

**ATTACHMENT 2  
56-66 WALLACE**

**CULTURAL HERITAGE IMPACT  
ASSESSMENT and  
WOODBIDGE HERITAGE DISTRICT  
CONFORMITY REPORT**

**56 and 66 Wallace Street  
and  
1 Memorial Hill Drive**

**Woodbridge District  
Vaughan, Ontario, Canada**

**17 February 2021**

**prepared by**



architecture + planning + urban design  
+  
heritage conservation  
+  
real estate development

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www.mwhallcorp.com

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Vaughan, Ontario, Canada  
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## **1.0 INTRODUCTION TO THE DEVELOPMENT SITE**

The former village of Woodbridge is within the City of Vaughan. Woodbridge is located just north of the City of Toronto, along the Humber River, and is one of four historic villages within the City of Vaughan. Woodbridge Avenue is an early road in Woodbridge. Memorial Hill Drive was more recently developed, branching off Wallace Street. Woodbridge Avenue was the main original bridge crossing and the village commercial core. It is west of the Humber River. The properties front their respective roadways.

Woodbridge is zoned as mixed-use consisting of primarily residential land use, ranging from single family housing to mixed use condominiums, with commercial, industrial, open space and conservation areas intermixed.

There are three properties involved. They are within the Provincially Designated Woodbridge Conservation District which represent one of the highest concentrations of heritage properties in the City [source: Woodbridge Heritage Conservation District Study and Plan, April 2009]. The adjacent corner lots at 56 Wallace Street, 66 Wallace Street and 1 Memorial Hill Drive are rectangular parcels presently containing earlier 20<sup>th</sup> Century houses at 56 and 66 Wallace Street and the later 1 Memorial Hill mid-20<sup>th</sup> century houses. The properties are on the edge of the existing central historic area of the Woodbridge core area and are within the Part V Province of Ontario Woodbridge Heritage District. A main north-south rail line is located to the west of the lots and a north-south section of the Humber River is located east of these properties.

The Woodbridge Heritage District contains many heritage buildings and structures of similar scale, combined with recently redeveloped parcels, including industrial properties along the north-south rail line.

The owner of the property is planning to redevelop the existing properties and retained MW HALL CORPORATION, Heritage Conservation Consultants to prepare this Cultural Heritage Impact Assessment (CHIA) of the property and to review the planned redevelopment of the properties relative to compatibility with the heritage district.

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This planned project for the properties involves:

- Demolish existing dwelling at 56 Wallace Street, construct new triplex on site
- Revise the existing dwelling at 66 Wallace Street with garage access from Wallace Street
- Remove the roof and attic of 1 Memorial Hill Drive and construct new duplex on site

The subject properties are owned by:

E. Star International Inc./Midland Clothing Inc.  
259 Steelcase Road West, Unit 2  
Markham, Ontario L3R 2P6  
ATTENTION: Yudi Shen, Executive Assistant

Contact information is as follows:

Mr. Qianqiao Shu (Harry), Associate Planner  
Evans Planning Inc.  
8481 Keele Street, Unit 12  
Vaughan, Ontario L4K 1Z7  
Tel: (647) 881 8740  
Email: qzhu@evansplanning.com

## **2.0 BACKGROUND RESEARCH AND ANALYSIS**

This Cultural Heritage Impact Assessment (CHIA) reflects the City of Vaughan Guidelines for Cultural Heritage Impact Assessments, updated February 2017.

## **3.0 STATEMENT OF SIGNIFICANCE**

These properties are located within the boundaries of the Woodbridge Heritage District. 1 Memorial Hill Drive is located to the rear of 56 Wallace Street and was constructed in a more recent era. The architectural character of 56 and 66 Wallace Street indicates that they were constructed in the early 20<sup>th</sup> century, while the architectural character of 1 Memorial Hill Drive is a late 20<sup>th</sup> century ranch style house. The existing single-family residences at 56 and 66 Wallace Street are 1 ½ storey brick and wood single family house with



large front porches facing Wallace Street and detached garages at the rear of the lot. These houses are similar to adjacent single-family houses in architectural character but are not Listed or Designated heritage buildings.

The existing residential single-family residence at 1 Memorial Hill Drive is a single storey, late 20<sup>th</sup> century ranch style building with an attached garage. 56 and 66 Wallace Street are contributing to the heritage district because of similarity to adjacent residences of similar style and vintage.

#### **4.0 ASSESSMENT OF EXISTING CONDITION**

The existing houses are presently in use and appear to be in relatively sound physical condition. However, in the instance of the 1 Memorial Hill Drive house, the architectural style of this building is not a positive contribution to the design character experience of the Woodbridge Heritage District.

#### **5.0 DESCRIPTION OF PROPOSED DEVELOPMENT OR SITE ALTERATION**

The owner plans to modify three existing adjacent residences in the heritage district. Plans are to remove the existing building at 56 Wallace Street, to remove/replace the roof and attic of 1 Memorial Hill Drive and to construct new/reconstructed residences on these lots. There are also plans to revise the property at 66 Wallace Street to add a driveway with direct access from/to Wallace Street. Architectural character of these revisions to the lands reflects the requirements of the Woodbridge District Conservation Plan. [see appendix]

#### **6.0 IMPACT OF DEVELOPMENT ON SITE ALTERATION**

Planned removal of 56 Wallace Street and reconstruction will replace one residence presently in the existing row of early 20<sup>th</sup> century houses on Wallace Street and introduce a new structure designed of this early 20<sup>th</sup> century era that would conform to the Woodbridge Heritage District Guidelines for new structures. 66 Wallace Street would be retained with change of the existing driveway to the existing house to be from/to Wallace Street directly. The scale of the structures would be similar to the existing scale of the remaining adjacent

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single-family residences on Wallace Street. Reconstruction of the residence at 1 Memorial Hill Drive, which is presently late 20 century ranch style, will be more in keeping with the heritage district guidelines. The planned improvements to the properties are in conformance with the Woodbridge Heritage District Conservation plan of April 2009.

It should be noted that proposed changes to this cluster of houses within the Woodbridge Heritage District is sensitively designed in accord with the Guidelines for the Heritage District and will, overall, be a positive improvement to this portion of the District. Design of the houses are architecturally sympathetic with the heritage design character of other houses on Wallace Street, and in the instance of the property on Memorial Hill Drive is substantially more sympathetic with the architectural character of the District, while accommodating the automobile into the new buildings to be constructed. Further, the pedestrian experience along Wallace Street will be improved by the planned new development.

The planned development provides for intensification of the Woodbridge Heritage District while, by respecting Heritage District Guidelines expands availability of housing in the district in a manner that reinforces the architectural character of the District as compared to earlier intensification to the north of Wallace Avenue.

## **7.0 WOODBRIDGE HERITAGE DISTRICT CONFORMITY**

Section 6.1.3 of the Woodbridge Heritage District Plan and Guidelines specifically addresses Wallace Street heritage attributes. Specifically, section 1 of the Guidelines states *'The Street should retain the existing residential character with a single family detached building type and be designed to support a pedestrian streetscape. Where the Official Plan permits, duplexes, triplexes and quadraplexes may be permitted provided they are carefully designed to appear as single detached dwellings, sensitive abutting contributing buildings and landscapes, and provided they maintain existing side yard and front yard setbacks, are of a similar building height, and are of a building frontage width which is consistent with adjacent single detached dwellings'*.

Design of the replacement structures is based substantially upon Woodbridge Heritage District Attributes and District Guidelines for Wallace Street. The designs have a 'residential street character' that is pedestrian oriented. The designs comply with the recommendation of

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predominantly 2 to 3 storeys in height. From Wallace Street, side yards maintain views towards the hillside on the west. The structures have pitched roofs, similar to the structures that they replace. Façade details and window proportions are similar to the structures in this area of Wallace Street.

## **8.0 ALTERNATIVES AND MITIGATION STRATEGIES**

Proposed plans for the sites are consistent with the Woodbridge Heritage District and enhance the heritage district with the planned improvements. It is important that the design of the planned improvements is coordinated with a heritage architect who works with the Woodbridge Heritage District Guidelines for new development.

## **9.0 CONSERVATION STRATEGY**

Existing Conservation Strategy is noted above: work with the owner of the properties to create changes planned to have the improvements conform to the Woodbridge Heritage District. Plans for changes to these properties will be submitted to staff for review and approval.

This Cultural Heritage Resource Impact Assessment is respectfully submitted by,

Mark Hall, OAA, RAIC, FAIA, RPP, CAHP



Principal  
MW HALL CORPORATION

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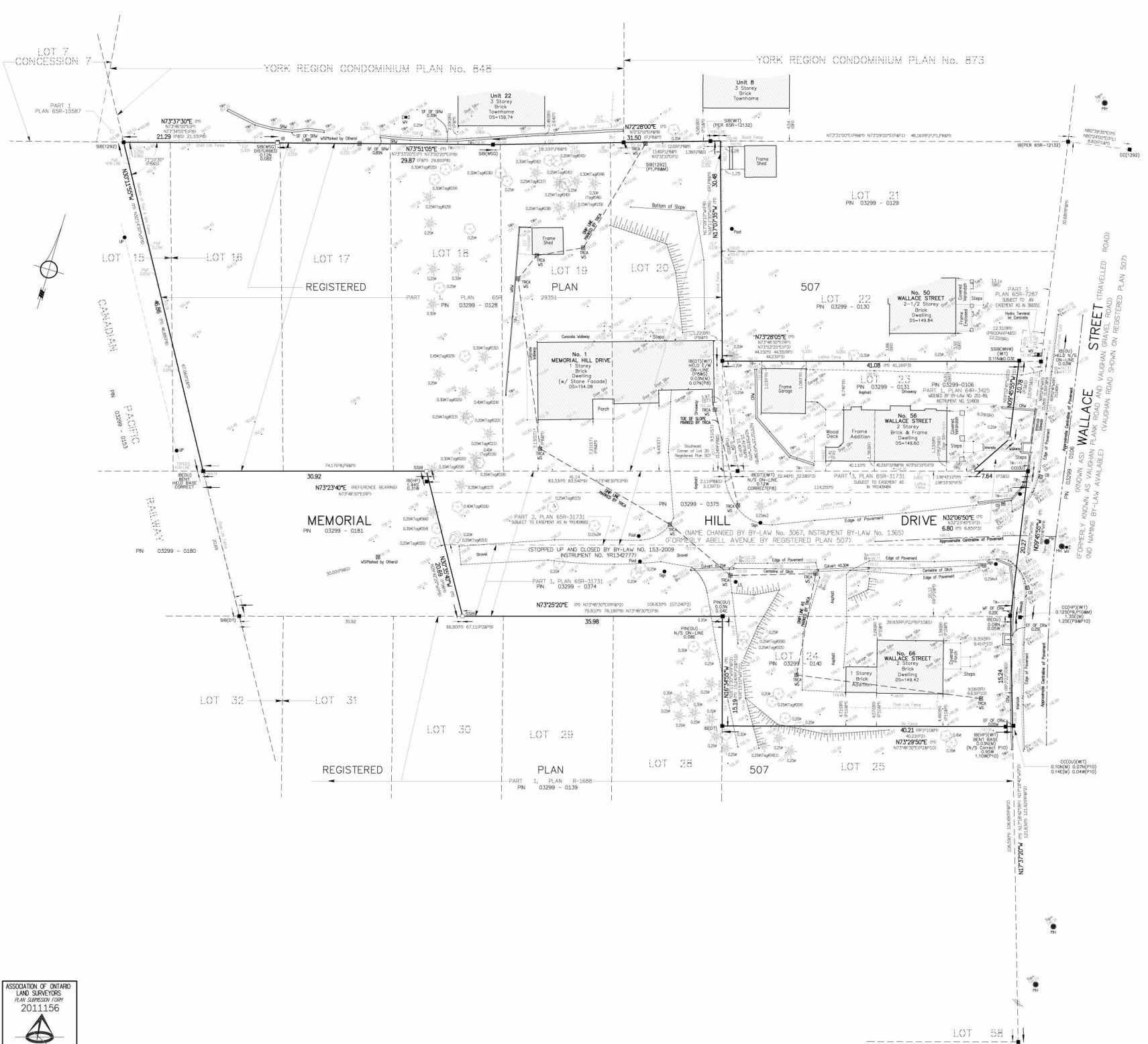
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REFERENCES

- a) Woodbridge Heritage Conservation District Study and Plan, April 2009
- b) Vaughan Official Plan, Land Use, 2010
- c) City of Vaughan Guidelines for Cultural Heritage Impact Assessments

APPENDICES

- 1 Property Survey
- 2 Photographs of existing buildings, 56 and 66 Wallace Street and 1 Memorial Hill Drive
- 3 Photographs of adjacent buildings on Wallace Street
- 4 Vicinity Map, Woodbridge, City of Vaughan, Ontario
- 5 Aerial Photograph of Vicinity of subject property
- 6 1860 Tremaine Map, excerpt showing approximate property location
- 7 1880 County Atlas Map of Vaughan, excerpt showing location of 56 Wallace Street and 1 Memorial Hill Drive
- 8 Vaughan Official Plan map
- 9 Heritage Conservation District Map, Woodbridge
- 10 Drawings of planned redevelopment of subject properties
- 11 Curriculum Vitae, Mark Hall, OAA, MRAIC, FAIA, RPP, CAHP



SURVEYOR'S REAL PROPERTY REPORT - PART 1  
**PLAN OF**  
**LOTS 17, 18, 19, 20 AND 24 &**  
**PART OF LOTS 15, 16 AND 23 &**  
**PART OF MEMORIAL HILL DRIVE**  
**(FORMERLY ABELL AVENUE)**  
**(NAME CHANGED BY BY-LAW NO.3067)**  
**(STOPPED UP AND CLOSED BY BY-LAW**  
**NO. 153-2009, INSTRUMENT NO. YR1342777)**  
**REGISTERED PLAN 507**  
**CITY OF VAUGHAN**  
**(FORMERLY VILLAGE OF WOODBRIDGE)**  
**REGIONAL MUNICIPALITY OF YORK**  
**SCALE 1:250**

© COPYRIGHT  
**PEARSON & PEARSON SURVEYING LTD. 2017**  
**Metric**  
**Ontario Land Surveyors**  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**Part 2**  
 1.THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES WAS BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLE DOCUMENTS, REGISTERED PLANS AND ON THE EVIDENCE OF PRIOR SURVEYS FOUND DURING THE COURSE OF OR IN CONNECTION WITH THE SUBJECT SURVEY.  
 2.THE TYPE AND LOCATION OF THE EXISTING BUILDINGS AND OTHER IMPROVEMENTS, FENCES ETC. ON OR NEAR THE SUBJECT PROPERTY ARE AS SHOWN ON THE SURVEY PLAN.  
 3.COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT CERTIFIED BY THIS REPORT.  
 4.AS WE ARE UNAWARE AT THIS TIME OF THE OWNERSHIP OR AGE OF FENCES, WE ARE UNABLE TO COMMENT AS TO ANY ENCROACHMENTS THEREBY CREATED BY THE LOCATION OF THE FENCES WITH RESPECT TO PROPERTY LINES. THE PRESENT POSITION OF THE FENCES WITH RESPECT TO THE PROPERTY LINES ARE SHOWN ON THE SURVEY PLAN.  
 A. No. 56 WALLACE STREET PN 03299-0133-NO REGISTERED EASEMENTS OR RIGHTS OF WAY ON TITLE.  
 B. No. 66 WALLACE STREET PN 03299-0140-NO REGISTERED EASEMENTS OR RIGHTS OF WAY ON TITLE.  
 C. No. 1 MEMORIAL HILL DRIVE PN 03299-0128-NO REGISTERED EASEMENTS OR RIGHTS OF WAY ON TITLE.  
 D. PN 03299-0374. TEMPORARY EASEMENT AS IN INSTRUMENT NO. YR1409669 (EXPIRED AUGUST 31, 2010).  
 E. PN 03299-0376. PART 2, PLAN 65R-31731-SUBJECT TO EASEMENT IN FAVOUR OF THE CORPORATION OF THE CITY OF VAUGHAN AS IN INSTRUMENT NO. YR1409662. PART 3, PLAN 65R-31731-SUBJECT TO EASEMENT IN FAVOUR OF ENERGE GAS DISTRIBUTION INC AS IN INSTRUMENT NO. YR1409664. TEMPORARY EASEMENT AS IN YR1409662. = EXPIRED AUG. 31,2010

**Bearing Note**  
 BEARINGS ARE ASTROMERIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF MEMORIAL HILL DRIVE (FORMERLY ABELL AVENUE) SHOWN ON PLAN 65R-29351 AS HAVING A BEARING OF N73°23'40"E.

