

ITEM: 6.10	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A031/23 519 NORTH RIVERMEDE RD, CONCORD
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/condition
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Agent	Weston Consulting			Justification Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A031/23
519 NORTH RIVERMEDE RD, CONCORD**

ITEM NUMBER: 6.10	CITY WARD #: 4
APPLICANT:	Concord Confections Ltd.
AGENT:	Weston Consulting c/o Paul Tobia
PROPERTY:	519 North Rivermede Rd Concord ON L4K 5A6
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	"Prestige Employment", Volume 2, Section 11.10, Concord Go Centre Secondary Plan
RELATED DEVELOPMENT APPLICATIONS:	DA.22.061
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the installation of an accessory structure, described as a water treatment unit (WTU) within the front yard. Relief is also required to facilitate related Site Plan Application DA.22.061.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EM1 – Prestige Employment Zone - under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An accessory building shall not be located closer to a front lot line than the principal building on the lot. (4.1.2.2.b)	To permit an accessory building located closer to a front lot line than the principal building.

HEARING INFORMATION

DATE OF MEETING: Thursday, April 20, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, **Woodbridge Room**, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

INTRODUCTION

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	April 6, 2023
Date Applicant Confirmed Posting of Sign:	March 30, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Accessory building cannot protrude beyond the front wall of the main building
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That all comments on Site Development Application File DA.22.061 be addressed to the satisfaction of the Development Planning Department.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering (DE) Department does not object to variance application A031/23 subject to the following condition(s):

Development Engineering Recommended Conditions of Approval:	The Owner / Applicant shall obtain approval for the related Site Development Application (DA.22.061) from the Development Engineering (DE) Department.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Recommended condition of approval:

PFH Recommended Conditions of Approval:	Obtain a tree removal permit from the Forestry division
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:

None

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:

None

FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:

None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning roberto.simbana@vaughan.ca	That all comments on Site Development Application File DA.22.061 be addressed to the satisfaction of the Development Planning Department.
2	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall obtain approval for the related Site Development Application (DA.22.061) from the Development Engineering (DE) Department.
3	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Obtain a tree removal permit from the Forestry division

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

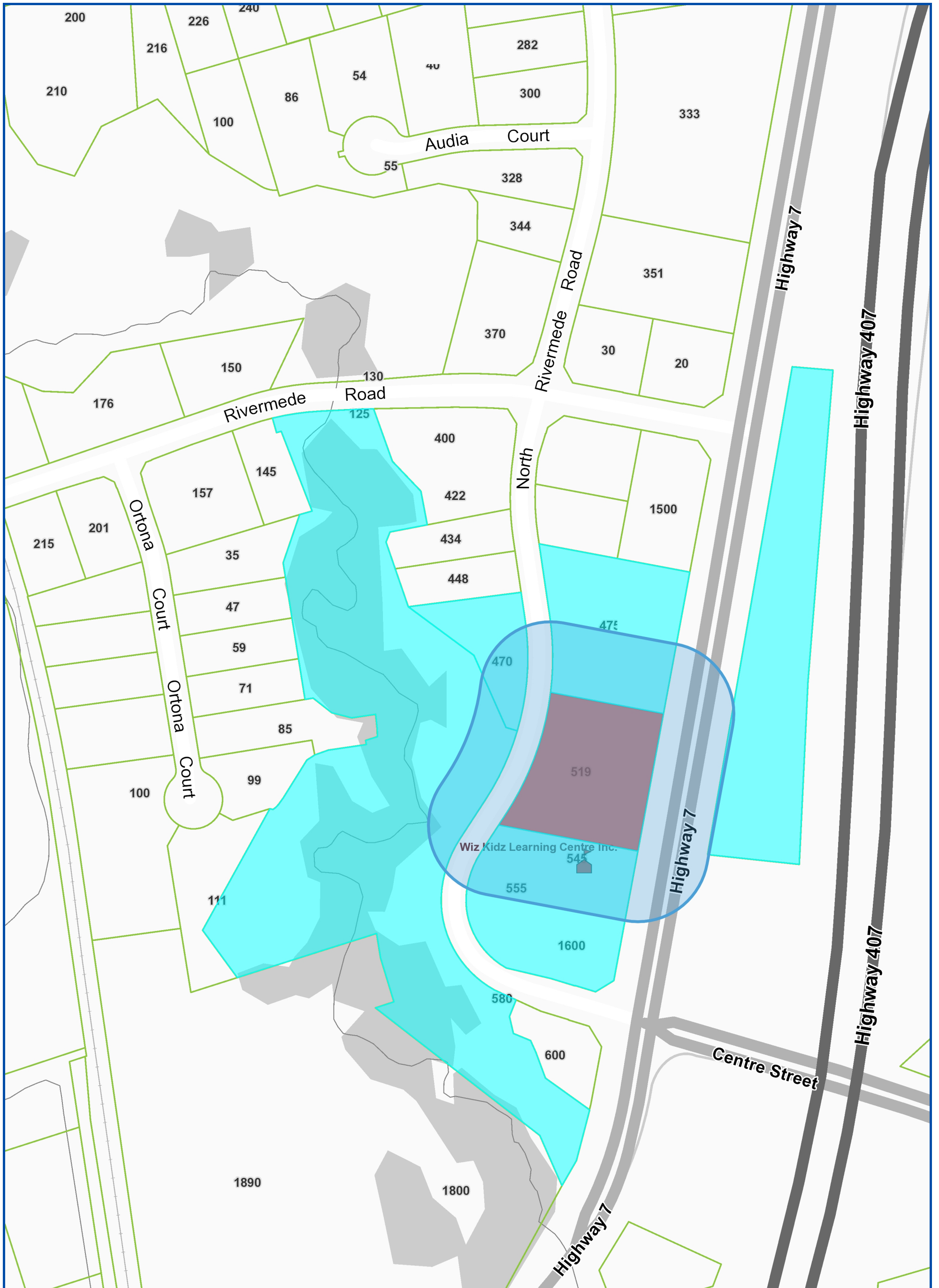
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

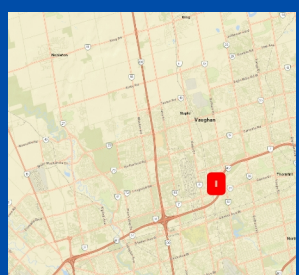
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title: 519 North Rivermede Rd, Concord

