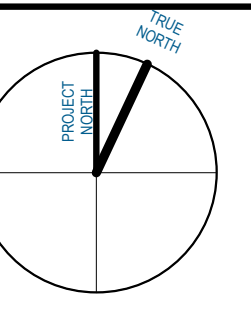


ATTACHMENT 5 7808 YONGE

11	CITY'S 2nd SUBMISSION REVISED	DAI	11/04/2022
8	REVISED DRAWINGS	DAI	03/03/2022
7	MATERIALS REVISED	DAI	02/03/2022
6	DRAWINGS SET UPDATE	DAI	01/25/2020
5	DRAWINGS SET REVISED	DAI	11/04/2020
4	UPDATED SET	DAI	10/14/2020
3	CLIENT PRESENTATION	DAI	08/10/2020
No.	ISSUED FOR	BY	MM/DD/YY

CLIENT & PROJECT ADDRESS: NEW RESIDENTIAL CONSTRUCTION

7808 YONGE STREET,
VAUGHAN, ON. L4J 1W3



CURRENT REVISION & DATE: 11/04/2022
11: CITY'S 2nd SUBMISSION REVISED

SCOPE:
NEW CONSTRUCTION

SHEET NAME:
EXISTING SITE PLAN

PREPARED BY: DM	APPROVED BY: DD
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PROJECT No. 020-069	DRAWING No. A_001
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DUTRA ARCHITECT INC.
DESIGN & DEVELOPMENT CONSULTANTS

49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1
TEL: (416) 576-9513
FAX: (416) 576-9567

SURVEYOR'S REAL PROPERTY REPORT—PART 1
PART OF LOT 31
CONCESSION 1
GEOGRAPHIC TOWNSHIP OF VAUGHAN
COUNTY OF YORK
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
SCALE: 1:200

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Ontario Land Surveyors
Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048
Part 2

1. THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES WAS BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLE DOCUMENTS, REGISTERED PLANS AND ON THE EVIDENCE OF PRIOR SURVEYS FOUND DURING THE COURSE OF PREPARING THE SUBJECT SURVEY.
2. THE TYPE AND LOCATION OF THE EXISTING BUILDINGS AND OTHER IMPROVEMENTS, FENCES, ETC., ON OR NEAR THE SUBJECT PROPERTY ARE AS SHOWN ON THE SURVEY PLAN.
3. COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT CERTIFIED BY THIS REPORT.
4. AS WE ARE UNAWARE AT THIS TIME OF THE OWNERSHIP OR AGE OF FENCES, WE ARE UNABLE TO COMMENT AS TO ANY ENCROACHMENTS THEREBY CREATED BY THE LOCATION OF THE FENCES WITH RESPECT TO PROPERTY LINES. THE PRESENT POSITION OF THE FENCES WITH RESPECT TO THE PROPERTY LINES ARE SHOWN ON THE SURVEY PLAN.
5. NO REGISTERED EASEMENTS OR RIGHTS OF WAY ON TITLE.

SURVEY PREPARED FOR: FANNY CHAN

Bearing Note

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF PLAN 65R-29350 SHOWN THEREON AS HAVING A BEARING OF N09° 35'20"E.

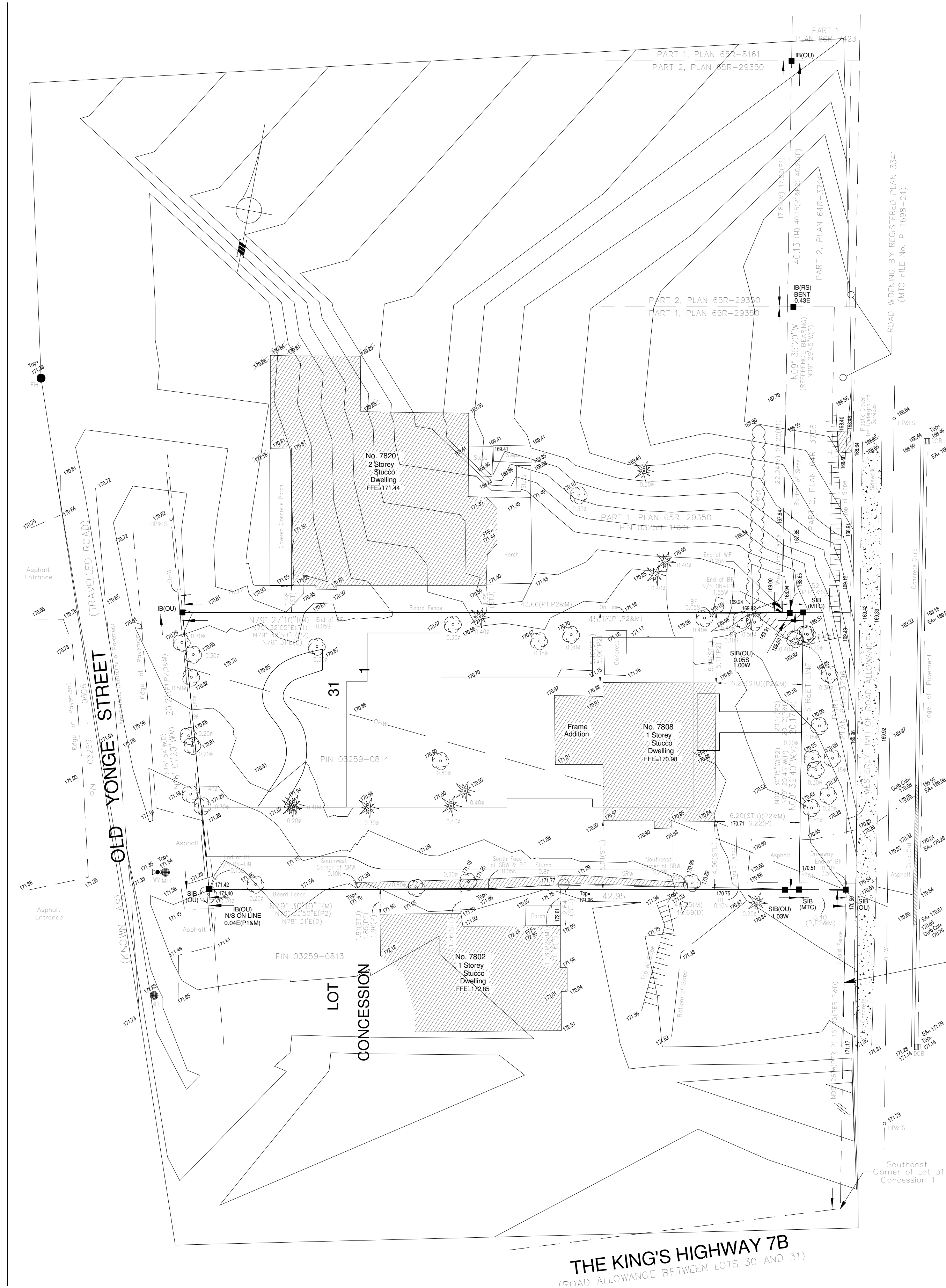
Benchmark

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF VAUGHAN ELEVATION DATUM.
BENCHMARK: 0011931U4835 ELEVATION = 190.530m

Legend

- NOTES SURVEY MONUMENT FOUND
- SB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- OU DENOTES ORIGIN UNKNOWN
- M DENOTES MEASURED
- N/S/E/W DENOTES NORTH/SOUTH/EAST/WEST
- P1 DENOTES PLAN 65R-29350 PLAN 64R-3706
- P2 DENOTES TOPOGRAPHIC SURVEY BY ROWAN-STANCIU
- O.L.S., DATED DECEMBER 7, 2005.
- RS DENOTES ROWAN-STANCIU LTD., O.L.S.
- MTC DENOTES MINISTRY OF TRANSPORTATION AND COMMUNICATIONS
- D DENOTES INSTRUMENT No. R643132 (PIN 03259-0F)
- EA DENOTES EDGE OF PAVEMENT
- MH DENOTES MANHOLE
- STU DENOTES TIES TO STUCCO
- ST DENOTES TIES TO STONE
- BF DENOTES BOARD FENCE
- WIF DENOTES WROUGHT IRON FENCE
- LS DENOTES LIGHT STANDARD
- WV DENOTES WATER VALVE
- HP DENOTES HYDRO POLE
- SRW DENOTES STONE RETAINING WALL
- OHW DENOTES OVERHEAD WIRES
- Ø DENOTES DIAMETER (ROUND)
- FFE DENOTES FINISHED FIRST FLOOR ELEVATION
- NOTES DECIDUOUS TREE WITH TRUNK DIAMETER
- NOTES CONIFEROUS TREE WITH TRUNK DIAMETER