**Legend**

D	DENOTES	SURVEY MONUMENT FOUND
DD	DENOTES	SURVEY MONUMENT SET
SB	DENOTES	STANDARD IRON BAR
SSB	DENOTES	SHORT STANDARD IRON BAR (USED WHERE BURIED UTILITY COULD BE OF CONCERN)
IB	DENOTES	IRON BAR
CC	DENOTES	CUT CROSS
OJ	DENOTES	OPEN UNKNOWN
WD	DENOTES	WITNESS
PR	DENOTES	PRODUCTION
SET	DENOTES	SET
M	DENOTES	MEASURED
WT	DENOTES	WITNESS
N/S/E/W	DENOTES	NORTH/SOUTH/EAST/WEST
S/F/N/E	DENOTES	SOUTH FACE/NORTH FACE
E/F/W/F	DENOTES	EAST FACE/WEST FACE
R1	DENOTES	REGISTERED PLAN 507
P1	DENOTES	PLAN BY HULLER CORPORATION PLAN NO. 848
P2	DENOTES	YORK REGION CONDOMINIUM PLAN NO. 873
P3	DENOTES	PLAN R-1688
P4	DENOTES	PLAN 65R-3405
P5	DENOTES	PLAN 65R-2887
P6	DENOTES	PLAN 65R-15887
P7	DENOTES	PLAN 65R-18298
P8	DENOTES	PLAN 65R-18299
P9	DENOTES	PLAN 65R-29351
P10	DENOTES	PLAN 65R-31731
HD	DENOTES	PLAN BY HULLER CORPORATION LTD., DATED MARCH 17, 2008.
HT	DENOTES	HULLER CORPORATION LTD., O.L.S.
DH	DENOTES	DUNN & TAYLOR, O.L.S.
WS	DENOTES	W.S.ROSS, O.L.S.
WD	DENOTES	WILDMAN, HADFIELD, STEWART, O.L.S.
WAL	DENOTES	WALSHMAN LIMITED, O.L.S.
L292	DENOTES	W.H.BENNETT SURVEYING LTD., O.L.S.
TRCA	DENOTES	TORONTO AND REGION CONSERVATION AUTHORITY
EA	DENOTES	EDGE OF PAVEMENT
TC	DENOTES	TOP OF CURB ELEVATION
BS	DENOTES	BOTTOM OF CURB ELEVATION
PH	DENOTES	HANDLE
CD	DENOTES	CAT-DRAIN
FR	DENOTES	FENCES
FL	DENOTES	FENCES TO FRAME
BR	DENOTES	BENCH MARK
CH	DENOTES	CHAIN LINK FENCE
PwF	DENOTES	POST AND WIRE FENCE
WF	DENOTES	WOOD FENCE
LF	DENOTES	LATTICE FENCE
LS	DENOTES	LIGHT STANDARD
WV	DENOTES	WATER VALVE
UP	DENOTES	UTILITY POLE
CRW	DENOTES	CONCRETE RETAINING WALL
WRW	DENOTES	WOOD RETAINING WALL
SRW	DENOTES	STONE RETAINING WALL
TW	DENOTES	TOP OF WALL ELEVATION
WS	DENOTES	WOOD STAKES MARKED BY TRCA ON MARCH 1, 2017, UNLESS OTHERWISE SHOWN.
TI	DENOTES	TOP OF TRENCH
BI	DENOTES	INVERT
OW	DENOTES	OVERHEAD WIRES
D	DENOTES	DIAMETER (ROUND)
DS	DENOTES	DOOR SILL ELEVATION
DT	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
CT	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER

**Note**  
 SUBSTANTIAL AMOUNT OF SNOW & ICE ACCUMULATION ON THE GROUND AT THE OF SURVEY.  
**Benchmark**  
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF VAUGHAN ELEVATION DATUM.  
 BENCHMARK: 44-28 ELEVATION = 146.014m

**Surveyor's Certificate**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON THE 13TH DAY OF APRIL, 2017.  
 Date: April 18, 2017  
 Signature: Nichole Pearson  
 Title: Ontario Land Surveyor



**1- Property Survey**

**CHELTHENHAM AVENUE**  
 (BY REGISTERED PLAN 507)  
 (NOT OPENED SHOWN ON PLAN R-1688)

10933 JANE STREET, SECOND FLOOR, MAPLE (ONTARIO) L6A 1S5  
 E.: michelle@pearsonandpearson.com  
 DRAWING: 1234-1010001/Street566666/Plan01-SPR010  
 CALC. BY JM | DRAWN BY JM | CHECKED BY MP | PROJECT: 1234