NOTIFICATION MAP - A031/23

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,514
0 0.07 km



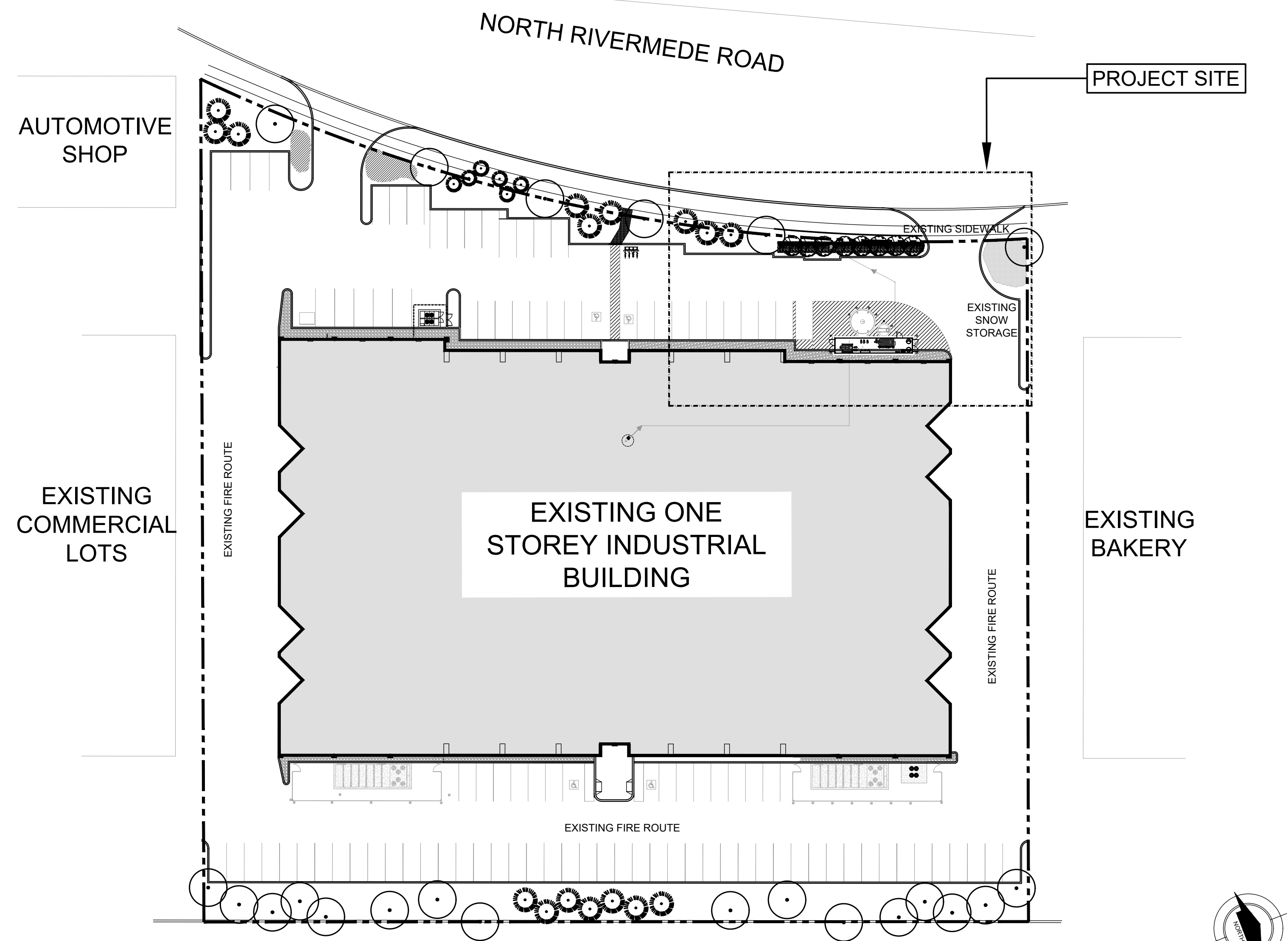
Created By:
Infrastructure Delivery
Department
April 3, 2023 12:24 PM

Projection:
NAD 83
UTM Zone
17N

519 NORTH RIVERMEDE ROAD, CONCORD, ON

PROPOSED WATER TREATMENT UNIT

C-1



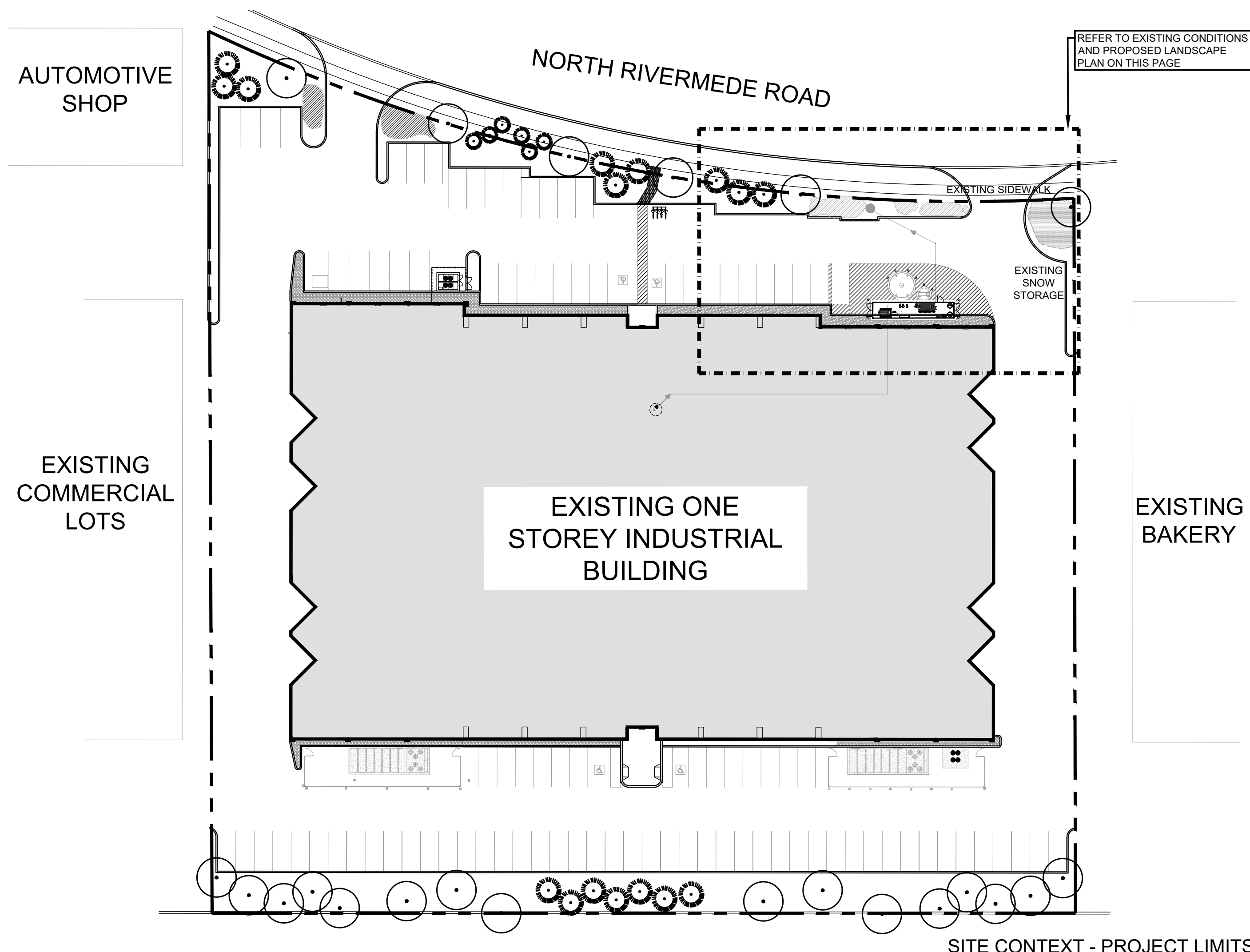
MASTER PLAN KEY MAP
1:500

LIST OF DRAWINGS:

- C-1 COVER PAGE AND MASTER PLAN KEY MAP
- L-1 EXISTING CONDITIONS AND LANDSCAPE PLAN
- L-2 ELEVATIONS
- D-1 DETAILS



John Shank, OALA, CSLA, Principal
95 Mural Street, Suite 207, Richmond Hill, ON L4B 3G2
Tel: 905.669.6838, www.landscapeplan.ca



SITE CONTEXT - PROJECT LIMITS
1:500

GENERAL NOTES:

1. CONTRACTOR SHALL BE REQUIRED TO HAVE A FLAGMAN DIRECTING ALL DELIVERIES OF MACHINERY OR MATERIALS TO THE SITE.
2. CONTRACTOR SHALL PROTECT ALL IRON BARS. ANY DISTURBED BARS SHALL BE REPLACED BY OWNER AT CONTRACTOR'S EXPENSE.
3. CONTRACTOR SHALL REVIEW AND VERIFY SITE GRADES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT. COMMENCEMENT OF GRADING SHALL CONSTITUTE ACCEPTANCE OF SITE CONDITIONS; NO CLAIMS FOR EXTRAS WILL BE ENTERTAINED THEREAFTER.
4. STORAGE OF MATERIALS, VEHICLES AND EQUIPMENT SHALL NOT BE PERMITTED WITHIN THE MUNICIPAL ROAD ALLOWANCE.
5. CONTRACTOR SHALL BE RESPONSIBLE TO CLEAN ROADS DAILY TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
6. SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY STATE FOR THE DURATION OF CONSTRUCTION; ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT.
7. ALL TEMPORARY PROTECTIVE & SEDIMENT CONTROL FENCING SHALL BE MAINTAINED BY THE CONTRACTOR TO THE SATISFACTION OF THE L.A. FOR THE DURATION OF CONSTRUCTION.
8. CONTRACTOR SHALL SUPPLY & INSTALL FILTER FABRIC PROTECTION ON ALL EXISTING CATCH BASINS, WATER METER CHAMBERS, AND UTILITIES.
9. CONTRACTOR SHALL REPAIR AT HIS COST ANY DAMAGE ARISING DURING CONSTRUCTION.
10. ALL EXISTING VEGETATION TO BE RETAINED SHALL BE PROTECTED BY THE GENERAL CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
11. ALL EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE FOR REFERENCE PURPOSES ONLY. THE GENERAL CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR UTILITY STAKEOUT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES CAUSED TO EXISTING UTILITIES DURING CONSTRUCTION.
12. ALL CONSTRUCTION TO BE CARRIED OUT IN ACCORDANCE WITH THE MOST CURRENT PROVINCIAL AND MUNICIPAL STANDARDS AND SPECIFICATIONS.
13. THE CONDITION OF CURBS, SIDEWALKS, STREET TREES AND UTILITIES LOCATED WITHIN THE R.O.W. SHALL BE REVIEWED AND DOCUMENTED BETWEEN ALL PARTIES PRIOR TO THE START OF CONSTRUCTION.
14. **DUST CONTROL:** CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO CONTROL DUST ON THIS PROJECT SITE ON A DAILY BASIS AND TO THE SATISFACTION OF THE CONSULTANT.

PLANT LIST - SHEET L-1

DECIDUOUS TREES

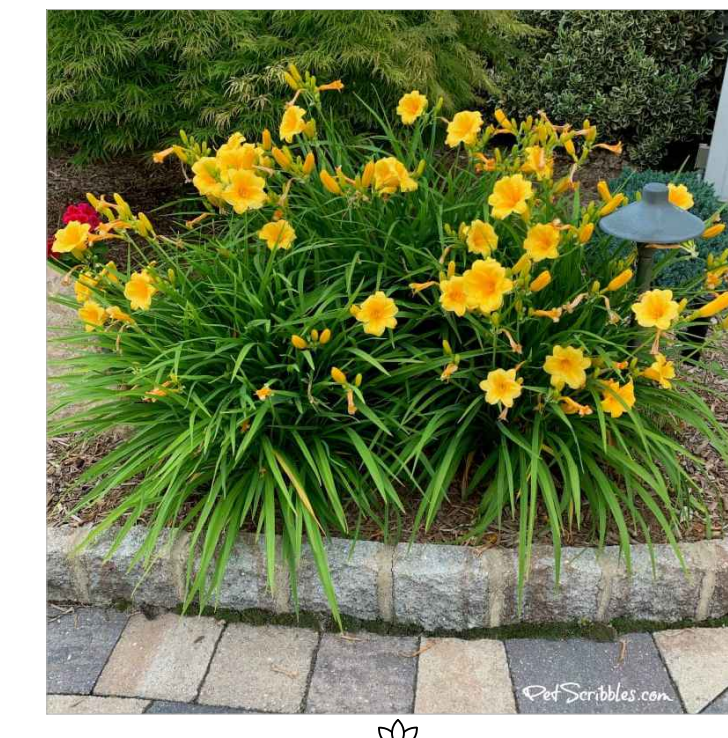
Count	Key	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPREAD	NOTE
8	QRF	<i>Quercus palustris</i> 'Green Pillar'	Green Pillar 'Pingreen' Oak	60mm	-	W.B.	-	-

PERENNIALS AND GRASSES

Count	Key	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	SPREAD	NOTE
112	hsd	<i>Hemerocallis</i> 'Stella D'oro'	Stella d'Oro Daylily	-	-	3 GAL.	-	-
88	cak	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	-	-	3 GAL.	-	-



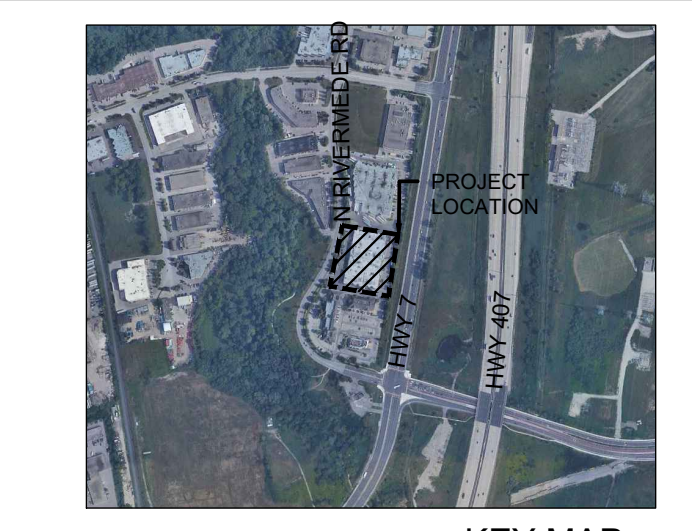
KARL FORESTER FEATHER REED GRASS (cak)
CALAMAGROSTIS ACUTIFLORA 'KARL FORESTER'
SIZE: 80cmx150cm (spread x height)



STELLA D'ORO DAY LILY (hsd)
HEMEROCALLIS 'STELLA D'ORO
SIZE: 60cmx30cm (spread x height)



GREEN PILLAR 'PINGREEN' OAK (QRF)
QUERCUS PALUSTRIS GREEN PILLAR
SIZE: 4x16m (spread x height)



KEY MAP
N.T.S.

