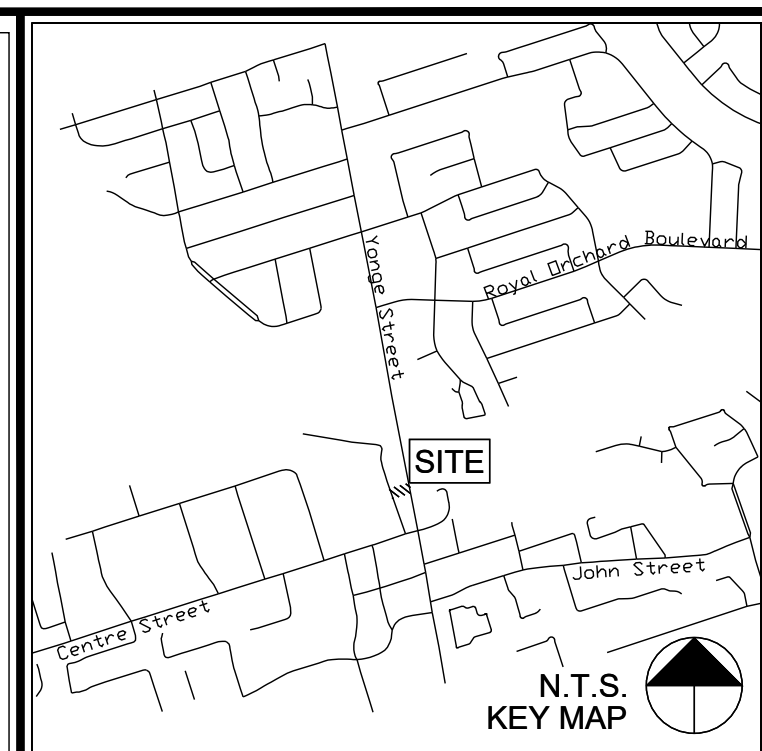
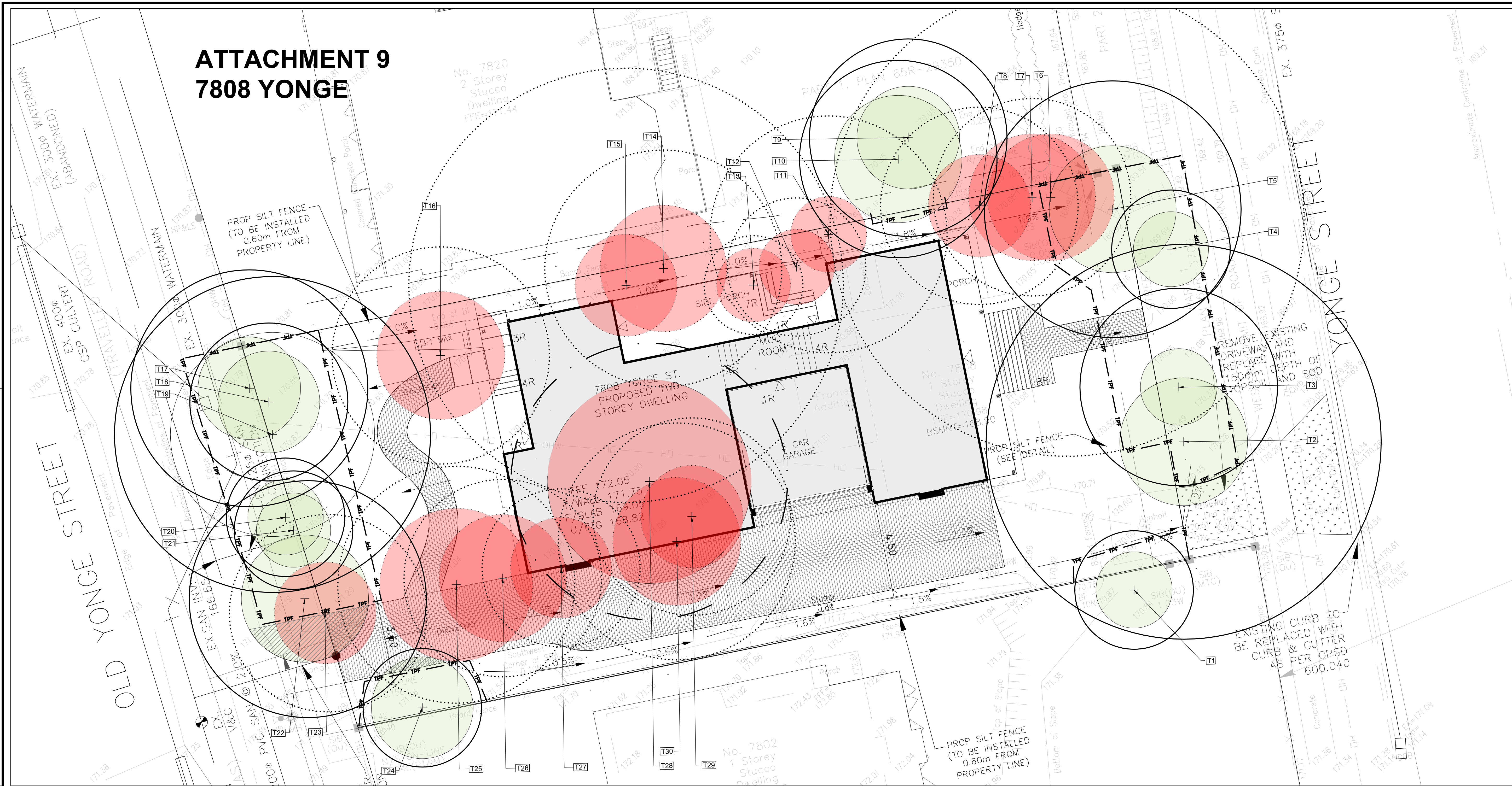