10933 JANE STREET, SECOND FLOOR, MAPLE
ONTARIO, L6A 1S1
O : (416) 907-2327
E : michelpearson@pearsonandpearson.ca



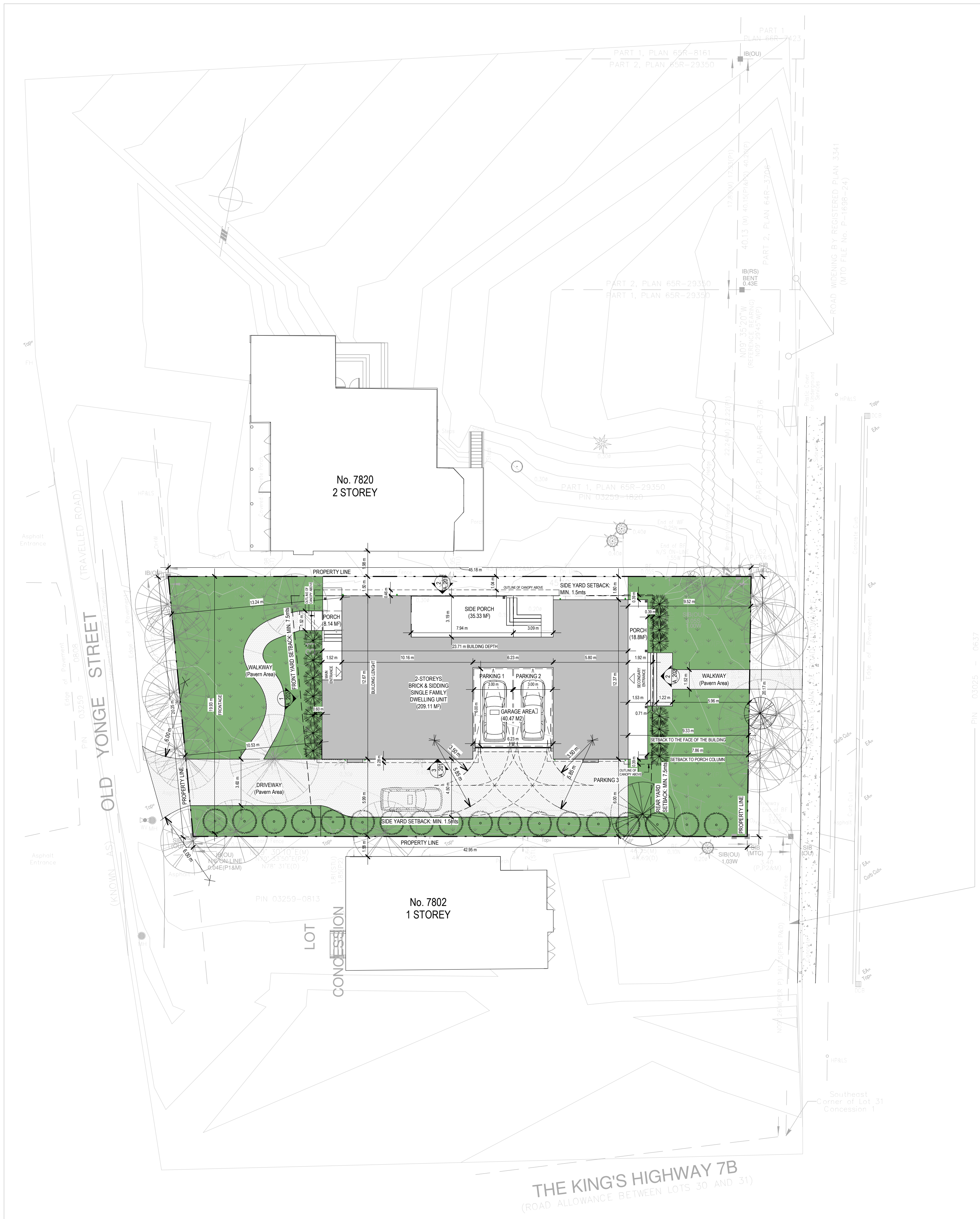
YONGE/GION ROAD No STREET
(ORIGINAL ROAD ALLOWANCE BETWEEN GEOGRAPHIC TOWNSHIPS OF VAUGHAN AND MARKHAM)
(FORMERLY THE KING'S HIGHWAY No. 11, TRANSFERRED TO THE REGION OF YORK BY ORDER-IN-COUNCIL OC-229/96, INSTRUMENT No. R679946)

EXISTING SITE PLAN

SCALE: 1/16" = 1' - 0"



KEY PLAN



SURVEYOR'S REAL PROPERTY REPORT-PART 1
 PLAN OF
 PART OF LOT 31
 CONCESSION 1
 GEOGRAPHIC TOWNSHIP OF VAUGHAN
 COUNTY OF YORK
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK

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 PEARSON & PEARSON SURVEYING LTD. 2016
 Ontario Land Surveyors
 Metric
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048
 Part 2

1. THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES WAS BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLE DOCUMENTS, REGISTERED PLANS AND ON THE EVIDENCE OF PROOF SURVEYS FOUND DURING THE COURSE OF PREPARING THE SUBJECT SURVEY.
2. THE TYPE AND LOCATION OF THE EXISTING BUILDINGS AND OTHER IMPROVEMENTS, FENCES ETC., ON OR NEAR THE SUBJECT PROPERTY ARE AS SHOWN ON THE SURVEY PLAN.
3. COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT CERTIFIED BY THIS REPORT.
4. AS WE ARE UNAWARE AT THIS TIME OF THE OWNERSHIP OR AGE OF FENCES, WE ARE UNABLE TO COMMENT AS TO ANY ENCROACHMENTS THEREBY CREATED BY THE LOCATION OF THE FENCES WITH RESPECT TO PROPERTY LINES. THE PRESENT POSITION OF THE FENCES WITH RESPECT TO THE PROPERTY LINES ARE SHOWN ON THE SURVEY PLAN.
5. NO REGISTERED EASEMENTS OR RIGHTS OF WAY ON TITLE.

Bearing Note
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF PLAN RSR-29350 SHOWN THEREON AS HAVING A BEARING OF N09°35'20"E.

Benchmark
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF VAUGHAN ELEVATION DATUM.
 BENCHMARK : 00193314835 ELEVATION = 190.530m

- Legend**
- NOTES SURVEY MONUMENT FOUND
 - SB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - OU DENOTES OUBIN (UNKNOWN)
 - S DENOTES SET
 - M DENOTES MEASURED
 - N/S/E/W DENOTES NORTH/SOUTH/EAST/WEST
 - P DENOTES PLAN RSR-29350 PLAN R4R-3706
 - P2 DENOTES TOPOGRAPHIC SURVEY BY ROWAN-STANCKI D.L.S., DATED DECEMBER 7, 2005
 - RS DENOTES ROWAN-STANCKI LTD., D.L.S.
 - MTC DENOTES MINISTRY OF TRANSPORTATION AND COMMUNICATIONS INSTRUMENT No. R643132 (PIN 03259-08)
 - EA DENOTES EDGE OF PAVEMENT
 - MH DENOTES MANHOLE DENOTES DOUBLE CATCHBASIN
 - ST DENOTES TIES TO STUCCO
 - ST DENOTES TIES TO STONE
 - BF DENOTES BOARD FENCE
 - WF DENOTES WROUGHT IRON FENCE
 - LS DENOTES LIGHT STANDARD
 - OHV DENOTES OVERHEAD WIRE
 - HP DENOTES HYDRO POLE
 - SRW DENOTES STONE RETAINING WALL
 - FFE DENOTES FINISHED FIRST FLOOR ELEVATION
 - Ø DENOTES DIAMETER (GROUND)
 - DENOTES OCCIDENTAL TREE WITH TRUNK DIAMETER
 - ★ DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER

10911 JANE STREET, SECOND FLOOR, MAPLE
 TORONTO, ON M6A 1S1
 P : (416) 907-1327
 F : (416) 907-1327
 E : info@pearsonandpearson.com/pearson.ca
 DRAWING : 1148 - YongeStreet7802 - SRPS DWG PROJECT : 1148