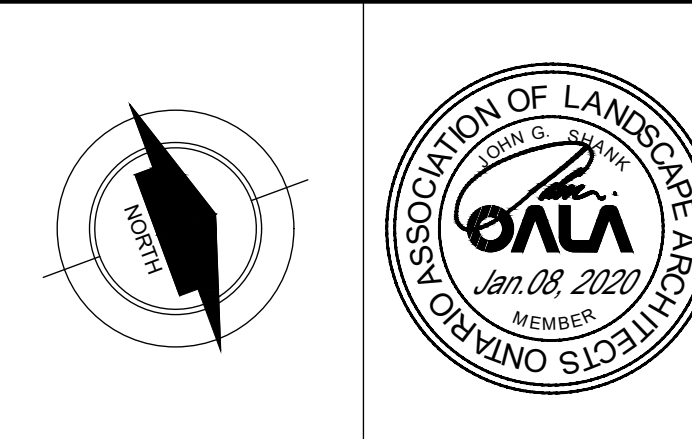
LEGEND:

1 D-0 DETAIL # SHEET #

- PROPERTY LINE
- LIMIT OF CONTRACT
- EXISTING TREES TO REMAIN
- EXISTING SHRUBS TO BE REMOVED
- EXISTING SHRUBS TO REMAIN
- PROPOSED DECIDUOUS TREES
- PROPOSED PERENNIALS AND GRASSES

NO.	ISSUED FOR REVIEW	DATE	BY

THESE DRAWINGS ARE THE PROPERTY OF LANDSCAPE PLANNING LIMITED AND SHALL NOT BE ALTERED, MODIFIED, REVISED OR CHANGED WITHOUT THE WRITTEN CONSENT OF LANDSCAPE PLANNING LIMITED. SEAL IS NOT VALID WITHOUT SIGNATURE OF THE LANDSCAPE ARCHITECT. DRAWINGS CANNOT BE USED FOR TENDER/CONSTRUCTION UNTIL SIGNED BY LANDSCAPE ARCHITECT.



project number
2023-030

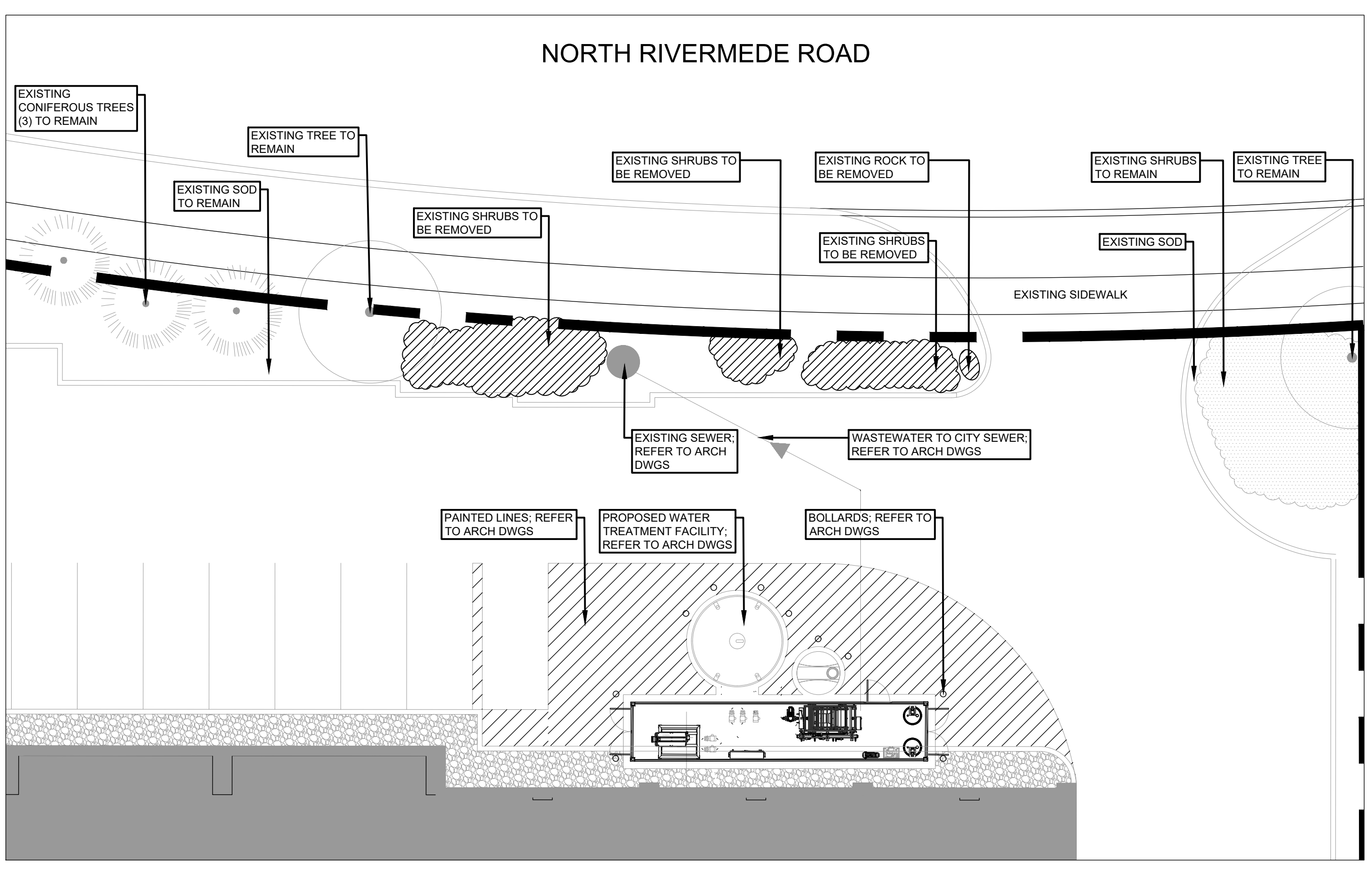
landscape planning
LANDSCAPE ARCHITECTS
Suite 207, 95 Mural Street, Richmond Hill, Ontario L4B 3G2,
Tel. 905.669.6838, www.landscapeplan.ca

