

<b>ITEM: 6.17</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A342/22 50 PAINTED PONY TRAIL, KLEINBURG</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision	Decision Outcome

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A342/22  
50 PAINTED PONY TRAIL, KLEINBURG**

<b>ITEM NUMBER: 6.17</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	2179912 Ontario Inc.
<b>AGENT:</b>	Canvas Developments
<b>PROPERTY:</b>	50 Painted Pony Trail, Kleinburg
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling.

The following variances have been requested from the City's Zoning By-law:

**The subject property is zoned R1A, First Density Residential Zone and subject to the provisions of Exception 14.1022 under By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	The maximum building height permitted is 10.6 metres. [Exception 14.1022, 14. a.]	To permit a maximum building height of 11.65 metres.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, April 20, 2023  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, **Woodbridge Room**, 2141 Major Mackenzie Drive, Vaughan  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)  
 If you would like to submit written comments, please quote file number above and submit by mail or email to:  
**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

### COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	April 6, 2023
<b>Date Applicant Confirmed Posting of Sign:</b>	March 23, 2023
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	To accommodate required needs of the family.
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

### BUILDING STANDARDS (ZONING) COMMENTS

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

### DEVELOPMENT PLANNING COMMENTS

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

### DEVELOPMENT ENGINEERING COMMENTS

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
A grading permit will not be required for the proposed dwelling, as the applicant has already obtained approval from The Development Engineering Department in January of 2022.	
Development Engineering Department does not object to the Minor Variance application A342/22.	
<b>Development Engineering Recommended Conditions of Approval:</b>	None

### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments received to date.	
<b>PFH Recommended Conditions of Approval:</b>	None

### DEVELOPMENT FINANCE COMMENTS

No comment no concerns	
<b>Development Finance Recommended Conditions of Approval:</b>	None

**BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS**

No comments received to date.

<b>BCLPS Recommended Conditions of Approval:</b>	None
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**BUILDING INSPECTION (SEPTIC) COMMENTS**

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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**FIRE DEPARTMENT COMMENTS**

Please ensure the owners follow the permit process and have submitted permits reviewed and issued before construction starts.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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**SCHEDULES TO STAFF REPORT**

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

**SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL**

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
	None	

**IMPORTANT INFORMATION – PLEASE READ**

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

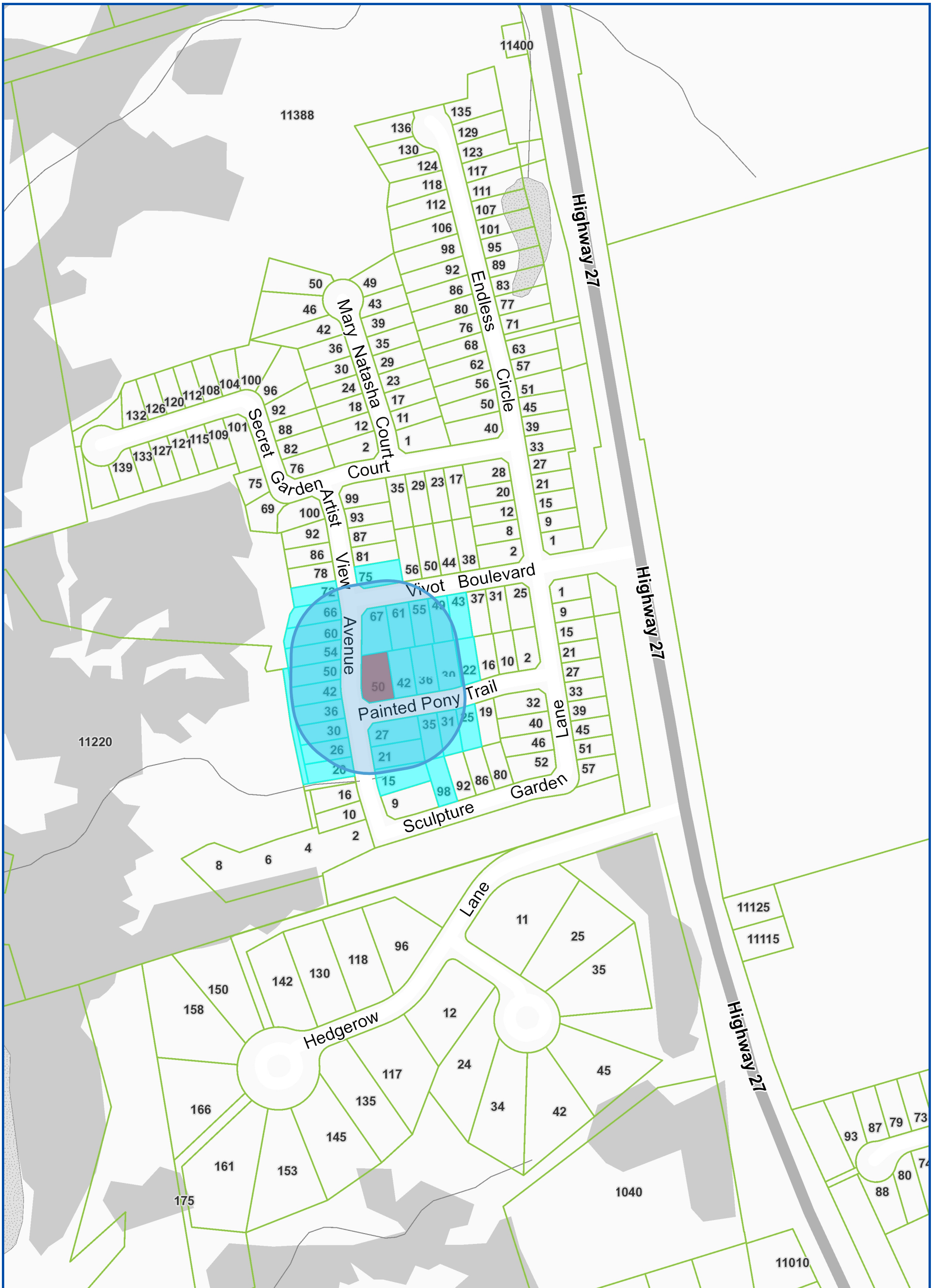
## IMPORTANT INFORMATION – PLEASE READ

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

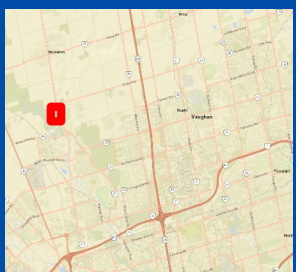
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



Map Information:



Title: **50 Painted Pony Trail, Kleinburg**

**NOTIFICATION MAP - A342/22**

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 4,514  
0 0.07 km



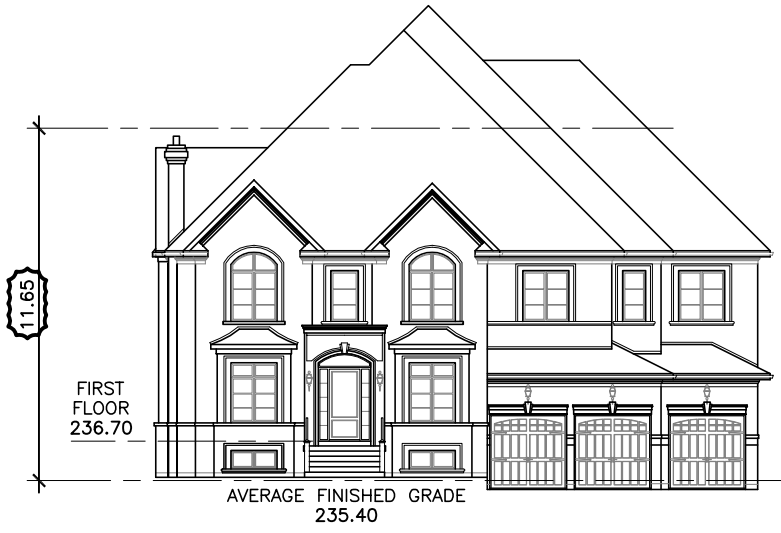
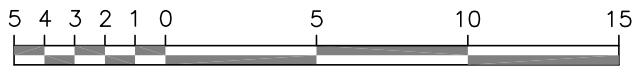
Created By:  
Infrastructure Delivery  
Department  
March 29, 2023 12:33 PM