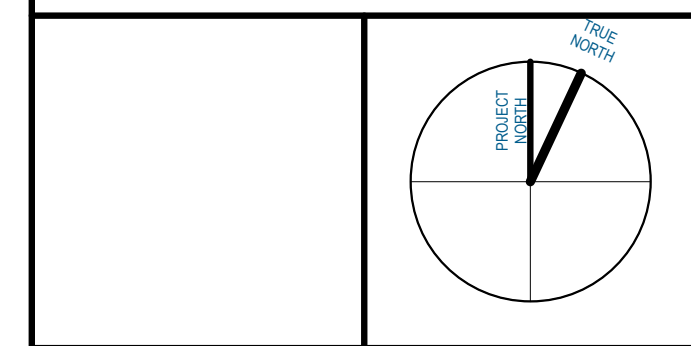
YONGE GION ROAD No STREET
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 (FORMERLY THE KING'S HIGHWAY No. 11, TRANSFERRED TO THE REGION OF YORK BY ORDER-IN-COUNCIL OC-2219/96, INSTRUMENT No. R679948)

PROPOSED SITE PLAN
 SCALE: 1/16" = 1'-0"



11	CITY'S 2nd SUBMISSION REVISED	DAI	11/04/2022
10	SITE PLAN REVISED	DAI	04/22/2022
9	SITE PLAN REVIEW	DAI	03/17/2022
8	REVISED DRAWINGS	DAI	03/03/2022
No.	ISSUED FOR	BY	MM/DD/YY

CLIENT & PROJECT ADDRESS:
NEW RESIDENTIAL CONSTRUCTION
 7808 YONGE STREET,
 VAUGHAN, ON. L4J 1W3



CURRENT REVISION & DATE: 11/04/2022
 11: CITY'S 2nd SUBMISSION REVISED

SCOPE:
 NEW CONSTRUCTION

SHEET NAME:
 PROPOSED SITE PLAN

PREPARED BY: DM	APPROVED BY: DD
PROJECT No. 020-069	DRAWING No. A_002

DUTRA ARCHITECT INC.
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 49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1
 TEL: (416) 575-9513
 FAX: (416) 579-8567

SITE STATS AND ZONING REVIEW

2022.03.18

Address:	7808 Yonge Street		Municipality:	Vaughan
Zoning Designation (per schedule A, map 60)	R1A			
	By-Law 001-2021		Proposed 7808 Yonge Street	
Lot Area (minimum)	540.0 sq. m	per table 7-3	888.59 sq. m	
Lot Frontage (minimum)	18 m	per table 7-3	19.93 m	
Building Area (Dwelling unit + Garage)			249.58 sq.m	
Dwelling Unit			209.11 sq.m	
Garage			40.47 sq.m	
Gross Floor Area Exclude Garage (Ground floor + Second floor)			522.79 sq. m	
Ground Floor			271.44 sq. m	
Second Floor			251.35 sq. m	
Lot Coverage (maximum)	40.0 %	per table 7-3	28.09 % (249.78/888.59)	
Building Length(maximum)	m		12.67 m	
Building Depth (Maximum)	m		23.71 m	
Floor Space Index exclude Garage (GFA / lot)	0.000		0.59 (522.79/888.59)	
Front Yard Setback (minimum)	7.5 m	per table 7-3	10.53 m	
Rear Yard Setback (minimum)	7.5 m	per table 7-3	9.33 m	
Sideyard Setback (minimum)	1.5 m	per table 7-3	1.5 m	
Building Height (maximum)	9.5 m	per table 7-3	9.5 m	
Total Front/Rear Yard Area			(220.98/ 189.38) sq m	
Required Front/Rear Yard Landscaping	60 %	Section 4.19.1		
Front Yard Soft Landscaping (minimum)	60%		75.01 % (165.76 sq. m)	
Rear Yard Landscaping (minimum)	60%		81.06 % (153.52 sq. m)	
Parking Requirement (minimum)	2 Total	Per table 6-1	3 spots	
Parking Dimensions (minimum)	2.7 x 5.7 m	per table 6-2	3.0 x 6.0 m	
Driveway width (maximum)	9 m	Section 6.7.3	3.6 m	

Definitions:

- Height** Means in reference to a building or structure, the vertical distance measured from established grade to:
 - i. In the case of a flat roof, including any roof where more than half of the roof area has a slope of 15 degrees or less above the horizontal, the highest point of the roof surface or parapet, whichever is the greater;
 - ii. in the case of a sloped roof, the mean height between the eaves and the ridge; or,
 - iii. In the case of any structure with no roof, the highest point of the structure.
- Driveway** Means a vehicular accessway which provides access from a public road or private road to parking spaces, loading spaces or drop-off areas.
- Driveway, Private** Means a driveway providing direct access from a road directly to parking spaces devoted to a dwelling unit, including parking spaces within a private garage, carport or
- Driveway Width** Means the measurement of the line drawn perpendicular to the path of travel of a motor vehicle at the driveway's widest point
- Lot Frontage** Means the width of a lot between the side lot lines, measured perpendicular to the line joining the mid-point of the front lot line and mid-point of the rear lot line, at a point 6.4 m from the front lot line

CITY OF VAUGHAN, BY-LAW 001-2021

SECTION 4.13 PERMITTED ENCROACHMENTS INTO REQUIRED YARD.

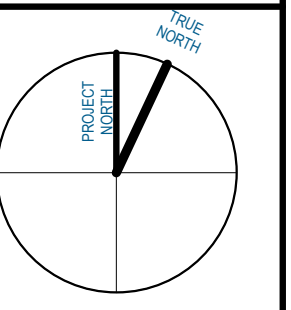
TABLE 4-1		
ACCESS STAIRS, OPEN, UNENCLOSED.	INTERIOR YARD:	0.3M
	FRONT / REAR YARD:	1.8M
AWNING AND CANOPIES ATTACHED.	ANY REQUIRED YARD:	0.6M
CHIMNEY OR FIREPLACE ENCLOSURE.	ANY REQUIRED YARD:	0.6M
EAVES, EAVESTROUGHS, AND GUTTERS.	ANY REQUIRED YARD:	0.5M
PORCH, INCLUDING ACCESS STAIRS FROM GRADE	FRONT / REAR & EXTERIOR SIDE YARD	2.0M, BUT NOT CLOSER THAN 1.2 FROM THE APPLICABLE LOT LINE

SECTION 6.7. DRIVEWAYS ASSOCIATED WITH RESIDENTIAL USES.

- 6.7.1 PARKING SPACE LOCATION**
IN A RESIDENTIAL ZONE, A REQUIRED PARKING SPACE SHALL BE LOCATED IN A GARAGE, CARPORT, OR IN AN OPEN SPACE LOCATED IN A DRIVEWAY.
- 6.7.2 MAXIMUM NUMBER OF DRIVEWAYS**
1. A MAXIMUM OF ONE DRIVEWAY PER LOT SHALL BE PERMITTED IN THE R1, R2, R3, R4, AND R5 ZONES
2. IN ALL OTHER RESIDENTIAL ZONES, A MAXIMUM OF ONE DRIVEWAY PER DWELLING UNIT SHALL BE PERMITTED, PROVIDED ALL OTHER REQUIREMENTS OF THIS BY-LAY 001-2021 ARE SATISFIED
- 6.7.3 DRIVEWAY WIDTH**
1. IN A RESIDENTIAL ZONE, THE MINIMUM WIDTH OF A DRIVEWAY SHALL BE 2.6m
2. IN A RESIDENTIAL ZONE, THE MAXIMUM DRIVEWAY WIDTH OF A DRIVEWAY SHALL BE SUBJECT TO THE REQUIREMENTS OF TABLE 6-11