A P P E N D I X 2

56 AND 66 WALLACE STREET  
AND  
1 MEMORIAL HILL DRIVE  
VAUGHAN, ON

PHOTOGRAPHS - EXTERIOR



56 Wallace Street, Vaughan



View from east

56 Wallace Street, Vaughan



View from south



View from east



56 Wallace Street, Vaughan



Garage, view from east



Backyard, view from east



66 Wallace Street, Vaughan



View from east



66 Wallace Street, Vaughan



View from south



# 1 Memorial Hill Drive, Vaughan



Front elevation, view from south



# 1 Memorial Hill Drive, Vaughan



Rear elevation, view from west



# 1 Memorial Hill Drive, Vaughan



Shed, view from south



West elevation, view from south

A P P E N D I X 3

WALLACE STREET  
VAUGHAN, ON

PHOTOGRAPHS - EXTERIOR



## Wallace Street, Vaughan



50 Wallace, view from east



44 Wallace, view from east



## Wallace Street, Vaughan



57 Wallace, view from west



49 Wallace, view from west

## Wallace Street, Vaughan

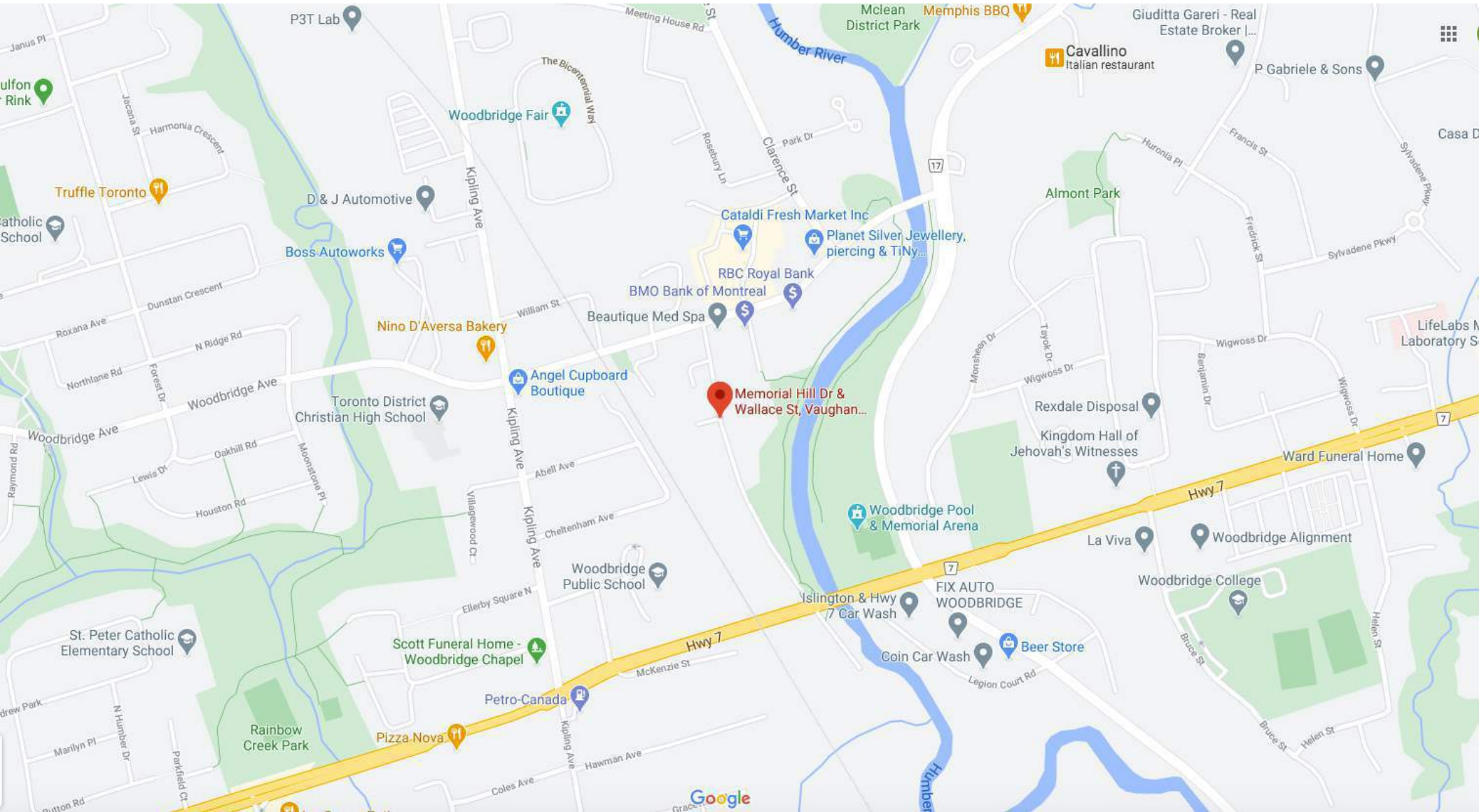


33 Wallace, view from west

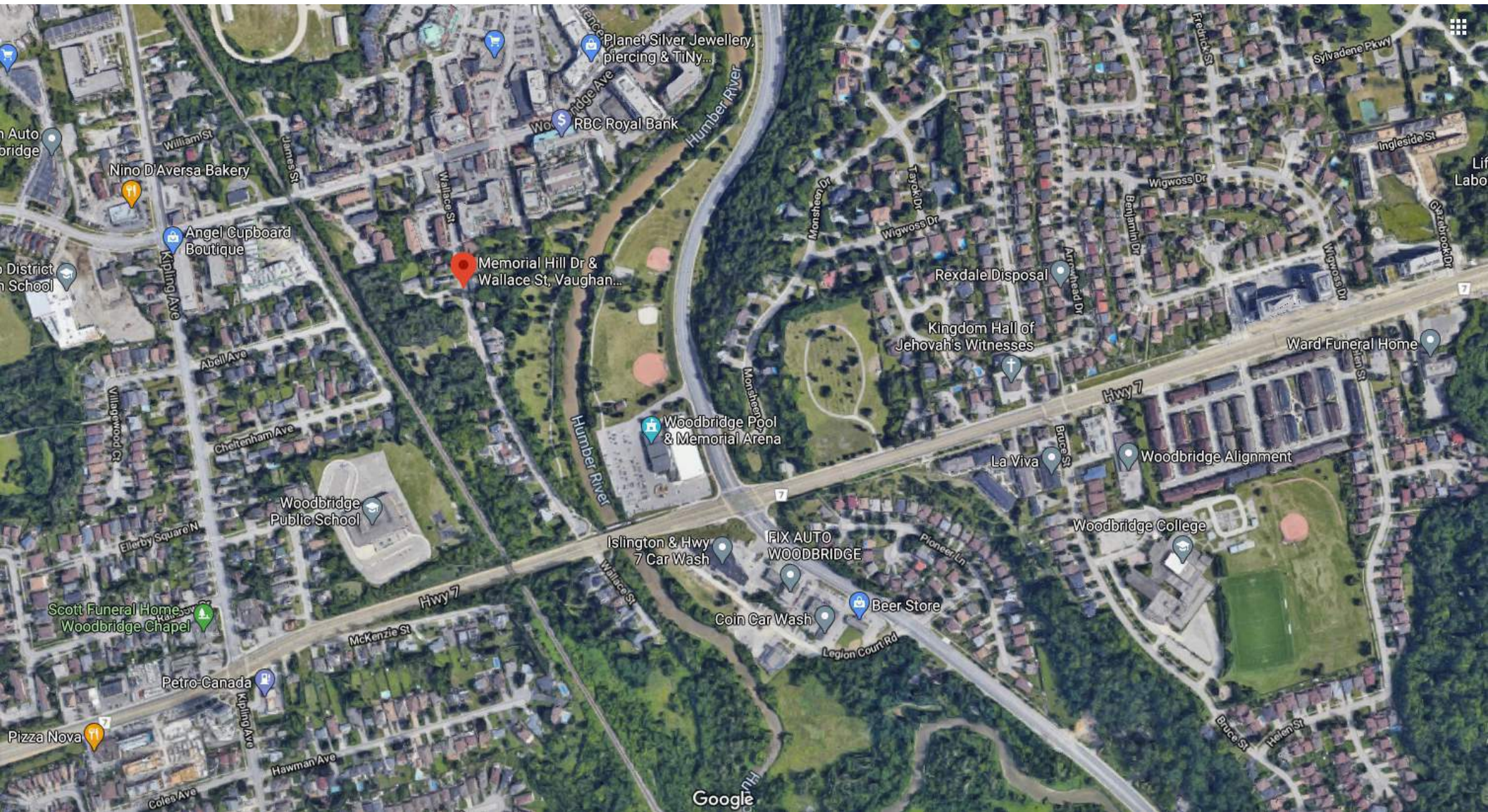


Wallace townhouses, view from east

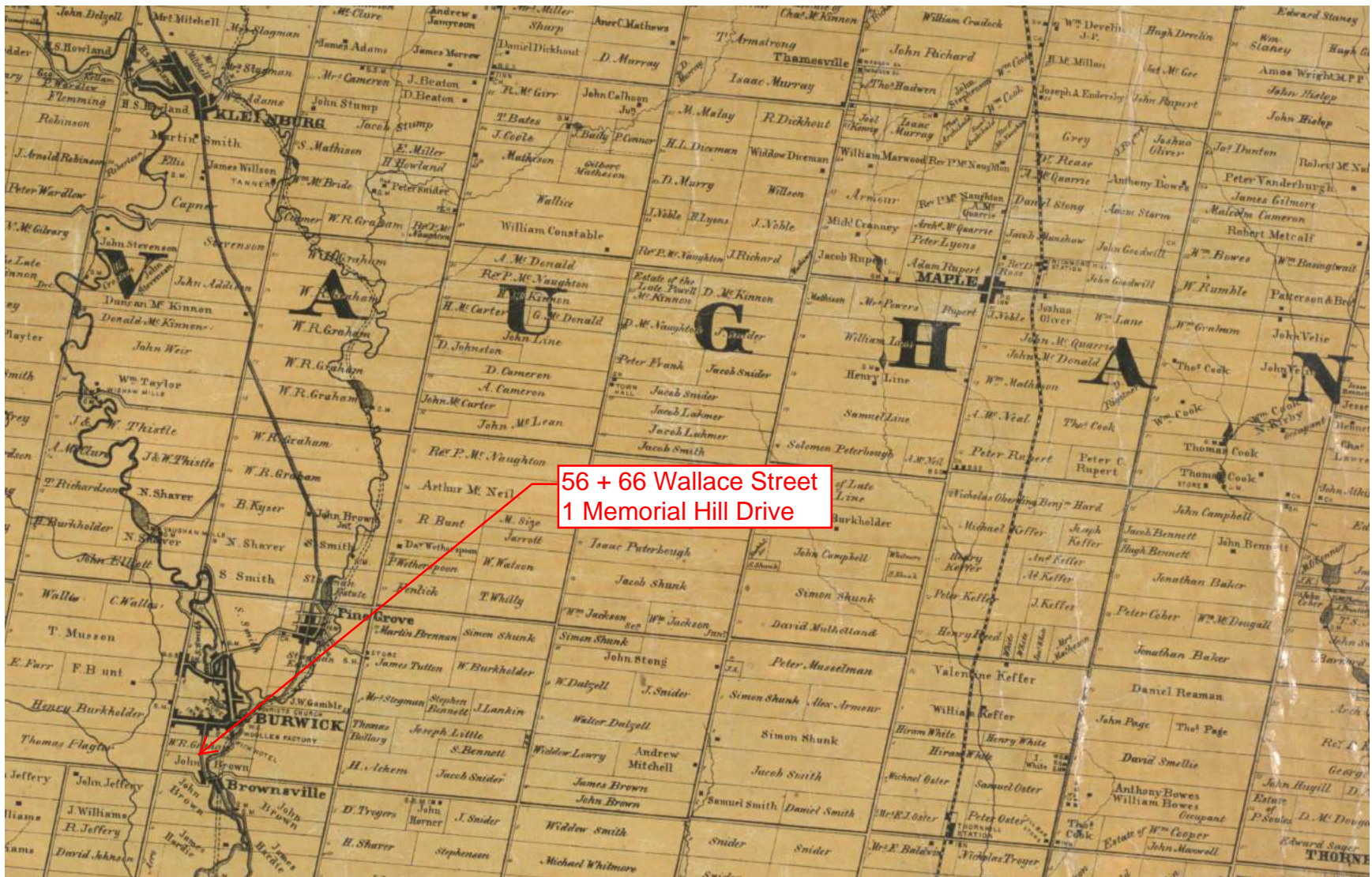








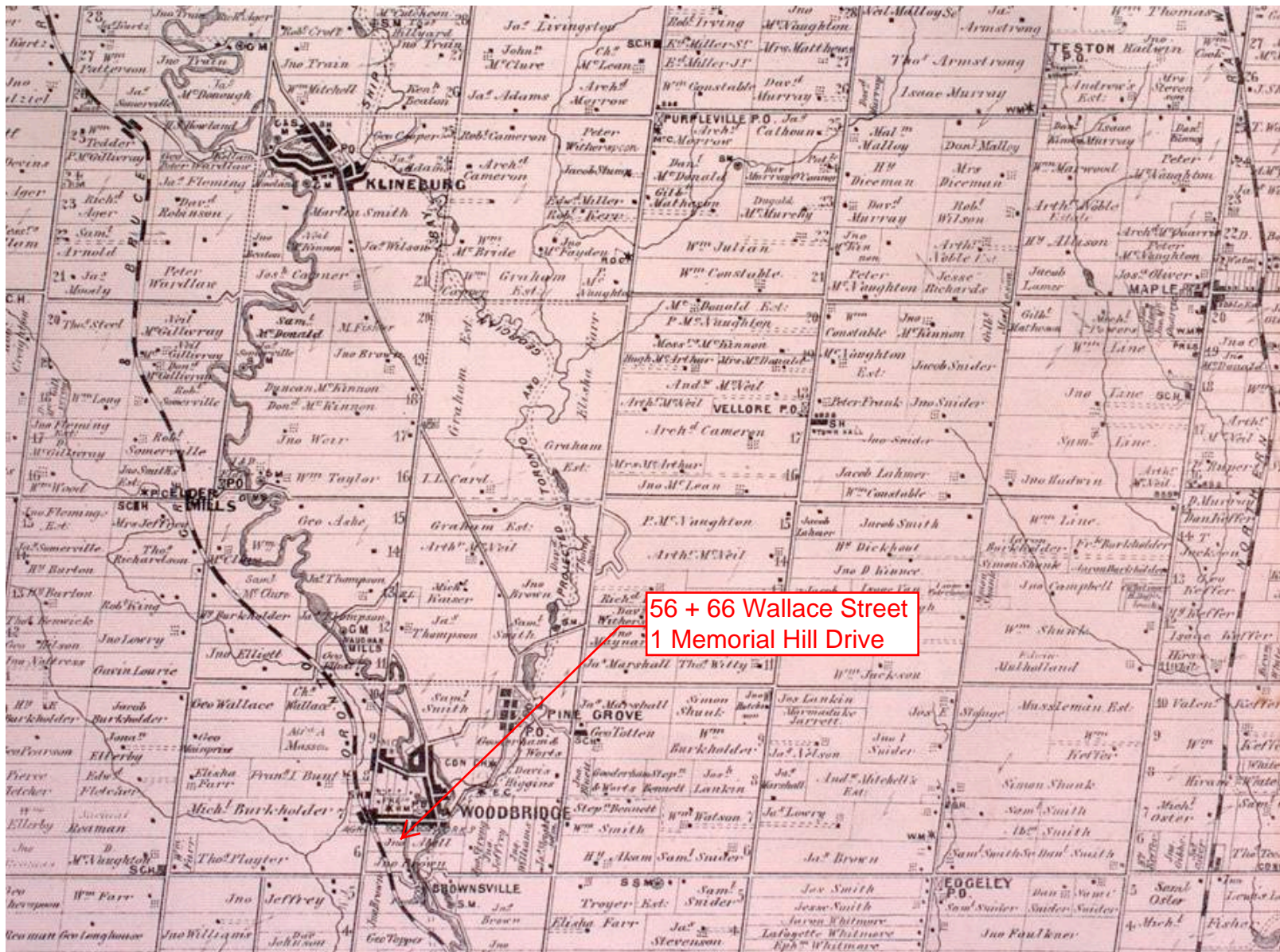




56 + 66 Wallace Street  
1 Memorial Hill Drive

6- 1860 Tremaine Map



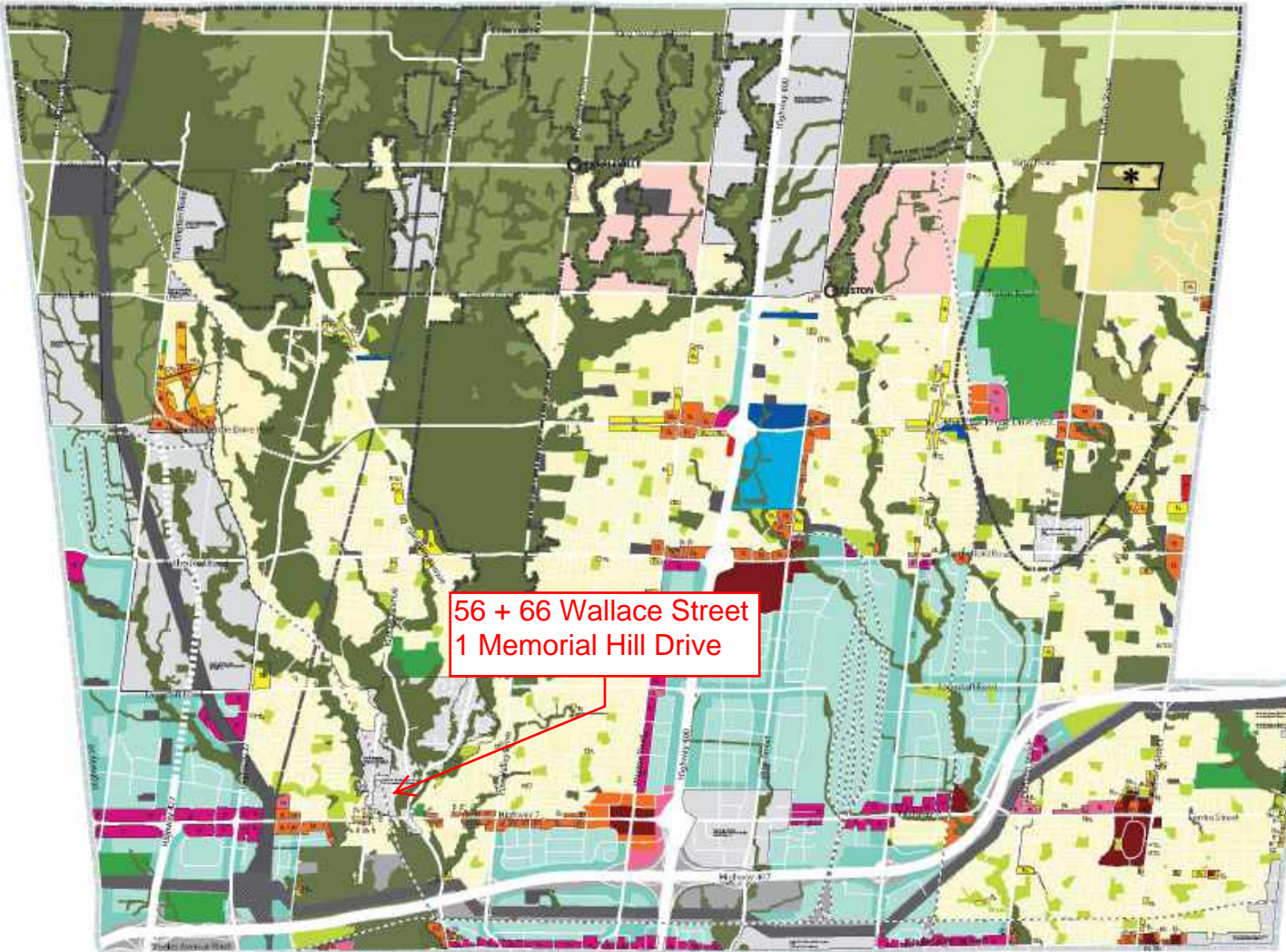


7- 1880 County Atlas Map

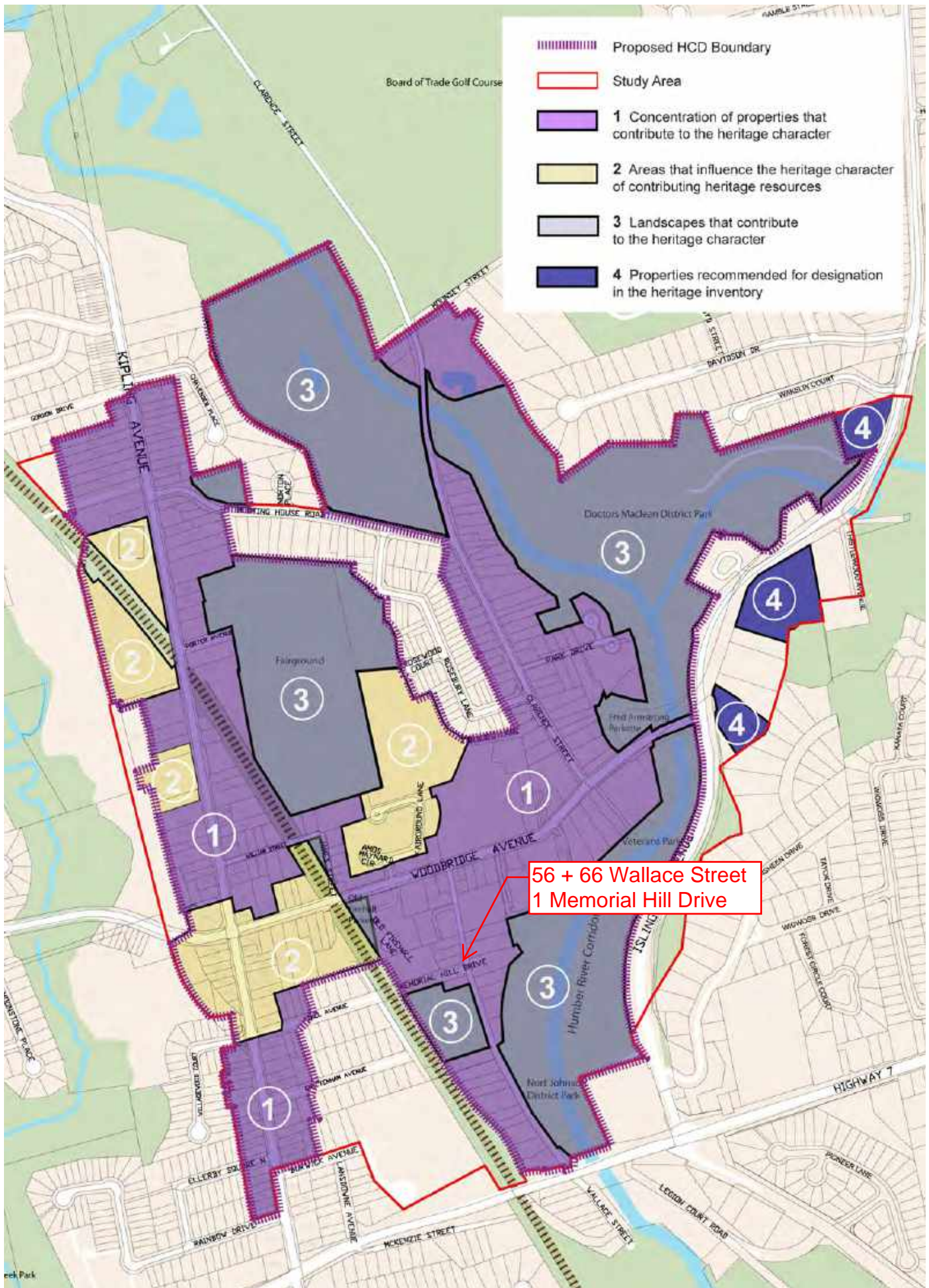


SCHEDULE 13  
Land Use

- Natural Areas
  - Parks
  - Private Open Spaces
  - Agricultural
  - Rural
  - Low-Rise Residential
  - Low-Rise Mixed-Use
  - Mid-Rise Residential
  - Mid-Rise Mixed-Use
  - High-Rise Residential
  - High-Rise Mixed-Use
  - Community Commercial Mixed-Use
  - Employment Commercial Mixed-Use
  - General Employment
  - Prestige Employment
  - Major Institutional
  - New Community Areas
  - Theme Park and Entertainment
  - Parkway Belt West Lands
  - Infrastructure and Utilities
  - Lands Subject to Approved Area-Specific Secondary Planning
  - Roads
  - Railway
  - Greenbelt Plan Area & Oak Ridges Moraine Conservation Plan Area
  - Oak Ridges Moraine Natural Core
  - Oak Ridges Moraine Natural Linkage
  - Oak Ridges Moraine Countryside
  - Hamlet
  - Minister's Decision on ORMCP Designation Deferred
  - Municipal Boundary
- Refer to Schedule 146C for Lands Subject to Area and Site Specific Policies in Volume 2

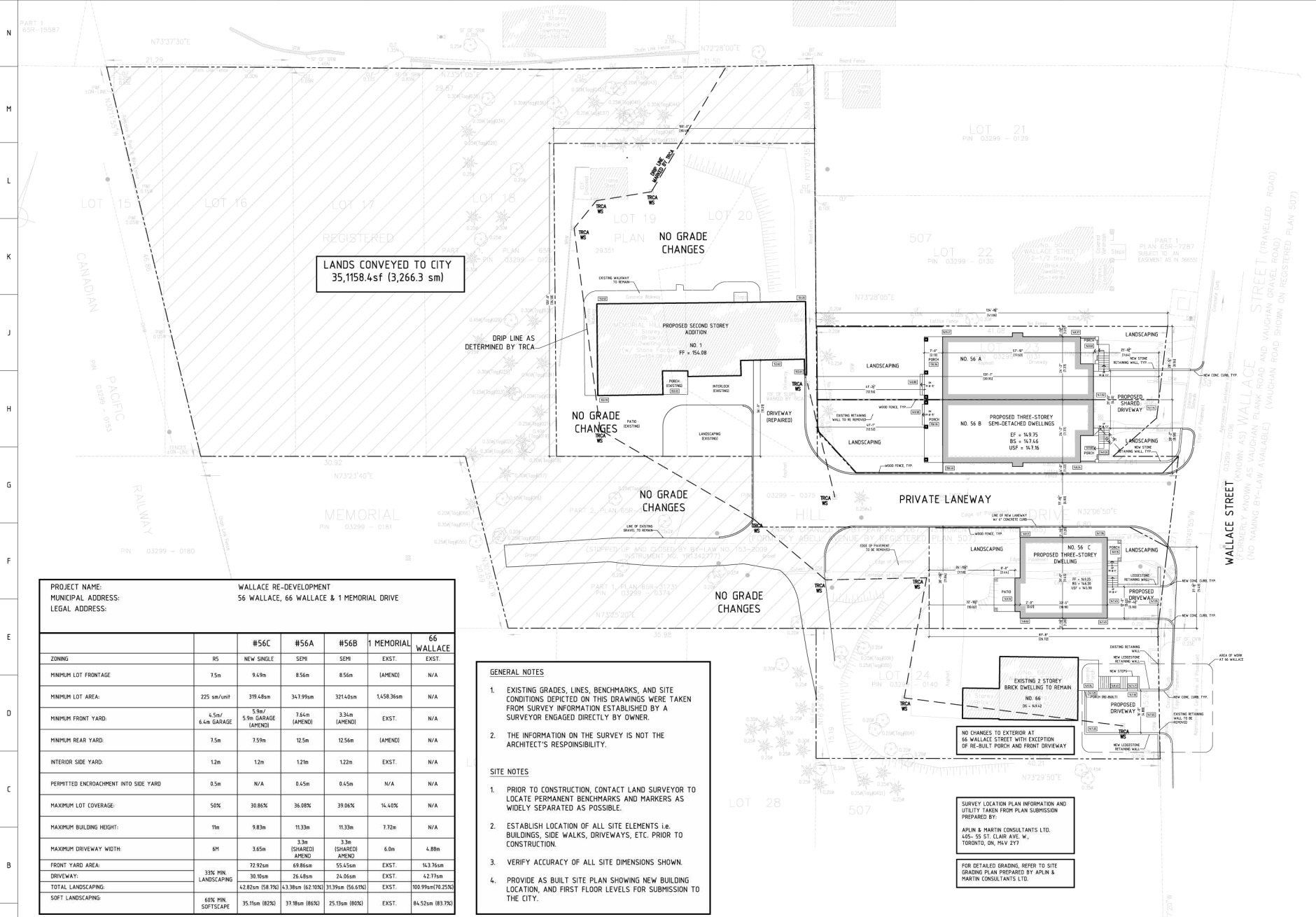






Schedule 8: A Cluster of Properties and Landscapes that Contribute to the HCD Character