Projection:  
NAD 83  
UTM Zone  
17N



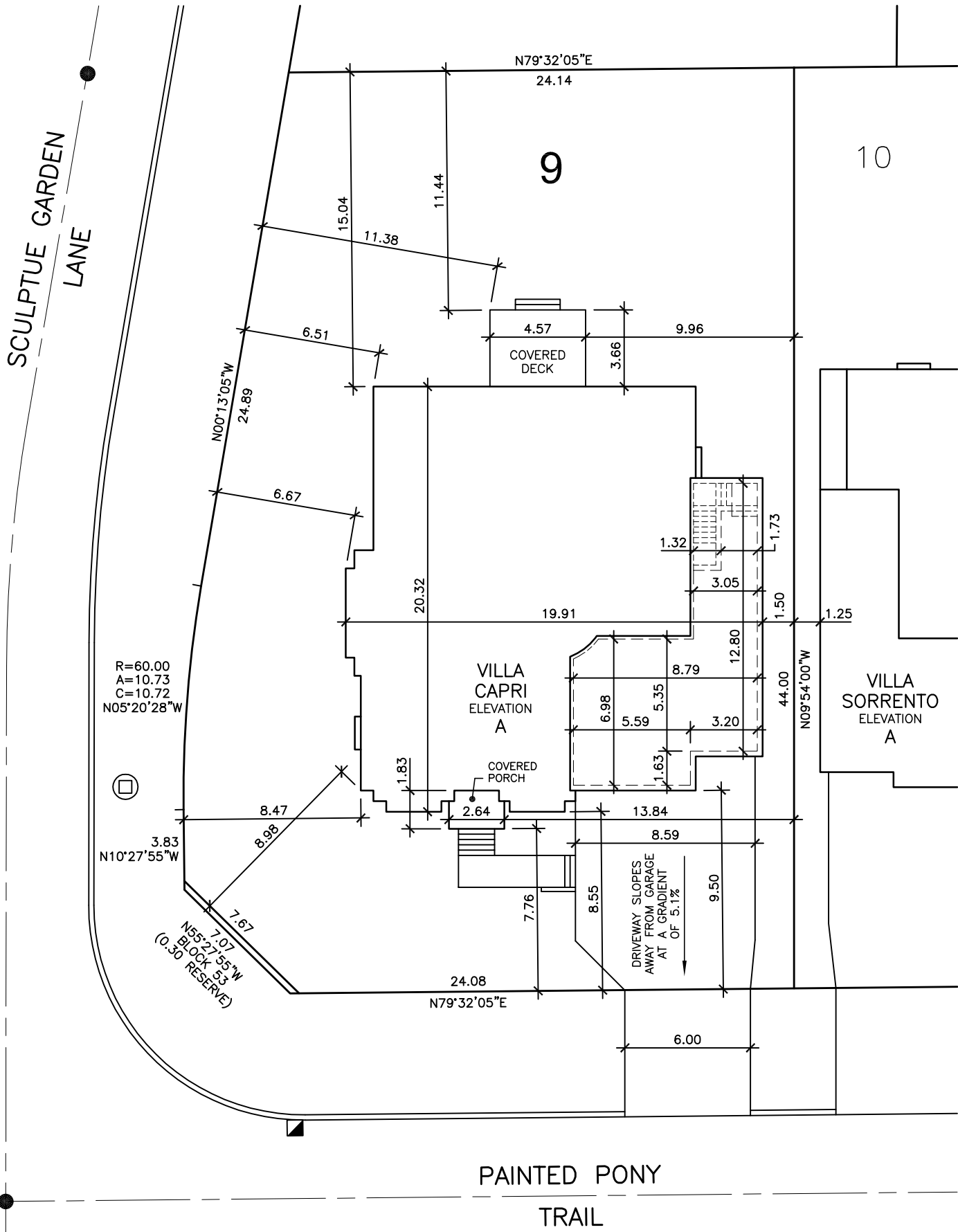
**FRONT YARD LANDSCAPING**

TOTAL YARD AREA	211.50 m <sup>2</sup>	
	REQUIRED	PROPOSED
MIN LANDSCAPED AREA	105.75 m <sup>2</sup>	147.50 m <sup>2</sup>
PERCENTAGE	50.00 %	69.74 %
MIN SOFT LANDSCAPING	63.45 m <sup>2</sup>	134.61 m <sup>2</sup>
PERCENTAGE	60.00 %	91.26 %



**LEGEND**

- SINGLE CATCHBASIN
- DOUBLE CATCHBASIN
- SANITARY MH
- STORM MH
- SANITARY FDC
- STORM
- WATER SERVICE
- HYDRO SERVICE
- FLOW DIRECTION
- HYDRANT & VALVE
- VALVE AND BOX
- LIGHT STANDARD
- BELL PEDESTAL
- CABLE PEDESTAL
- HYDRO TRANSFORMER
- ENGINEERED FILL LOT
- SUPER MAILBOX
- EXISTING ELEVATION
- PROPOSED ELEVATION
- SWALE
- FINISHED 1ST FLOOR
- TOP FOUNDATION WALL
- FINISHED SLAB
- UNDERSIDE FOOTING
- SUMP PUMP
- ROOF DOWNSPOUT



REGISTERED PLAN NUMBER  
**65M-4437**  
 DRAFT PLAN OF SUBDIVISION FILE  
**19T-08V06**

**SITE INFORMATION**  
 THIS PLAN IS BASED ON  
 PLAN OF SUBDIVISION OF  
 PART OF LOT 29,  
 CONCESSION 9  
 (GEOGRAPHIC TOWNSHIP OF VAUGHAN)  
 CITY OF VAUGHAN  
 REGIONAL MUNICIPALITY OF YORK  
 SURVEY PREPARED BY  
 RADY-PENTEK & EDWARD SURVEYING LTD.  
 DATED AUGUST 19, 2013



ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL  
 THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT  
 DRAWINGS MUST NOT BE SCALED

**ARCHITECTURAL DESIGN INC.**

56 PENNSYLVANIA AVE.  
 UNIT 1  
 CONCORD, ONT. L4K 3V9  
 TEL 905 660-9393  
 FAX 905 660-9419

**SITE STATISTICS**  
 Zoning R1 per By-law 1-88 and Exception 9(1393)

LOT AREA	1193.55 m <sup>2</sup>
DWELLING AREA	357.65 m <sup>2</sup> = 29.97 % COVERAGE
COVERED PORCH AREA	4.57 m <sup>2</sup> = 0.38 % COVERAGE
COVERED DECK AREA	16.72 m <sup>2</sup> = 1.40 % COVERAGE
TOTAL BUILDING AREA	378.94 m <sup>2</sup> = 31.75 % COVERAGE
LOT COVERAGE, MAXIMUM PROPOSED	35.00 %
HEIGHT, MAXIMUM PROPOSED	10.60 m

NOTE: TOTAL BUILDING AREA INCLUDES GARAGE, COVERED PORCH AND COVERED DECK

**SITE STATISTICS**  
 Zoning R1A per By-law 01-2021 and Exception 14(1022)

LOT AREA	1193.55 m <sup>2</sup>
DWELLING AREA	357.65 m <sup>2</sup> = 29.97 % COVERAGE
COVERED PORCH AREA	4.57 m <sup>2</sup> = 0.38 % COVERAGE
COVERED DECK AREA	16.72 m <sup>2</sup> = 1.40 % COVERAGE
EAVES AND GUTTER AREA	37.76 m <sup>2</sup> = 3.16 % COVERAGE
TOTAL BUILDING AREA	416.70 m <sup>2</sup> = 34.91 % COVERAGE
LOT COVERAGE, MAXIMUM PROPOSED	40.00 %
HEIGHT, MAXIMUM PROPOSED	10.60 m

NOTE: TOTAL BUILDING AREA INCLUDES GARAGE, COVERED PORCH, COVERED DECK, EAVES AND GUTTERS

PROJECT  
**PROPOSED DWELLING FOR: KLEINVALLEY ESTATES INC AT: 50 PAINTED PONY TRAIL VAUGHAN**

DRAWING	MINOR VARIANCE DATA	
DATE	NOV '22	PROJECT NO <b>13-43</b>
DRAWN	T.P.	DRAWING NO <b>COA</b>
SCALE	1:250	

# PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

FINISHED GRADE'S PROFILE LINE IS GENERIC AND DOES NOT REFLECT EXACT ELEVATION. TRACES OF GLASS AND PROTECTION OF GLASS SHALL BE IN ACCORDANCE WITH OBC 9.6.1.4.

RESPONSE TO FORCED ENTRY SHALL BE PROVIDED FOR DOORS IN ACCORDANCE WITH OBC 9.10.1.4.1.

GUARDS SHALL CONFORM TO OBC 9.8.8.1 WITH TABLE 9.8.8.2 IN CONFORMANCE WITH TABLE 9.8.8.2.

GLASS IN GUARDS CONFORM TO OBC SECTION 9.8.8.1.

THE MAXIMUM AGGREGATE AREA OF UNPROTECTED OPENINGS IN AN EXPOSING BUILDING FACE SHALL CONFORM TO TABLE 9.10.1.4.1.

FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, EXTERIOR WALLS SHALL BE FINISHED EVERY WINDOW WELL SHALL BE GRANED TO THE FINISH OF THE EXTERIOR FINISH SURFACE LOCATION. [OBC 9.14.6.3]

WHERE STEPS BETWEEN ARE USED, THE VERTICAL RISE BETWEEN THE HORIZONTAL PORTIONS SHALL NOT EXCEED 600 mm. RISES SHALL BE NOT LESS THAN 800 mm. [OBC 9.15.3.9]

THE THICKNESS AND HEIGHT OF FOUNDATION WALLS MADE OF UNREINFORCED CONCRETE SHALL BE NOT LESS THAN 150 mm AND SHALL NOT EXCEED 225 mm IN UNSUPPORTED HEIGHT. [OBC 9.15.4.2]

EXTERIOR FOUNDATION WALLS SHALL EXTEND NOT LESS THAN 50 mm ABOVE FINISHED FLOOR LEVEL. [OBC 9.15.4.9]

VENTING FOR ROOF SPACES SHALL CONFORM TO OBC 9.19.1.2.

THE UNSTRUCTURED ROOF VENT AREA SHALL BE NOT LESS THAN 200 mm ABOVE FINISHED FLOOR LEVEL. ROOF SLOPED LESS THAN 1 IN 6, OR IN ROOFS THAT ARE CONSTRUCTED WITH ROOF JOISTS, BE NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA. [OBC 9.19.1.2]

FLASHING SHALL BE INSTALLED IN MASONRY AND MASONRY VENEER WALLS IN MASONRY THROUGHWALL FLASHING SHALL BE PROVIDED IN A MASONRY VENEER WALL SUCH THAT ANY SPACE WILL BE DIRECTED TO THE EXTERIOR OF THE BUILDING. [OBC 9.20.13.3.(2)]

WEEP HOLES THAT ARE SPACED NOT MORE THAN 800 mm APART SHALL BE PROVIDED AT THE BOTTOM OF CHIMNEYS OR AIR SPACES IN MASONRY AND MASONRY VENEER WALLS OVER WINDOW AND DOOR OPENINGS. [OBC 9.20.13.8]

A CHIMNEY FLE shall extend not less than 900 mm above the highest point of the roof and shall extend not less than 600 mm above the highest point of the chimney. [OBC 9.20.14.1]

THE SLOPE OF ROOF SURFACES, ON WHICH THE ROOF COVERING IS APPLIED, SHALL CONFORM TO OBC 9.26.3.1.

