIRED.

NOTES:

- 1. PROVIDE THE FOLLOWING BEARING LENGTH.
- 1" FOR ENGINEERING JOISTS
- 3" FOR LVL AND WOOD BEAMS
- 6" FOR STEEL LINTELS AND STEEL BEAMS
BACK-TO-BACK STEEL LINTELS SHALL BE BOLTED TOGETHER W/ 1/2" DIA. A307 BOLTS (W/ NUTS AND WASHERS) @ 12" o.c. OR WELDED W/ 1/2" FILLET WELDS (3" x 1/2")
3. FOLLOW MANUFACTURERS SPECIFICATIONS FOR ALL ENGINEERING PRODUCTS.

LEGEND:

Legend table listing symbols and descriptions: DB.JST (DOUBLE JOIST), PA (POINT LOAD ABOVE), SB (SOLID LOAD BEARING), B.E.W. (BOTTOM EACH WAY), SBFA (SOLID BEARING FROM ABOVE), SA (SMOKE ALARM), CMD (CARBON MONOXIDE DETECTOR), FD (FLOOR DRAIN), R.O. (ROUGH OPENING), C.O. (CONCRETE OPENING), P.T. (PRESSURE TREATED WOOD), CANT. (CANTILEVERED)

NOTE: CONTRACTOR TO VERIFY ALL EXISTING STRUCTURAL CONDITIONS & NOTIFY DESIGNER & ENGINEER OF ANY DISCREPANCIES PRIOR AND DURING CONSTRUCTION.

NOTE: THE CONTRACTOR SHALL PROVIDE AND IS RESPONSIBLE FOR ALL TEMPORARY SUPPORT, SHORING, OR BRACING AS REQUIRED TO COMPLETE THE WORK

NOTE: TONED WALL REPRESENT EXISTING WALLS TO REMAIN (TYP.)

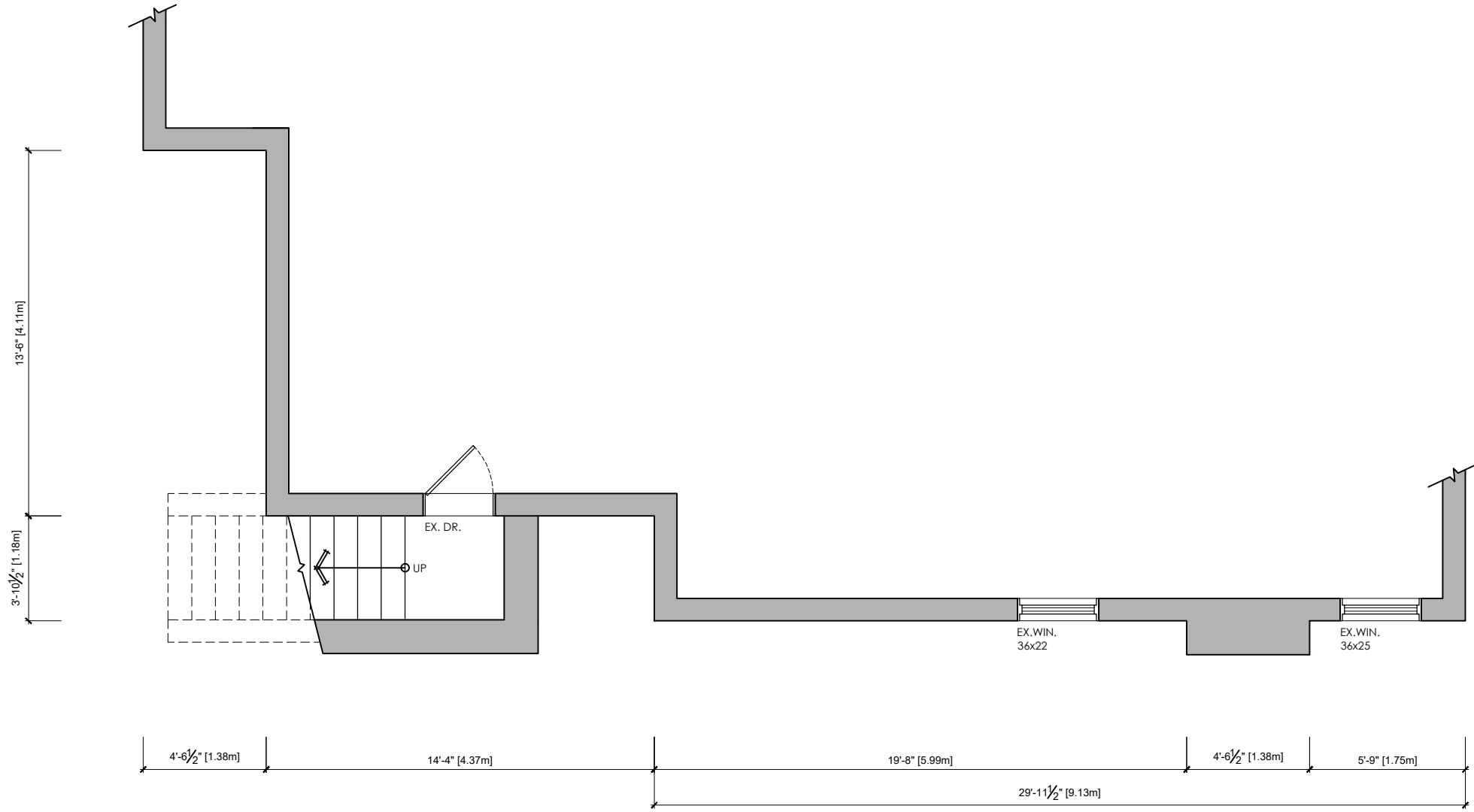
Project information table including SCALE, DRAWN BY, CHECKED BY, DATE, PROJECT NUMBER, and drawing number A-2.1.

Typical Notes and Schedules table with columns for drawing title, revision/submission, and date.

Table with 3 columns: No., DATE, and REVISION/SUBMISSION.

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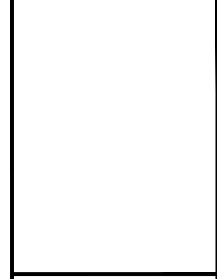
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SCALE	3/16" - 1/0"	DRAWN BY	TC	CHECKED BY	
DATE	JAN 2023	DRAWING NUMBER			
PROJECT NUMBER	2312				<b>A-3.1</b>

DRAWING TITLE	EXISTING PARTIAL FLOOR PLAN
	<b>SOUTHLAWN RESIDENCE</b>
	17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT. L4H 1A1