TABLE 6-11	MAX. DRIVEWAY WIDTH
LOT FRONTAGE	
12.0 m OR GREATER	9.0 m

CLIENT & PROJECT ADDRESS:
NEW RESIDENTIAL CONSTRUCTION
**7808 YONGE STREET,
VAUGHAN, ON. L4J 1W3**



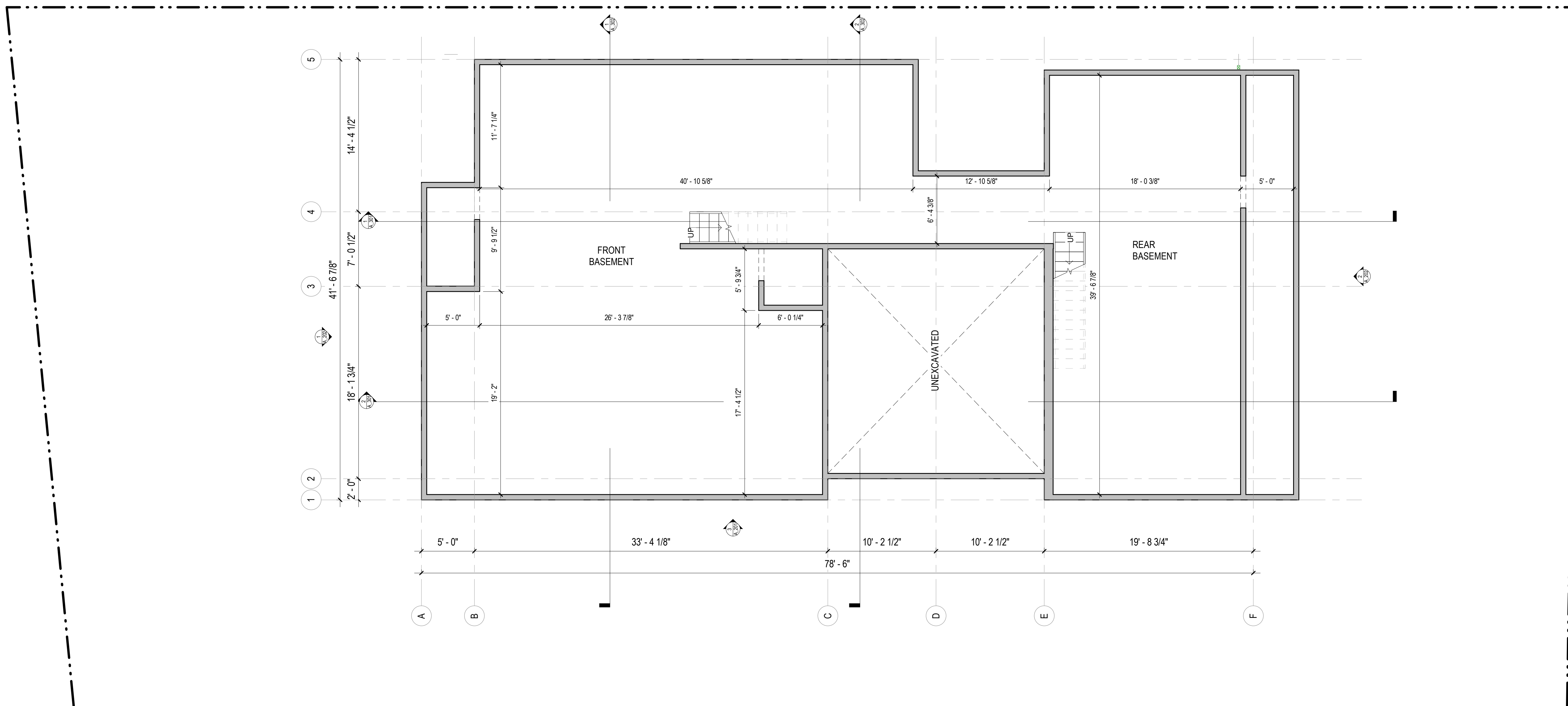
CURRENT REVISION & DATE: 11/04/2022
11: CITY'S 2nd SUBMISSION REVISED

SCOPE:
NEW CONSTRUCTION

SHEET NAME:
SITE STATS

PREPARED BY: DM	APPROVED BY: DD
PROJECT No. 020-069	DRAWING No. A_003

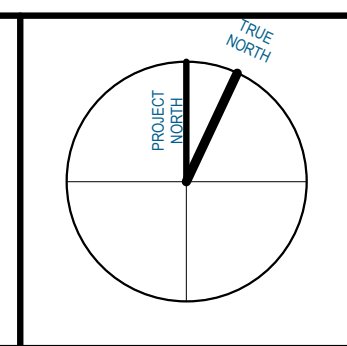
DUTRA ARCHITECT INC.
DESIGN & DEVELOPMENT CONSULTANTS
49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1
TEL: (416) 575-9513 FAX: (416) 579-8567



1 A_100 BASEMENT PROPOSED
A_100 SCALE: 1/8"

11	CITY'S 2nd SUBMISSION REVISED	DAI	11/04/2022
8	REVISED DRAWINGS	DAI	03/03/2022
No.	ISSUED FOR	BY	MM/DD/YY

CLIENT & PROJECT ADDRESS:
NEW RESIDENTIAL CONSTRUCTION
 7808 YONGE STREET,
 VAUGHAN, ON. L4J 1W3



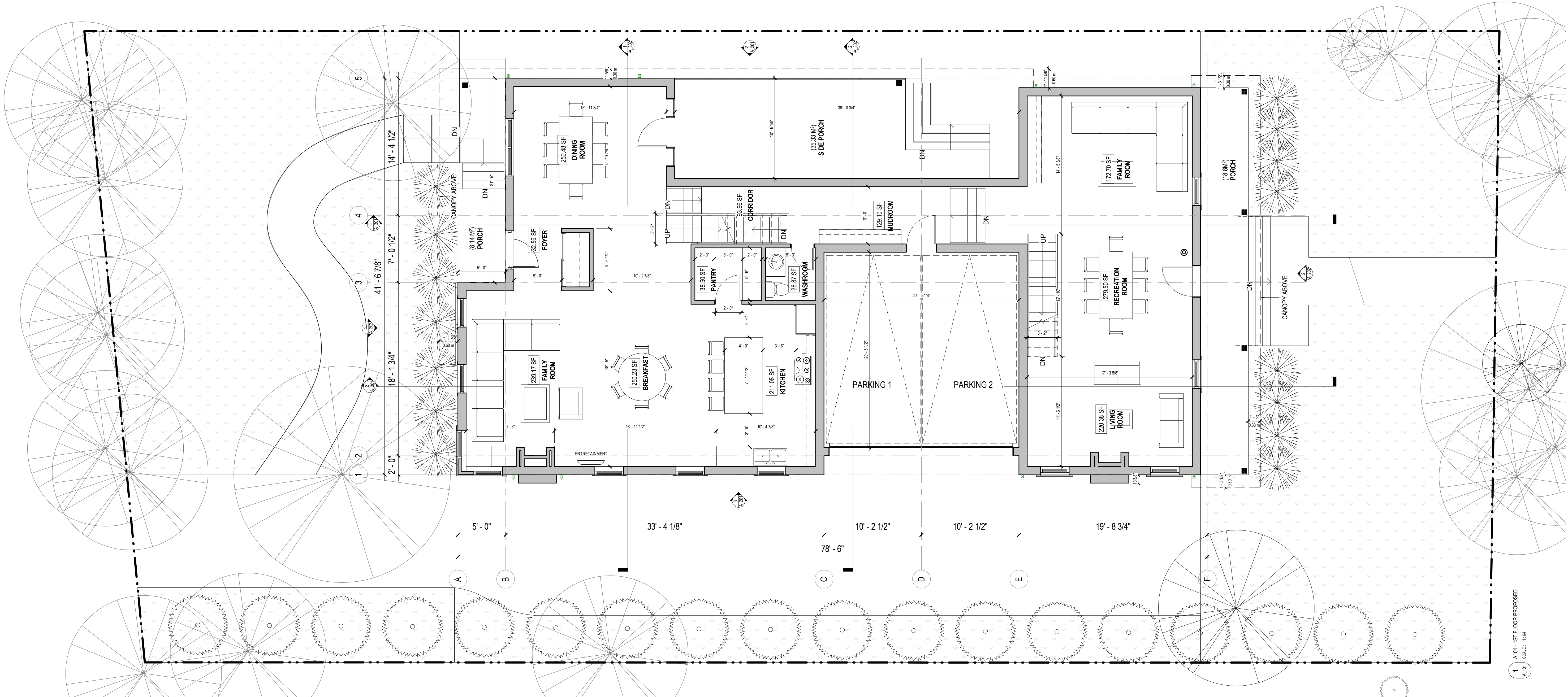
CURRENT REVISION & DATE: 11/04/2022
 11: CITY'S 2nd SUBMISSION REVISED

SCOPE:
 NEW CONSTRUCTION

SHEET NAME:
 BASEMENT PROPOSED

PREPARED BY: DM	APPROVED BY: DD
PROJECT No. 020-069	DRAWING No. A_100

DUTRA ARCHITECT INC.
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 49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1
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1 A101 - 1ST FLOOR PROPOSED
A, 101 SCALE: 1/8"