ATTACHMENT 9 7808 YONGE



LEGEND:

- EXISTING TREE
ID NUMBER / OUTER CIRCLE DENOTES APPROX. CRITICAL ROOT ZONE, INNER (SHADED) CIRCLE DENOTES MINIMUM TREE PROTECTION ZONE (MTPZ).
- PRESERVE TREE
TREE HAS MODERATE TO HIGH BIOLOGICAL HEALTH AND/OR STRUCTURAL CONDITION AND CAN BE INCORPORATED INTO THE PROPOSED DEVELOPMENT.
- REMOVE TREE
TREE IS IN CONFLICT WITH PROPOSED DEVELOPMENT.
- REMOVE TREE
TREE HAS LOW BIOLOGICAL HEALTH AND/OR STRUCTURAL CONDITION AND IS IN CONFLICT WITH PROPOSED DEVELOPMENT.
- TPF TREE PROTECTION FENCE
- ROOT SENSITIVE EXCAVATION REFER TO NOTES ON TPP1

1	REVISED PER CITY COMMENTS	EE	27 JUN-22
0	ISSUED FOR SITE PLAN	EE	08 JUL-21
No.	Description	By	Date

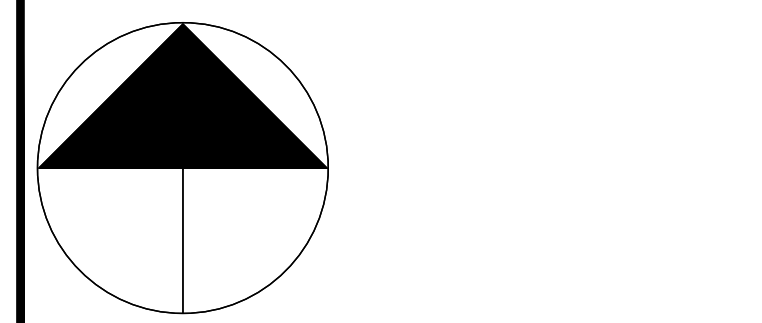
REVISIONS: All previous issues of this drawing are superseded.