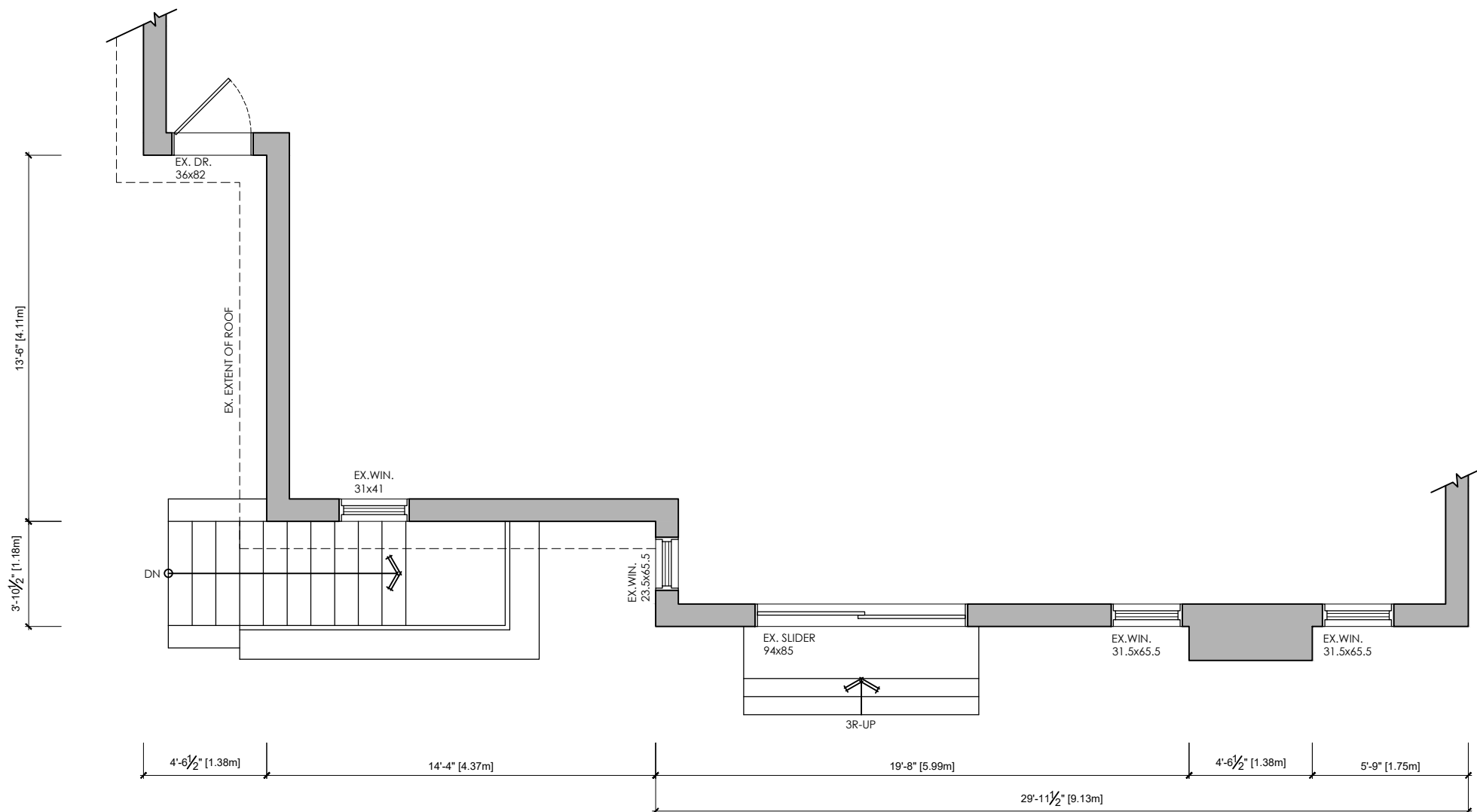
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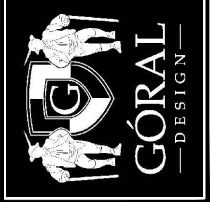
EXISTING PARTIAL  
1ST FLOOR PLAN

SCALE	3/16" - 1/0"	DRAWN BY	TG	CHECKED BY	
DATE	JAN 2023	DRAWING NUMBER			
PROJECT NUMBER	2312				

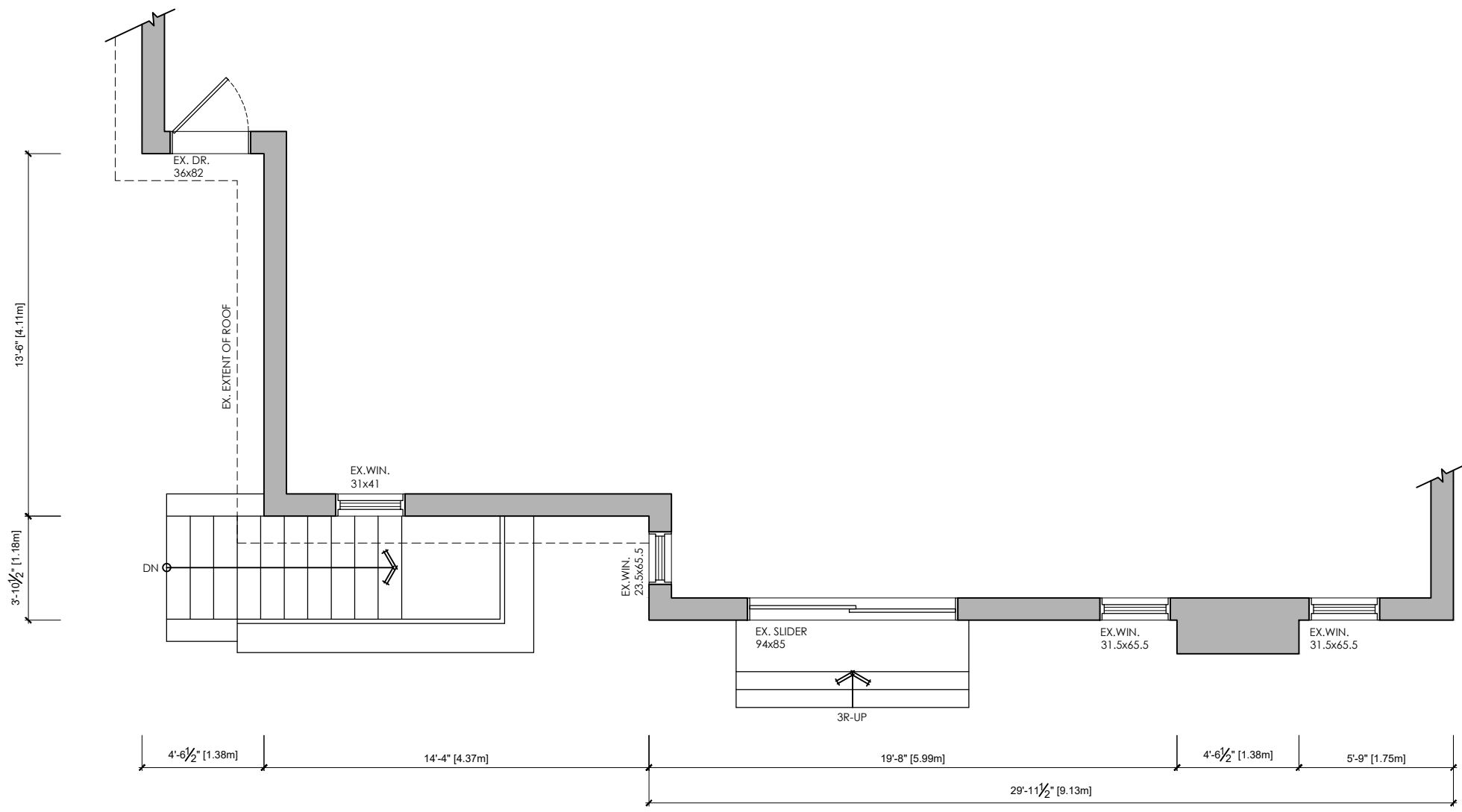
DRAWING TITLE	EXISTING PARTIAL FLOOR PLAN
	<b>SOUTHLAWN RESIDENCE</b>
	17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT. L4H 4A1

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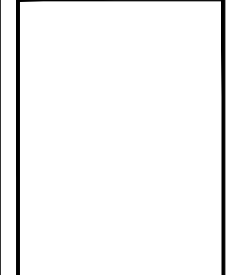
EXISTING PARTIAL  
1ST FLOOR PLAN

1" = 3/8" [0.38m]

SCALE	3/16" - 1-0"	DRAWN BY	TC	CHECKED BY	
DATE	JAN 2023	DRAWING NUMBER			
PROJECT NUMBER	2312				

DRAWING TITLE	EXISTING PARTIAL FLOOR PLAN
	<b>SOUTHLAWN RESIDENCE</b>
	17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT. L4H 4A1

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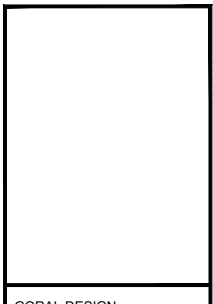


EXISTING SOUTH  
(REAR) ELEVATION

SCALE	3/16" = 1'-0"	DRAWN BY	TG	CHECKED BY	
DATE	JAN 2023	DRAWING NUMBER			
PROJECT NUMBER	2312	A-3.4			

DRAWING TITLE	EXISTING REAR ELEVATION
SOUTHLAWN RESIDENCE	
17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT. L4H 3A1	