FLASHING SHALL BE INSTALLED AT ALL INTERSECTIONS LISTED OBC 9.26.4.1 WHERE SLOPING SURFACES OF SHINGLED WALLS SHALL BE FLASHED IN CONFORMANCE WITH OBC 9.26.4.3.

AN EXTERIOR LIGHTING OUTLET WITH EXPIRE CONTROLLED BY A WALL SWITCH LOCATED AT THE EXTERIOR OF THE BUILDING SHALL BE PROVIDED IN RESIDENTIAL OCCUPANCY. [OBC 9.34.2.1]

REFER TO LOT GRADING / SITE PLAN FOR REQUIRED NUMBER OF EXTERIOR STEPS, DOOR OR BENCHMARK WALKOUT CONDITION.

EVERY SURFACE TO WHICH ACCESS IS PERMITTED SHALL BE PROTECTED BY A GUARD, IN CONFORMANCE WITH OBC 9.8.8. AND SHALL BE NOT LESS THAN 1.2 m HIGH. THERE IS A DIFFERENCE IN ELEVATION OF MORE THAN 300 mm, OR OF MORE THAN 1 IN 2. [OBC 9.8.8.1.(1)]

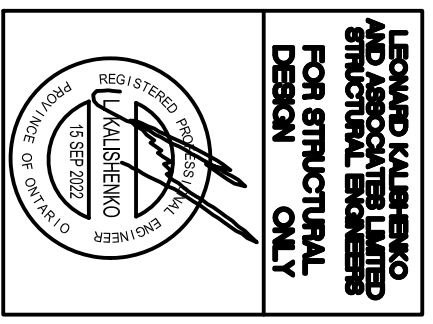
FOR BUILDINGS CONTAINING ONLY DWELLING UNITS, EACH EXPOSING BUILDING FACE AND EXPOSING BUILDING FACE THAT ENCLOSES AN ATTIC OR ROOF SPACE SHALL (A) HAVE A FREE CLEARANCE RATING OF NOT LESS THAN 45 mm, AND ALSO BE CLAD WITH NON-COMBUSTIBLE MATERIAL WHERE 0.6 m. [OBC 9.10.15.5.(2)]

## A342/22



WALLS AND WINDOWS AREA			
ELEVATION	WALL AREA	WINDOWS AREA	%
FRONT ELEVATION	145.08 SM	22.45 SM	
RIGHT SIDE ELEVATION	192.74 SM	22.15 SM	
LEFT SIDE ELEVATION	143.50 SM	33.20 SM	
REAR ELEVATION	598.97 SM	84.81 SM	
TOTAL AREA			14.16

REVISIONS		
#	ISSUED FOR CLIENT REVIEW	06/07/22
2	REMOVED MAIN FLOOR JTS AS PER CLIENT	
	NOTE: STAIRS ARE ONLY AS PER LA	06/08/22



It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the Ontario Building Code and all applicable regulations and requirements including zoning provisions and any provisions of the Ontario Building Code. The Architect is not responsible in any way for examining or approving site (topo) plans or building code or permit matter or that any house can be properly built or located on the lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.

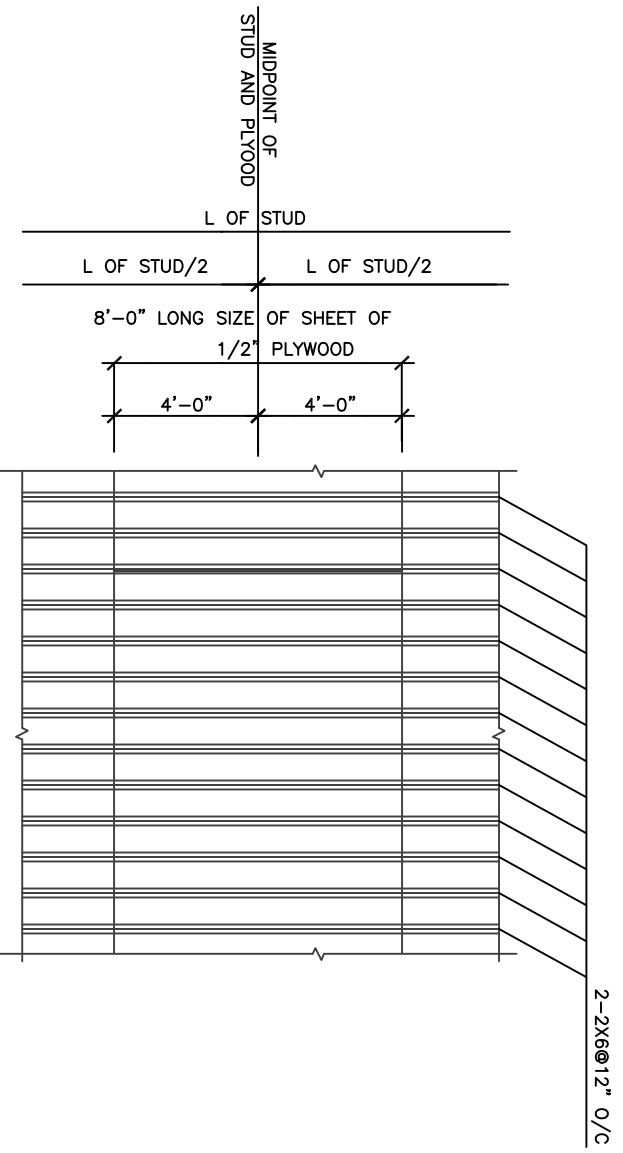


**ARCHITECTURAL DESIGN INC.**  
56 PENNSYLVANIA AVE.  
CONCORD, ONT. L4K 3V9  
TEL 905 660-9393  
FAX 905 660-9419

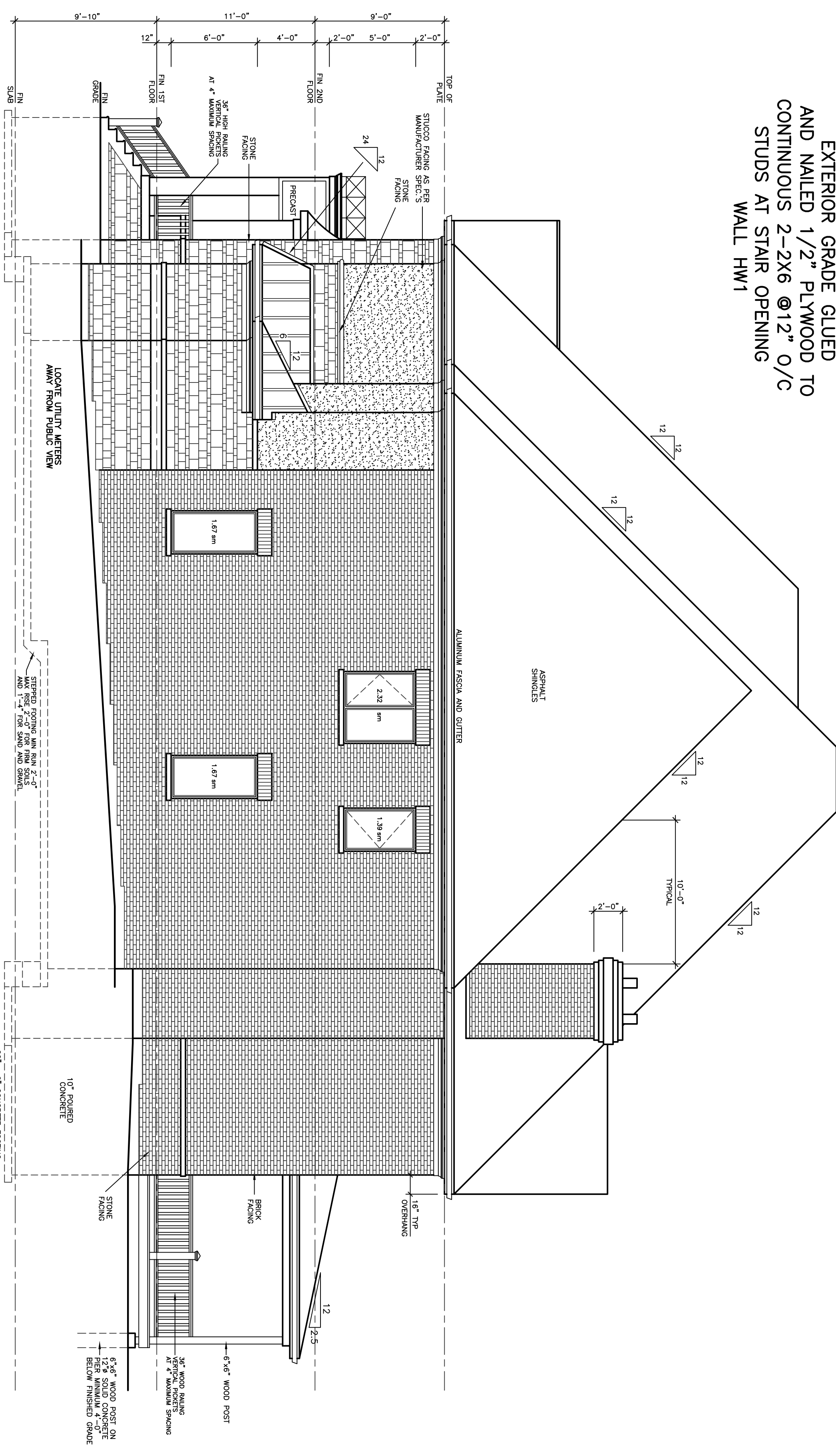
**CORNER LOT 9 VILLA CAPRI**

PROJECT PROPOSED TWO STOREY DWELLING FOR: KLEINWALLEY ESTATES INC. AT: VAUGHAN

DRAWING	
DATE	OCT '22
DRAWN	N.L.
CHECKED	
SCALE	A-5



**DETAIL OF APPLYING OF  
EXTERIOR GRADE GLUED  
AND NAILED 1/2" PLYWOOD TO  
CONTINUOUS 2-2X6 @12" O/C  
STUDS AT STAIR OPENING  
WALL HW1**