LANDS CONVEYED TO CITY  
35,115.4sf (3,266.3 sm)

PROJECT NAME: MUNICIPAL ADDRESS: LEGAL ADDRESS:		WALLACE RE-DEVELOPMENT 56 WALLACE, 66 WALLACE & 1 MEMORIAL DRIVE					
		#56C	#56A	#56B	1 MEMORIAL	66 WALLACE	
ZONING	RS	NEW SINGLE	SEMI	SEMI	EXST.	EXST.	
MINIMUM LOT FRONTAGE	7.5m	9.49m	8.56m	8.56m	(AMEND)	N/A	
MINIMUM LOT AREA	225 sqm/unit	319.48sqm	347.99sqm	321.40sqm	1,458.36sqm	N/A	
MINIMUM FRONT YARD	4.5m/ 6.4m GARAGE	5.9m/ 5.9m GARAGE (AMEND)	7.64m	3.34m (AMEND)	EXST.	N/A	
MINIMUM REAR YARD	7.5m	7.59m	12.5m	12.56m	(AMEND)	N/A	
INTERIOR SIDE YARD	12m	12m	12.1m	12.2m	EXST.	N/A	
PERMITTED ENROACHMENT INTO SIDE YARD	0.5m	N/A	0.45m	0.45m	N/A	N/A	
MAXIMUM LOT COVERAGE	50%	30.86%	36.08%	39.86%	14.40%	N/A	
MAXIMUM BUILDING HEIGHT	11m	9.83m	11.33m	11.33m	7.72m	N/A	
MAXIMUM DRIVEWAY WIDTH	6M	3.65m	3.3m (SHARED) AMEND	55.45m (SHARED) AMEND	6.0m	4.88m	
FRONT YARD AREA:		72.92m	69.86m	55.45m	EXST.	163.76sqm	
DRIVEWAY:	33% MIN. LANDSCAPING	30.16m	26.48m	24.06m	EXST.	42.77sqm	
TOTAL LANDSCAPING:		42.82m (58.7%)	43.38m (62.10%)	31.39m (56.01%)	EXST.	100.99sqm(79.25%)	
SOFT LANDSCAPING:	60% MIN. SOFTSCAPE	35.11m (82%)	37.18m (86%)	25.13m (80%)	EXST.	84.52m (83.7%)	

- GENERAL NOTES**
- EXISTING GRADES, LINES, BENCHMARKS, AND SITE CONDITIONS DEPICTED ON THIS DRAWINGS WERE TAKEN FROM SURVEY INFORMATION ESTABLISHED BY A SURVEYOR ENGAGED DIRECTLY BY OWNER.
  - THE INFORMATION ON THE SURVEY IS NOT THE ARCHITECT'S RESPONSIBILITY.
- SITE NOTES**
- PRIOR TO CONSTRUCTION, CONTACT LAND SURVEYOR TO LOCATE PERMANENT BENCHMARKS AND MARKERS AS WIDELY SEPARATED AS POSSIBLE.
  - ESTABLISH LOCATION OF ALL SITE ELEMENTS I.E. BUILDINGS, SIDE WALKS, DRIVEWAYS, ETC. PRIOR TO CONSTRUCTION.
  - VERIFY ACCURACY OF ALL SITE DIMENSIONS SHOWN.
  - PROVIDE AS BUILT SITE PLAN SHOWING NEW BUILDING LOCATION, AND FIRST FLOOR LEVELS FOR SUBMISSION TO THE CITY.

GENERAL NOTES/MATERIAL REQUIREMENTS

RAVINE & NATURAL FEATURE PROTECTION BY-LAW  
THE RAVINE & NATURAL FEATURE PROTECTION BY-LAW, REGULATES THE INJURY AND DESTRUCTION OF TREES, CLIPPING OF BRUISES AND CHANGES TO GRADE WITHIN PROTECTION AREAS DEFINED.

UNDER THIS BY-LAW PROTECTED TREES MAY NOT BE REMOVED, INJURED OR DESTROYED, AND PROTECTED GRADES MAY NOT BE ALTERED, WITHOUT WRITTEN AUTHORIZATION FROM URBAN FORESTRY RAVINE PROTECTION, ON BEHALF OF THE GENERAL MANAGER OF PARKS, FORESTRY & RECREATION.

CONVICTION OF OFFENCES RESPECTING THE REGULATIONS IN THE RAVINE & NATURAL FEATURES PROTECTION BY-LAW ARE SUBJECT TO FINES, AND THE LANDOWNER MAY BE ORDERED BY THE COURT TO RESTORE THE AREA TO THE SATISFACTION OF THE CITY A PERSON CONVICTED AN OFFENCE UNDER THIS BY-LAW IS LIABLE TO A MINIMUM FINE OF \$500 AND A MAXIMUM FINE OF \$1000 FOR EACH TREE DESTROYED, AND MAXIMUM FINE OF \$1000 FOR ANY OTHER OFFENCE COMMITTED UNDER THIS CHAPTER, AND/OR A SPECIAL FINE OF \$10000. A PERSON CONVICTED OF A CONTINUING OFFENCE, INCLUDING FAILURE TO COMPLY WITH RAVINE PERMIT CONDITIONS, IS LIABLE TO A MAXIMUM FINE OF NOT MORE THAN \$1000 FOR EACH DAY OR PART OF A DAY THE OFFENCE CONTINUES.

CONVICTION OF OFFENCES RESPECTING THE REGULATIONS IN THE RAVINE & NATURAL FEATURES PROTECTION BY-LAW ARE SUBJECT TO FINES, AND THE LANDOWNER MAY BE ORDERED BY THE COURT TO RESTORE THE AREA TO THE SATISFACTION OF THE CITY A PERSON CONVICTED AN OFFENCE UNDER THIS BY-LAW IS LIABLE TO A MINIMUM FINE OF \$500 AND A MAXIMUM FINE OF \$1000 FOR EACH TREE DESTROYED, AND MAXIMUM FINE OF \$1000 FOR ANY OTHER OFFENCE COMMITTED UNDER THIS CHAPTER, AND/OR A SPECIAL FINE OF \$10000. A PERSON CONVICTED OF A CONTINUING OFFENCE, INCLUDING FAILURE TO COMPLY WITH RAVINE PERMIT CONDITIONS, IS LIABLE TO A MAXIMUM FINE OF NOT MORE THAN \$1000 FOR EACH DAY OR PART OF A DAY THE OFFENCE CONTINUES.

DRAWINGS MUST NOT BE SEALED AND TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND C.B.C.

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04 15 JAN 21 WIP 4  
03 08 DEC 20 WIP 3  
02 27 NOV 20 WIP 2  
01 17 NOV 20 WIP 1

NO. DATE REASON FOR ISSUE  
DRAWN BY: D.S.M CHECKED BY: J.S.B  
CONSULTANT

PROJECT TITLE  
WALLACE RE-DEVELOPMENT  
56 WALLACE & 1 MEMORIAL HILL DRIVE  
WOODBRIIDGE, ON  
JSBA PROJECT# : 2028-01

STAMP  
ONTARIO ASSOCIATION OF ARCHITECTS  
J.S. BARMİ ARCHITECT  
J.S. BARMİ ARCHITECT  
LICENCE 15728

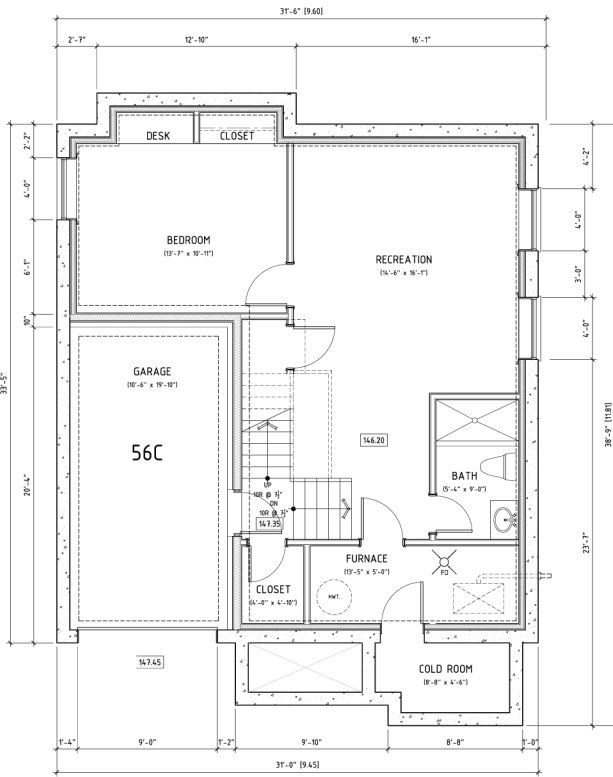
J S BARMİ ARCHITECT  
PROGRESS SET  
A001  
PROPOSED SITE PLAN

2586A YONGE STREET  
TORONTO, ON M4P 2J3 CANADA  
T : + 1 416 745 0765  
E: JSB@LIVINGBOX.CA  
WWW.LIVINGBOX.CA

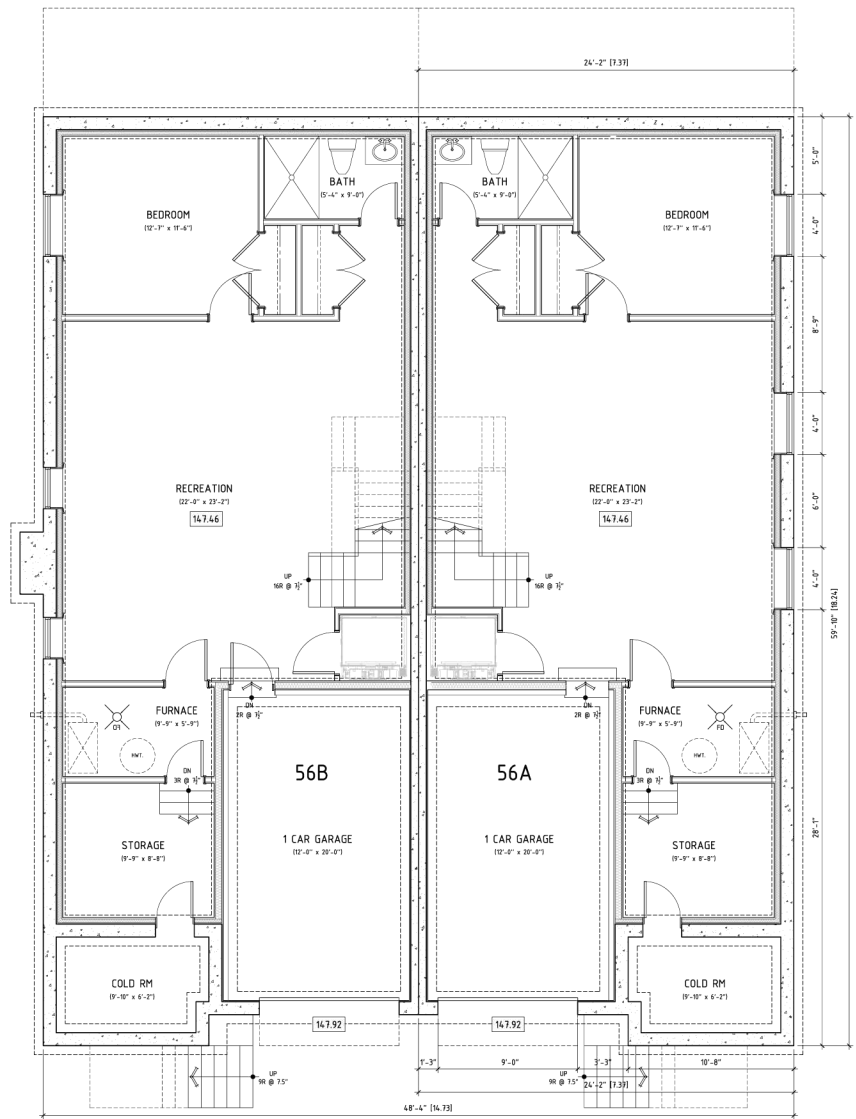
10- Preliminary Drawings of Planned Redevelopment

A 1 PROPOSED SITE PLAN

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
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BASMENT FLOOR AREA CALCULATION  
FINISHED FLOOR AREA: 877 sf



BASMENT FLOOR AREA CALCULATION  
FINISHED FLOOR AREA: 972 sf  
GARAGE: 240 sf

GENERAL NOTES/MATERIAL NOTES

RAVINE & NATURAL FEATURE PROTECTION BY-LAW  
THE RAVINE & NATURAL FEATURE PROTECTION BY-LAW, REGULATES THE INJURY AND DESTRUCTION OF TREES, CLIPPING OF REFUSE AND CHANGES TO GRADE WITHIN PROTECTION AREAS DEFINED.  
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JUNE 2008  
DRAWINGS MUST NOT BE SCALED AND TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND G.B.C.  
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04	15	JAN	21	WIP	4
03	08	DEC	20	WIP	3
02	27	NOV	20	WIP	2
01	17	NOV	20	WIP	1
NO.	DATE	REASON FOR ISSUE			
		DRAWN BY: D.S.M.	CHECKED BY: J.S.B.	CONSULTANT	

PROJECT TITLE  
WALLACE RE-DEVELOPMENT  
56 WALLACE & 1 MEMORIAL HILL DRIVE  
WOODBRIIDGE, ON  
JSBA PROJECT# : 2028-01



J S BARMÍ ARCHITECT  
PROGRESS SET

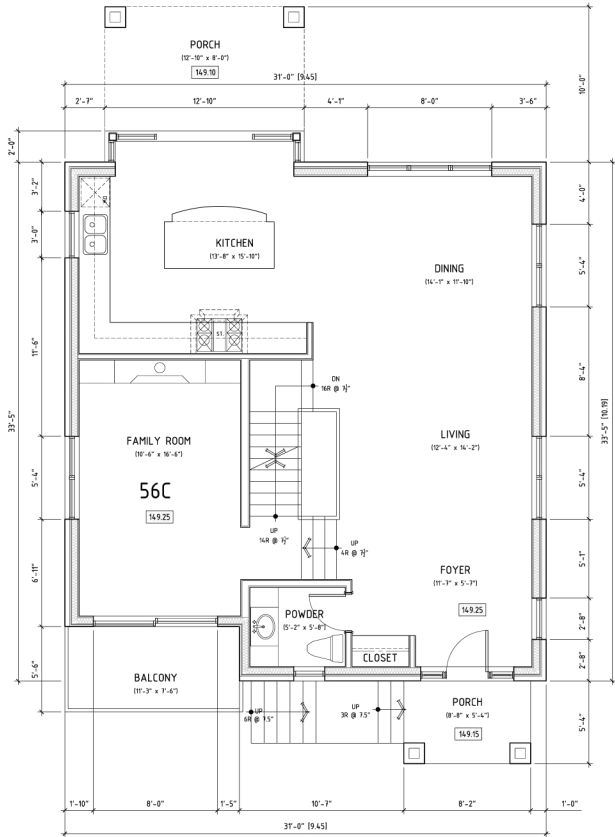
A 100  
PROPOSED BASEMENT PLAN (A/B & C)