No.	DATE	REVISION/SUBMISSION	ISSUED BY

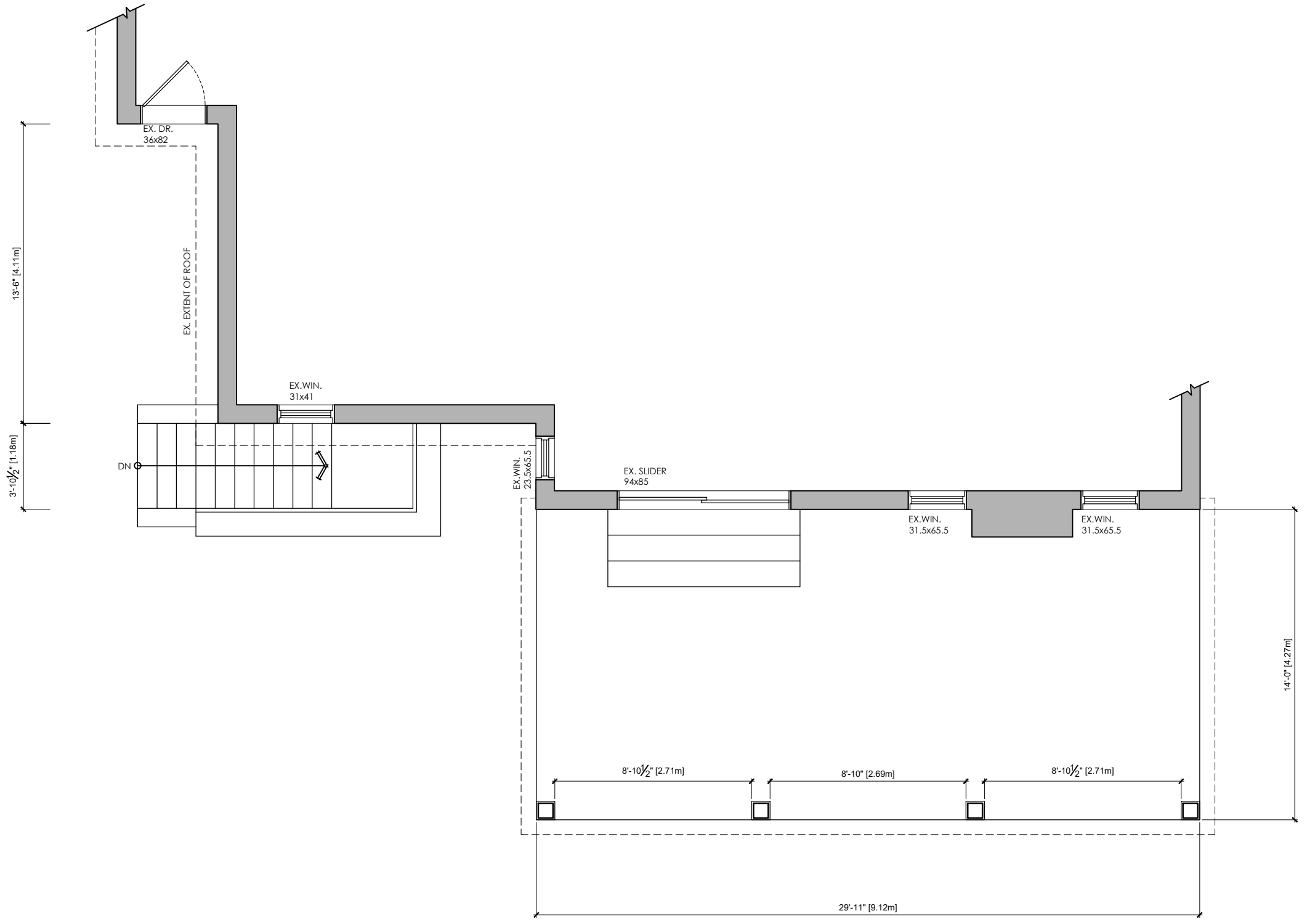


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SCALE	3/16" - 1/8"	DRAWN BY	TG	CHECKED BY	
DATE	JAN 2023	DRAWING NUMBER			
PROJECT NUMBER	2312				

DRAWING TITLE	PROPOSED PARTIAL FLOOR PLAN
	<b>SOUTHLAWN RESIDENCE</b>
	17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT. L4H 1A1

No.	DATE	REVISION/SUBMISSION	ISSUED BY



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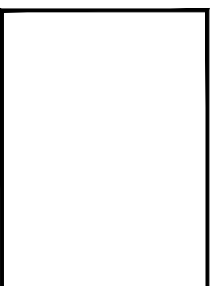


PROPOSED SOUTH  
(REAR) ELEVATION

SCALE	3/16" - 1-0"	DRAWN BY	TG	CHECKED BY	
DATE	JAN 2023	DRAWING NUMBER			
PROJECT NUMBER	2312				
			A-4.3		

DRAWING TITLE	PROPOSED REAR ELEVATION
	<b>SOUTHLAWN RESIDENCE</b>
	17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT. L4H 1A1

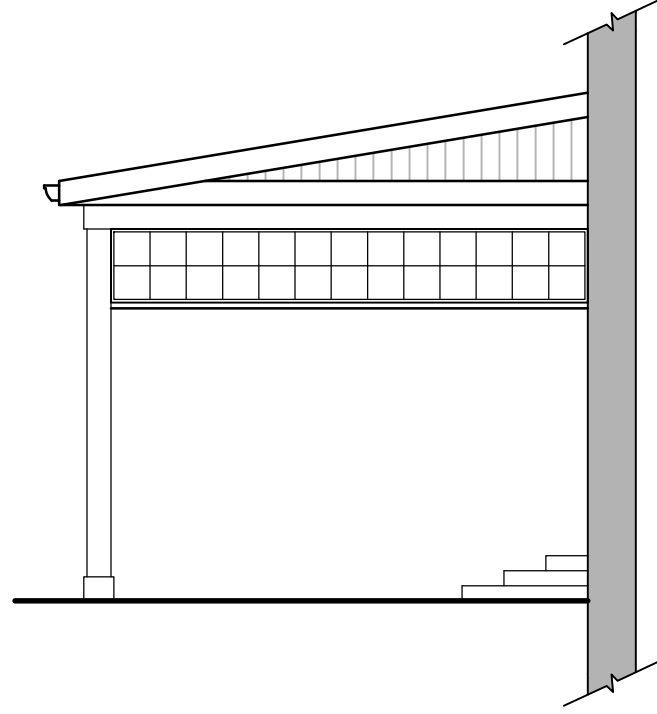
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No.	DATE	REVISION/SUBMISSION	ISSUED BY