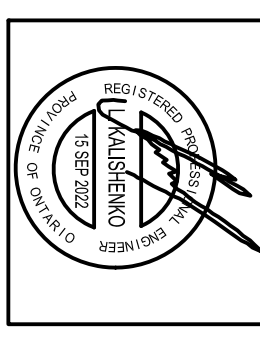


**RIGHT SIDE ELEVATION**

**REVISIONS**

#	ISSUED FOR CLIENT REVIEW	OC 07 22
1	ISSUED FOR CLIENT REVIEW	OC 07 22
2	REDUCED MAIN FLOOR HT. AS PER CLIENT	
	NOTE: STUDS ARE ONLY AS PER LA	DE 08 22

**LEONARD KILBENKO  
AND ASSOCIATES LIMITED  
STRUCTURAL ENGINEERS  
FOR STRUCTURAL  
DESIGN ONLY**



It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable zoning and all applicable regulations and requirements including zoning provisions and any provisions of the Ontario Building Code. The Architect is not responsible in any way for examining or approving site (topo) plans or building code or permit matter or that any house can be properly built or located on the lot. This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



**ARCHITECTURAL  
DESIGN INC.**  
56 PENNSYLVANIA AVE.  
CONCORD, ONT. L4K 3V9  
TEL 905 660-9393  
FAX 905 660-9419

**CORNER LOT 9  
VILLA CAPRI**

PROJECT  
PROPOSED  
TWO STOREY DWELLING  
FOR: KLEINWALLEY ESTATES INC.  
AT: VAUGHAN

DATE	OCT '22	PROJECT NO.	16-17
DRAWN	N.L.	DRAWING NO.	A-6
CHECKED			
SCALE			

**ALLOWABLE UNPROTECTED OPENINGS**

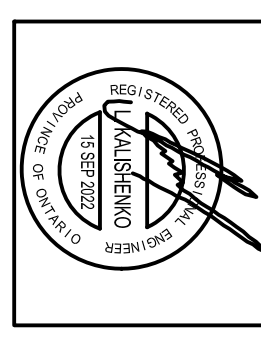
LIMITING DISTANCE	4.92 FT	1.50 M
MAXIMUM AREA	1181.25 SF	109.74 SM
ALLOWABLE OPENINGS	8269 SF	7.68 SM
ACTUAL OPENINGS	76.00 SF	7.08 SM

DRAWING  
RIGHT SIDE ELEVATION

REVISIONS

#1	ISSUED FOR CLIENT REVIEW	OC 07 22
#2	REDOED MAIN FLOOR J.T. AS PER CLIENT	DE 08 22
NOTE: STAIRS ARE ONLY AS PER LA		

**LEONARD VAUGHAN AND ASSOCIATES LIMITED**  
**FOR STRUCTURAL DESIGN ONLY**



It is the builder's complete responsibility to ensure that all plans submitted for approval are in accordance with the applicable zoning and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code of Ontario. The Architect is not responsible in any way for examining or approving site (lotting) plans or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



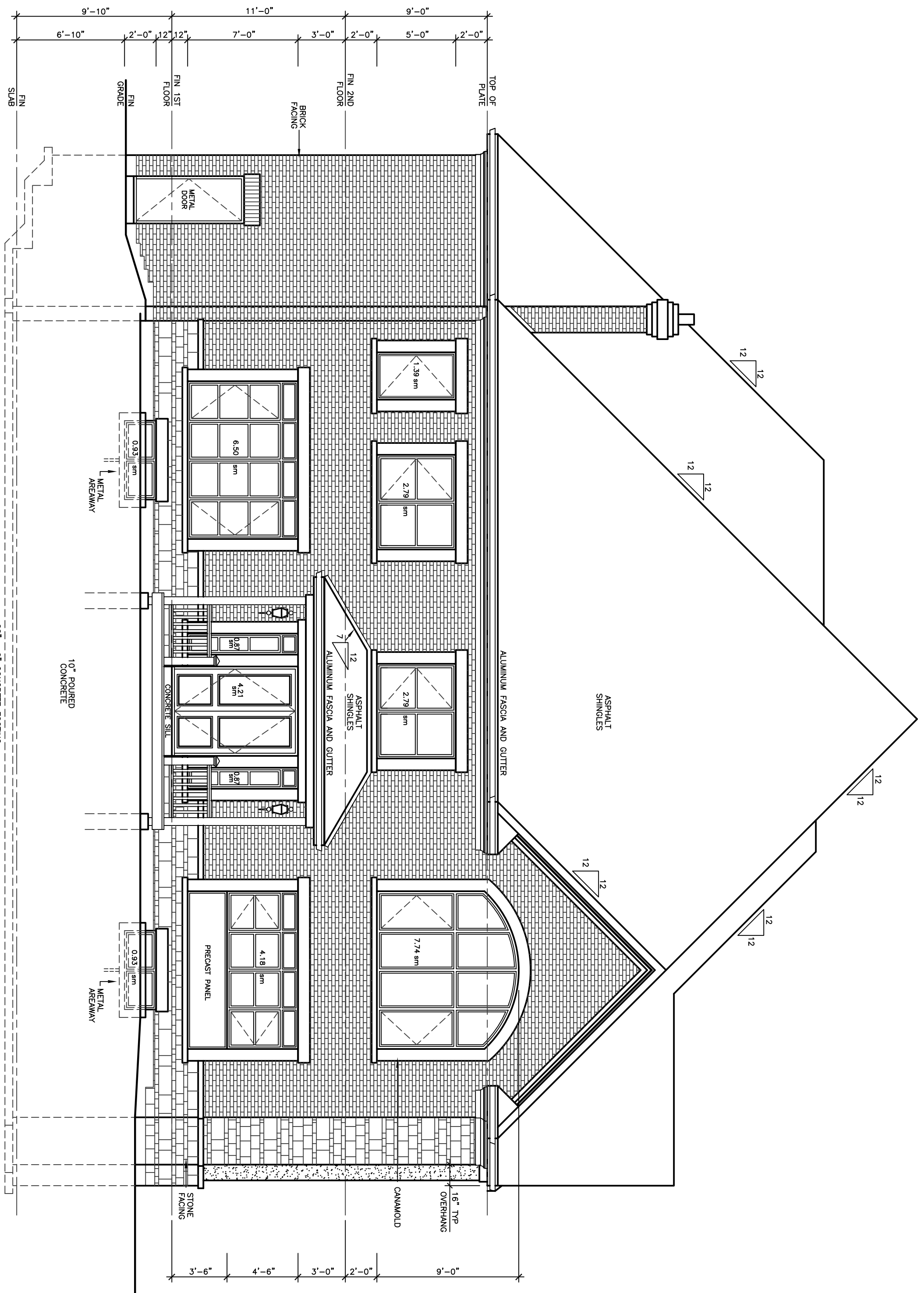
ALL DRAWINGS & SPECIFICATIONS ARE THE PROPERTY OF ARCHITECTURAL DESIGN INC. AND SHALL BE USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL DESIGN INC. DIMENSIONS ON THE SITE AND BEYOND ANY DISCREPANCIES TO THE ARCHITECT.

**ARCHITECTURAL DESIGN INC.**  
 56 PENNSYLVANIA AVE.  
 UNIT 101  
 CONCORD, ONT. L4K 3V9  
 TEL 905 660-9393  
 FAX 905 660-9419

**CORNER LOT 9**  
**VILLA CAPRI**

PROJECT  
 PROPOSED  
 TWO STOREY DWELLING  
 FOR: KLEINWALLEY ESTATES INC.  
 AT: VAUGHAN

DRAWING  
 REAR ELEVATION  
 DATE OCT '22 PROJECT NO 16-17  
 DRAWN N.L. DRAWING NO  
 CHECKED  
 SCALE A-7



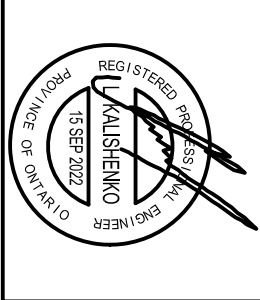
REAR ELEVATION

ALLOWABLE UNPROTECTED OPENINGS	48.21 FT	15.00 M
LIMITING DISTANCE	59.00 FT	18.00 M
MAXIMUM PERCENTAGE	1308.25 SF	121.54 SM
TOTAL WALL AREA	719.54 SF	66.85 SM
ALLOWABLE OPENINGS	334.16 SF	31.04 SM
ACTUAL OPENINGS		

REVISIONS

#1	ISSUED FOR CLIENT REVIEW	OC 07 22
#2	REMOVED MAIN FLOOR JET AS PER CLIENT	DE 08 22
NOTE: DIMS ARE ONLY AS PER LA		

**LEONARD VAUGHAN**  
**REGISTERED PROFESSIONAL ENGINEER**  
**FOR STRUCTURAL DESIGN ONLY**



It is the builder's complete responsibility to ensure that all plans submitted for approval conform to the applicable zoning, building and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code Act and the Building Code. The Architect is not responsible in any way for examining or approving site (topo) plans or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



ALL DRAWINGS & SPECIFICATIONS ARE THE PROPERTY OF ARCHITECTURAL DESIGN INC. AND SHALL REMAIN THEIR SOLE PROPERTY. NO PART OF THIS DRAWING OR SPECIFICATION IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL DESIGN INC. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. DRAWINGS MUST NOT BE SCALED.