2586A YONGE STREET  
TORONTO, ON M4P 2J3 CANADA  
T: + 1 416 745 0765  
E: JSB@LIVINGBOX.CA  
I: WWW.LIVINGBOX.CA

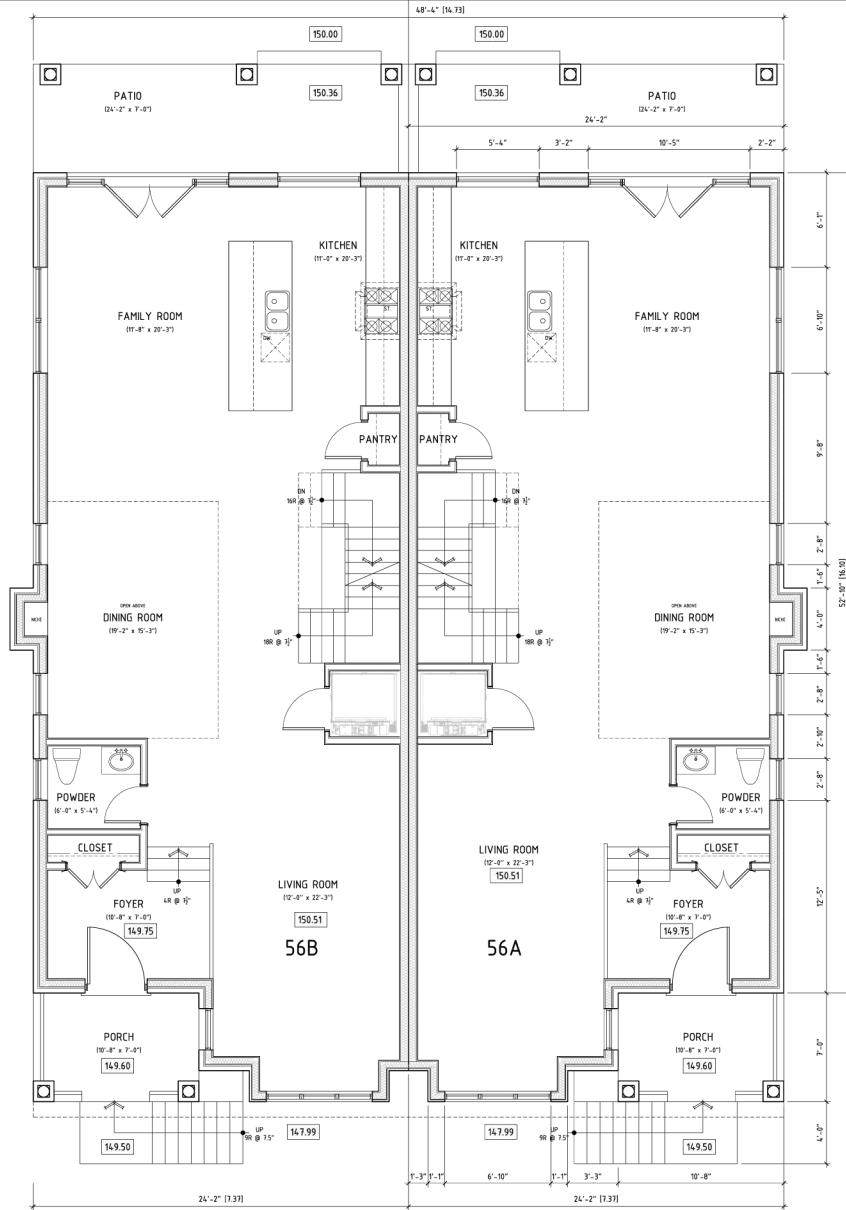
A 1 PROPOSED BASEMENT FLOOR PLAN (A/B & C)

1/4" = 1'-0"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
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PRIVATE LANEWAY



A 1 PROPOSED FIRST FLOOR PLAN (A/B & C)

1/4" = 1'-0"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
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**GENERAL NOTES/MATERIAL KEYING**

RAVINE & NATURAL FEATURE PROTECTION BY-LAW THE RAVINE & NATURAL FEATURE PROTECTION BY-LAW, REGULATES THE INJURY AND DESTRUCTION OF TREES, CLIPPING OF REFUSE AND CHANGES TO GRADE WITHIN PROTECTION AREAS DEFINED.

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JUNE 2008

ALL DRAWINGS MUST NOT BE SEALED AND TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND C.B.C.

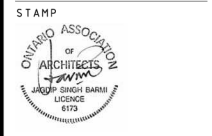
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04 15 JAN 21	WIP 4
03 08 DEC 20	WIP 3
02 27 NOV 20	WIP 2
01 17 NOV 20	WIP 1

NO. DATE REASON FOR ISSUE  
DRAWN BY: D.S.M. CHECKED BY: J.S.B.  
CONSULTANT

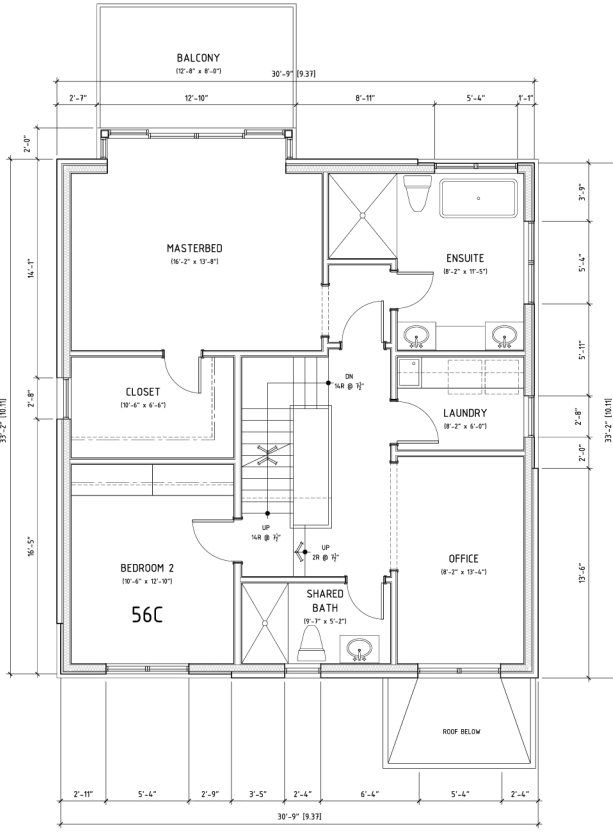
**PROJECT TITLE**  
WALLACE RE-DEVELOPMENT  
56 WALLACE & 1 MEMORIAL HILL DRIVE  
WOODBURIDGE, ON  
JSBA PROJECT#: 2028-01



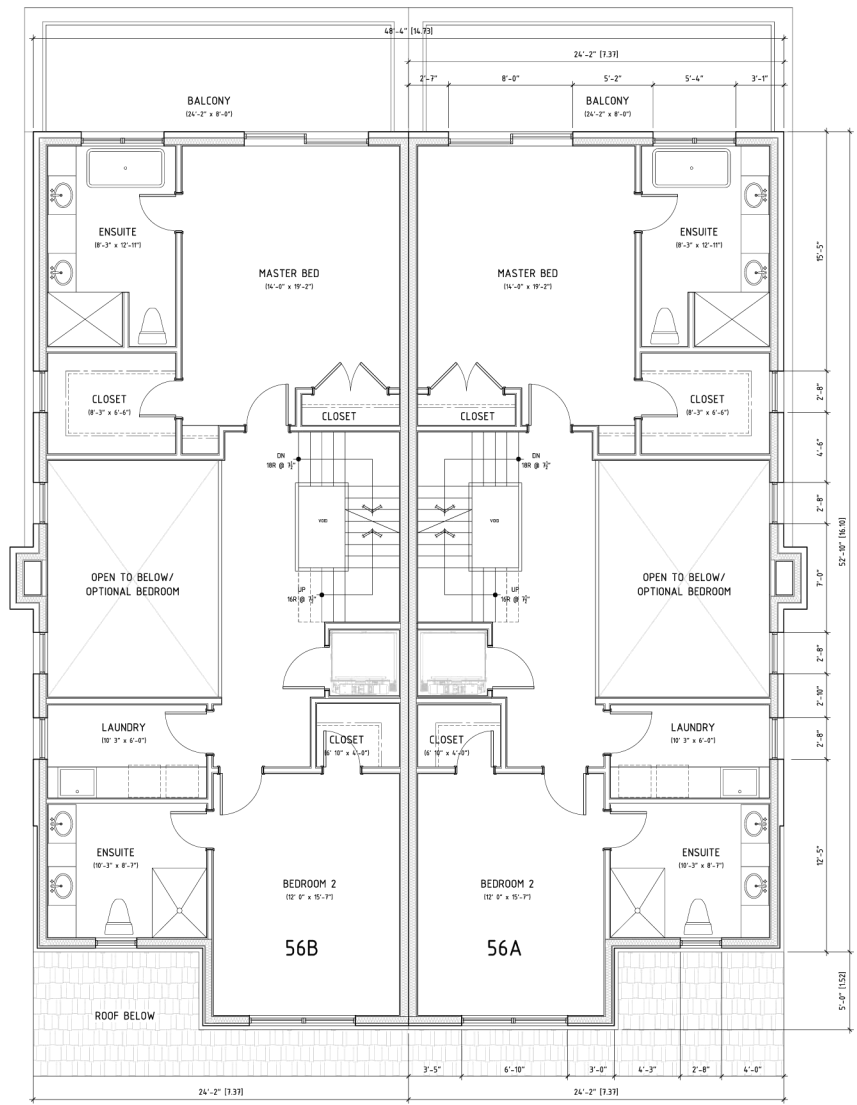
J S BARMÍ ARCHITECT  
PROGRESS SET

**A 101**  
PROPOSED FIRST FLOOR PLAN (A/B & C)

2586A YONGE STREET  
TORONTO, ON M4P 2J3 CANADA  
T: + 1 416 745 0765  
E: JSB@LIVINGBOX.CA  
I: WWW.LIVINGBOX.CA



SECOND FLOOR AREA CALCULATION  
FINISHED FLOOR AREA: 1,051 sf



SECOND FLOOR AREA CALCULATION  
FLOOR AREA: 1,341 sf  
OPEN TO BELOW: 199 sf  
FINISHED FLOOR AREA: 1,142 sf

GENERAL NOTES/MATERIAL LEGEND

RAVINE & NATURAL FEATURE PROTECTION BY-LAW  
THE RAVINE & NATURAL FEATURE PROTECTION BY-LAW, REGULATES THE INJURY AND DESTRUCTION OF TREES, CLIPPING OF REFUSE AND CHANGES TO GRADE WITHIN PROTECTION AREAS DEFINED.

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JUNE 2008

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04	15	JAN	21	WIP	4
03	08	DEC	20	WIP	3
02	27	NOV	20	WIP	2
01	17	NOV	20	WIP	1

NO. DATE REASON FOR ISSUE  
DRAWN BY: DSM CHECKED BY: J.S.B  
CONSULTANT

PROJECT TITLE  
WALLACE RE-DEVELOPMENT  
56 WALLACE & 1 MEMORIAL HILL DRIVE  
WOODBIDGE, ON  
JSBA PROJECT #: 2028-01



J S BARMİ ARCHITECT  
PROGRESS SET

A102  
PROPOSED SECOND FLOOR PLAN (A/B & C)

2586A YONGE STREET  
TORONTO, ON M4P 2J3 CANADA  
T: + 1 416 745 0765  
E: JSB@LIVINGBOX.CA  
I: WWW.LIVINGBOX.CA

A 1 PROPOSED SECOND FLOOR PLAN (A/B & C)

1/4" = 1'-0"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
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- ELEVATION NOTES**
- 1 BRICK VENEER, TYP.
  - 2 STONE VENEER, TYP.
  - 3 STONE HEADER OR SILL, TYP.
  - 4 WOOD/ VINYL CLADDING, TYP.
  - 5 WOOD FASCIA/ TRIM/ FRIEZE, PAINTED TYP.
  - 6 PRE-FIN. METAL GUTTER, DRIP EDGE, AND FASCIA, TYP.
  - 7 PRE-FIN. METAL SOFFIT C/W CON. ALUM. VENT
  - 8 WOOD PORCH WITH CLASSIC COLUMNS ON BRICK PIERS, TYP.
  - 9 ASPHALT SHINGLE, TYP.
  - 10 GLASS RAILING TO LATER DETAIL.
  - 11 METAL RAILING TO LATER DETAIL.
  - 12 1" CEMENT PARING OVER EXPOSED FOUNDATION TO 6" BELOW GRADE, TYP.
  - 13 POURED CONC. FOUNDATION WALLS AND FOOTINGS
  - 14 STEPPED CONC. FOOTING (2'-0" MAX HEIGHT & 2'-0" MIN. LENGTH)



NOTE:  
1. ALL HEIGHTS ARE RELATIVE TO ESTABLISHED GRADE OF 148.99

**GENERAL NOTES/MATERIAL KEYING**

RAVINE & NATURAL FEATURE PROTECTION BY-LAW  
THE RAVINE & NATURAL FEATURE PROTECTION BY-LAW, REGULATES THE INJURY AND DESTRUCTION OF TREES, CLIPPING OF REFUSE AND CHANGES TO GRADE WITHIN PROTECTION AREAS DEFINED.

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JAN 2020

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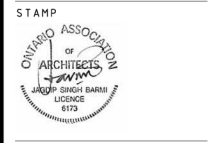
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04	15	JAN	21	WIP	4
03	08	DEC	20	WIP	3
02	27	NOV	20	WIP	2
01	17	NOV	20	WIP	1

NO. DATE REASON FOR ISSUE  
DRAWN BY: DSM CHECKED BY: J.S.B  
CONSULTANT

**PROJECT TITLE**  
WALLACE RE-DEVELOPMENT  
56 WALLACE & 1 MEMORIAL HILL DRIVE  
WOODBRIIDGE, ON  
JSBA PROJECT #: 2028-01



**J S BARMİ ARCHITECT**

**A 105**  
PROPOSED FRONT ELEVATIONS (A/B & C)

2586A YONGE STREET  
TORONTO, ON M4P 2J3 CANADA  
T: + 1 416 745 0765  
E: JSB@LIVINGBOX.CA  
I: WWW.LIVINGBOX.CA

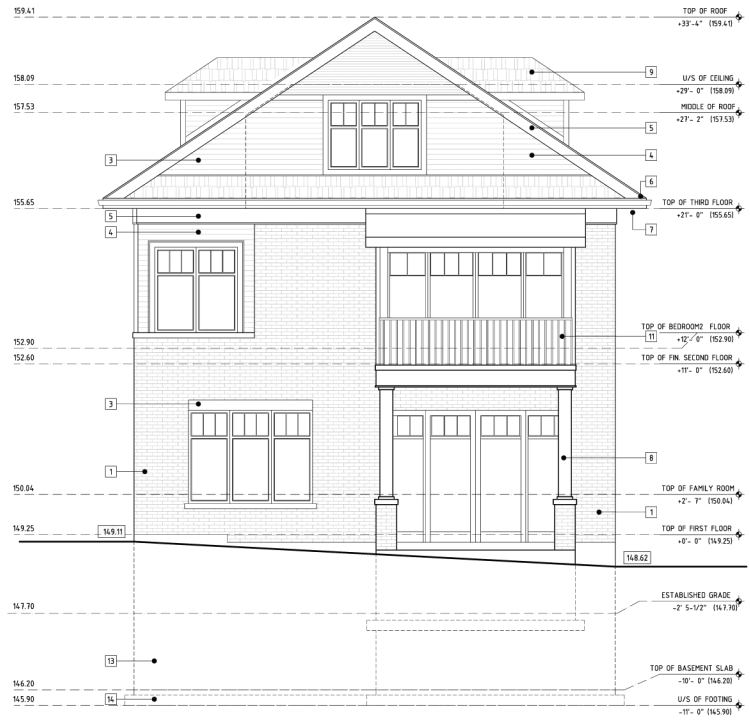
A 1		PROPOSED FRONT ELEVATIONS (A/B & C)														
1/4" = 1'-0"		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15