project title
519 NORTH RIVERMEDE ROAD, CITY OF VAUGHAN

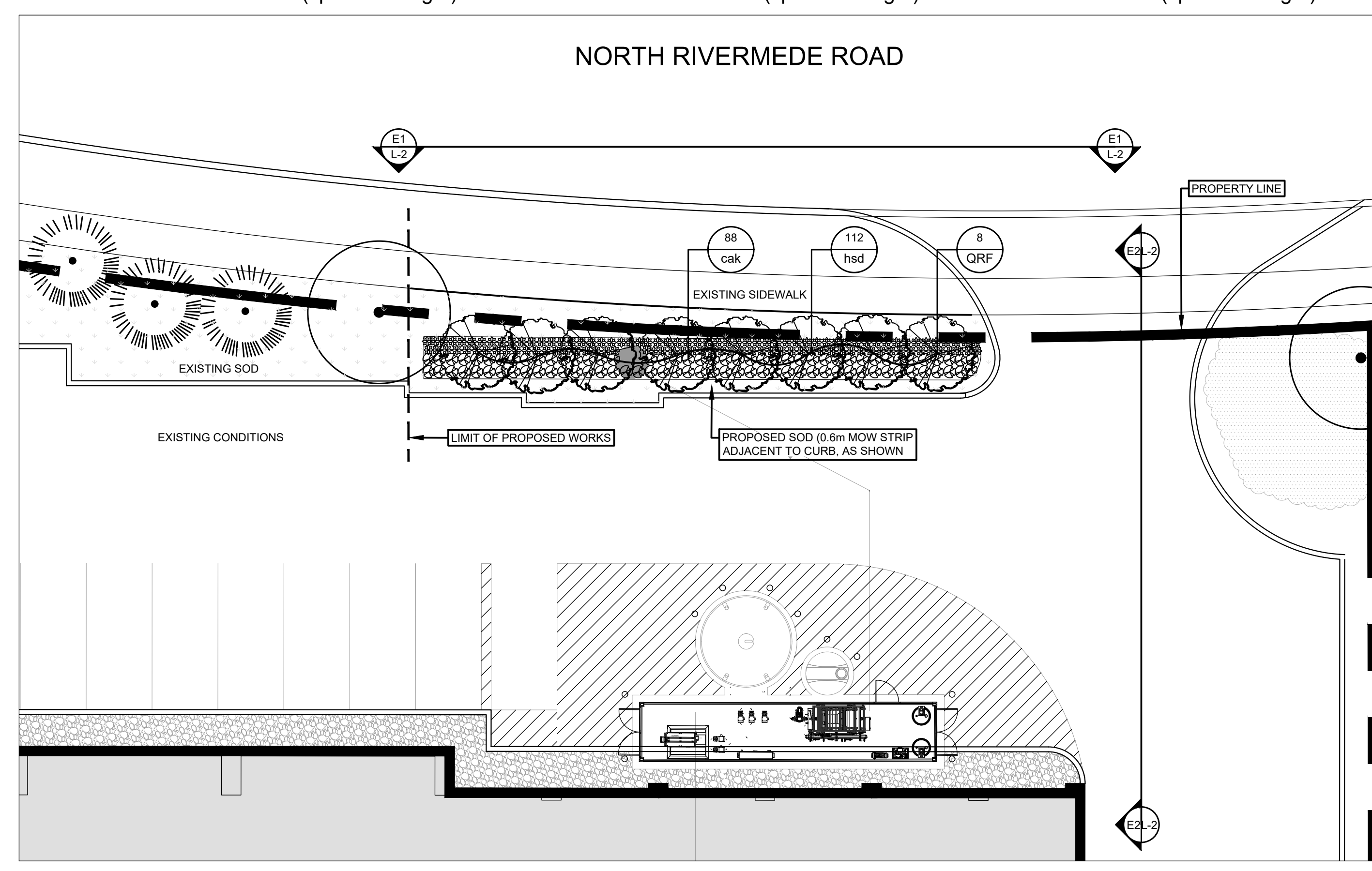
WATER TREATMENT UNIT
city file:
municipality: VAUGHAN

drawing title
EXISTING CONDITIONS AND LANDSCAPE PLAN

drawn by MN	reviewed by SG	drawing number: L-1
date FEB 2023	scale	



EXISTING CONDITIONS
1:150



PROPOSED LANDSCAPE PLAN
1:150



E1 - INITIAL PLANTING (WEST ELEVATION)



E1 - INITIAL PLANTING (SOUTH ELEVATION)



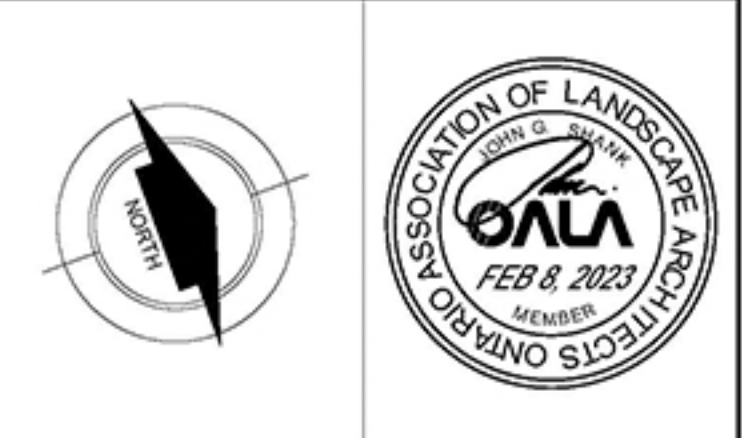
E2 - 5 YEAR PLANTING (WEST ELEVATION)



E2 - 5 YEAR PLANTING (SOUTH ELEVATION)

NO.	ISSUED FOR REVIEW	REVISION	DATE	BY

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project number
2023-030



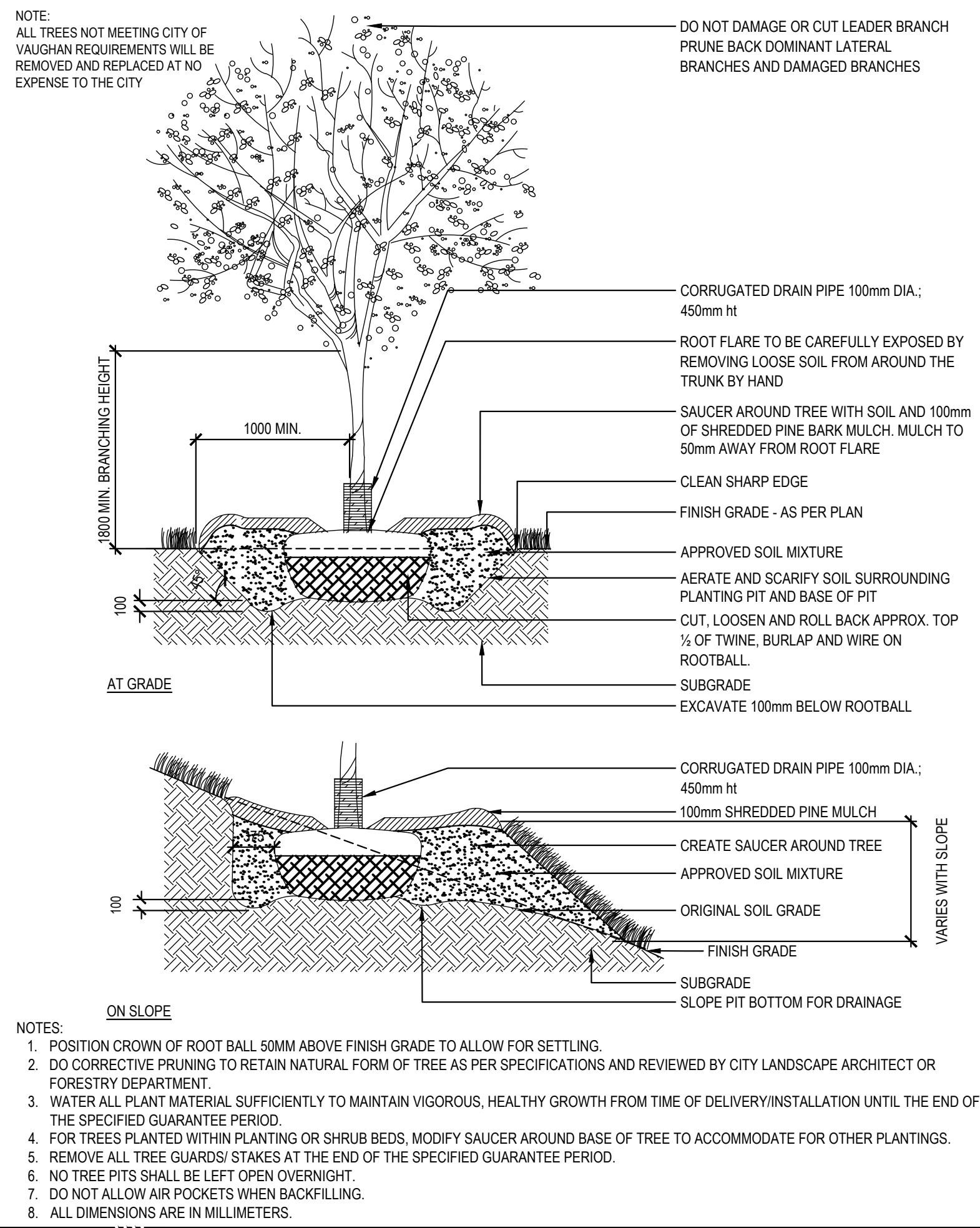
project title
519 NORTH RIVERMEDE ROAD, CITY OF VAUGHAN