**ARCHITECTURAL DESIGN INC.**  
 56 PENNSYLVANIA AVE.  
 SUITE 101  
 CONCORD, ONT. L4K 3V9  
 TEL 905 660-9393  
 FAX 905 660-9419

**CORNER LOT 9 VILLA CAPRI**

PROJECT  
 PROPOSED  
 TWO STOREY DWELLING  
 FOR: KLEMMALLEY ESTATES INC.  
 AT: VAUGHAN

DRAWING	
LEFT SIDE ELEVATION	
DATE	PROJECT NO.
OCT '22	16-17
DRAWN	CHECKED
N.L.	
DRAWING NO.	SCALE
A-8	



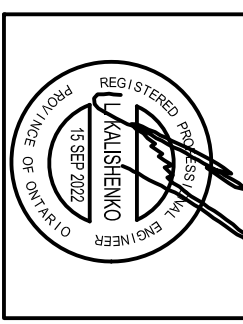
LEFT SIDE ELEVATION

ALLOWABLE UNPROTECTED OPENINGS	
LIMITING DISTANCE	19.68 FT 6.00 M
MAXIMUM TOTAL WINDOW AREA	1644.09 SF 152.74 SM
ALLOWABLE OPENINGS	312.38 SF 28.02 SM
ACTUAL OPENINGS	238.50 SF 22.16 SM

REVISIONS

#1	ISSUED FOR CLIENT REVIEW	OC 07 22
#2	REMOVED MAIN FLOOR HT. AS PER CLIENT	
	NOTE: STEPS ARE ONLY AS PER I.A.	DE 08 22

**LEONARD KALISZENKO AND ASSOCIATES LIMITED**  
FOR STRUCTURAL DESIGN ONLY



It is the builder's complete responsibility to ensure that all plans submitted for approval to the City of Vaughan conform to the applicable zoning and all applicable regulations and requirements including zoning provisions and any provisions of the Building Code of Ontario. The Architect is not responsible in any way for examining or approving site (topo) plans or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of VAUGHAN.



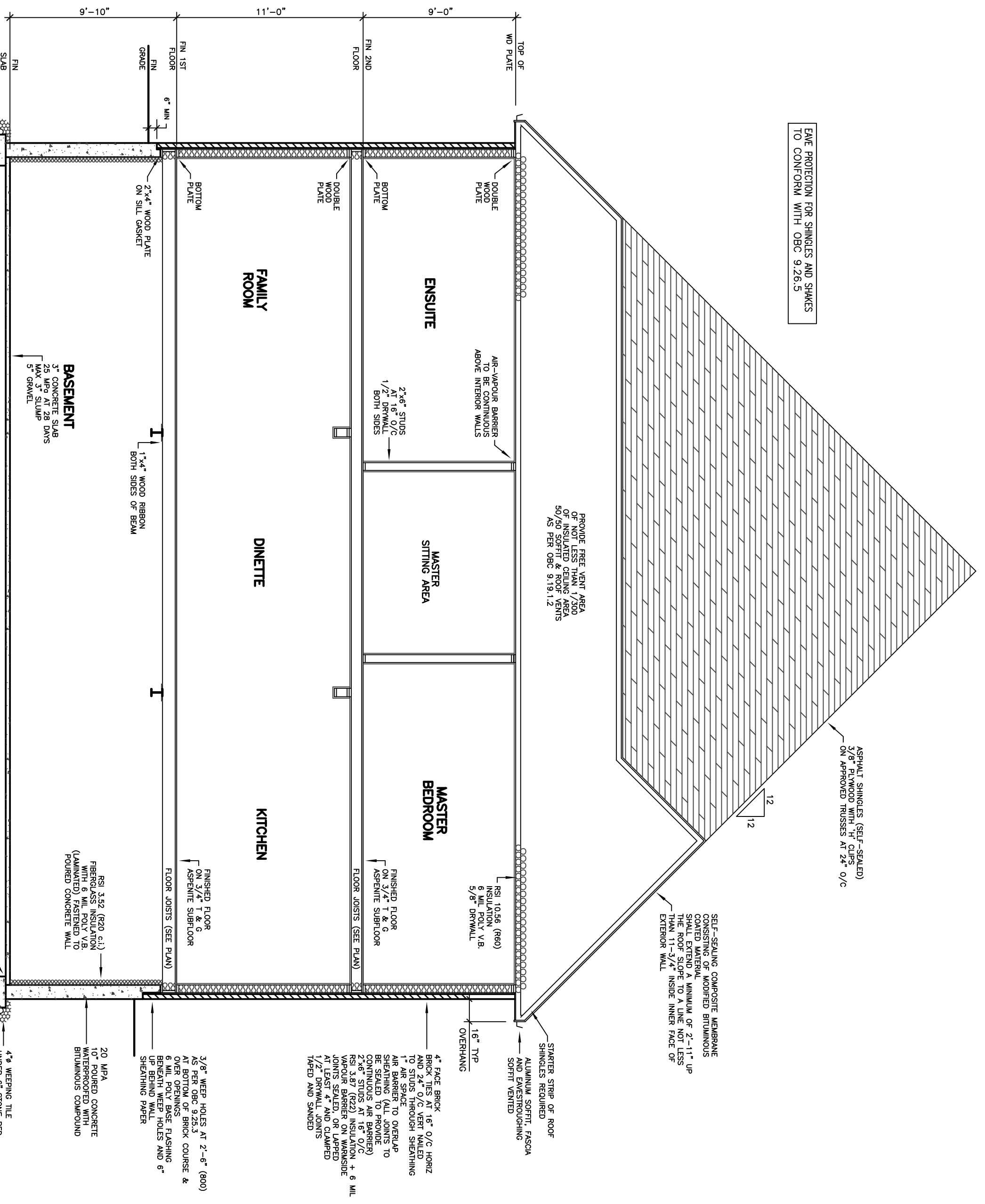
ALL DRAWINGS & SPECIFICATIONS ARE THE PROPERTY OF ARCHITECTS LIMITED. NO PARTS TO BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF ARCHITECTS LIMITED. THE DIMENSIONS ON THE SITE AND BEHIND ANY DISCREPANCIES TO BE SOLELY THE ARCHITECT'S RESPONSIBILITY. DRAWINGS MUST NOT BE SCALED.

**ARCHITECTURAL DESIGN INC.**  
56 PENNINGTON AVE.  
SCARBOROUGH, ONT. L4K 3V9  
TEL: 905 660-9393  
FAX: 905 660-9419

**CORNER LOT 9 VILLA CAPRI**

PROJECT PROPOSED TWO STOREY DWELLING FOR: KLEINWALLEY ESTATES INC. AT: VAUGHAN

DRAWING CROSS SECTION	
DATE	OCT '22
PROJECT NO.	16-17
DRAWN	N.L.
CHECKED	
DRAWING NO.	A-9
SCALE	3/16"=1'-0"



CEILING HEIGHTS OF ROOMS OR SPACES IN RESIDENTIAL OCCUPANCIES AND LIVE/WORK UNITS SHALL CONFORM TO TABLE 9.5.3.1. MINIMUM CEILING HEIGHTS SHALL BE AS SHOWN IN TABLE 9.5.3.1. MINIMUM CEILING HEIGHT IS NOT LESS THAN THE MINIMUM SPECIFIED IN TABLE 9.5.3.1 SHALL BE MAINTAINED THROUGHOUT THE ENTIRE HEIGHT OF THESE ROOMS OR SPACES [OBC 9.5.3.1]

CONCRETE SPACES IN INTERIOR WALLS, CEILING AND FLOOR SPACES SHALL BE SEPARATED BY FIRE BLOCKS FROM CONCEALED SPACES IN EXTERIOR WALLS AND ATTIC OR ROOF SPACES. [OBC 9.10.18.1(1)]

SMOKE ALARMS CONFORMING TO CANADIAN STANDARD CANS 9.10.18.1 SHALL BE INSTALLED IN EACH DWELLING UNIT IN ACCORDANCE WITH TABLE 9.10.18.1

THE MINIMUM DEPTH OF FOUNDATIONS BELOW FINISHED GROUND LEVEL SHALL BE IN ACCORDANCE WITH TABLE 9.12.2.2.

DRAIN TILE AND DRAIN PIPE FOR FOUNDATION DRAINAGE SHALL CONFORM TO THE ENTIRE FOUNDATION [OBC 9.15.3.2]

FOUNDATIONS SHALL BE UNDISTURBED, FOUNDATIONS OR COMPACTED GRANULAR FILL. WHERE THE TOP OF A FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE FOUNDATION TO BE CONSTRUCTED IN ACCORDANCE WITH SECTION 9.25.4, (A) NOT LESS THAN 30 mm THICK, AND (B) NOT LESS THAN 150 mm THICK, AND (C) SPACED NOT MORE THAN 200 mm O.C. (D) THE SPACE BETWEEN THE WALL AND (E) THE FACING SHALL BE FILLED WITH MORTAR. [OBC 9.15.4.7(2)(3)]

ALL WALLS, CEILINGS AND FLOORS SEPARATING HEATED SPACE FROM UNHEATED SPACE, THE SPACE BETWEEN THE WALLS SHALL BE PROVIDED WITH THERMAL INSULATION CONFORMING TO SUBSECTION 9.25.2. AN AIR GAP SHALL BE PROVIDED BETWEEN THE INSULATION AND VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.4, AND CONSTRUCTED IN SUCH A MANNER THAT THE PROPERTIES AND CHARACTERISTICS OF THE INSULATION SHALL CONFORM TO SUBSECTION 9.25.5.