N  
M  
L  
K  
J  
H  
G  
F  
E  
D  
C  
B  
A



NOTE:  
1. ALL HEIGHTS ARE RELATIVE TO ESTABLISHED GRADE OF 148.35

- ELEVATION NOTES**
- 1 BRICK VENEER, TYP.
  - 2 STONE VENEER, TYP.
  - 3 STONE HEADER OR SILL, TYP.
  - 4 WOOD/ VINYL CLADDING, TYP.
  - 5 WOOD FASCIA/ TRIM/ FRIEZE, PAINTED TYP.
  - 6 PRE-FIN METAL GUTTER, DRIP EDGE, AND FASCIA, TYP.
  - 7 PRE-FIN METAL SOFFIT C/W CONT. ALUM. VENT
  - 8 WOOD PORCH WITH CLASSIC COLUMNS ON BRICK PIERS, TYP.
  - 9 ASPHALT SHINGLE, TYP.
  - 10 GLASS RAILING TO LATER DETAIL.
  - 11 METAL RAILING TO LATER DETAIL.
  - 12 2" CEMENT PARING OVER EXPOSED FOUNDATION TO 6" BELOW GRADE, TYP.
  - 13 POURED CONC. FOUNDATION WALLS AND FOOTINGS
  - 14 STEPPED CONC. FOOTING 12"-6" MAX HEIGHT & 2'-0" MIN LENGTH



NOTE:  
1. ALL HEIGHTS ARE RELATIVE TO ESTABLISHED GRADE OF 147.70

**GENERAL NOTES/MATERIAL KEYING**

RAVINE & NATURAL FEATURE PROTECTION BY-LAW  
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JUNE 2008

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04 15 JAN 21 WIP 4  
03 08 DEC 20 WIP 3  
02 27 NOV 20 WIP 2  
01 17 NOV 20 WIP 1

NO. DATE REASON FOR ISSUE  
DRAWN BY: D.S.M CHECKED BY: J.S.B  
CONSULTANT

**PROJECT TITLE**  
WALLACE RE-DEVELOPMENT  
56 WALLACE & 1 MEMORIAL HILL DRIVE  
WOODBRIIDGE, ON  
JSBA PROJECT# : 2028-01



**J S BARM ARCHITECT**  
PROGRESS SET

**A 106**  
PROPOSED REAR ELEVATIONS (A/B & C)

2586A YONGE STREET  
TORONTO, ON M4P 2J3 CANADA  
T: + 1 416 745 0765  
E: JSB@LIVINGBOX.CA  
I: WWW.LIVINGBOX.CA

**A 1 PROPOSED REAR ELEVATIONS (A/B & C)**

1/4" = 1'-0"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
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ELEVATION NOTES

- 1 BRICK VENEER, TYP.
- 2 STONE VENEER, TYP.
- 3 STONE HEADER OR SILL, TYP.
- 4 WOODY VINYL CLADDING, TYP.
- 5 WOOD FASCIA/ TRIM/ FRIEZE, PAINTED TYP.
- 6 PRE-FIN. METAL GUTTER, DRIP EDGE, AND FASCIA, TYP.
- 7 PRE-FIN. METAL SOFFIT C/W CONT. ALUM. VENT
- 8 WOOD PORCH WITH CLASSIC COLUMNS ON BRICK PIERS, TYP.
- 9 ASPHALT SHINGLE, TYP.
- 10 GLASS RAILING TO LATER DETAIL
- 11 METAL RAILING TO LATER DETAIL
- 12 CEMENT PAVING OVER EXPOSED FOUNDATION TO 4" BELOW GRADE, TYP.
- 13 POURED CONC. FOUNDATION WALLS AND FOOTINGS
- 14 STEPPED CONC. FOOTING 12'-0" MAX HEIGHT & 2'-0" MIN. LENGTH

RAVINE & NATURAL FEATURE PROTECTION BY-LAW  
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JUNE 2008

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04	15	JAN	21	WIP	4
03	08	DEC	20	WIP	3
02	27	NOV	20	WIP	2
01	17	NOV	20	WIP	1

NO. DATE REASON FOR ISSUE  
 DRAWN BY: D S M CHECKED BY: J S B  
 CONSULTANT

PROJECT TITLE  
 WALLACE RE-DEVELOPMENT  
 56 WALLACE & 1 MEMORIAL HILL DRIVE  
 WOODBRIDGE, ON  
 JSBA PROJECT# : 2028-01



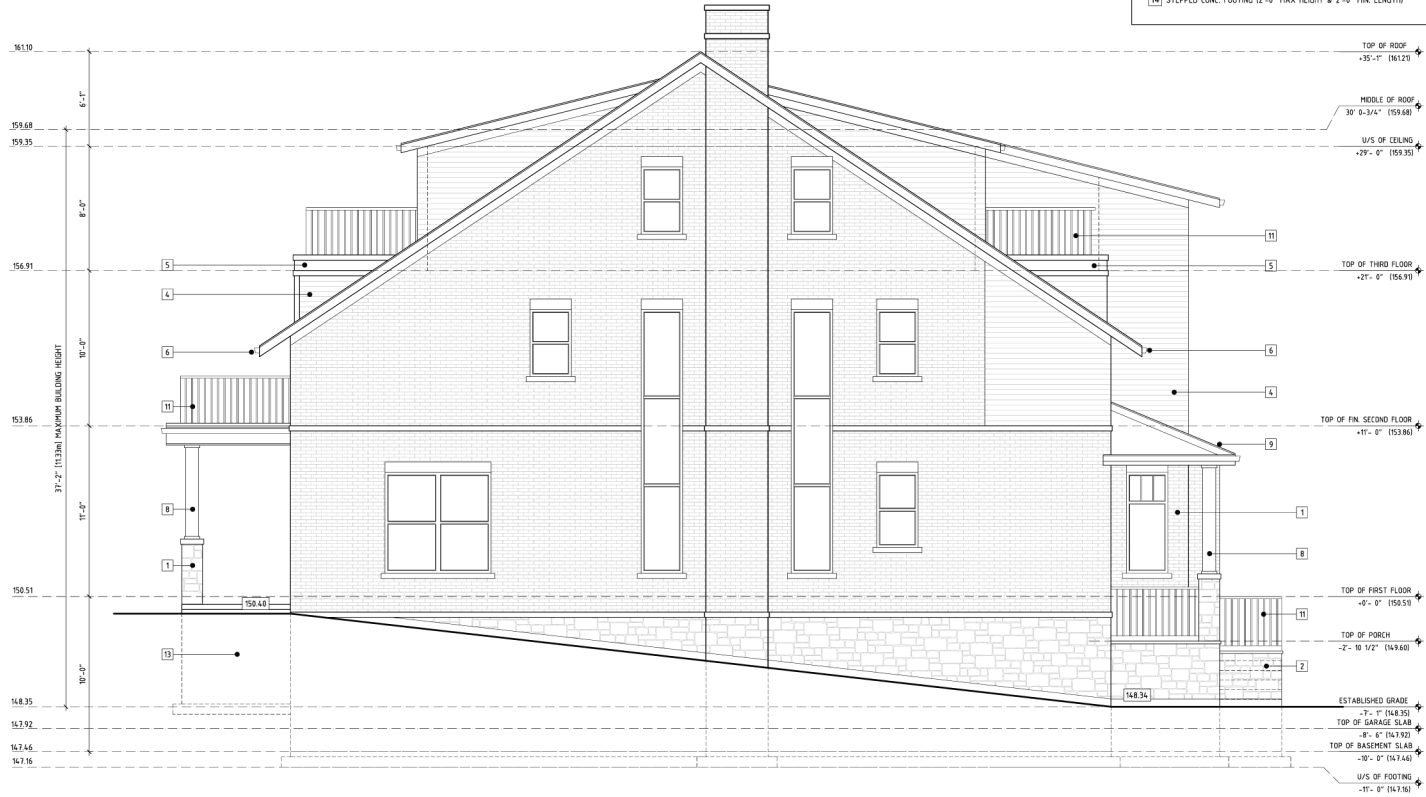
J S BARM ARCHITECT

PROGRESS SET

A 107

PROPOSED SOUTH ELEVATION (B)

2586A YONGE STREET  
 TORONTO, ON M4P 2J3 CANADA  
 T: + 1 416 745 0765  
 E: JSB@LIVINGBOX.CA  
 I: WWW.LIVINGBOX.CA



NOTE:  
 1. ALL HEIGHTS ARE RELATIVE TO ESTABLISHED GRADE OF 148.35

A 1 PROPOSED SOUTH ELEVATION (B)

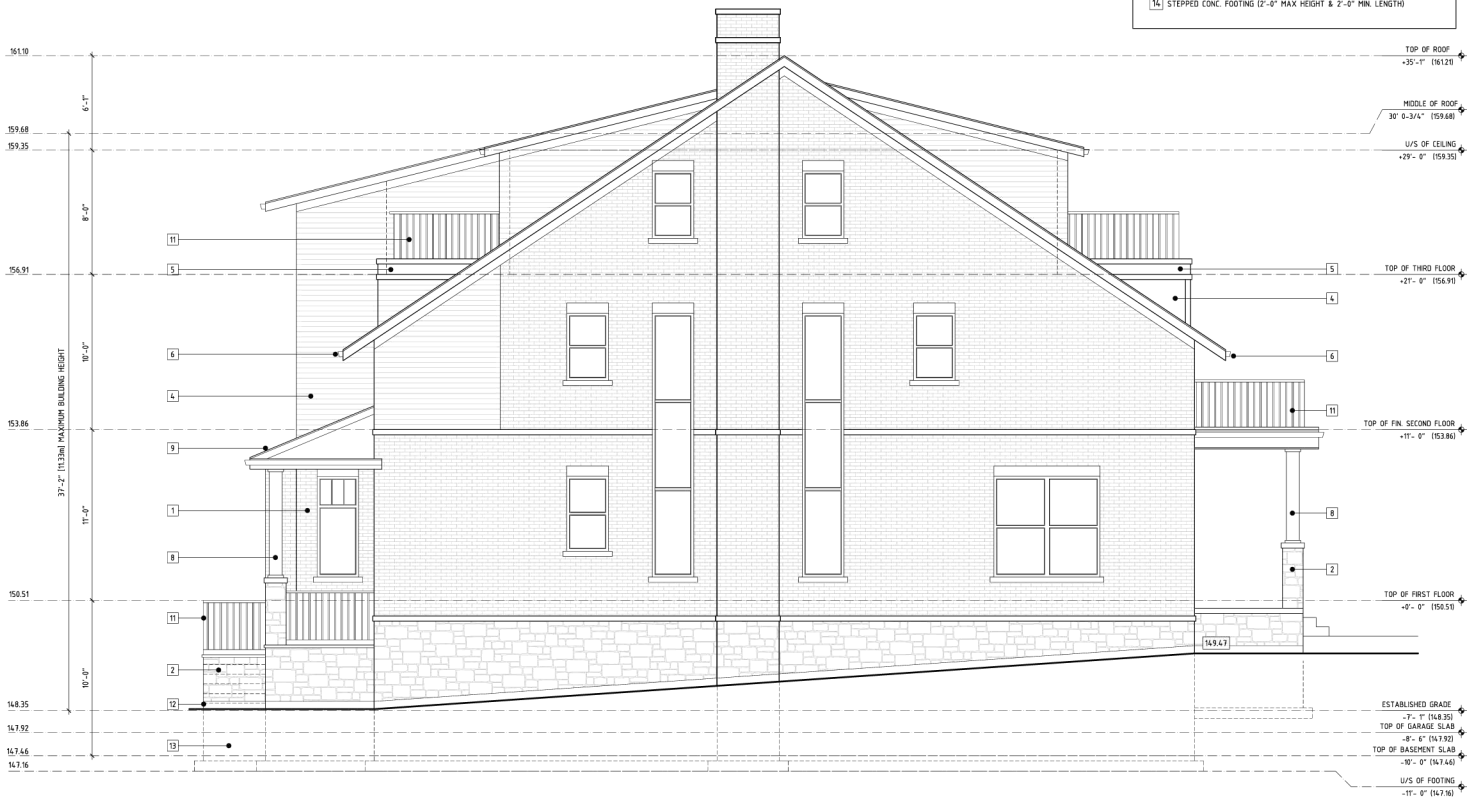
1/4" = 1'-0"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
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- ELEVATION NOTES**
- 1 BRICK VENER, TYP.
  - 2 STONE VENER, TYP.
  - 3 STONE HEADER OR SILL, TYP.
  - 4 WOOD/ VINYL CLADDING, TYP.
  - 5 WOOD FASCIA/ TRIM/ FRIEZE, PAINTED TYP.
  - 6 PRE-FIN. METAL GUTTER, DRIP EDGE, AND FASCIA, TYP.
  - 7 PRE-FIN. METAL SPOFF C/W CONT. ALUM. VENT
  - 8 WOOD PORCH WITH CLASSIC COLUMNS ON BRICK PIERS, TYP.
  - 9 ASPHALT SHINGLE, TYP.
  - 10 GLASS RAILING TO LATER DETAIL
  - 11 METAL RAILING TO LATER DETAIL
  - 12 1" CEMENT PARING OVER EXPOSED FOUNDATION TO 6" BELOW GRADE, TYP.
  - 13 POURED CONC. FOUNDATION WALLS AND FOOTINGS
  - 14 STEPPED CONC. FOOTING (2'-0" MAX HEIGHT & 2'-0" MIN. LENGTH)



NOTE:  
1. ALL HEIGHTS ARE RELATIVE TO ESTABLISHED GRADE OF 148.35

**GENERAL NOTES/MATERIAL KEYING**

RAVINE & NATURAL FEATURE PROTECTION BY-LAW  
THE RAVINE & NATURAL FEATURE PROTECTION BY-LAW, REGULATES THE INJURY AND DESTRUCTION OF TREES, CLIPPING OF REFUSE AND CHANGES TO GRADE WITHIN PROTECTION AREAS DEFINED.

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JUNE 2008

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04	15	JAN	21	WIP	4
03	08	DEC	20	WIP	3
02	27	NOV	20	WIP	2
01	17	NOV	20	WIP	1
NO.	DATE	REASON FOR ISSUE			
		DRAWN BY: D S M		CHECKED BY: J S B	
CONSULTANT					

**PROJECT TITLE**  
WALLACE RE-DEVELOPMENT  
56 WALLACE & 1 MEMORIAL HILL DRIVE  
WOODBIDGE, ON  
JSBA PROJECT# : 2028-01



J S BARMİ ARCHITECT  
PROGRESS SET

**A 108**  
PROPOSED NORTH ELEVATION (A)

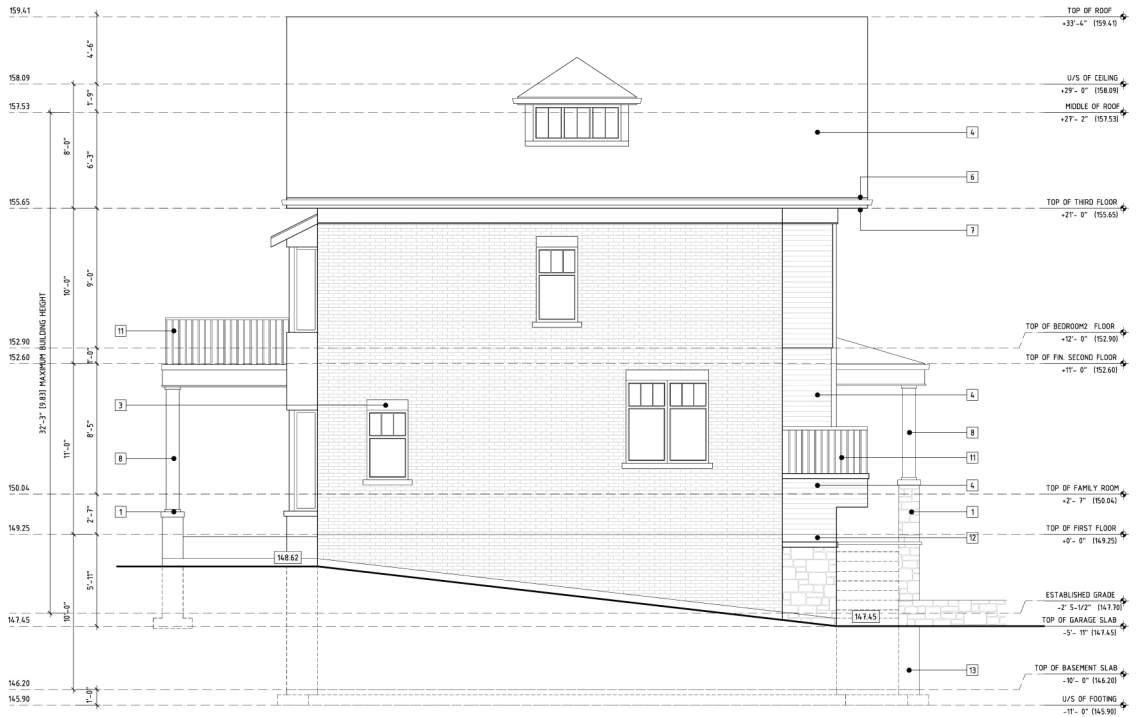
2586A YONGE STREET  
TORONTO, ON M4P 2J3 CANADA  
T: + 1 416 745 0765  
E: JSB@LIVINGBOX.CA  
I: WWW.LIVINGBOX.CA

**A 1 PROPOSED NORTH ELEVATION (A)**

1/4" = 1'-0"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
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NOTE:  
1. ALL HEIGHTS ARE RELATIVE TO ESTABLISHED GRADE OF 148.50

- ELEVATION NOTES**
- 1 BRICK VENEER, TYP.
  - 2 STONE VENEER, TYP.
  - 3 STONE HEADER OR SILL, TYP.
  - 4 WOOD/ VINYL CLADDING, TYP.
  - 5 WOOD FASCIA/ TRIM/ FRIEZE, PAINTED TYP.
  - 6 PRE-FIN. METAL GUTTER, DRIP EDGE, AND FASCIA, TYP.
  - 7 PRE-FIN. METAL SOFFIT C/W CONT. ALUM. VENT
  - 8 WOOD PORCH WITH CLASSIC COLUMNS ON BRICK PIERS, TYP.
  - 9 ASPHALT SHINGLE, TYP.
  - 10 GLASS RAILING TO LATER DETAIL
  - 11 METAL RAILING TO LATER DETAIL
  - 12 2" CEMENT PAVING OVER EXPOSED FOUNDATION TO 6" BELOW GRADE, TYP.
  - 13 POURED CONC. FOUNDATION WALLS AND FOOTINGS
  - 14 STEPPED CONC. FOOTING (2'-0" MAX HEIGHT & 2'-0" MIN. LENGTH)

**GENERAL NOTES/MATERIAL LEGEND**

RAVINE & NATURAL FEATURE PROTECTION BY-LAW  
THE RAVINE & NATURAL FEATURE PROTECTION BY-LAW, REGULATES THE INJURY AND DESTRUCTION OF TREES, CLIPPING OF REFUSE AND CHANGES TO GRADE WITHIN PROTECTION AREAS DEFINED.