CLIENT & PROJECT ADDRESS:
NEW RESIDENTIAL CONSTRUCTION

**7808 YONGE STREET,
VAUGHAN, ON. L4J 1W3**

CURRENT REVISION & DATE: 11/04/2022
11: CITY'S 2nd SUBMISSION REVISED

SCOPE:
NEW CONSTRUCTION

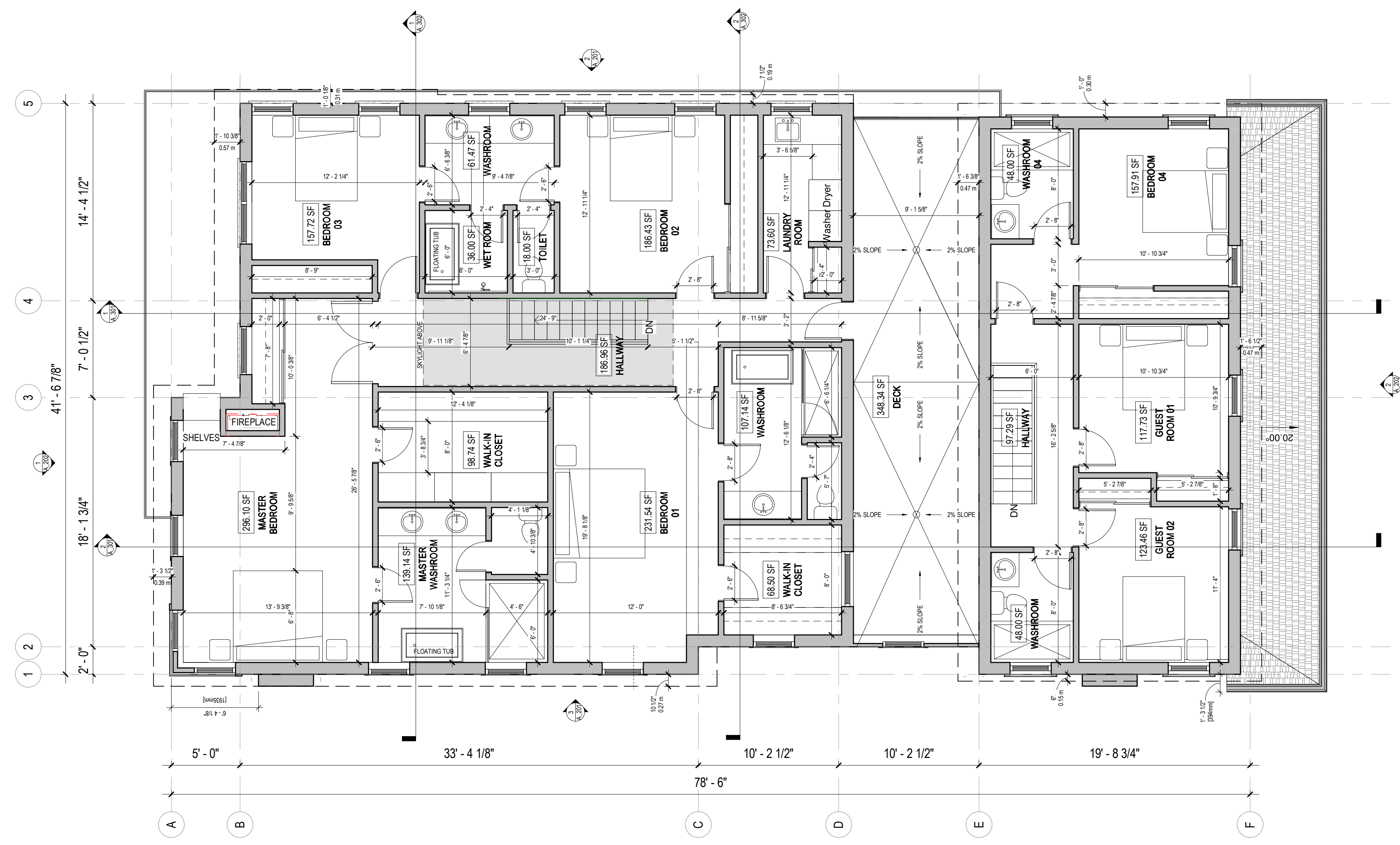
SHEET NAME:
1ST FLOOR PROPOSED

PREPARED BY: DM	APPROVED BY: DD
PROJECT No. 020-069	DRAWING No. A_101

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DESIGN & DEVELOPMENT CONSULTANTS

49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1
TEL: (416) 575-9513
FAX: (416) 579-8561

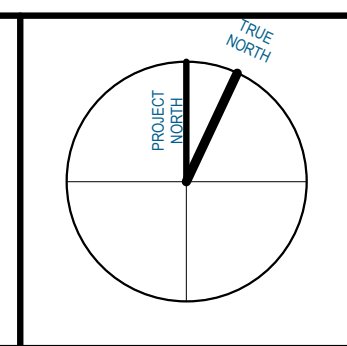
No.	ISSUED FOR	BY	MM/DD/YY
11	CITY'S 2nd SUBMISSION REVISED	DAI	11/04/2022
8	REVISED DRAWINGS	DAI	03/03/2022
7	MATERIALS REVISED	DAI	02/03/2022
6	DRAWINGS SET UPDATE	DAI	01/25/2020
5	DRAWINGS SET REVISED	DAI	11/04/2020
4	UPDATED SET	DAI	10/14/2020
3	CLIENT PRESENTATION	DAI	08/10/2020
1	PROPOSED LAYOUT 1	DAI	07/17/2020



1 A102-2ND FLOOR PROPOSED
 A_102 SCALE: 1/8"

No.	ISSUED FOR	BY	MM/DD/YY
1	PROPOSED LAYOUT 1	DAI	07/17/2020
3	CLIENT PRESENTATION	DAI	08/10/2020
4	UPDATED SET	DAI	10/14/2020
5	DRAWINGS SET REVISED	DAI	11/04/2020
6	DRAWINGS SET UPDATE	DAI	01/25/2020
7	MATERIALS REVISED	DAI	02/03/2022
8	REVISED DRAWINGS	DAI	03/03/2022
11	CITY'S 2nd SUBMISSION REVISED	DAI	11/04/2022

CLIENT & PROJECT ADDRESS:
NEW RESIDENTIAL CONSTRUCTION
 7808 YONGE STREET,
 VAUGHAN, ON. L4J 1W3



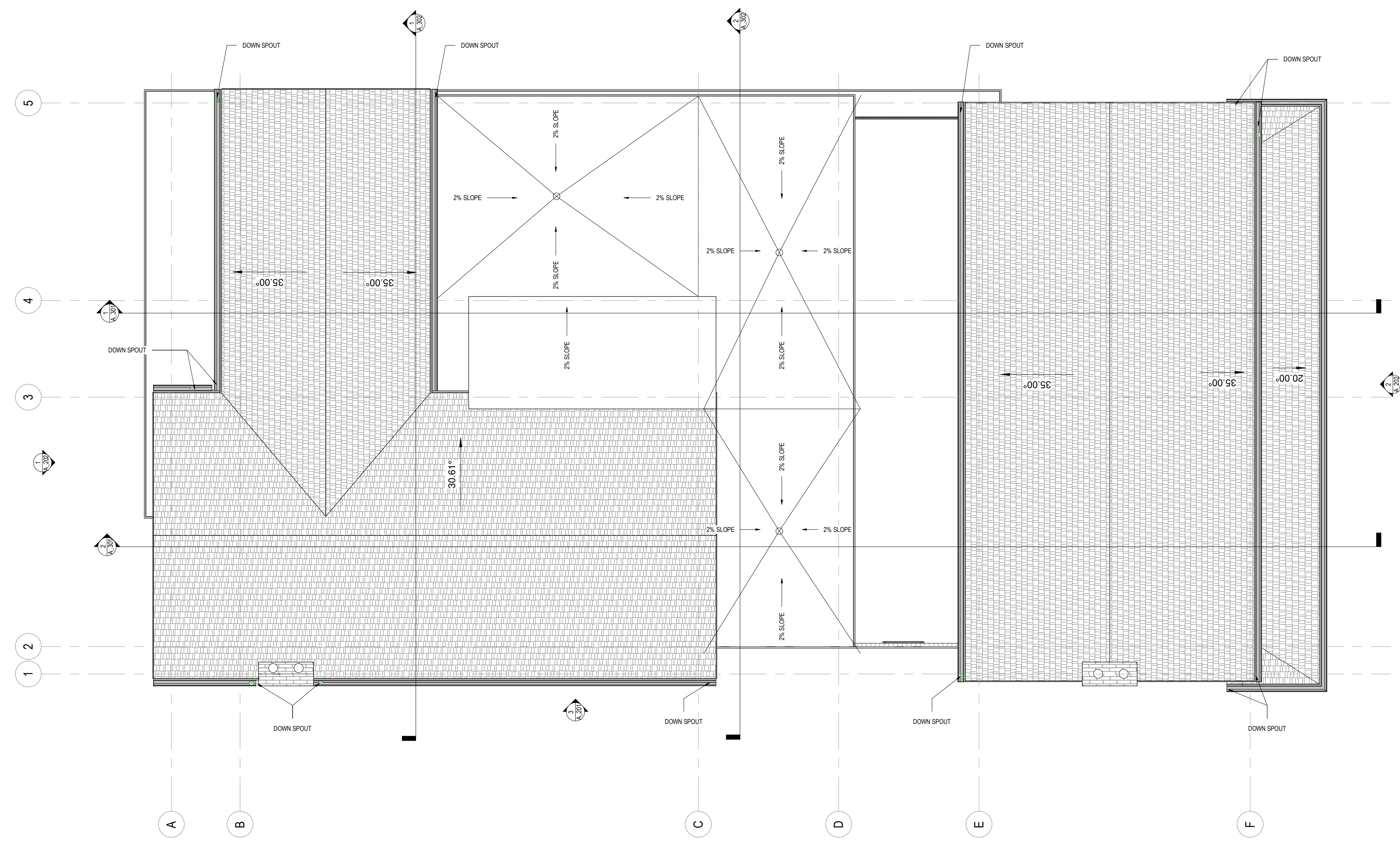
CURRENT REVISION & DATE: 11/04/2022
 11: CITY'S 2nd SUBMISSION REVISED