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Consulting Arborists • Ecologists • Landscape Architects
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TREE PRESERVATION PLAN

Project: 7808 OLD YONGE STREET
CITY OF VAUGHN

Date: MAY 2021 Designer: EE
Project: AA19-120A Drawn: EE
Scale: 1:100 Checked: EE



Drawing No: **TPP-1** Application No: **DA.21.036**

GENERAL TREE NOTES

- Base information sources:
 - Grading and servicing plan dated June 10, 2021 was prepared by Valdor Engineering Inc.
 - Tree inventory and assessment completed by About & Associates February 25, 2021.
- All arboricultural work performed on trees such as pruning of branches and roots shall be conducted by an ISA Certified Arborist.
- Prune and mitigate limbs and roots damaged by construction work in accordance with ANSI A300 (Part 1) - 2008 Pruning and the Best Management Practices companion publication (revised 2008).
- Tree Protection Fence to be erected prior to the commencement of any construction or grading, and maintained throughout the duration of the work.
- Tree Protection Zone is delimited by Tree Protection Fence shown on the drawings.
- No construction or activities including the following to occur within Tree Protection Zone: equipment parking or access, storage of supplies, topsoil or fill, and refueling.
- Tree removals (if required) will be undertaken in compliance with the Migratory Birds Convention Act. Efforts will be made to remove vegetation outside the General Nesting period (April 1 - Aug 31) for regions C1 and C2 of Ontario. In the event vegetation must be removed within the General Nesting Period, a qualified avian biologist is to review the site prior to removal to ensure compliance with the Migratory Birds Convention Act.
- Any soils and vegetation within tree protection zone damaged by the Contractor shall be restored to the satisfaction of the Municipality by the Contractor at no additional cost to the Owner.

CONSTRUCTION WITHIN MINIMUM TREE PROTECTION ZONE

- An ISA Certified Arborist must be present on site during construction activities within MTPZ to confirm and/or modify mitigation measures for trees to be preserved.
- Use trenchless methods (e.g. horizontal directional drilling) to install underground services (e.g. sanitary sewers and water lines) within Minimum Tree Protection Zones.

EXISTING UNDERGROUND SERVICES WITHIN TREE PROTECTION ZONES

- Existing sanitary/storm sewers and water mains to be discontinued within tree protection zones will be filled (as needed) and abandoned.
- Excavation and access for construction/removal of abandoned underground services will be conducted outside of tree protection zones.

FINISH GRADING WITHIN TREE PROTECTION ZONES

Where finish grading of cuts and fills, and including swales occurs within tree protection zones, the following steps are required.

Grade Cut:

- Excavate by hand or Air-spade technology to a maximum depth of 100mm.
- Roots encountered are to be assessed by the Project Arborist to determine the extent of roots to be pruned. Based on findings, other treatments may be required (e.g. crown reduction, tree removal), and which may require approval from the City.
- Based on root findings, local, minor adjustments to grading within the tree protection zone may be required based on field consultation between the Project Arborist and Project Engineer.
- No access by heavy equipment into tree protection zone is permitted. Fine grading to be carried out using light equipment and/or by hand.

Grade Fill:

- Add topsoil to meet grade requirements to a maximum of 150mm.
- No topsoil to be added onto trunk base or above-ground section of trunk base flare.
- Maintain positive drainage away from trunk base.
- Based on local conditions (e.g. surface drainage), local, minor adjustments to grading within the tree protection zone may be required based on field consultation between the Project Arborist and Project Engineer.

TREES OWNED BY OTHERS

- Trees owned by others require permission (i.e. written consent) from the land owner(s) prior to activities that may damage or destroy trees. Trees owned by others are Offsite Trees and Shared Trees:
 - Offsite Trees - Trees on property adjacent to the subject property;
 - Shared (Boundary) Trees - Trees whose trunk including the basal trunk flare growing on the boundary between the subject property and adjoining property (from Ontario Forestry Act).