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JUNE 2008

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04	15	JAN	21	WIP	4
03	08	DEC	20	WIP	3
02	27	NOV	20	WIP	2
01	17	NOV	20	WIP	1

NO. DATE REASON FOR ISSUE  
DRAWN BY: D S M CHECKED BY: J S B  
CONSULTANT

**PROJECT TITLE**  
WALLACE RE-DEVELOPMENT  
56 WALLACE & 1 MEMORIAL HILL DRIVE  
WOODBIDGE, ON  
JSBA PROJECT# : 2028-01



**J S BARM ARCHITECT**  
PROGRESS SET

**A 109**  
PROPOSED SOUTH ELEVATION (C)

2586A YONGE STREET  
TORONTO, ON M4P 2J3 CANADA  
T: + 1 416 745 0765  
E: JSB@LIVINGBOX.CA  
I: WWW.LIVINGBOX.CA

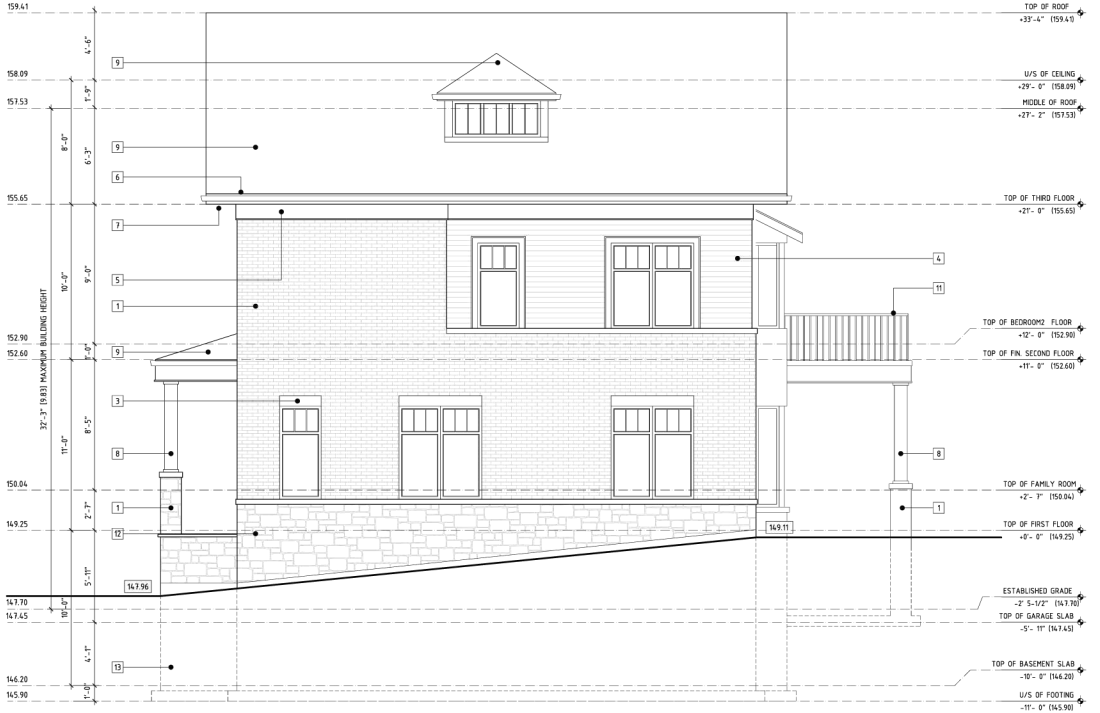
**A 1 PROPOSED SOUTH ELEVATION (C)**

1/4" = 1'-0"

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
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NOTE:  
1. ALL HEIGHTS ARE RELATIVE TO ESTABLISHED GRADE OF 147.70

- ELEVATION NOTES**
- 1 BRICK VENEER, TYP.
  - 2 STONE VENEER, TYP.
  - 3 STONE HEADER OR SILL, TYP.
  - 4 WOOD/ VINYL CLADDING, TYP.
  - 5 WOOD FASCIA/ TRIM/ FRIEZE, PAINTED TYP.
  - 6 PRE-FIN. METAL GUTTER, DRIP EDGE, AND FASCIA, TYP.
  - 7 PRE-FIN. METAL SOFFIT C/W CONT. ALUM. VENT
  - 8 WOOD PORCH WITH CLASSIC COLUMNS ON BRICK PIERS, TYP.
  - 9 ASPHALT SHINGLE, TYP.
  - 10 GLASS RAILING TO LATER DETAIL
  - 11 METAL RAILING TO LATER DETAIL
  - 12 3" CEMENT PARING OVER EXPOSED FOUNDATION TO 6" BELOW GRADE, TYP.
  - 13 POURED CONC. FOUNDATION WALLS AND FOOTINGS
  - 14 STEPPED CONC. FOUNDATIONS (2'-0" MAX HEIGHT & 2'-0" MIN. LENGTH)

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JUNE 2008

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04	15	JAN	21	WIP	4
03	08	DEC	20	WIP	3
02	27	NOV	20	WIP	2
01	17	NOV	20	WIP	1

NO. DATE REASON FOR ISSUE  
DRAWN BY: D.S.M CHECKED BY: J.S.B  
CONSULTANT

**PROJECT TITLE**  
WALLACE RE-DEVELOPMENT  
56 WALLACE & 1 MEMORIAL HILL DRIVE  
WOODBRIIDGE, ON  
JSBA PROJECT# : 2028-01



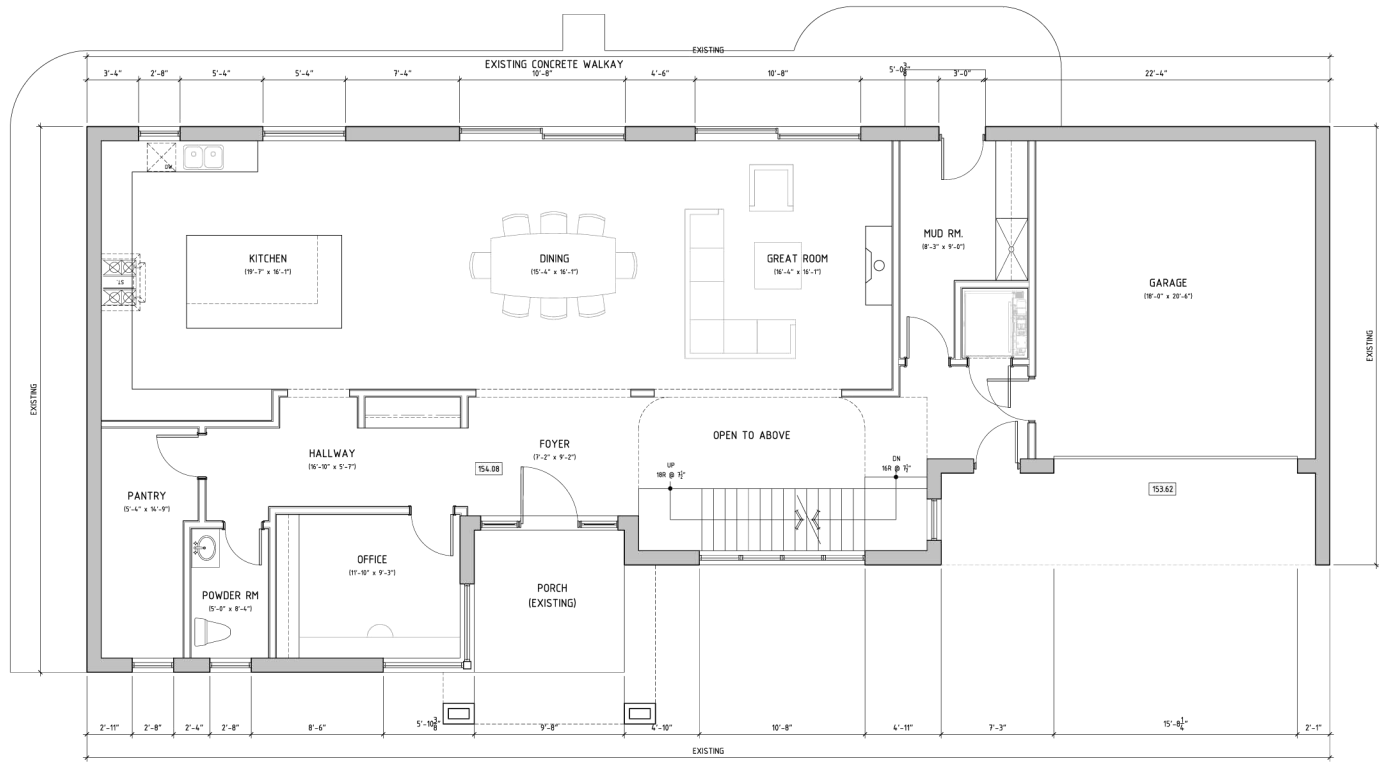
J S BARMİ ARCHITECT  
PROGRESS SET

**A 110**  
PROPOSED NORTH ELEVATION (C)

2586A YONGE STREET  
TORONTO, ON M4P 2J3 CANADA  
T: + 1 416 745 0765  
E: JSB@LIVINGBOX.CA  
I: WWW.LIVINGBOX.CA

**A 1 PROPOSED NORTH ELEVATION (C)**

1/4" = 1'-0"	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
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FIRST FLOOR AREA CALCULATION	
BUILDING AREA:	2,268 sf
GARAGE:	310 sf
FINISHED FLOOR AREA:	1,898 sf

TOTAL FLOOR AREA CALCULATION	
FIRST FLOOR AREA:	1,898 sf
SECOND FLOOR AREA:	2,185sf
TOTAL FINISHED AREA:	4,083 sf

**GENERAL NOTES/MATERIAL SPECIFICATIONS**

RAVINE & NATURAL FEATURE PROTECTION BY-LAW  
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01	17	NOV	20	WIP	1

NO. DATE REASON FOR ISSUE  
 DRAWN BY: D.S.M. CHECKED BY: J.S.B.  
 CONSULTANT

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 WALLACE RE-DEVELOPMENT  
 56 WALLACE & 1 MEMORIAL HILL DRIVE  
 WOODBRIDGE, ON  
 JSBA PROJECT# : 2028-01



J S BARMİ ARCHITECT

PROGRESS SET

**A 201**  
 PROPOSED FIRST FLOOR PLAN

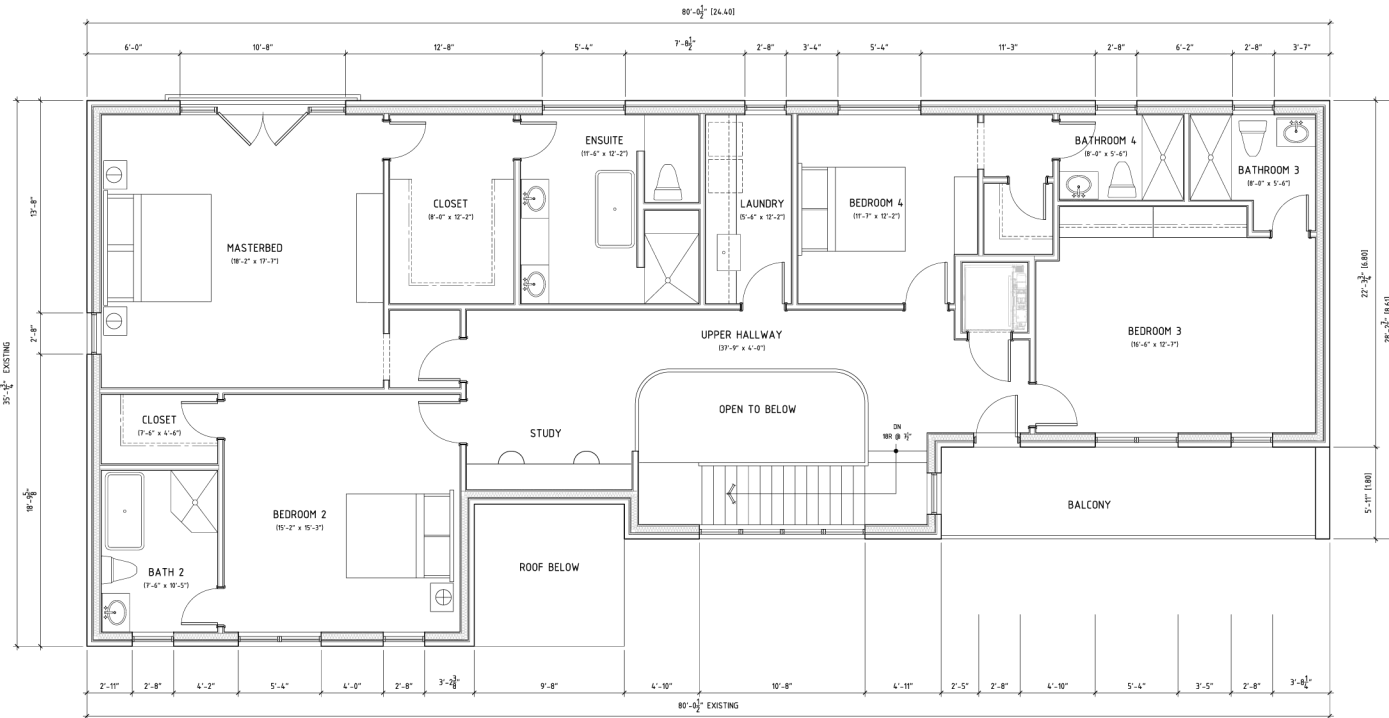
2586A YONGE STREET  
 TORONTO, ON M4P 2J3 CANADA  
 T: + 1 416 745 0765  
 E: JSB@LIVINGBOX.CA  
 I: WWW.LIVINGBOX.CA

**A 1 PROPOSED FIRST FLOOR PLAN**

1/4" = 1'-0"  
 1 MEMORIAL HILL DRIVE

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- 14
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SECOND FLOOR AREA CALCULATION	
FLOOR AREA:	2,268 sf
OPEN TO BELOW:	83 sf
FINISHED FLOOR AREA:	2,185 sf

**GENERAL NOTES/MATERIAL SPECIFICATIONS**

RAVINE & NATURAL FEATURE PROTECTION BY-LAW  
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JUNE 2008

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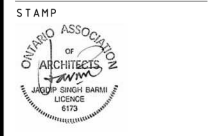
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01	17	NOV	20	WIP	1