STUCCO SHALL BE NOT LESS THAN 200 mm ABOVE FINISHED GROUND LEVEL EXCEPT WHEN FINISHED WITH OVER CONCRETE OR MASONRY. [OBC 9.25.1.4]

EWE PROTECTION FOR SHINGLES AND SHAKES TO CONFORM WITH OBC 9.26.5

PROVIDE FREE VENT AREA OF INSULATED CEILING AREA AS PER OBC 9.19.1.2

ASPHALT SHINGLES (SELF-SEALED) 5/8" PLYWOOD WITH 'H' GIPS ON APPROVED TRUSSES AT 24" O/C

SELF-SEALING COMPOSITE MEMBRANE CONSISTING OF MODIFIED BITUMINOUS SHALL EXTEND TO A MINIMUM OF 2'-11" UP THE ROOF SLOPE TO A LINE NOT LESS THAN 18" FROM THE EXTERIOR WALL

STARTER STRIP OF ROOF SHINGLES REQUIRED AND EAST/WESTROUGHING SOFFIT VENTED

4" FACE BRICK AND 2" O/C VERT MAILED TO STUDS THROUGH SHEATHING AIR BARRIER TO OVERLAP SHEATHING (ALL JOINTS TO BE SEALED TO PROVIDE 2" X 6" STUDS AT 16" O/C) RSI 3.187 (R22) INSULATION + 6 MIL POLY V.B. FLASHING AT LEAST 4" AND CLAMPED AT LEAST 4" AND CLAMPED TARED AND SANDED

3/8" WEEP HOLES AT 2'-6" (800) AS PER OBC 9.25.3 OVER OPENINGS BRICK COURSE & 6 MIL POLY BASE FLASHING 6" BEHIND WEEP HOLES AND 6" SHEATHING PAPER

20 MPA 10" POURED CONCRETE WATERPROOFED WITH BITUMINOUS COMPOUND

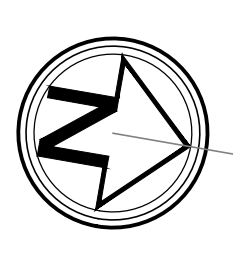
4" WEEPING TILE UNDER 6" CONCRETE FOOTING

CROSS SECTION

**SITE STATISTICS**  
 PER BY-LAW 1-88 ZONING R1 EXCEPTION 9(1393)  
 LOT AREA 1193.55 m<sup>2</sup>  
 BUILDING AREA 378.94 m<sup>2</sup>  
 LOT COVERAGE MAXIMUM 35.00 %  
 PROPOSED 31.75 %  
 HEIGHT, MAXIMUM 10.60 m  
 PROPOSED 11.65 m  
 NOTE: BUILDING AREA INCLUDES GARAGE COVERED PORCH AND COVERED DECK

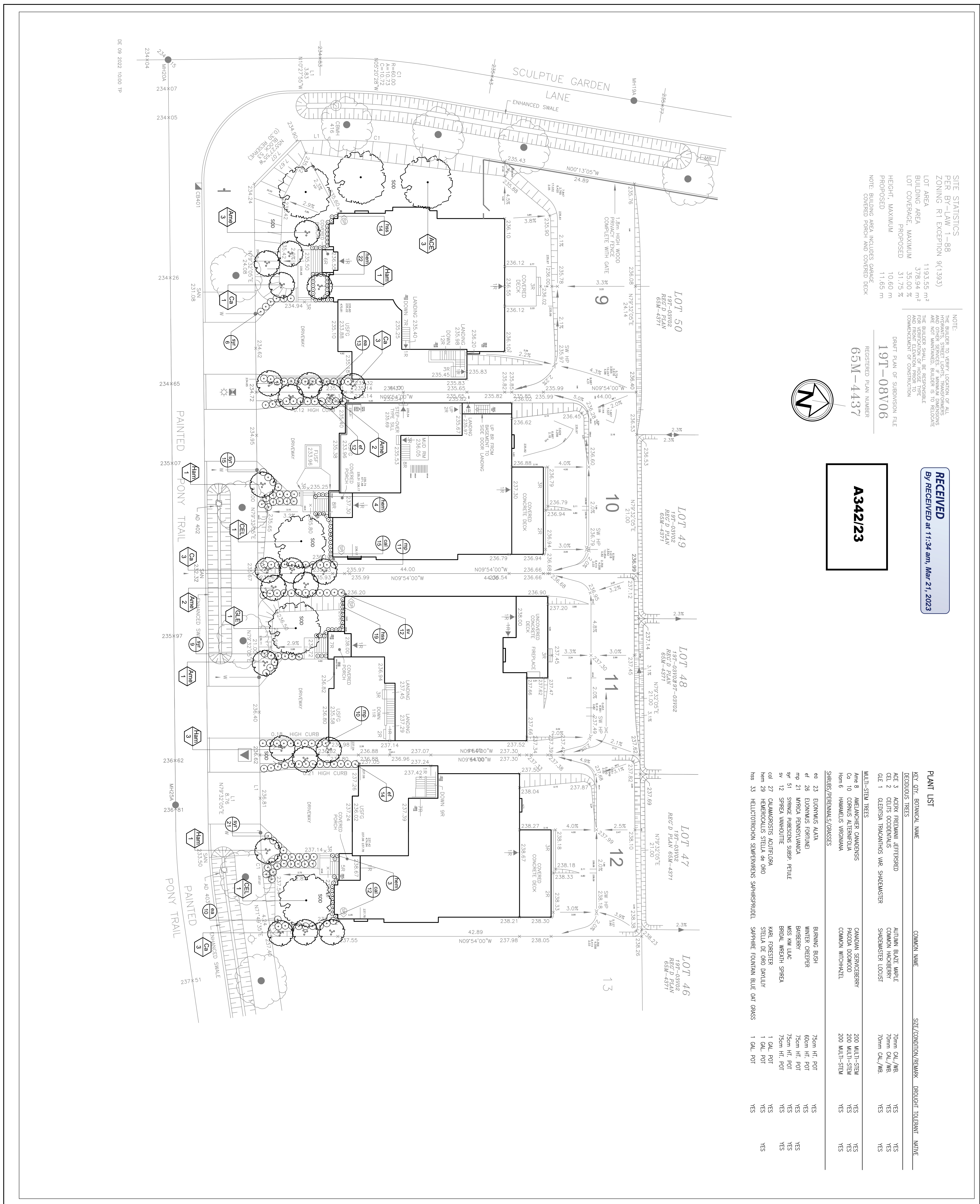
NOTE: REFER TO VERTICAL LOCATION OF ALL HIGHWAYS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MINIMUM DIMENSIONS ARE SHOWN, THEY ARE TO BE MAINTAINED. THE BUILDING SHALL BE RESPONSIBLE FOR VERIFICATION OF HOUSE TYPE AND FRONT ELEVATION PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DRAFT PLAN OF SUBDIVISION FILE  
**19T-08V06**  
 REGISTERED PLAN NUMBER  
**65M-4437**



**A342123**

**RECEIVED**  
 By RECEIVED at 11:34 am, Mar 21, 2023

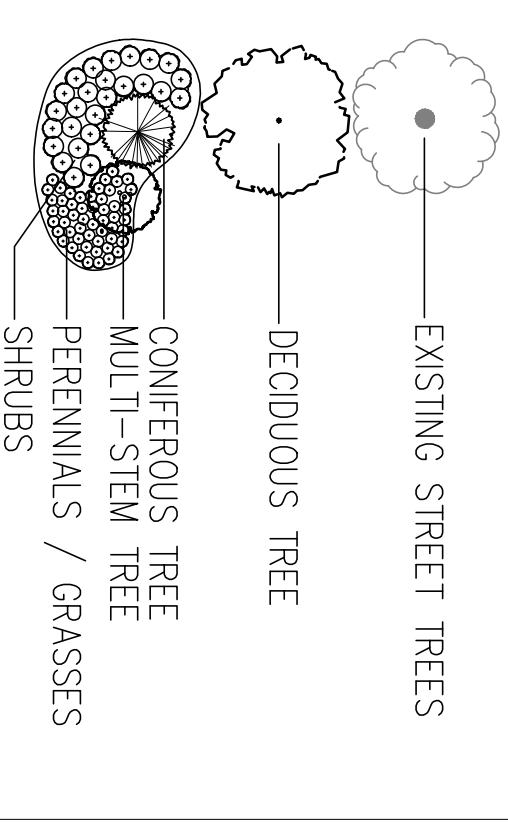


**PLANT LIST**

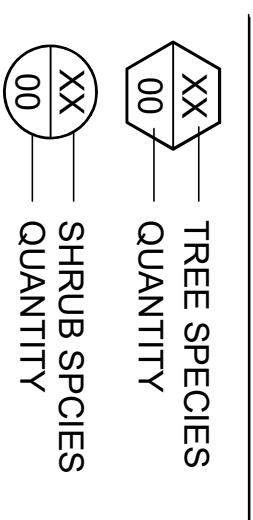
KEY QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONDITION/REMARK	DROUGHT TOLERANT	NATIVE
<b>DECIDUOUS TREES</b>					
ACE 3	ACER FRITZMANI 'JEFFERRED'	AUTUMN BLAZE MAPLE	70mm CAL./WB.	YES	YES
CEL 2	CELIUS OCCIDENTALIS	COMMON HOCKBERRY	70mm CAL./WB.	YES	YES
CEL 1	CELIUS TRICANTHOS VAR. SHADOWER	SHADOWER LOCUST	70mm CAL./WB.	YES	YES
<b>MULTI-STEM TREES</b>					
Am 8	AMELANCHIER CANADENSIS	CANADIAN SERVICEBERRY	200 MULTI-STEM	YES	YES
Ca 10	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	200 MULTI-STEM	YES	YES
Ham 6	HAMMELIS VIRGINIANA	COMMON WITCHHAZEL	200 MULTI-STEM	YES	YES
<b>SHRUBS/PERENNIALS/GRASSES</b>					
ed 23	EUDORWYLLIS ALBA	BURNING BUSH	75cm HT. POT	YES	YES
ed 26	EUDORWYLLIS FORSYTHIA	WINTER GREENER	60cm HT. POT	YES	YES
mp 21	MORICIA PENNSYLVANICA	BERRYBERRY	75cm HT. POT	YES	YES
sp 11	SPARGANOPHOBIA SUBSP. PETIOLAE	MISS KIM LILAC	75cm HT. POT	YES	YES
sp 12	SPARGANOPHOBIA	BROAD WINGED SPARGA	75cm HT. POT	YES	YES
cal 27	CALAMAGROSTIS ACUTIFLORA	KARL FORESTER	1 GAL. POT	YES	YES
hem 29	HEMEROCALLIS STELLA DE ORO	STELLA DE ORO DALLIUS	1 GAL. POT	YES	YES
has 33	HELIOTROPICHON SEMPERVIRENS SPHERISPRUDEL	SAPPHIRE FOUNDANIN BLUE OAT GRASS	1 GAL. POT	YES	YES

Contractor shall check all dimensions on the work and report any discrepancy to the landscape architect before proceeding. All drawings and specifications are the property of the landscape architect and shall not be used for any other project without the written consent of the landscape architect. This drawing is to be used for construction only. Signed by the landscape architect.