**DRAWING TITLE**  
PROPOSED ELEVATIONS

**SOUTHLAWN  
RESIDENCE**

17 Southlawn Drive, Woodbridge, Ont., L4H 1A1

**SCALE** 3/16" = 1'-0"

**DRAWN BY** TG

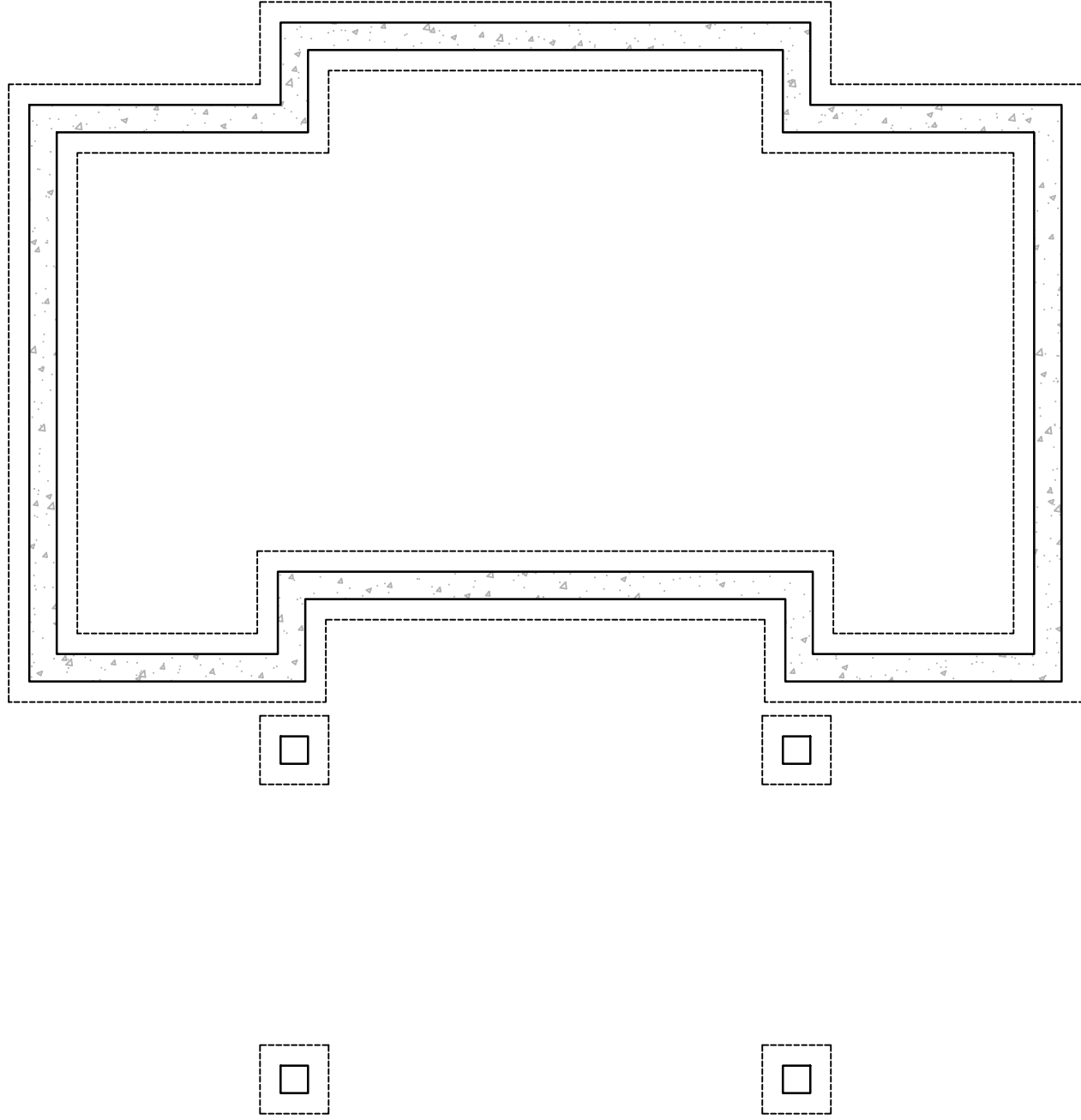
**CHECKED BY** [ ]

**DATE** JAN 2023

**DRAWING NUMBER**

**PROJECT NUMBER** 2312

**A-4.4**



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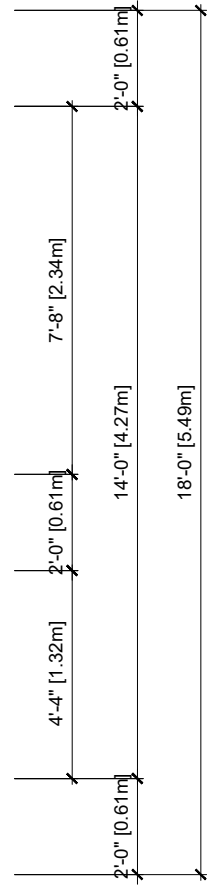
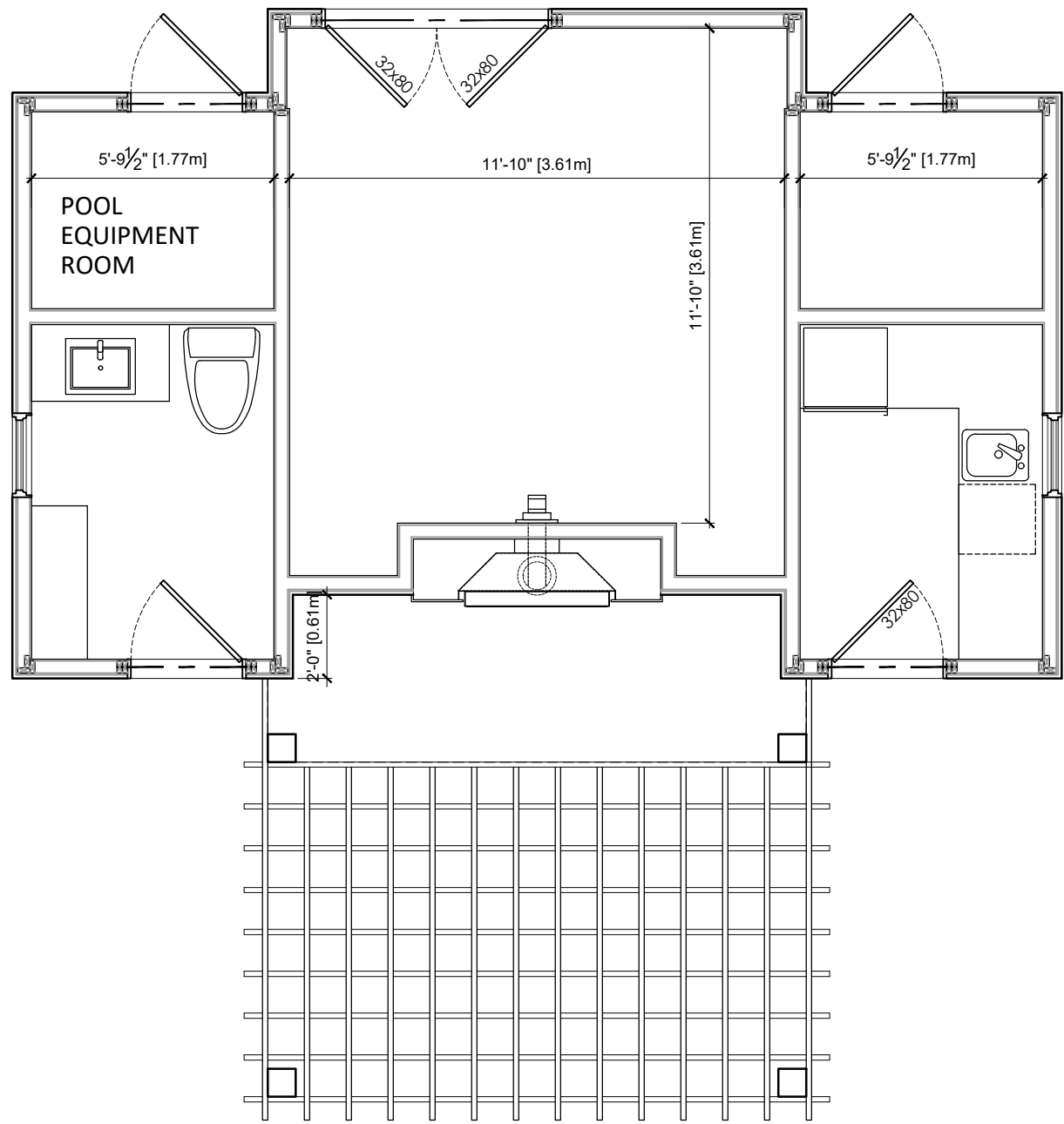
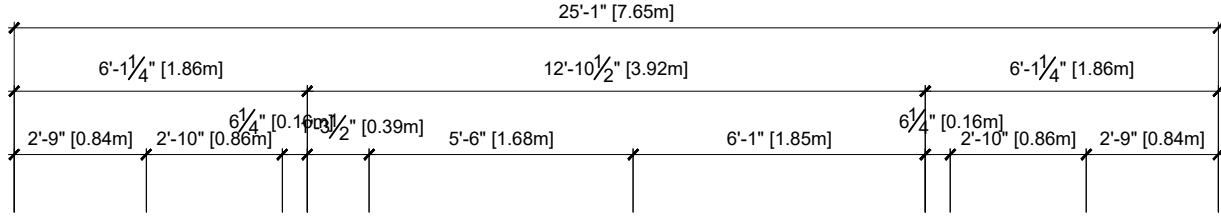
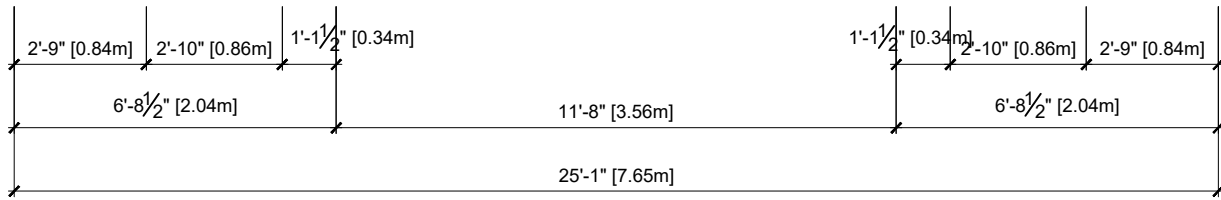
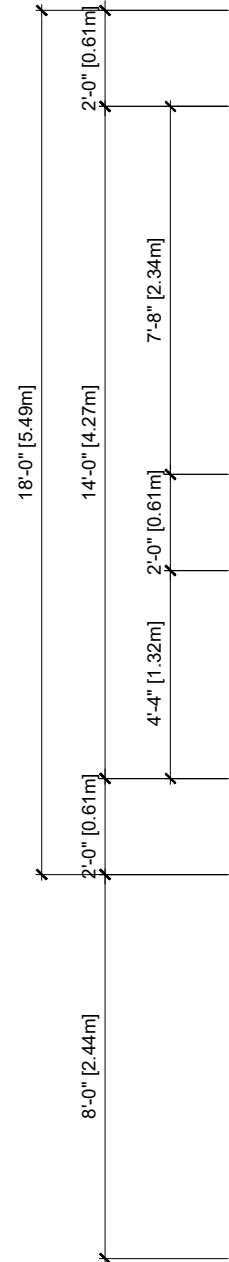
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No.	DATE	REVISION/SUBMISSION	ISSUED BY