WATER TREATMENT UNIT
city file:
municipality: VAUGHAN

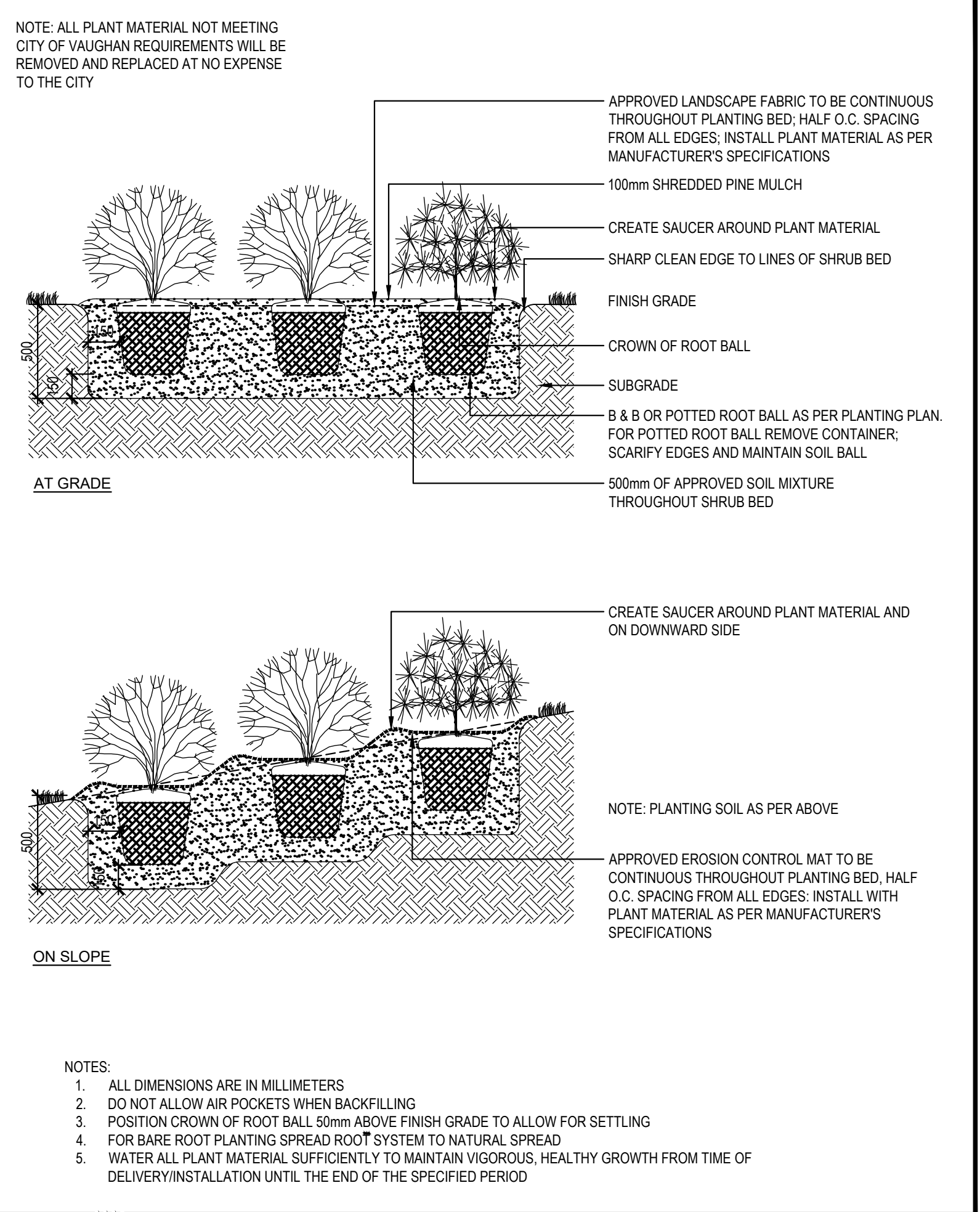
drawing title
ELEVATIONS

drawn by MN	reviewed by SG	drawing number: L-2
date FEB 2023	scale 1:100	

user: mmellson file: L:\PL\Projects\2023\2023-030 - Rivermeade Road/Vaughan - ICI1.0 Site Plan Phase/CAD/2023-030_230202_R00_SPA/2023-030_230207_R00_SPA.dwg plot: Feb 08, 2023 - 11:16am



DECIDUOUS TREE PLANTING DETAIL - WITHOUT STAKES
 DRAWN: PD APPROVED: _____ DRAWING NO. MLA 101
 SCALE: N.T.S. DATE: 08/2019



SHRUB PLANTING DETAIL
 DRAWN: PD APPROVED: _____ DRAWING NO. MLA 105
 SCALE: N.T.S. DATE: 08/2019

NO.	ISSUED FOR REVIEW	2/7/2023	MN
NO.	revision	date	by

THESE DRAWINGS ARE THE PROPERTY OF LANDSCAPE PLANNING LIMITED AND SHALL NOT BE ALTERED, MODIFIED, REVISED OR CHANGED WITHOUT THE WRITTEN CONSENT OF LANDSCAPE PLANNING LIMITED. SEAL IS NOT VALID WITHOUT SIGNATURE OF THE LANDSCAPE ARCHITECT. DRAWINGS CANNOT BE USED FOR TENDER/CONSTRUCTION UNTIL SIGNED BY LANDSCAPE ARCHITECT.



project number
2023-030



project title
519 NORTH RIVERMEDE ROAD, CITY OF VAUGHAN

WATER TREATMENT UNIT
 city file:
 municipality: VAUGHAN

drawing title
DETAILS

drawn by	reviewed by	drawing number: D-1
MN	SG	
date	scale	
FEB 2023		

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval/with conditions
Building Standards (Zoning)	X	X		General Comments

Date: March 14th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A031-23**

Related Files:

Applicant Concord Confections Ltd.