The Provincial Forestry Act, R.S.O. 1990 (Section 10):

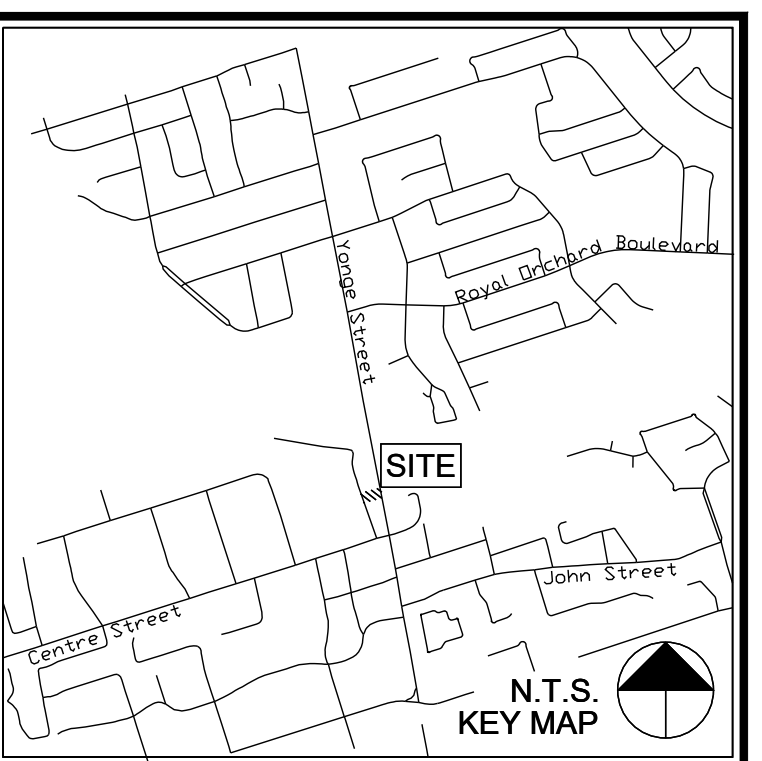
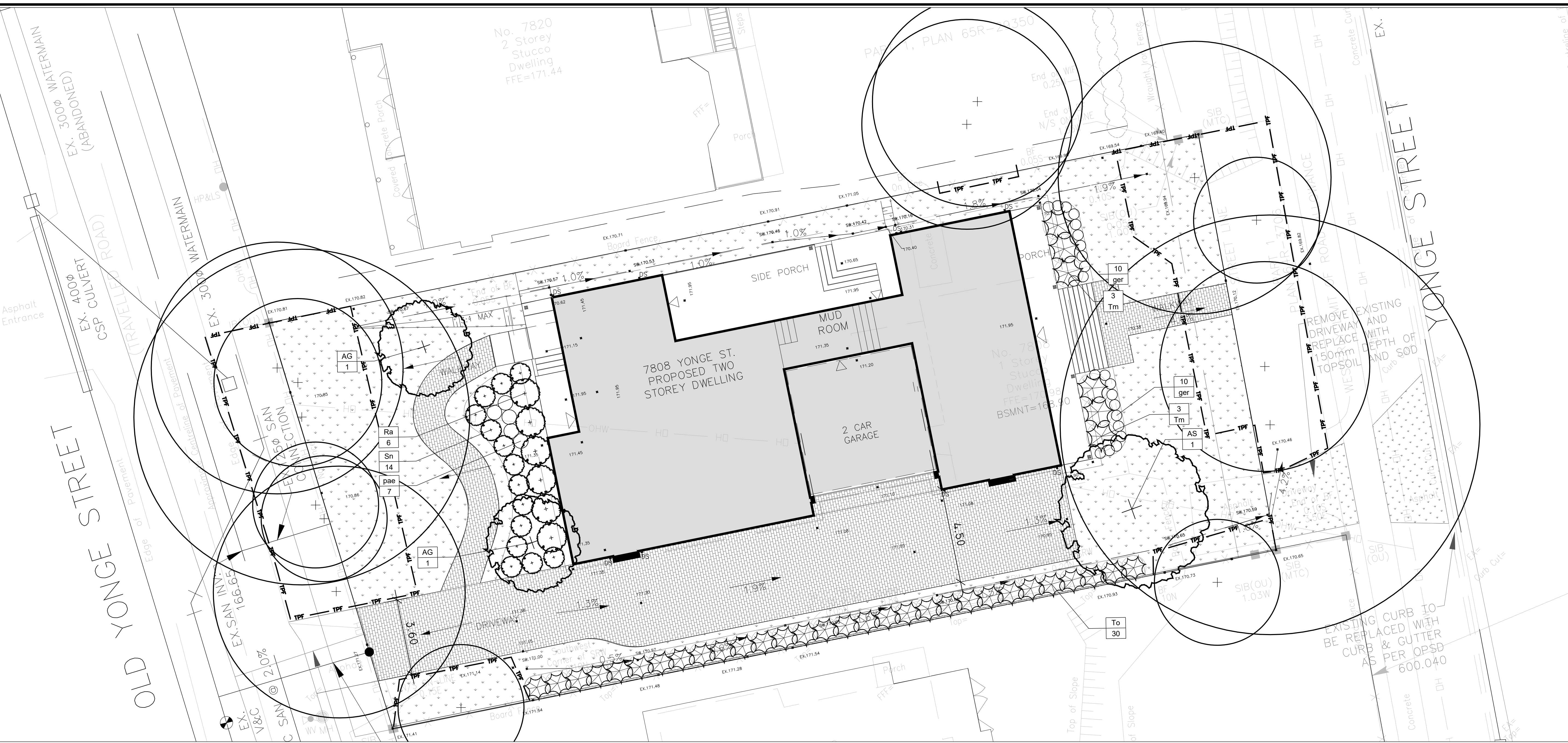
- Every tree whose trunk is growing on the boundary between adjoining lands is the common property of the owners of the adjoining lands. 1990, c. 18 Sched. I, s. 21.
- Every person who injures or destroys a tree growing on the boundary between adjoining lands without the consent of the land owners is guilty of an offence under this Act. 1998, c. 18, Sched. I, s. 21.