**DRAWING TITLE**  
 PROPOSED CABANA  
 FOUNDATION PLAN

**SOUTHLAWN  
 RESIDENCE**  
 17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT. L4H 1A1

<b>SCALE</b>	1/4" = 1'-0"	<b>DRAWN BY</b>	TG	<b>CHECKED BY</b>	
<b>DATE</b>	JAN 2023	<b>DRAWING NUMBER</b>			
<b>PROJECT NUMBER</b>	2312	<b>A-5.1</b>			



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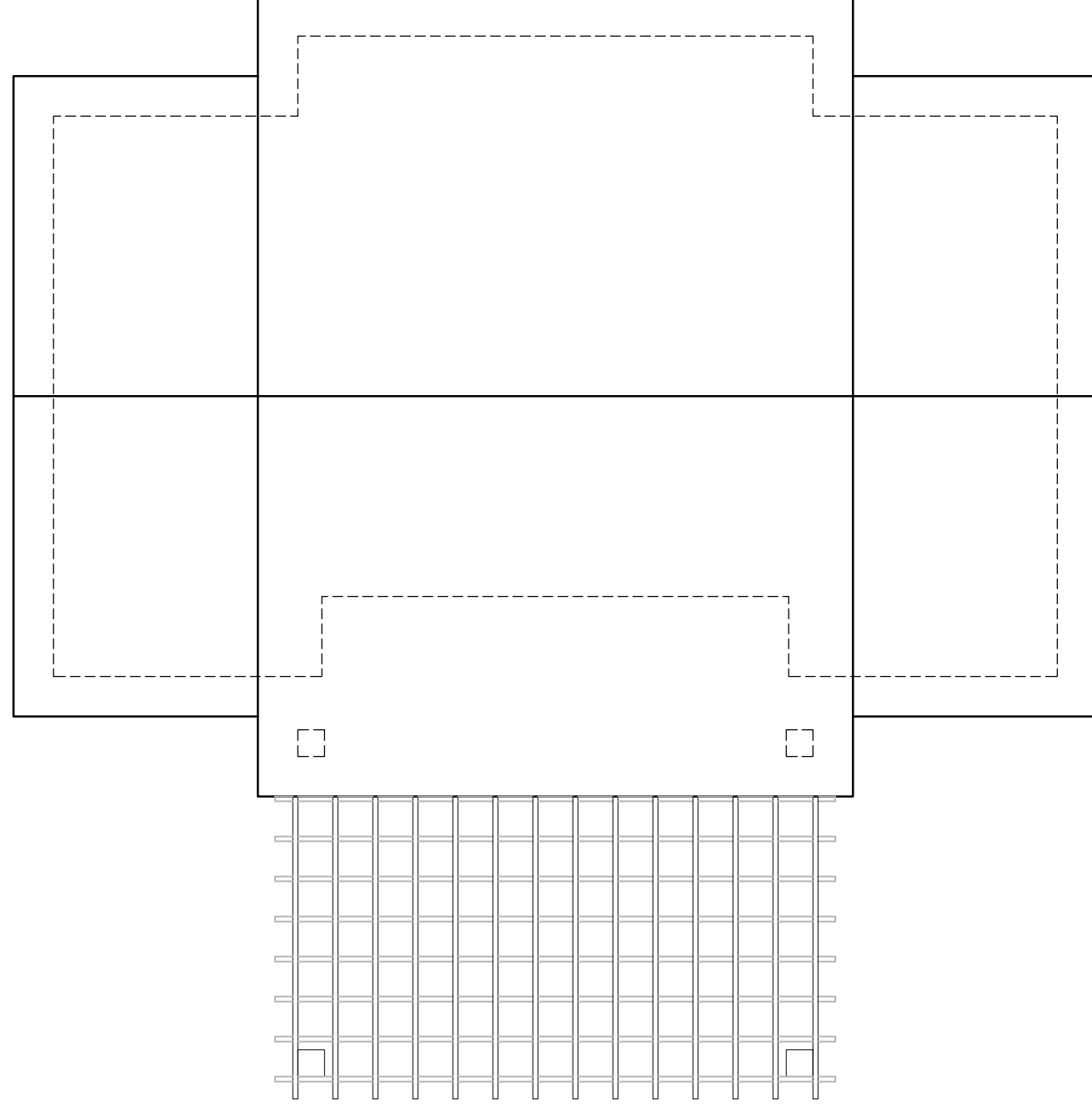


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No.	DATE	REVISION/SUBMISSION	ISSUED BY

DRAWING TITLE	
PROPOSED CABANA FLOOR PLAN	
SOUTHLAWN RESIDENCE	
17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT. L4H 4A1	

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	
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PROJECT NUMBER	2312				<b>A-5.2</b>