SCOPE:
 NEW CONSTRUCTION

SHEET NAME:
 2ND FLOOR PROPOSED

PREPARED BY: DM	APPROVED BY: DD
PROJECT No. 020-069	DRAWING No. A_102

DUTRA ARCHITECT INC.
 DESIGN & DEVELOPMENT CONSULTANTS
 49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1
 TEL: (416) 575-9513 FAX: (416) 579-8567

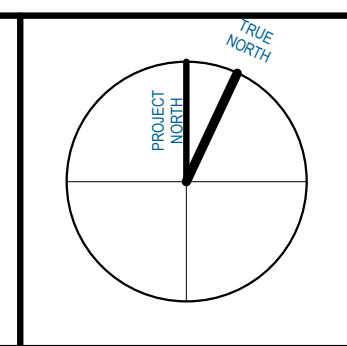


1 ROOF PLAN
A.103 / SCALE: 1/4"

12	CITY'S COMMENTS REVISED	DAI	03/22/2023
11	CITY'S 2nd SUBMISSION REVISED	DAI	11/04/2022
8	REVISED DRAWINGS	DAI	03/03/2022
7	MATERIALS REVISED	DAI	02/03/2022
6	DRAWINGS SET UPDATE	DAI	01/25/2020
5	DRAWINGS SET REVISED	DAI	11/04/2020
4	UPDATED SET	DAI	10/14/2020
3	CLIENT PRESENTATION	DAI	08/10/2020
No.	ISSUED FOR	BY	MM/DD/YY

CLIENT & PROJECT ADDRESS:
NEW RESIDENTIAL CONSTRUCTION

7808 YONGE STREET,
 VAUGHAN, ON. L4J 1W3



CURRENT REVISION & DATE: 03/22/2023
 12: CITY'S COMMENTS REVISED

SCOPE:
 NEW CONSTRUCTION

SHEET NAME:
 ROOF PLAN

PREPARED BY: DM	APPROVED BY: DD
PROJECT No. 020-069	DRAWING No. A_103

DUTRA ARCHITECT INC.
 DESIGN & DEVELOPMENT CONSULTANTS

49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1
 TEL: (416) 575-9513 FAX: (416) 579-8567

12	CITY'S COMMENTS REVISED	DAI	03/22/2023
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4	UPDATED SET	DAI	10/14/2020
3	CLIENT PRESENTATION	DAI	08/10/2020
No.	ISSUED FOR	BY	MM/DD/YY



SOUTH ELEVATION

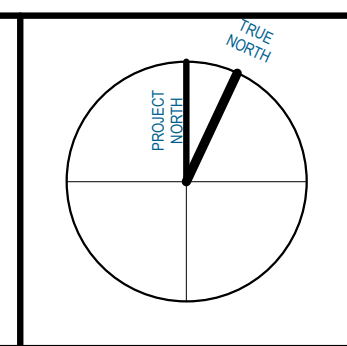


NORTH ELEVATION

UNPROTECTED OPENING CALCULATION

NORTH FACE	
LIMITING DISTANCE:	1.5 m
PERMITTED UPO:	8%
DWELLING UNIT	
EXPOSING BUILDING FACE AREA:	138.47 m ²
UNPROTECTED OPENING AREA:	9.75 m ²
CURRENT UPO:	7.04%

CLIENT & PROJECT ADDRESS:
NEW RESIDENTIAL CONSTRUCTION
7808 YONGE STREET,
VAUGHAN, ON. L4J 1W3



CURRENT REVISION & DATE: 03/22/2023

12: CITY'S COMMENTS REVISED

SCOPE:
NEW CONSTRUCTION

SHEET NAME:
ELEVATIONS

PREPARED BY:	APPROVED BY:
DM	DD

PROJECT No.	DRAWING No.
020-069	A_201

DUTRA ARCHITECT INC.
 DESIGN & DEVELOPMENT CONSULTANTS

12	CITY'S COMMENTS REVISED	DAI	03/22/2023
11	CITY'S 2nd SUBMISSION REVISED	DAI	11/04/2022
8	REVISED DRAWINGS	DAI	03/03/2022
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5	DRAWINGS SET REVISED	DAI	11/04/2020
4	UPDATED SET	DAI	10/14/2020
3	CLIENT PRESENTATION	DAI	08/10/2020
No.	ISSUED FOR	BY	MM/DD/YY

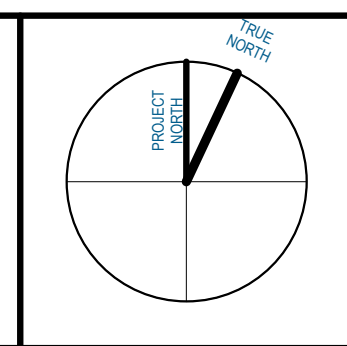


ELEVATION FROM OLD YONGE ST. (WEST)



ELEVATION FROM YONGE ST. (EAST)