ROOT SENSITIVE EXCAVATION

All root sensitive excavation must be performed under the supervision of a qualified arborist. All roots exposed must be documented by the supervising arborist. Every effort should be made to preserve as many exposed roots as possible. Roots approved for pruning should be cleanly cut with a sharp, non-vibrating tool such as a handsaw, secateurs, chainsaw at face of trench such that no further disturbance of the roots are to be expected once mechanical excavation begins. All root pruning is to be performed by the arborist only, as per guidelines below.

- Mark the limit of excavation in the field prior to excavation. Using hydrovac or dry-vac/air-spade, excavate a trench 150mm from the outer limit of excavation, at maximum 300mm wide, to expose existing roots prior to severance. Root severance must be performed by or be supervised by a certified arborist.
- When root sensitive excavation is performed in regards to the installation of a deep site feature such as a foundation, roots of less than 5cm diameter can be cut sharply, if necessary, unless an abundance of smaller roots are involved. If roots of 5cm diameter or greater or an abundance of smaller roots are exposed in the excavation areas inside or just outside the Tree Protection Zone (TPZ) of bylaw trees they should be preserved.
- When root sensitive excavation is performed in regards to the installation of site features such as post holes, all roots exposed of under 5cm diameter may be cleanly cut at face of hole such that no further disturbance of the roots are to be expected once mechanical excavation begins for the lower portion of the holes (below hand dug area). If roots of 5cm diameter or greater are uncovered they should be preserved, the post holes filled in with viable soil and the hole moved at least 0.5 metre away to avoid significant roots.
- When root sensitive excavation is performed in regards to the installation of site features such as driveways, walkways, curbs, etc. roots of less than 5cm diameter can be cut sharply, if necessary, unless an abundance of smaller roots are involved. If roots of 5cm diameter or greater or an abundance of smaller roots are exposed in the excavation areas inside or just outside the TPZ of bylaw trees they should be preserved.
- When root sensitive excavation is performed in regards to the installation of utilities such as water lines or sewers, every effort should be made to preserve as many exposed roots as possible by installing the utilities underneath the roots without root pruning. If roots of 5cm diameter or greater are uncovered they should be preserved.