**LEGEND**



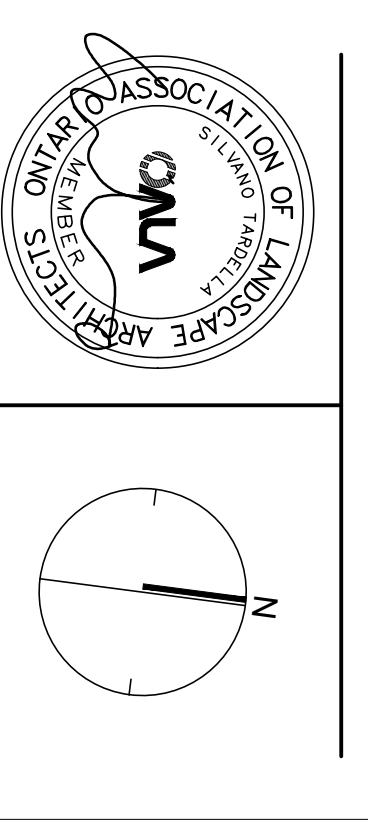
**PLANTING KEY**



Revision

No.	Description	Date
1	Issued for COA	2023.03.20

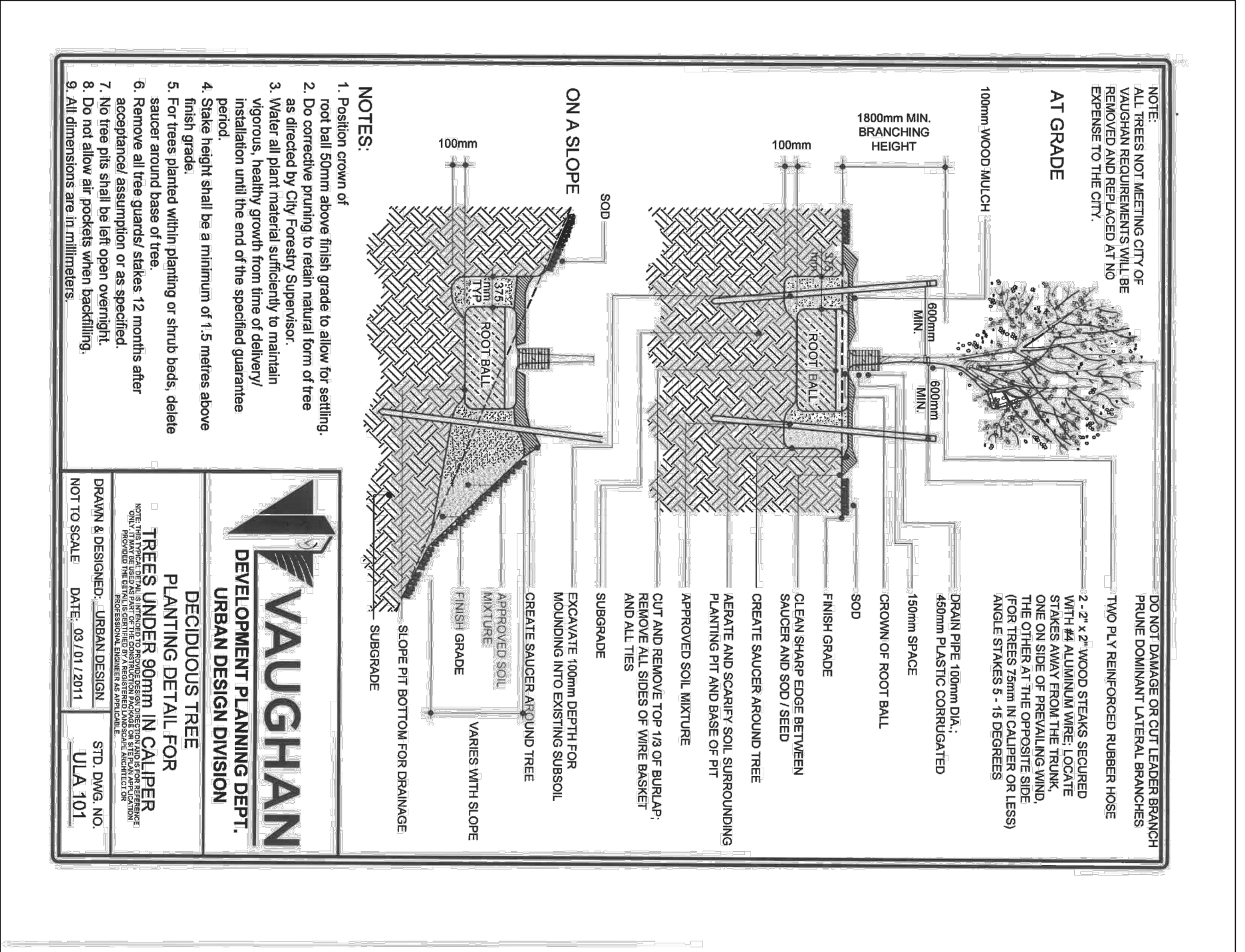
City Approval Stamp



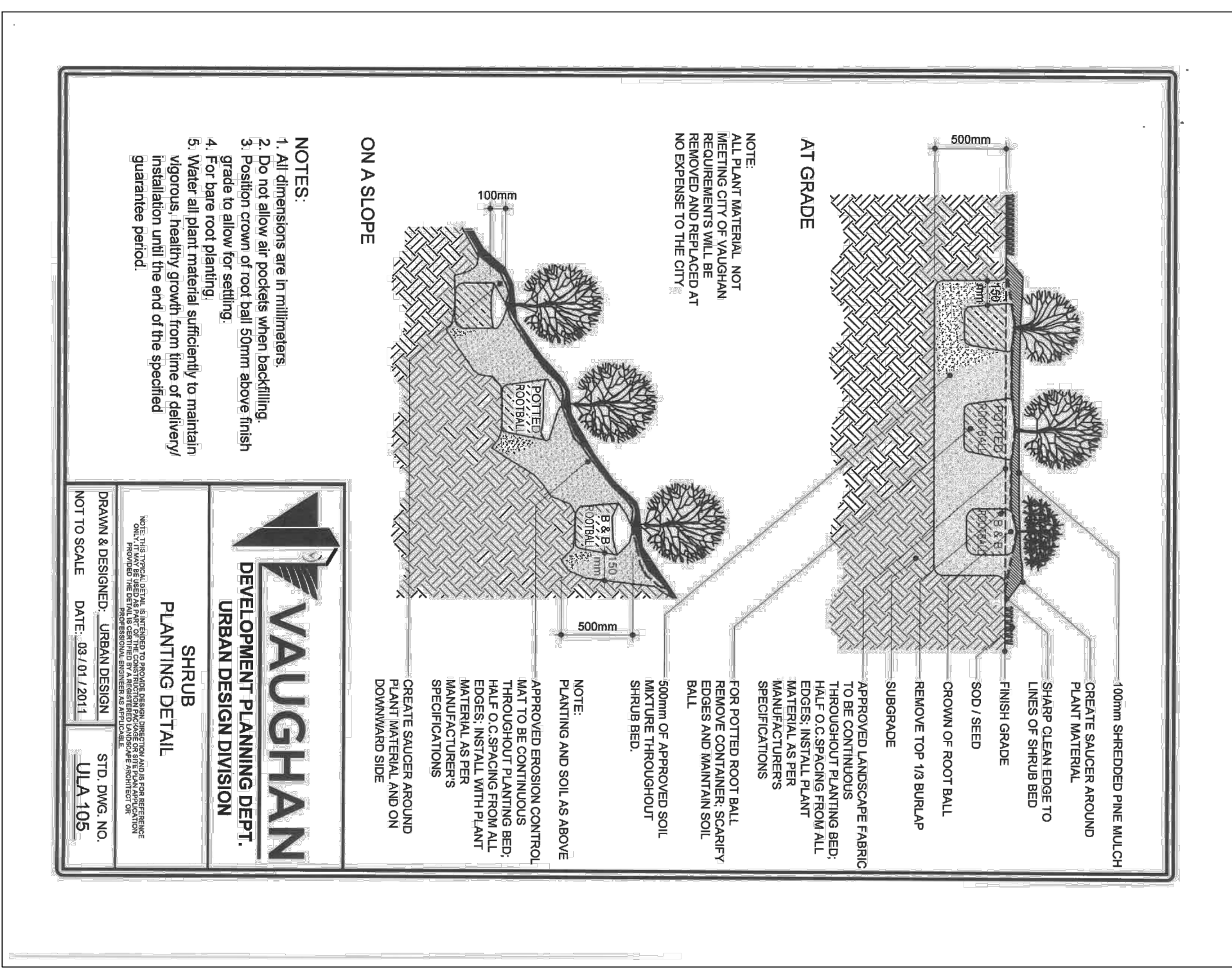
421 RONGEVALES AVENUE, TORONTO, ON M4B 2N1, CANADA  
 TEL: 416-491-1111 FAX: 416-491-1110 WWW.VAUGHANLANDSCAPE.COM  
 Project