NO. DATE REASON FOR ISSUE  
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 WALLACE RE-DEVELOPMENT  
 56 WALLACE & 1 MEMORIAL HILL DRIVE  
 WOODBRIDGE, ON  
 JSBA PROJECT# : 2028-01



**J S BARMİ ARCHITECT**  
 PROGRESS SET

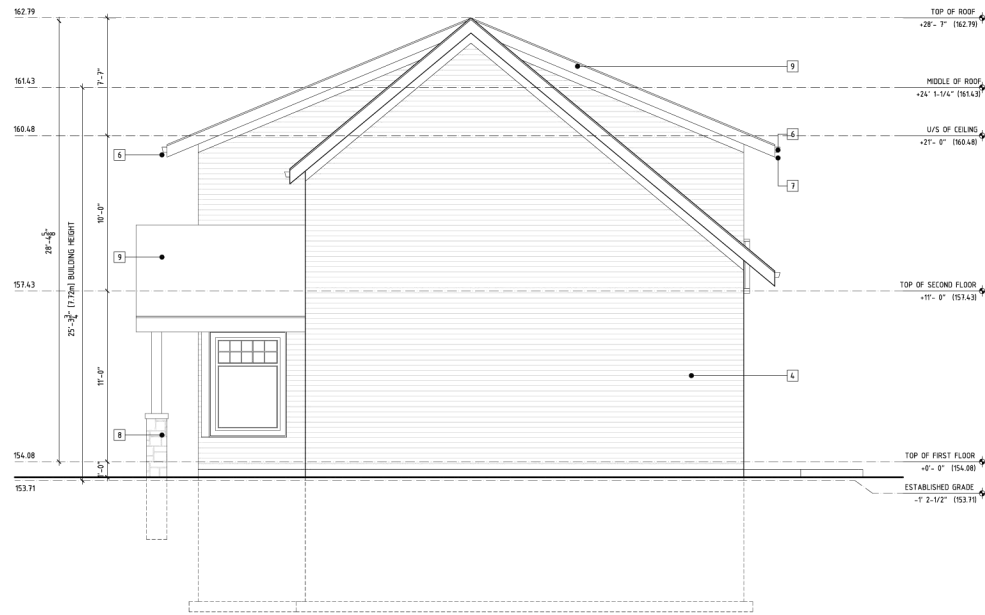
**A 2 0 2**  
 PROPOSED SECOND FLOOR ADDITION

2586A YONGE STREET  
 TORONTO, ON M4P 2J3 CANADA  
 T: + 1 416 745 0765  
 E: JSB@LIVINGBOX.CA  
 I: WWW.LIVINGBOX.CA

**A 1 PROPOSED SECOND FLOOR PLAN ADDITION**

1/4" = 1'-0"  
 1 MEMORIAL HILL DRIVE

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
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**ELEVATION NOTES**

- 1 BRICK VENEER, TYP.
- 2 STONE VENEER, TYP.
- 3 STONE HEADER OR SILL, TYP.
- 4 WOOD/ VINYL CLADDING, TYP.
- 5 WOOD FASCIA/ TRIM/ FRIZEE, PAINTED TYP.
- 6 PRE-FIN METAL GUTTER, DRIP EDGE, AND FASCIA, TYP.
- 7 PRE-FIN METAL SOFFIT C/W CONT. ALUM. VENT
- 8 WOOD PORCH WITH CLASSIC COLUMNS ON BRICK PIERS, TYP.
- 9 ASPHALT SHINGLE, TYP.
- 10 GLASS RAILING TO LATER DETAIL
- 11 METAL RAILING TO LATER DETAIL
- 12 CEMENT PARPING OVER EXPOSED FOUNDATION TO 6" BELOW GRADE, TYP.
- 13 POURED CONC. FOUNDATION WALLS AND FOOTINGS
- 14 STEPPED CONC. FOOTING (2'-0" MAX HEIGHT & 2'-0" MIN LENGTH)

**GENERAL NOTES/MATERIAL LISTING**

RAVINE & NATURAL FEATURE PROTECTION BY-LAW  
 THE RAVINE & NATURAL FEATURE PROTECTION BY-LAW, REGULATES THE INJURY AND DESTRUCTION OF TREES, CLIPPING OF REFUSE AND CHANGES TO GRADE WITHIN PROTECTION AREAS DEFINED.

UNLESS THIS BY-LAW PROTECTED TREES MAY NOT BE REMOVED, INJURED OR DESTROYED, AND PROTECTED GRADES MAY NOT BE ALTERED, WITHOUT WRITTEN AUTHORIZATION FROM URBAN FORESTRY RAVINE PROTECTION, ON BEHALF OF THE GENERAL MANAGER OF PARKS, FORESTRY & RECREATION.

CONVICTION OF OFFENCES RESPECTING THE REGULATIONS IN THE RAVINE & NATURAL FEATURES PROTECTION BY-LAW ARE SUBJECT TO FINES, AND THE LANDOWNER MAY BE ORDERED BY THE COURT TO RESTORE THE AREA TO THE SATISFACTION OF THE CITY. A PERSON CONVICTED AN OFFENCE UNDER THIS BY-LAW IS LIABLE TO A MINIMUM FINE OF \$500 AND A MAXIMUM FINE OF \$100.00 FOR EACH TREE DESTROYED, AND MAXIMUM FINE OF \$100.00 FOR ANY OTHER OFFENCE COMMITTED UNDER THIS CHAPTER, AND/OR A SPECIAL FINE OF \$100.00. A PERSON CONVICTED OF A CONTINUING OFFENCE, INCLUDING FAILURE TO COMPLY WITH RAVINE PERMIT CONDITIONS, IS LIABLE TO A MAXIMUM FINE OF NOT MORE THAN \$10.000 FOR EACH DAY OR PART OF A DAY THE OFFENCE CONTINUES.

JUNE 2008

DRAWINGS MUST NOT BE SCALED AND TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND C.B.C.

ALL DRAWINGS AND INFORMATION ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE PRIOR TO CONSTRUCTION AND FABRICATION. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO VARY FROM THAT INDICATED ON ARCHITECTURAL DRAWINGS, THE ARCHITECTOR/ THE ENGINEER MUST BE NOTIFIED. ALL DIMENSIONS ARE GIVEN IN IMPERIAL UNITS UNLESS OTHERWISE INDICATED.

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04	15	JAN	21	WIP	4
03	08	DEC	20	WIP	3
02	27	NOV	20	WIP	2
01	17	NOV	20	WIP	1

NO. DATE REASON FOR ISSUE  
 DRAWN BY: D S M CHECKED BY: J S B  
 CONSULTANT

**G 1 PROPOSED EAST ELEVATION**

1/4" = 1'-0"  
 1 MEMORIAL HILL DRIVE



**A 1 PROPOSED SOUTH ELEVATION**

1/4" = 1'-0"  
 1 MEMORIAL HILL DRIVE

PROJECT TITLE  
 WALLACE RE-DEVELOPMENT  
 56 WALLACE & 1 MEMORIAL HILL DRIVE  
 WOODBRIDGE, ON  
 JSBA PROJECT# : 2028-01



J S BARM ARCHITECT

PROGRESS SET

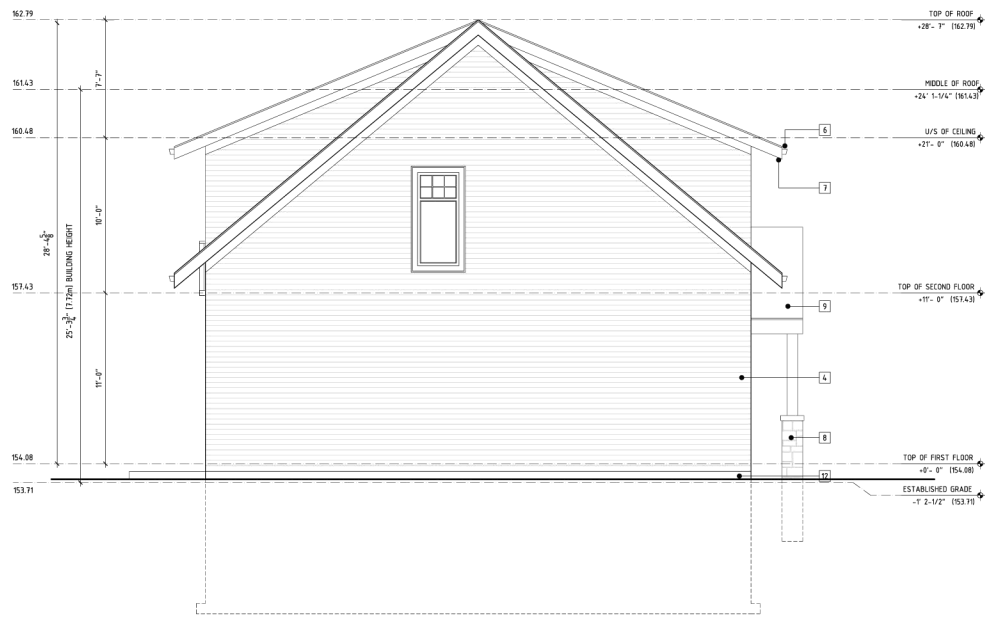
**A 204**

PROPOSED SOUTH ELEVATION  
 PROPOSED EAST ELEVATION

2586A YONGE STREET  
 TORONTO, ON M4P 2J3 CANADA  
 T: + 1 416 745 0765  
 E: JSB@LIVINGBOX.CA  
 I: WWW.LIVINGBOX.CA

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
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G  
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D  
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A



**ELEVATION NOTES**

- 1 BRICK VENEER, TYP.
- 2 STONE VENEER, TYP.
- 3 STONE HEADER OR SILL, TYP.
- 4 WOOD VINYL CLADDING, TYP.
- 5 WOOD FASCIA/ TRIM/ FRIEZE, PAINTED TYP.
- 6 PRE-FIN. METAL GUTTER, DRIP EDGE, AND FASCIA, TYP.
- 7 PRE-FIN. METAL SOFFIT C/W CONT. ALUM. VENT
- 8 WOOD PORCH WITH CLASSIC COLUMNS ON BRICK PIERS, TYP.
- 9 ASPHALT SHINGLE, TYP.
- 10 GLASS RAILING TO LATER DETAIL.
- 11 METAL RAILING TO LATER DETAIL.
- 12 CEMENT PAVING OVER EXPOSED FOUNDATION TO 6" BELOW GRADE, TYP.
- 13 POURED CONC. FOUNDATION WALLS AND FOOTINGS
- 14 STEPPED CONC. FOOTING (2'-0" MAX HEIGHT & 2'-0" MIN. LENGTH)

**GENERAL NOTES/MATERIAL LISTING**

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NO. DATE REASON FOR ISSUE  
 DRAWN BY: D S M CHECKED BY: J S B  
 CONSULTANT

**G 1 PROPOSED WEST ELEVATION**

1/4" = 1'-0" 1 MEMORIAL HILL DRIVE



**A 1 PROPOSED NORTH ELEVATION**

1/4" = 1'-0" 1 MEMORIAL HILL DRIVE

PROJECT TITLE  
 WALLACE RE-DEVELOPMENT  
 56 WALLACE & 1 MEMORIAL HILL DRIVE  
 WOODBRIDGE, ON  
 JSBA PROJECT# : 2028-01

STAMP



J S BARM ARCHITECT

PROGRESS SET

**A 205**

PROPOSED NORTH ELEVATION  
 PROPOSED WEST ELEVATION

2586A YONGE STREET  
 TORONTO, ON M4P 2J3 CANADA  
 T: + 1 416 745 0765  
 E: JSB@LIVINGBOX.CA  
 I: WWW.LIVINGBOX.CA

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15



# Mark Hall, OAA, MRAIC, RPP, MCIP, FAIA, AICP, CAHP

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## ACADEMIC + PROFESSIONAL TRAINING

Harvard University, Master of City Planning in Urban Design  
US Navy Civil Engineer Corps Officer School, Certificate of Graduation  
Construction and Design Management  
Massachusetts Institute of Technology  
Graduate Studies in Planning and Economics  
Pratt Institute, Master Degree program studies in Planning and Economics  
University of Michigan, Bachelor of Architecture

## DESIGN AND CONSTRUCTION EXPERIENCE

Mariposa Land Development Company [1438224 Ontario Inc.]  
Toronto / Orillia, President  
Orchard Point Development Company [1657923 Ontario Inc.]  
Orillia, Vice President  
MW HALL CORPORATION, Toronto, Toronto, President  
Teddington Limited, Toronto,  
Development advisor, Planner, Architect  
ARCHIPLAN, Los Angeles, Principal/President

DMJM, Los Angeles, Planner  
Gruen Associates, Los Angeles, Planner  
US NAVY, Civil Engineer Corps, Officer  
Apel, Beckert & Becker, Architects, Frankfurt  
Green & Savin, Architects, Detroit

## CITY DEVELOPMENT / URBAN DESIGN / REAL ESTATE DEVELOPMENT

Mark Hall has directed a number of city development and urban design projects, including waterfront revitalization, commercial, multi-unit residential, industrial facilities and major mixed use projects in both public and private clients/employers. He has worked on staff for public agencies, including real estate development and property management services. He understands the dynamics of city development, the techniques required for successful implementation, and procedural, financial and political requirements. His experience and contributions range throughout Canada, the United States, Europe, Southeast Asia, the Middle East and the Arctic. As a result of his extensive experience in this area, he has been invited to participate in the Regional Urban Design Assistance Team [R/UDAT] programs of the American Institute of Architects, and a program of waterfront renewal in Toronto by the Ontario Professional Planners Institute. He is a Registered Professional Planner in Ontario, member of the Canadian Institute of Planners, and a founding member of the American Institute of Certified Planners. Recently, as president of Mariposa Land Development Company, he designed and built a 54 unit condominium apartment project designed to upgrade the waterfront of historic downtown Orillia, Ontario. The building has spurred a number of revitalization projects in Orillia.

## HISTORIC PRESERVATION / ADAPTIVE REUSE

Mr. Hall has developed special interest and expertise in historic preservation and adaptive reuse of historic structures and city districts. He has served as president of the Los Angeles Conservancy, and designed projects combining historic preservation and appropriate adaptive reuse of the properties. He is a member of the Canadian Association of Heritage Professionals. Recently he served as preservation architect on renovations of the RC Harris Water Plan, a designated cultural heritage building in Toronto. He has served as architect for restoration and additions to a number of historic houses in the Annex, Beaches and other areas of central city Toronto, as well as Belleville, Orillia, Mississauga and Brampton, and in Los Angeles and Florida. He frequently works with property developers, municipalities and heritage property owners as consultant regarding historic properties of concern to municipalities in which they are working.

## ARCHITECTURE

A licensed architect for over 40 years, Mr. Hall is licensed to practice in Canada and the US. He has been responsible for design and construction of a number of significant projects: mixed use structures, corporate headquarters and industrial facilities, military facilities, multi-unit residential, civic and commercial centres, and seniors housing. He understands the design, construction and real estate development process, as well as management of multi-disciplinary and client concerns for cost effective, efficient, award-winning structures. Many of the structures he has built are the result of implementing more comprehensive master planned developments. For his work in historic preservation, education and community service he was awarded Fellowship in the American Institute of Architects.

## COMMUNITY & EDUCATION SERVICE

In addition to professional practice, Mr. Hall has made major commitments to teaching and community service. He taught urban design and city planning at USC, UCLA, Southern California Institute of Architecture [SCI ARC] and Boston Architectural Center. While at Harvard he worked with the Harvard Urban Field Service in Boston's Chinatown. As an officer in the US NAVY he was awarded a special Commendation Medal for development of a master plan for the NAVY's Arctic Research Laboratory and the adjacent Inupiat community of Barrow, Alaska. His work has been published in professional journals and has received various awards and honors. He served on the board of directors and later as president of the Southern California chapter of the American Institute of Architects. He was co-chair for the Ontario Professional Planners Institute [OPPI] of a multi-disciplinary design Charette to determine the future of the Metropolitan Toronto waterfront, and later on a committee of the Ontario Association of Architects looking into solutions to urban sprawl. He has served as president of the non-profit Housing Development Resource Centre [HRDC] and as president of Toronto Brigantine, a non-profit organization providing sail training aboard two tall ships in the Great Lakes.