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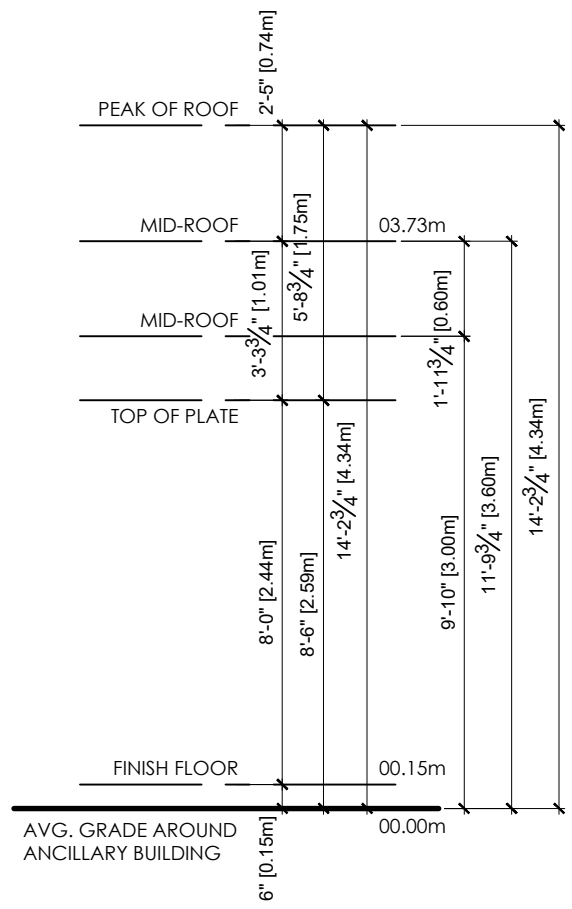
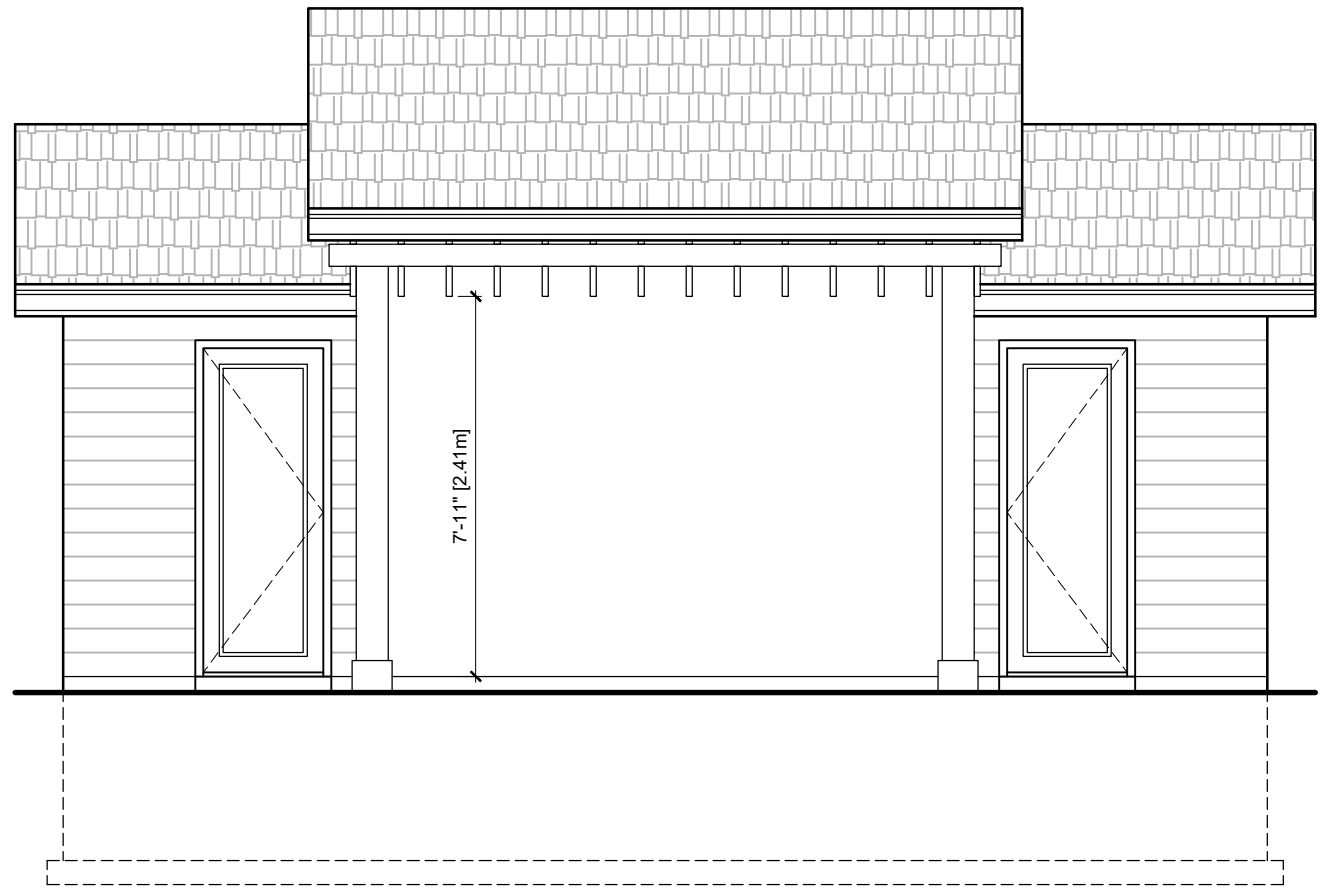


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DRAWING TITLE	PROPOSED CABANA ROOF PLAN
DRAWING NUMBER	A-5.3
PROJECT NUMBER	2312
DATE	JAN 2023
SCALE	1/4" = 1'-0"

DRAWN BY	CHECKED BY
TG	
SCALE	1/4" = 1'-0"
DATE	JAN 2023
PROJECT NUMBER	2312



FRONT EAST ELEVATION

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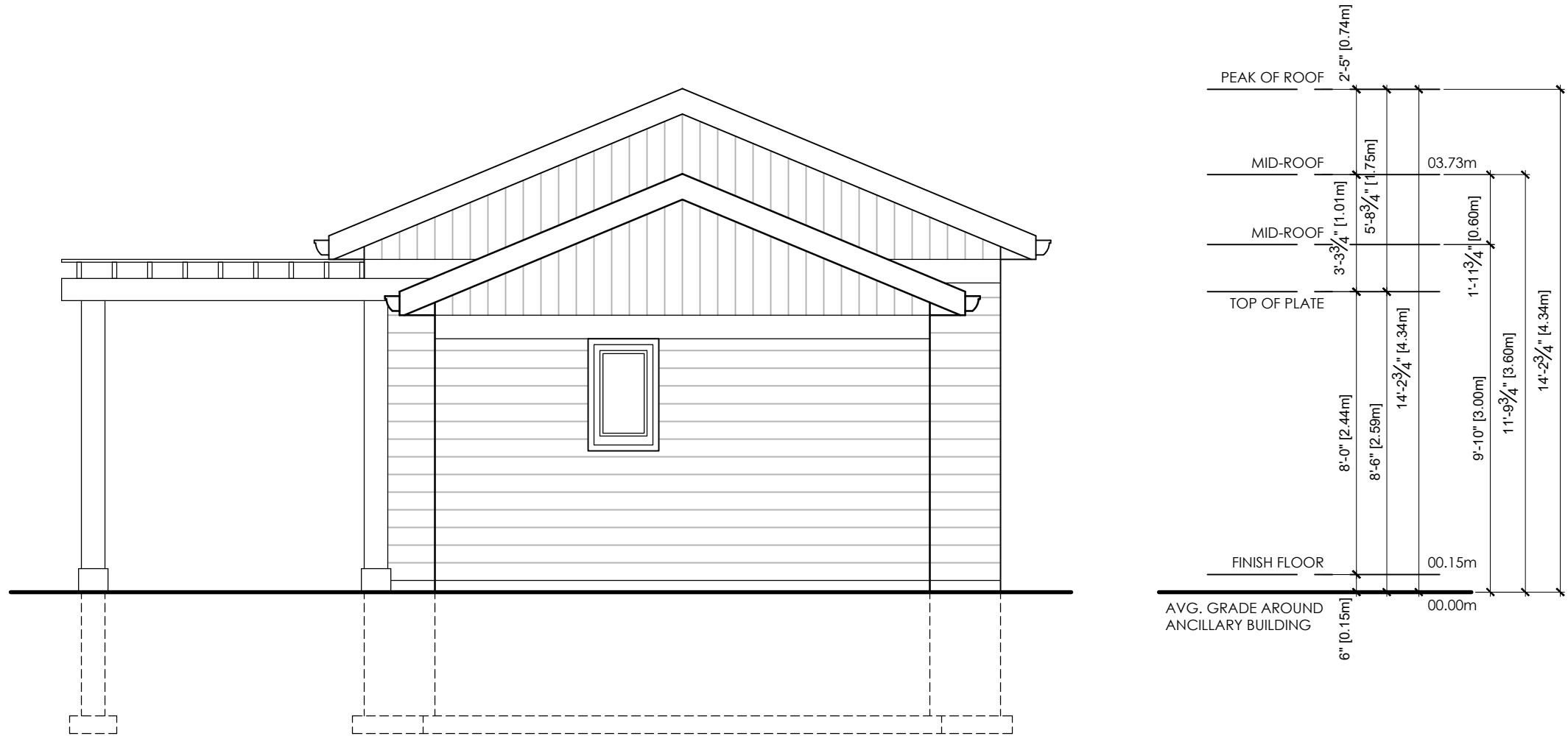
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No.	DATE	REVISION/SUBMISSION	ISSUED BY