**Painted Pony Trail**  
 Vaughan, Ontario

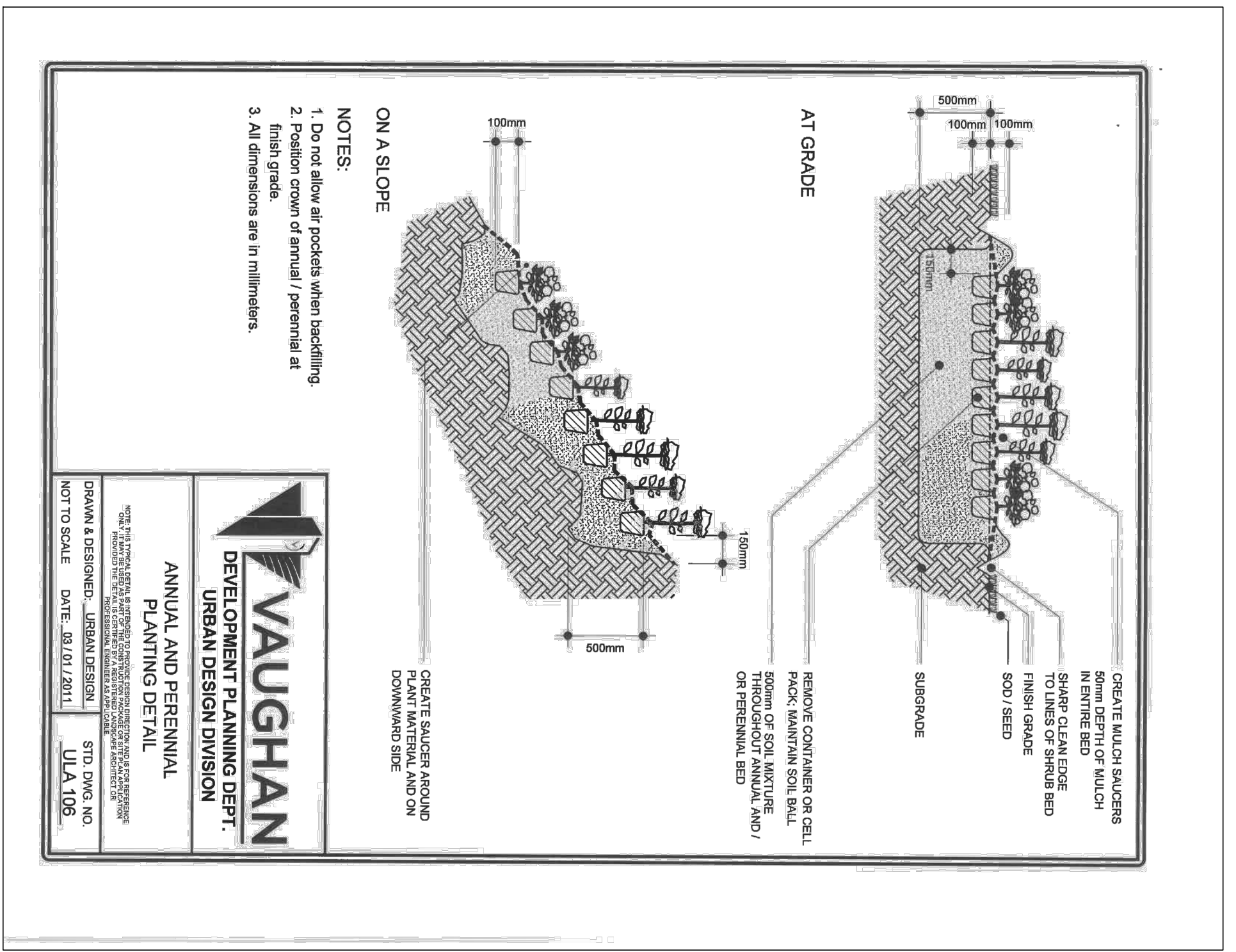
Front Yard Landscaping  
 Lots 9-12



1 DECIDUOUS TREE PLANTING CoTV  
SCALE - N.T.S.



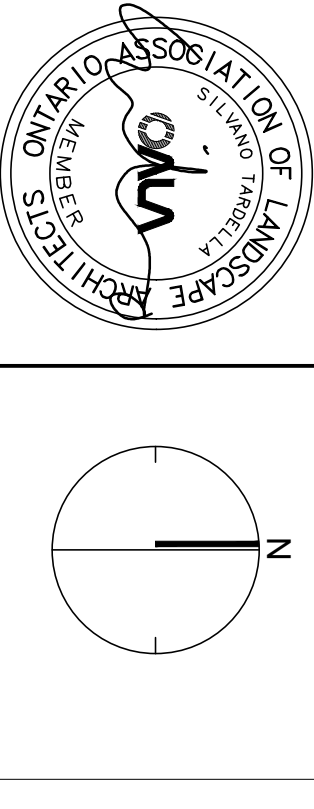
2 SHRUB PLANTING CoTV  
SCALE - N.T.S.



3 ANNUAL AND PERENNIAL PLANTING CoTV  
SCALE - N.T.S.

No.	Description	Date
1	Issued for COA	2023.03.20

City Approval Stamp



**NAK**  
design strategies

421 KONGEVALLS AVENUE, TORONTO, ON M4R 2M1 CANADA  
T 416.240.9700 F 416.240.7100 [www.naklandscape.com](http://www.naklandscape.com)  
Project

**Painted Pony Trail**  
Vaughan, Ontario

Title  
Planting Details

Date: 2023.03.20  
Scale: N.T.S.  
Drawn: mc  
Checked: mc  
Job No.: 2023  
Sheet: **D1**



**SCHEDULE B: STAFF & AGENCY COMMENTS**

<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

**Date:** March 27<sup>th</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A342-22**

**Related Files:**

**Applicant** 2179912 Ontario Inc.

**Location** 50 Painted Pony Trail



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

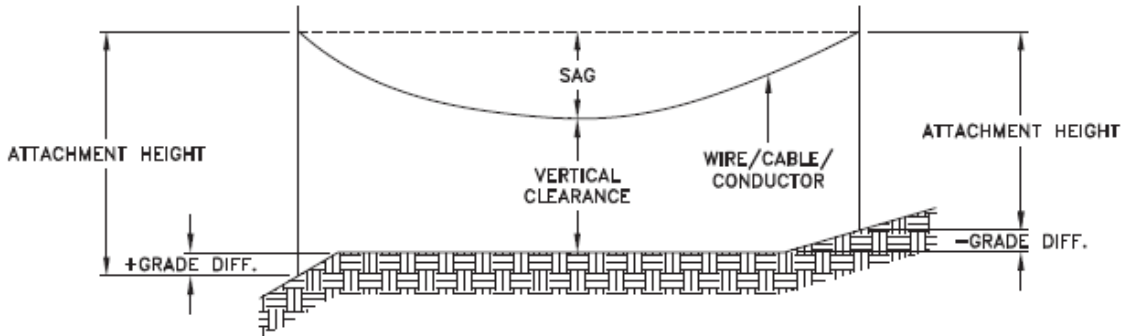
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Christian Tinney, Building Standards Department  
**Date:** February 16, 2023  
**Applicant:** 2179912 Ontario Inc.  
**Location:** 50 Painted Pony Trail  
 PLAN 65M4437 Lot 9  
**File No.(s):** A342/22

**Zoning Classification:**

The subject property is zoned R1A, First Density Residential Zone and subject to the provisions of Exception 14.1022 under By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum building height permitted is 10.6 metres. [Exception 14.1022, 14. a.]	To permit a maximum building height of 11.65 metres.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 22-125866 for Single Detached Dwelling - New, Issue Date: (Not Yet Issued)

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** April 13, 2023  
**Name of Owner:** 2179912 Ontario Inc.  
**Location:** 50 Painted Pony Trail  
**File No.(s):** A342/22

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a maximum building height of 11.65 m.

**By-Law Requirement(s) (By-law 001-2021):**

1. The maximum building height permitted is 10.6 m.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is requesting relief to permit the construction of a two-storey detached dwelling with the above noted variance.

The Development Planning Department has no objection to the proposed variance for the height of the dwelling. The dwelling has a hip roof with a higher pitch. The 11.65 m height is measured from established grade to the midpoint of the roof. While the heights of the dwellings on the north side of Painted Pony Trail vary due to each unique roof design and the subdivision's grading, the measurements from established grade to the top of the roofs are similar for the two storey designs. The proposed dwelling follows the Architectural Design Guidelines for the area and is in keeping with the character of the neighbourhood. As such, the proposed height is appropriate for the neighbourhood and will not pose a significant visual impact to the existing streetscape.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Joshua Cipolletta, Planner I  
David Harding, Senior Planner

**From:** [Development Services](#)  
**To:** [Lenore Providence](#)  
**Cc:** [Committee of Adjustment](#)  
**Subject:** [External] RE: A342/22 (50 Painted Pony Trail) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Tuesday, March 28, 2023 10:06:58 AM  
**Attachments:** [image002.png](#)  
[image004.png](#)

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Hi Lenore,

The Region has completed its review of Minor Variance A342/22 and has no comment. Please provide a copy of the notice of decision for our records.

Many thanks,

**Christine Meehan, B.U.R.P.I., B. B. A** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None