CLIENT & PROJECT ADDRESS:
NEW RESIDENTIAL CONSTRUCTION
 7808 YONGE STREET,
 VAUGHAN, ON. L4J 1W3



CURRENT REVISION & DATE: 03/22/2023

12: CITY'S COMMENTS REVISED

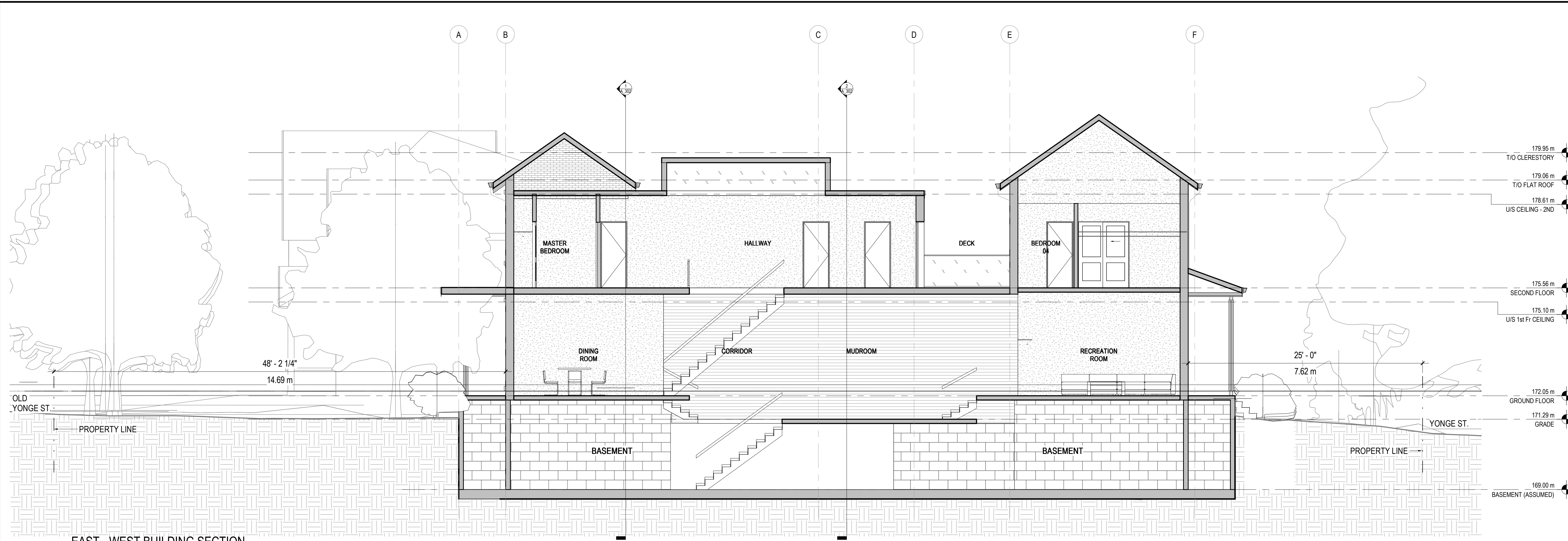
SCOPE:
 NEW CONSTRUCTION

SHEET NAME:
 ELEVATIONS

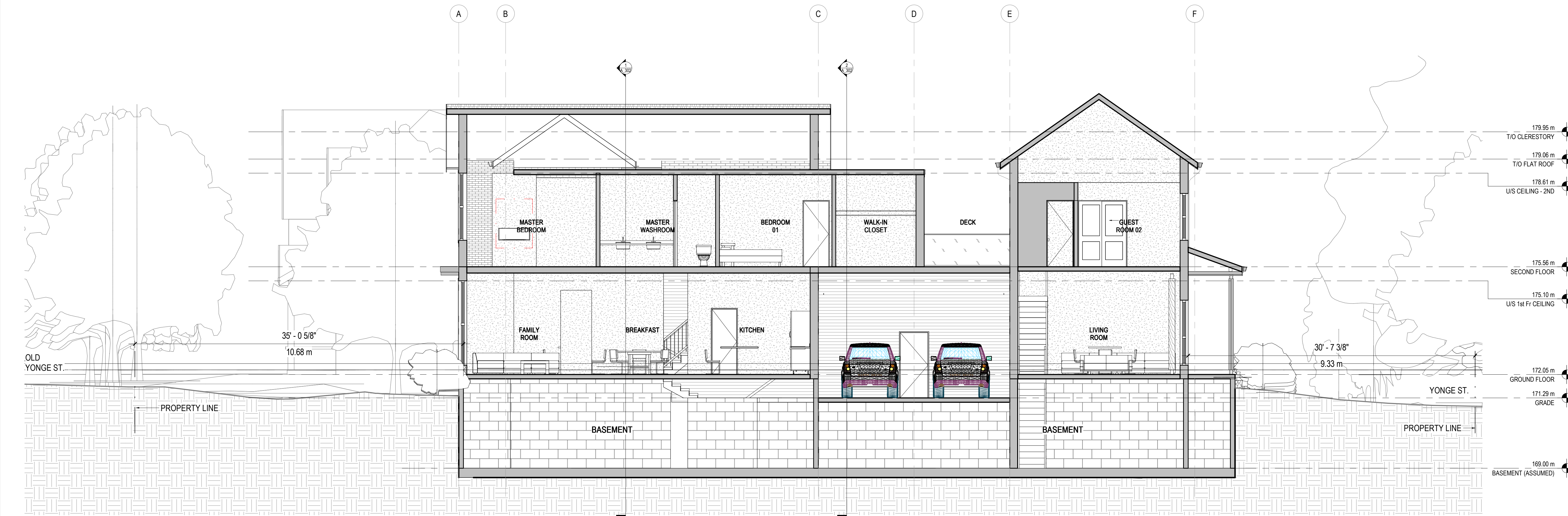
PREPARED BY: DM APPROVED BY: DD

PROJECT No. 020-069 DRAWING No. A_202

DUTRA ARCHITECT INC.
 DESIGN & DEVELOPMENT CONSULTANTS



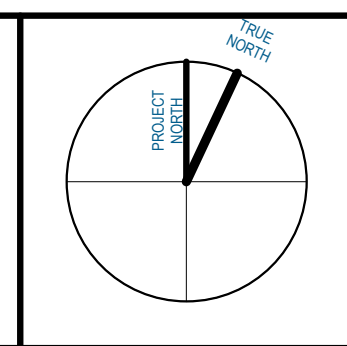
EAST - WEST BUILDING SECTION



EAST - WEST BUILDING SECTION

No.	ISSUED FOR	BY	MM/DD/YY
11	CITY'S 2nd SUBMISSION REVISED	DAI	11/04/2022
8	REVISED DRAWINGS	DAI	03/03/2022
7	MATERIALS REVISED	DAI	02/03/2022
6	DRAWINGS SET UPDATE	DAI	01/25/2020

CLIENT & PROJECT ADDRESS:
NEW RESIDENTIAL CONSTRUCTION
 7808 YONGE STREET,
 VAUGHAN, ON. L4J 1W3



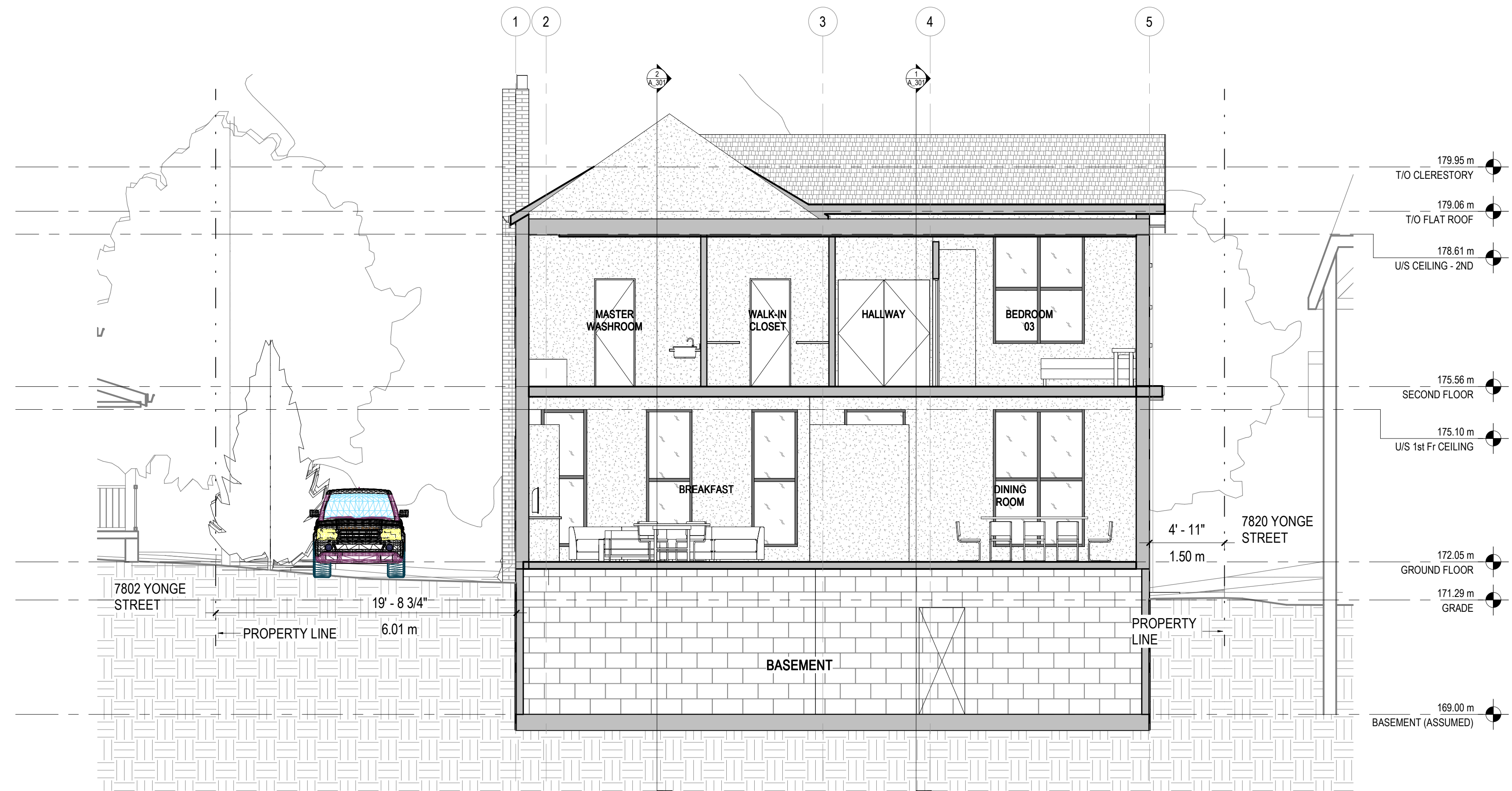
CURRENT REVISION & DATE: 11/04/2022
 11: CITY'S 2nd SUBMISSION REVISED