DRAWING TITLE	
CABANA ELEVATION	
SOUTHLAWN RESIDENCE	
17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT. L4H 1A1	

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	
DATE	JAN 2023	DRAWING NUMBER			
PROJECT NUMBER	2312				A-5.4





NORTH SIDE ELEVATION

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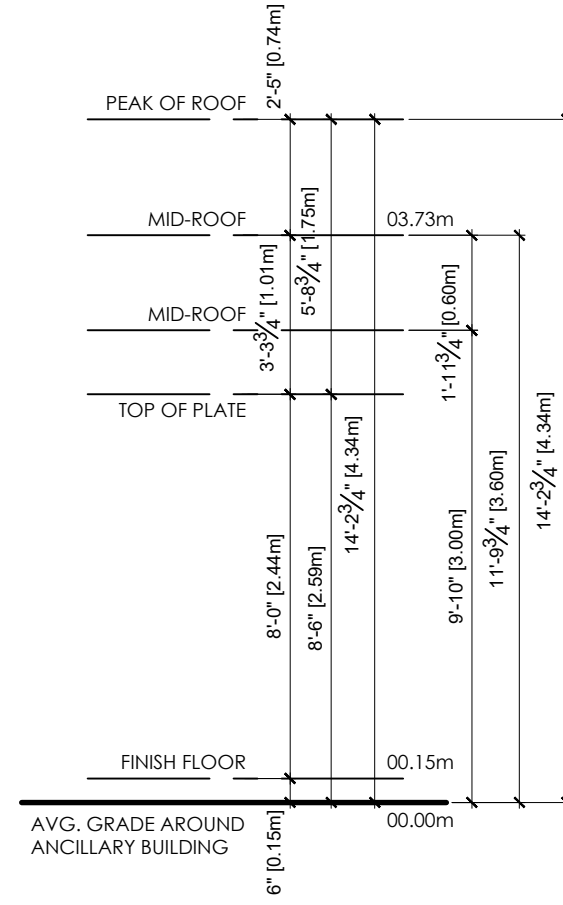
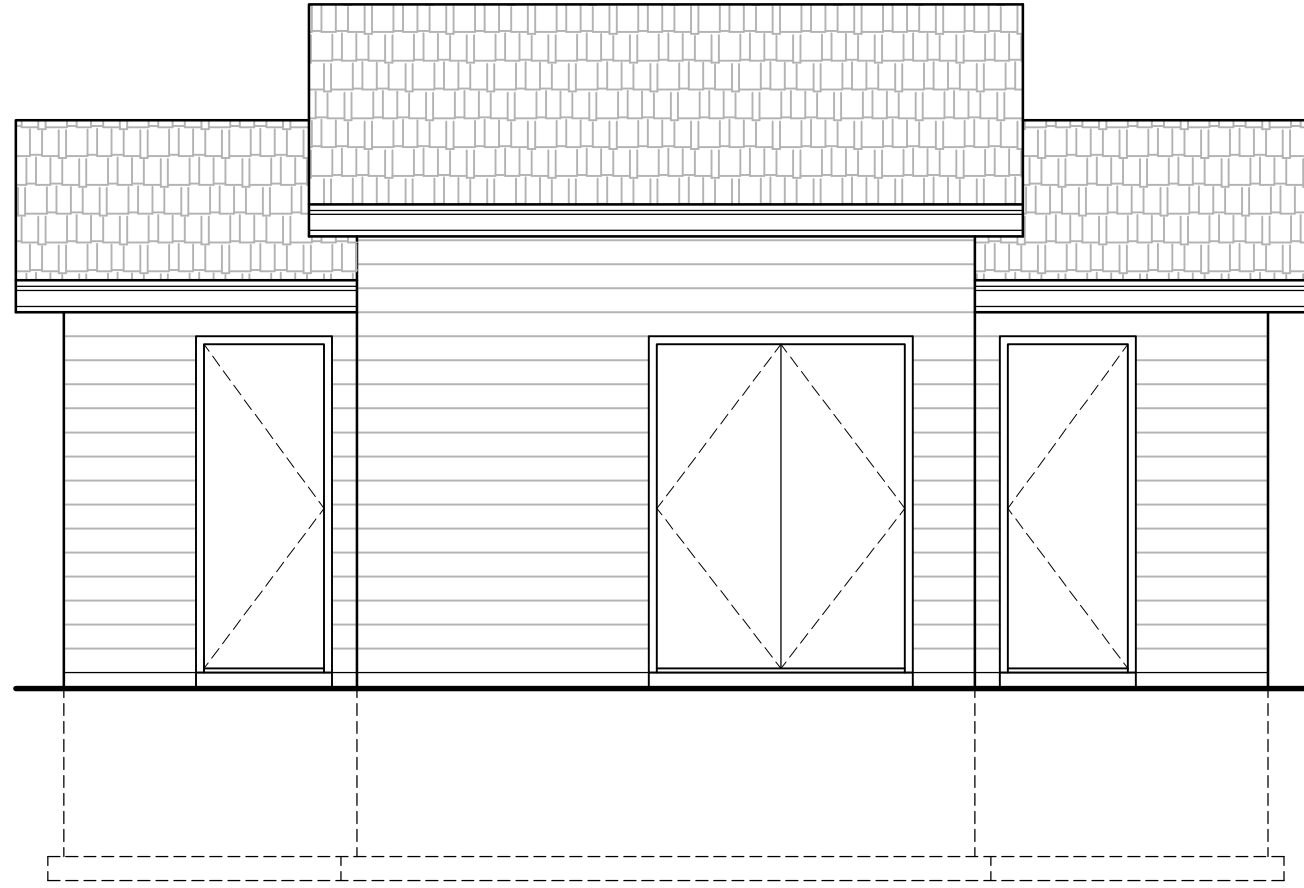


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DRAWING TITLE	
CABANA ELEVATION	
SOUTHLAWN RESIDENCE	
17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT. L4H 1A1	

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	
DATE	JAN 2023	DRAWING NUMBER			
PROJECT NUMBER	2312				
		A-5.5			