CLIENT: 5154A PROJECTS/2019/PROPOSED PROJECTS/1538_7808_YONGE STREET (P) 2020-03-23.DWG, CTR: 04/18/2021, 16:22:11 PM



LEGEND:

- PROPOSED DECIDUOUS TREES
- PROPOSED CONIFEROUS TREES
- PROPOSED DECIDUOUS SHRUBS
- PROPOSED CONIFEROUS SHRUBS
- PROPOSED ORNAMENTAL GRASSES
- EXISTING TREE TO REMAIN
- PROPOSED SOD
- PLANT KEY
- TREE PROTECTION FENCE
- PROPOSED UNIT PAVING

RESTORE DISTURBED SOILS IN MUNICIPAL RIGHT OF WAY WITH BLUEGRASS/FINE FESCUE MIX NO. 1 NURSERY SOD (SP-74, OPSS 803) C/W 150MM DEPTH TOPSOIL (SS-20, SP-73, OPSS 802) IN ACCORDANCE WITH APPLICABLE CITY AND ONTARIO PROVINCIAL STANDARDS

GRADING AND SERVICING SHOWN ON THIS PLAN FOR COORDINATION ONLY. DO NOT USE THIS PLAN FOR CONSTRUCTION OF GRADING AND SERVICING ITEMS.

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	REMARKS
TREES						
AS	1	Acer saccharum	Sugar Maple	60mm CAL	WB	
AG	1	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	60mm CAL	WB	Tree Form
TO	30	Thuja occidentalis 'Emerald'	Emerald Cedar	150cm HGT	WB	1.25m o.c.
	32	TOTAL TREES				
SHRUBS						
Ra	6	Ribes alpinum	Alpine Current		3 gal	1.25m o.c.
Sn	12	Spiraea nipponica 'Halward's Silver'	Halward's Silver Spirea	50cm HGT	3 gal	0.75m o.c.
Tm	6	Taxus x media 'Fairview'	Fairview Yew	50cm HGT	3 gal	1.25m o.c.
	18	TOTAL SHRUBS				
PERENNIALS						
ger	20	Geranium macrorrhizum 'Bevan's Variety'	Bigroot geranium	1 gal	potted	0.5m spacing O.C.
pae	5	Paeonia 'Bowl of Beauty'	Bowl of Beauty Peony	1 gal	potted	0.7m spacing O.C.
	20	TOTAL PERENNIALS				

- 1. Base information sources:**
- 1.1. Grading and servicing plan dated June 10, 2021 was prepared by Valdor Engineering Inc.
 - 1.2. Tree inventory and assessment completed by Aboud & Associates February 25, 2021.
 2. All dimensions are in metric unless otherwise noted.
 3. Do not scale drawings. Dimensions are to be verified on site by Contractor prior to commencement of the work.
 4. These plans shall be read in conjunction with all details, notes, reports, written specifications, general conditions, any supplemental conditions and agreement which form the contract documents.
 5. These drawings shall not be used for construction purposes unless noted as "Issued for Construction" and signed by the Landscape Architect or Professional Engineer.
 6. Contractor shall review all drawings and verify actual field conditions to determine the total scope of work and all required coordination prior to submission of bids and commencement of the work. Report any discrepancies to the Landscape Architect, for action to the satisfaction of the Owner.
 7. Contractor shall locate all underground, at grade and overhead utilities prior to commencement of the work. All utilities not necessarily shown on these drawings. Aboud & Associates assumes no responsibility for the accuracy of any utilities shown in these drawings.
 8. Contractor shall perform all work in accordance with the most current Ontario Building Code, CAN/CSA-Z614, Occupational Health and Safety Act and its regulations, as well as local municipal codes, regulations and by-laws.
 9. Contractor shall identify the location of all internal/external construction access routes, parking and storage of materials in conformance with project erosion and sediment control plans for acceptance by the Owner. Construction, maintenance and removal/restoration of access, parking and storage facilities shall be included in the Contractor's bid price.
 10. Contractor shall submit shop drawings where indicated in these drawings. Shop drawings shall be certified by a Professional Engineer licensed to practice in Ontario and reviewed by the contractor for dimensional correlation with the drawings and field conditions. Fabrication of elements on shop drawings shall not proceed until drawings have been reviewed and approved by a Professional Engineer and have been accepted for general design conformance by the Landscape Architect in writing. The cost of preparing shop drawings, as well as the services of a Professional Engineer, shall be included in the Contractor's bid price.
 11. Contractor proposed substitution of materials and products shall be submitted in writing for review by Landscape Architect and acceptance by Owner and Municipality.
 12. Material quantities on drawings shall take precedent over those in lists and schedules.
 13. Where traffic control is necessary, Contractor shall use the guideline of the Construction Safety Association of Ontario, municipal by-laws, the Highway Traffic Act and the Ontario Traffic Manual (Book 7). The cost of preparing, obtaining approvals and implementing traffic control plans shall be included in the Contractor's bid price, unless otherwise noted.