SCOPE:
 NEW CONSTRUCTION

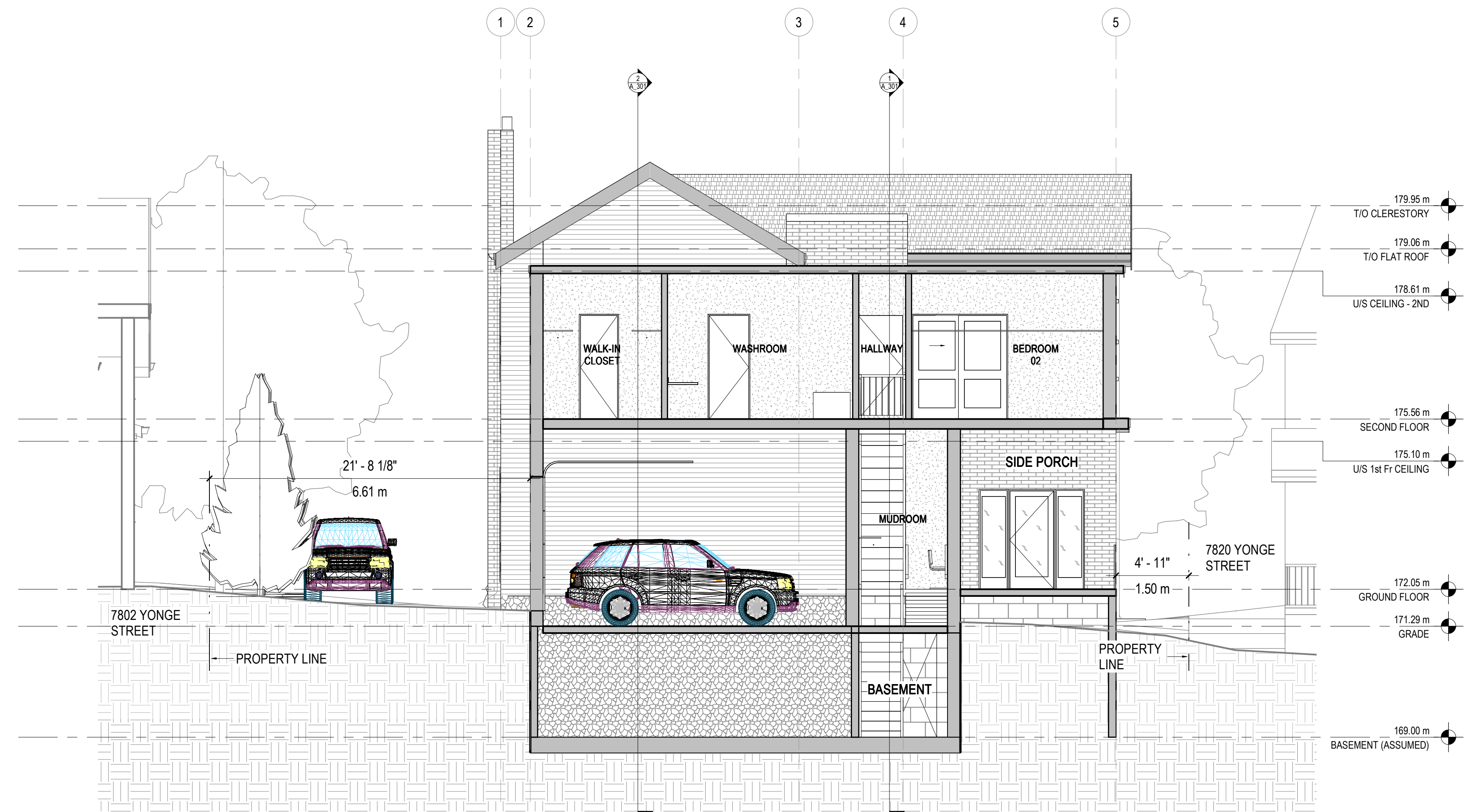
SHEET NAME:
 CROSS SECTIONS

PREPARED BY: DM	APPROVED BY: DD
PROJECT No. 020-069	DRAWING No. A_301

DUTRA ARCHITECT INC.
 DESIGN & DEVELOPMENT CONSULTANTS
49 SPADINA AVENUE, SUITE 301, TORONTO, ONTARIO, M5V 2J1
 TEL: (416) 575-9513 FAX: (416) 579-8567



NORTH - SOUTH BUILDING SECTION

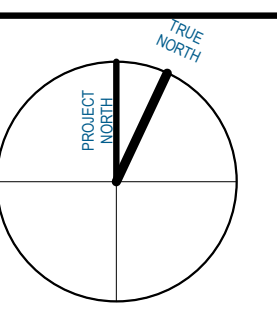


NORTH - SOUTH BUILDING SECTION

11	CITY'S 2nd SUBMISSION REVISED	DAI	11/04/2022
8	REVISED DRAWINGS	DAI	03/03/2022
7	MATERIALS REVISED	DAI	02/03/2022
6	DRAWINGS SET UPDATE	DAI	01/25/2020
No.	ISSUED FOR	BY	MM/DD/YY

CLIENT & PROJECT ADDRESS:
NEW RESIDENTIAL CONSTRUCTION

**7808 YONGE STREET,
 VAUGHAN, ON. L4J 1W3**



CURRENT REVISION & DATE: 11/04/2022
 11: CITY'S 2nd SUBMISSION REVISED

SCOPE:
 NEW CONSTRUCTION

SHEET NAME:
 CROSS SECTIONS

PREPARED BY: DM	APPROVED BY: DD
PROJECT No. 020-069	DRAWING No. A_302

DUTRA ARCHITECT INC.
 DESIGN & DEVELOPMENT CONSULTANTS

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12	CITY'S COMMENTS REVISED	DAI	03/22/2023
11	CITY'S 2nd SUBMISSION REVISED	DAI	11/04/2022
8	REVISED DRAWINGS	DAI	03/03/2022
6	DRAWINGS SET UPDATE	DAI	01/25/2020
5	DRAWINGS SET REVISED	DAI	11/04/2020
No.	ISSUED FOR	BY	MM/DD/YY



STREET ELEVATION - OLD YONGE STREET



STREET ELEVATION - YONGE STREET

CLIENT & PROJECT ADDRESS:
NEW RESIDENTIAL CONSTRUCTION

**7808 YONGE STREET,
 VAUGHAN, ON. L4J 1W3**

CURRENT REVISION & DATE: 03/22/2023
 12: CITY'S COMMENTS REVISED

SCOPE:
 NEW CONSTRUCTION

SHEET NAME:
 STREET ELEVATIONS

PREPARED BY: DM	APPROVED BY: DD
PROJECT No. 020-069	DRAWING No. A_401

DUTRA ARCHITECT INC.
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12	CITY'S COMMENTS REVISED	DAI	03/22/2023
11	CITY'S 2nd SUBMISSION REVISED	DAI	11/04/2022
8	REVISED DRAWINGS	DAI	03/03/2022
6	DRAWINGS SET UPDATE	DAI	01/25/2020
No.	ISSUED FOR	BY	MM/DD/YY



STREET ELEVATION - NORTH SIDE



STREET ELEVATION - SOUTH SIDE

CLIENT & PROJECT ADDRESS:
NEW RESIDENTIAL CONSTRUCTION

**7808 YONGE STREET,
 VAUGHAN, ON. L4J 1W3**

CURRENT REVISION & DATE: 03/22/2023
 12: CITY'S COMMENTS REVISED

SCOPE:
 NEW CONSTRUCTION

SHEET NAME:
 SIDE ELEVATION RENDER

PREPARED BY: DM	APPROVED BY: DD
PROJECT No. 020-069	DRAWING No. A_402

DUTRA ARCHITECT INC.
 DESIGN & DEVELOPMENT CONSULTANTS

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