Location 519 North Rivermede Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

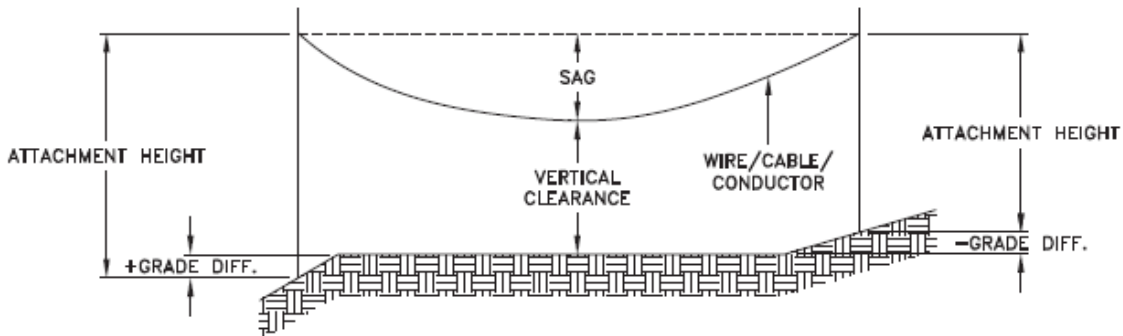
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

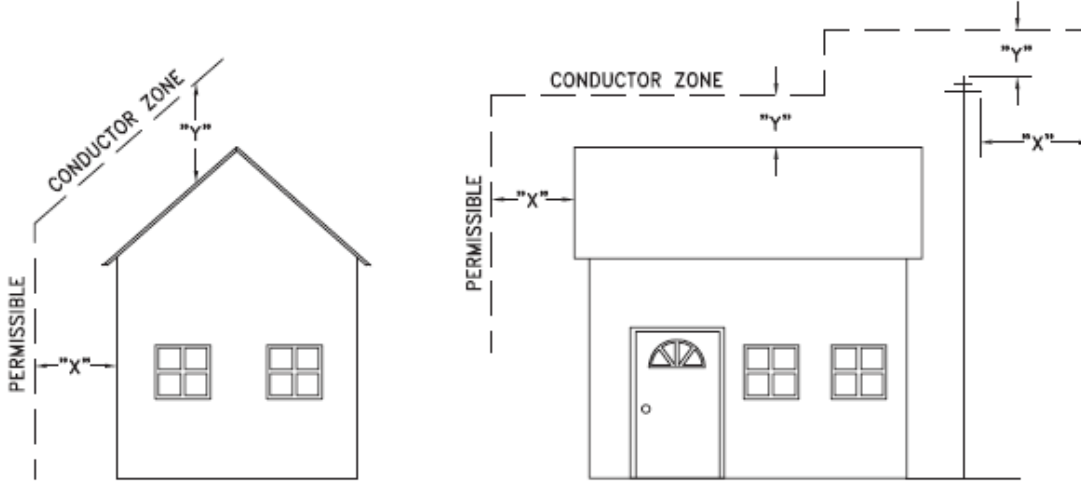
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Faegheh Gholami, Building Standards Department
Date: March 08, 2023
Applicant: Concord Confections Ltd.
Location: 519 North Rivermede Road
 PLAN 65M2330 Lot 5-6
File No.(s): A031/23

Zoning Classification:

The subject lands are zoned EM1 – Prestige Employment Zone - under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	An accessory building shall not be located closer to a front lot line than the principal building on the lot. (4.1.2.2.b)	To permit an accessory building located closer to a front lot line than the principal building.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: April 6, 2023
Name of Owner: Concord Confections Ltd.
Location: 519 North Rivermede Road
File No.(s): A031/23

Proposed Variance(s) (By-law 001-2021):

1. To permit an accessory building located closer to a front lot line than the principal building.

By-Law Requirement(s) (By-law 001-2021):

1. An accessory building shall not be located closer to a front lot line than the principal building on the lot. [4.1.2.2b]

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment", Volume 2, Section 11.10 Concord Go Centre Secondary Plan

Comments:

The Owner is requesting permission to construct an accessory building, described as a water treatment unit ('WTU') within the front yard of the Subject Lands to facilitate Minor Site Development Application File DA.22.061. File DA.22.061 proposes a WTU to abide by York Region's Sewer Use By-law No. 2011-56, which regulates the maximum release limit of oil and pH levels of water discharge into the sanitary sewer. In addition, minor site alterations (i.e., tree/shrub removal and vegetative plantings) are proposed to mitigate any visual impacts along the public right-of-way and ensure the existing operation (candy manufacturing facility) complies with the Sewer Use By-law. Development Planning confirms DA.22.061 has been reviewed by City staff, who have signed off on the proposed changes. Delegated approval by the Director of Development Planning will be issued once the deficiencies in zoning have been resolved.

Development Planning has no objection to the Variance, as the appropriate mitigation parameters have been put in place to lessen the massing implications associated with the accessory building. It should be noted that given the site's configuration this accessory building could not be placed in the side and rear yard area. The WTU is proposed within what functions as the rear yard. Development/Transportation Engineering have reviewed the proposal and are generally satisfied.

The Development Planning Department is of the opinion that the requested Variance is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to a condition.

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application File DA.22.061 be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Roberto Simbana, Planner
David Harding, Senior Planner

From: [Development Services](#)
To: [Lenore Providence](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A031/23 - 519 North Rivermede Road - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, March 16, 2023 6:27:06 PM
Attachments: [image002.png](#)
[image004.png](#)

Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Agent	Weston Consulting			Justification Letter

Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, L6A 1T1

February 17, 2023
File 7464

Dear Ms. Christine Vigneault

**RE: Minor Variance Application Submission
519 North Rivermede Road
City of Vaughan**

Weston Consulting is the planning consultant and the agent for Concord Confections Ltd., the legally registered owner of the property municipally known as 519 North Rivermede Road in the City of Vaughan (herein referred to as the “subject property”). This letter has been prepared in support of a Minor Variance application to permit an accessory structure within the front yard of the subject property.

The subject property is located north of Langstaff Eco Park, and west of Highway 7, and on the east side of North Rivermede Road. The subject property is currently occupied by a one-storey candy manufacturing facility with a surface parking lot (Figure 1). The subject property has an approximate area of 1.455 hectares (3.597 acres) and an approximate frontage of 130.74 metres along North Rivermede Road.

The property is also subject to a Minor Site Plan Amendment application (File DA.22.061) to permit an accessory structure, described as a water treatment unit (WTU) within the front yard of the subject property.