FRONT EAST ELEVATION

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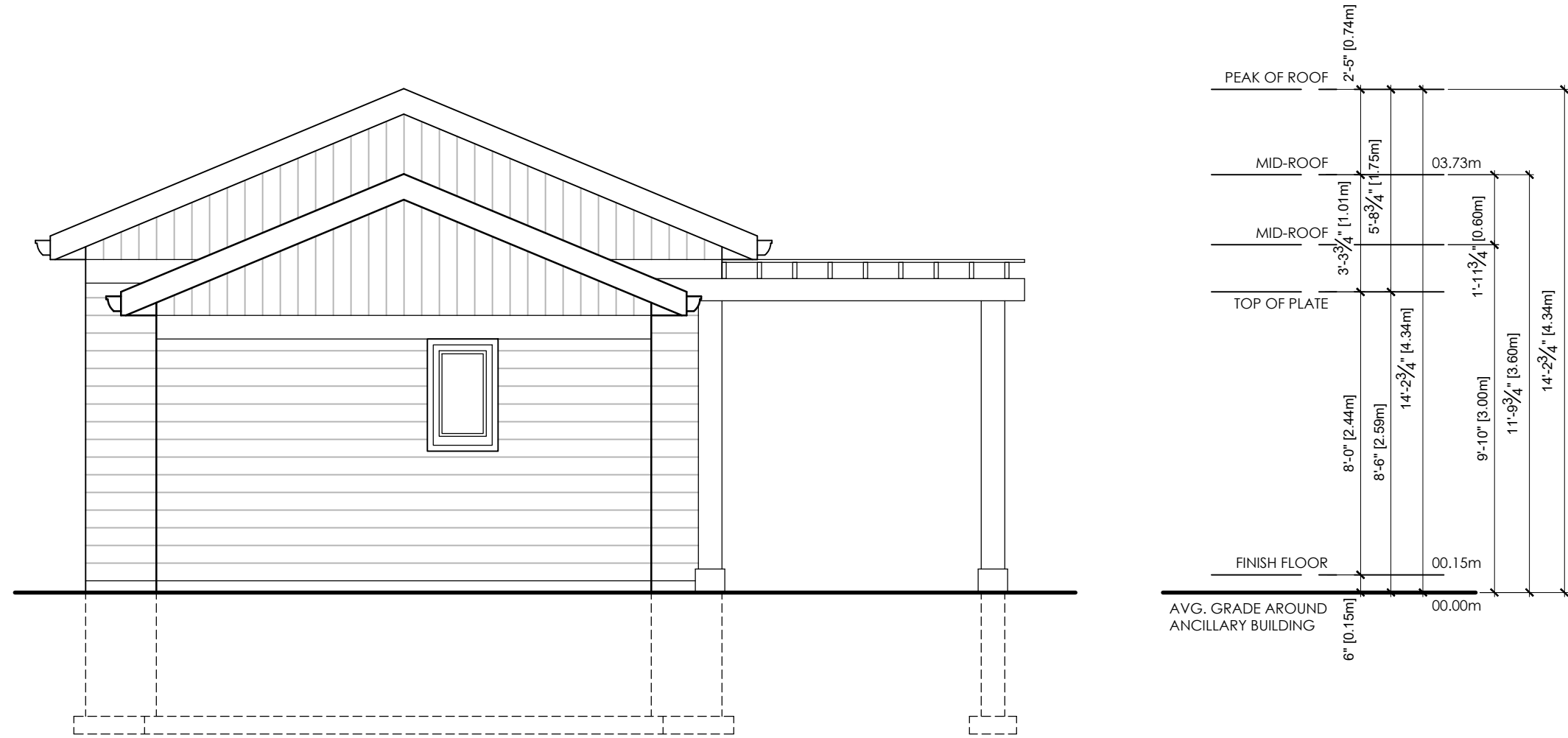


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No.	DATE	REVISION/SUBMISSION	ISSUED BY

DRAWING TITLE	CABANA ELEVATION
DRAWING NUMBER	SOUTHLAWN RESIDENCE
PROJECT NUMBER	17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT. L4H 1A1

SCALE	1/4" = 1'-0"	DRAWN BY	TC	CHECKED BY	
DATE	JAN 2023	DRAWING NUMBER			
PROJECT NUMBER					A-5.6
					2312

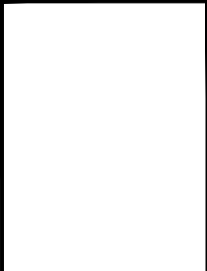


SOUTH SIDE ELEVATION

SCALE	1/4" = 1'-0"	DRAWN BY	TG	CHECKED BY	
DATE	JAN 2023	DRAWING NUMBER			
PROJECT NUMBER	2312				<b>A-5.7</b>

DRAWING TITLE	CABANA ELEVATION
	<b>SOUTHLAWN RESIDENCE</b>
	17 SOUTHLAWN DRIVE, WOODBRIDGE, ONT. L4H 1A1

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**SCHEDULE B: STAFF & AGENCY COMMENTS**

<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application Under Review
Building Standards (Zoning)	X	X		General Comments

**Date:** May 11<sup>th</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A043-23**

**Related Files:**

**Applicant** David Viti & Franca Ugolini

**Location** 17 Southlawn Drive



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

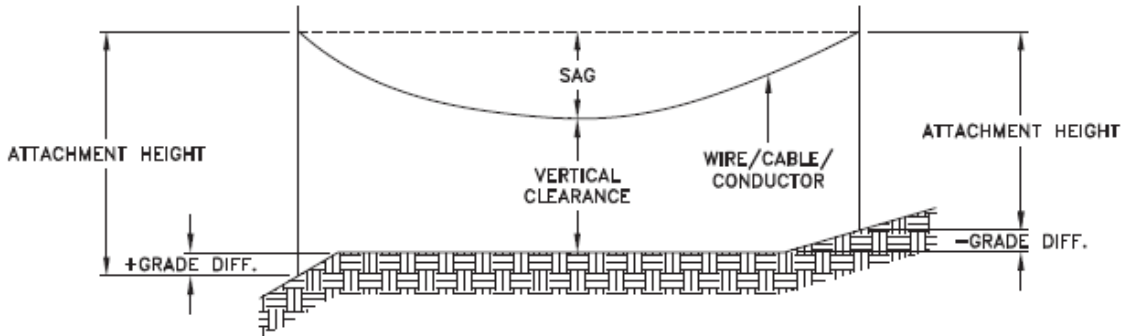
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

**REFERENCES**

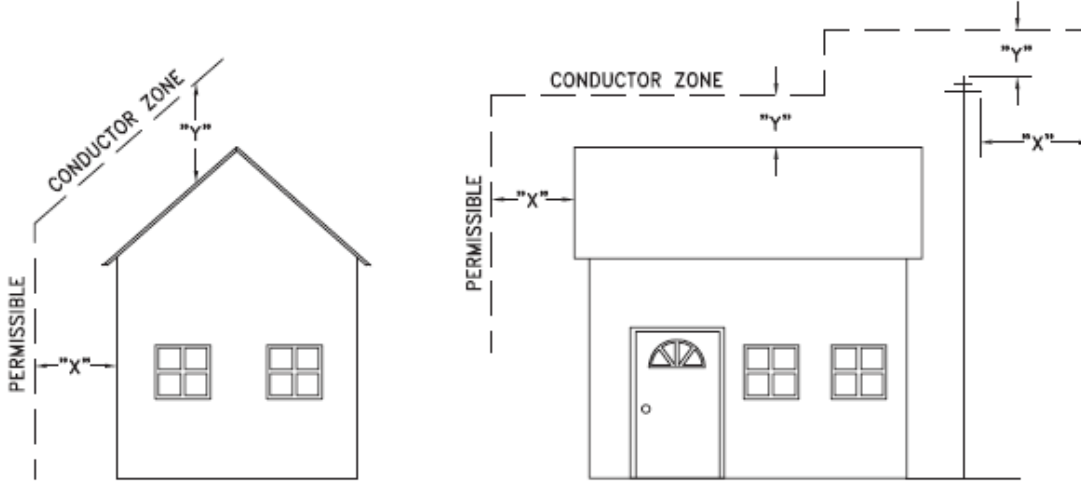
SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier





VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Faegheh Gholami, Building Standards Department  
**Date:** May 10, 2023  
**Applicant:** David Viti & Franca Ugolini  
**Location:** 17 Southlawn Drive  
 PLAN 65M2987 Lot 2  
**File No.(s):** A043/23

**Zoning Classification:**

The subject lands are zoned R1B – First Density Residential Zone and subject to the provisions of Exception 14.406 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A minimum rear yard setback of 2.4m is required to the proposed residential accessory structure. (4.1.2.1.b)	To permit a minimum rear yard setback of 0.61m to the proposed residential accessory structure.
2	A minimum side yard setback of 2.4m is required to the proposed residential accessory structure. (4.1.2.1.b)	To permit a minimum side yard setback of 1.27m to the proposed residential accessory structure.
3	A maximum building height of 3.0m is permitted for the proposed residential accessory structure. (4.1.4.1)	To permit a maximum building height of 3.73m for the proposed residential accessory structure.

The subject lands are zoned R1 – Residential Zone and subject to the provisions of Exception 9(665) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	The maximum permitted encroachment of the proposed porch into the rear yard is 0.0m. (3.14)	To permit the proposed porch to encroach a maximum of 0.21m into the required rear yard.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>.

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Height shall be measured in accordance with the definitions in Section 3.0 DEFINITIONS of by-law 001-2021, as amended. Established grade shall be the approved grading at the time of the original building permit for the principal dwelling.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**From:** [Development Services](#)  
**To:** [Christine Vigneault](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A043/23 (17 Southlawn Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Monday, May 15, 2023 9:30:49 AM  
**Attachments:** [image001.png](#)  
[image003.png](#)

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Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Development Services, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None