14. Contractor shall erect temporary barriers, as required, to secure the work area. Contractor shall maintain temporary barriers in good repair and remove at the end of the work.
15. Contractor shall provide layout and grade staking, for general review for design conformance by Landscape Architect and acceptance by Owner. Where the work occurs within 3 metres of a property boundary, layout and staking shall be completed by an Ontario Land Surveyor. The cost of layout and grade staking, as well as the services of an Ontario Land Surveyor, shall be included in the Contractor's bid price, unless otherwise noted.
16. Contractor is responsible for protecting and/or reinstating site elements indicated in these drawings.
17. Contractor is responsible for restoration of adjacent surfaces and existing site elements damaged by the Contractor in the performance of the work, including but not limited to roads, driveways, playground equipment, utilities, buildings, curbs, sidewalks, retaining walls, fencing, turf, flowers and woody vegetation. Restoration work shall be performed by the Contractor at no cost to the Owner and be completed in conformance with applicable Provincial, Municipal or Agency standards and requirements, to the satisfaction of the Owner/Agency of the damaged element.
18. Where new paving or earthwork meets existing, smoothly blend line and grade of existing with new.
19. Test existing topsoil to be reused as growing medium on site in accordance with:
 - 19.1. Top Soil Basic Package (by SGS Laboratories or approved equal testing facility) Testing the following properties: Texture (%sand, %silt, %clay), total salts, pH, buffer pH, phosphorus, potassium, magnesium, calcium, cation exchange capacity, chloride, sodium, sodium absorption ratio, organic matter. Written recommendations for amendments.
 - 19.2. The cost to amend existing topsoil to be reused shall be paid for by the Owner.
20. Contractor shall provide imported topsoil test results (using analysis requirements for existing topsoil) prior to delivery to place of work, for each source.
21. Plants specified on these plans are to be in accordance with the Canadian Nursery Landscape Association Canadian Standards for Nursery Stock from the Canadian Landscape Standard, current edition.
 - Only nursery grown plants will be accepted.
 - Landscape Architect reserves the right to reject any plant material not in conformance with the standard, displaying life-threatening, poor growth habits, injury, disease or not true to name. Contractor shall remove rejected plants from the site immediately and replace at no additional cost to the Owner.
22. Proposed plants which come over or under any utility shall be relocated by the Contractor for review by the Landscape Architect, to the satisfaction of the utility provider.
23. All work and materials are to be warranted by the Contractor for twenty-four (24) months from date of initial acceptance of all items by Municipal Staff and Project Landscape Architect.
 - 23.1. The Contractor shall perform maintenance, as described in these drawings for all the installed trees, shrubs, grasses and seeding during the warranty period. OR
 - 23.2. The Owner shall provide maintenance as described in these drawings for all installed trees, shrubs, grasses and seeding during the warranty period.