Figure 1: Aerial Photo

The subject property municipally known as 519 North Rivermede Road is legally described as follows:

PCL 5-1 SEC 65M2330, LTS 5 & 6 PL 65M2330; S/T LT246864; T/W PT LT 4 PL 65M2330 PT 1 65R16244 AS IN LT959561 (S/T 41945 VAUGHAN, LT179543, LT226824, LT226825, LT481785, LT489696, LT678560, LT860231); T/W PT LT 7 PL 65M2330 PTS 5 & 6 65R16244 AS IN LT959567 (S/T 41945 VAUGHAN, 356787, LT179543, LT226824, LT226825, LT249990, LT489895, LT500659, LT581404, LT622953, LT634498, LT634499, LT634500, LT678560, LT738717) ; VAUGHAN (AMENDED 97/05/27 10:27 BY LAND REGISTRAR #2) S/T ROW OVER PT LT 5 PL 65M2330, PTS 2 & 3 65R16244 IN FAVOUR OF LT 4 PL 65M2330, AS IN LT959563; S/T ROW OVER PT LT 6 PL 65M2330, PT 4 65R16244 IN FAVOUR OF LT 7 PL 65M2330, AS IN LT959564. (AMENDED 97/09/16 13:07 BY J. YOUNG, ADLR).

Site and Surrounding Context

The subject property is surrounded by residential and commercial uses and more specifically, the following:

Direction	Description
North	Immediately north of the subject property is a two-storey manufacturing building (Seenergy Foods Limited) with a surface parking and loading space. Further north is a vacant lot and a two-storey commercial building with a surface parking lot.
East	To the immediate east is Highway 7 and beyond that is more vacant land and Highway 407.
South	To the immediate south of the property is a commercial plaza with office, and institutional uses and a surface parking lot. Further southeast is North Rivermede Road and Highway 7 intersection.
West	Immediately west of the subject property is North Rivermede Road, and beyond the road, is Langstaff Eco Park.

Purpose of the Application

The purpose of the application is to seek relief from Section 4.1.2.b of the City of Vaughan By-law 001-2021 to permit the installation of an accessory structure within the front yard.

It is our understanding from the Site Plan Approval Pre-Application Consultation (PAC), that the York Region Sewer Use By-law No. 2011-56 has a maximum release limit of 15 mg/L of oil and requires a pH level of 6 to 10.5 for water discharging into the sanitary sewer. In order to meet compliance with with the York Region Sewer Use By-law No. 2011-56, the Region has recommended the installation of this WTU to treat the water for oil and pH levels prior to discharge into the sanitary sewer.

Policy Analysis and Planning Justification

Section 45 (1) of the *Planning Act* provides that a Minor Variance may be granted if, in the opinion of the Committee of Adjustment, the following conditions are met:

1. *The variance requested maintains the general intent and purpose of the Official Plan;*
2. *The variance requested maintains the general intent and purpose of the Zoning By-law;*
3. *The variance is desirable for the appropriate use of the land; and,*
4. *The variance is minor in nature.*

The following is a summary of how the application meets the four tests under the above Section of the *Planning Act*.

1. *Maintains the General Intent and Purpose of the Official Plan*

The City of Vaughan Official Plan designates the subject property as *Employment Area (Prestige Employment)*. It is the intent of the Official Plan that *Prestige Employment Areas* shall permit industrial uses including warehousing and more. The existing use of the subject property is candy manufacturing facility and the overall intent of the existing use will continue. The addition of the proposed WTU accessory structure is required for the use to continue operation and be in compliance with the York Region Sewer By-law 2011-56.

It is our opinion that the proposed WTU maintains the general intent and purpose of the Official Plan.

2. *Maintains the General Intent and Purpose of the Zoning By-law*

The subject property is currently zoned *Prestige Employment Area (EM1 Zone)* within the City of Vaughan Zoning By-law 001-2021. It is the general intent of the *EM1 Zone* to permit manufacturing and processing facilities. It is also the general intent that accessory buildings and structures shall be permitted as long as they conform to Section 4.1 of the By-law.

The proposed WTU is required for compliance with York Region Sewer By-law 2011-56. The unit cannot be located in the side or rear yards space restrictions and therefore the most logical location is in the front yard. The entirety of the unit is sized at 6.8 metres in depth and is located as close to the building as possible, and as a result only a portion of the unit and tanks will project 4.65 metres beyond the front lot line of the main building. As previously mentioned, the applicant is concurrently pursuing a Minor Site Plan Amendment to permit the construction of the WTU in the front yard. Upon the first submission, Weston Consulting has had discussions with City Urban Design and Planning staff on January 13, 2023 and advised that the proposed WTU can be located in the front yard, as long as extensive landscaping along North Rivermede Road is provided to screen the unit. In addition to the existing landscaping, we have included the following planting to screen the unit:

- Eight Green Pillar Oaks;
- 112 Stella D'Oro Daylily; and
- 88 Karl Foerster Feather Reed Grass.

The above plantings will sufficiently screen the unit from North Rivermede Road.

It is our opinion that the requested variance maintains the general intent and purpose of Zoning By-law 001-2021.

3. *Desirable for the Appropriate Use of the Lands*

Whether a Minor Variance is desirable and appropriate can be addressed by assessing function of the subject property and the compatibility of the new development within the context of the surrounding area.

As mentioned previously, the proposed WTU is a vital piece of industrial equipment required to allow the facility to comply with York Region Sewer By-law 2011-56. As mentioned previously, the unit cannot be located in the side or rear yards due to space restrictions and therefore is to be located in the front yard.

It is our opinion that the requested variance is a desirable and appropriate use for the lands.

4. Minor in Nature

Whether a Minor Variance is deemed minor in nature can be addressed by assessing the impact on the property and adjacent properties. As mentioned previously, the proposed WTU is required to allow the facility to comply with York Region Sewer By-law 2011-56.

The entirety of the unit is sized at 6.8 metres in depth and is located as close to the building as possible. As a result only a portion of the unit and tanks will project 4.65 metres beyond the front lot line of the main building, which is minor in nature. As mentioned previously, Weston Consulting has had discussions with City Urban Design and Planning staff on January 13, 2023. Weston was advised that the proposed WTU can be located in the front yard, as long as extensive landscaping along North Rivermede Road is provided to screen the unit. In addition to the existing landscaping, the front yard of the property is proposed to be considerably screened utilizing the previously mentioned plantings.

It is our opinion that the requested variance is minor in nature.

Conclusion

The proposed WTU is required for the facility to comply with York Region Sewer By-law 2011-56 which allows the application to maintain the general intent and purpose of the Official Plan. The location of the unit and slight projection beyond the front lot line of the main building, allows for the proposed application to maintain the intent and purpose of the Zoning By-law, is desirable and appropriate for the subject property and is minor in nature.

We are of the opinion that the proposed application has merit and represents good planning and should be approved by the Committee of Adjustment.

In support of the Minor Variance application, the following supporting materials have been included in the submission:

#	Supporting Materials	Prepared by
1.	Cover Letter and Planning Justification	Weston Consulting
2.	Signed Minor Variance application	Concord Confections Ltd.
3.	Fee Payment in the amount of \$3,744.00	Concord Confections Ltd.
4.	Site Plan	SRN Architects Inc
5.	Elevation Drawings	
6.	Planting Plan	Landscape Planning
7.	Visuals/images of potential screening	

We trust that the above documents are satisfactory for your review and circulation of the Minor Variance application and may be deemed complete and proceed through the review process.

Should you have any questions or require any additional copies of these materials, please contact Paul Tobia at extension 290 or Linus Kim at extension 317.

Yours truly,
Weston Consulting
Per:

Paul Tobia, BURPI, MCIP, RPP
Senior Planner

c. Concord Confections Ltd.