1. Perform following maintenance operations from time of planting to end of warranty period two (2) years following substantial performance of the work.
 - 1.1. Water to maintain soil moisture conditions for optimum establishment, growth and health of plant material without causing erosion. In a typical loam soil, optimum soil moisture in planting beds at root depth is 65% of field capacity. Guidelines during a typical growing season are as follows:
 - 1.1.1. Deep root water newly planted plants once per week for the first three weeks, such that the water penetrates to a minimum depth of 300mm.
 - 1.1.2. Deep root or surface water trees and shrubs a minimum of every ten (10) days between May 15 and September 15.
 - 1.1.3. Deep root or surface water trees and shrubs a minimum of every twenty-one (21) days between September 15 and freeze up.
 - 1.1.4. Water evergreen plants thoroughly in late fall prior to freeze up to saturate soil around root system.
 - 1.2. Soil moisture to be monitored throughout the growing season:
 - 1.2.1. Watering schedule to be increased when plant materials are reaching the permanent wilting point.
 - 1.2.2. Watering schedule to be reduced when a sufficient volume of rainfall has penetrated the soil fully as required.
 - 1.3. Replace or respread damaged, missing or disturbed mulch.
 - 1.4. If required to control insects, fungus and disease, use appropriate control methods in accordance with Federal, Provincial and Municipal regulations. Obtain product approval from Consultant prior to application.
 - 1.5. Control outbreaks of perennial weeds as directed by Consultant, and annual weeds by mechanical or chemical means utilizing acceptable integrated pest management practices to meet acceptance/success targets
 - 1.5.1. If chemical means are used, comply with all municipal, provincial, and federal legislation and regulations.
 - 1.6. Remove dead or broken branches from plant material using clean sharp horticultural tools using current arboricultural practices.
 - 1.7. Keep trunk protection and guy wires in proper repair and adjustment.
 - 1.8. Provide adequate protection from winter, wind and rodent damage.
 - 1.9. Remove and replace dead plants and plants not in healthy growing condition. Make replacements in same manner as specified for original plantings, unless otherwise directed by Consultant.
 - 1.10. Remove trunk protection, tree supports and level watering saucers at end of warranty period, unless otherwise directed by Consultant.
 - 1.11. Submit monthly written reports in during the growing season (April - September) to Consultant identifying:
 - 1.11.1. Maintenance work carried out.
 - 1.11.2. Watering method, quantity of water used, water source.
 - 1.11.3. General development and condition of plant material.
 - 1.11.4. Preventative or corrective measures required which are outside Contractor's responsibility.

GENERAL LANDSCAPE NOTES

LANDSCAPE MAINTENANCE NOTES

1	REVISED PER CITY COMMENTS	EE	27 JUN-22
0	ISSUED FOR SITE PLAN	EE	08 JUL-21

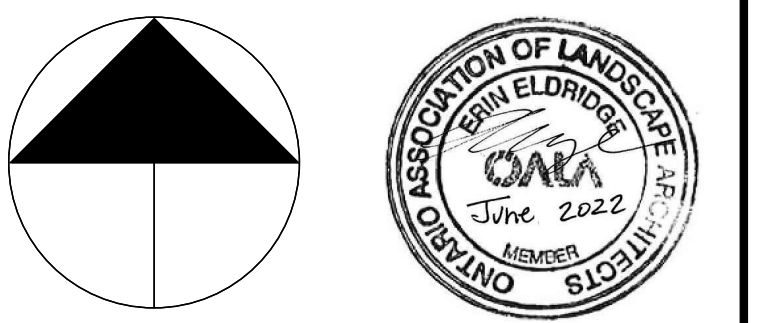
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LANDSCAPE PLAN

Project: 7808 OLD YONGE STREET
 CITY OF VAUGHN
 Development Application DA.21.036

Date: MAY 2021 Designer: EE
 Project: AA19-120A Drawn: EE
 Scale: 1:100 Checked: EE



Drawing No: **LP-1**