

ITEM: 6.5	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A020/23 98 PANORAMA CRESCENT, WOODBRIDGE
------------------	---

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Antonio and Carolina Pede	118 Panorama Crescent	02/28/2023	Letter of Support
Public	Maurizzio Colorsai	102 Panorama Crescent	02/28/2023	Letter of Support

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
------	--



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A020/23
98 PANORAMA CRESCENT, WOODBRIDGE**

ITEM NUMBER: 6.5	CITY WARD #: 2
APPLICANT:	Lisa (Marchese) Wehbi and Rachid Wehbi
AGENT:	None
PROPERTY:	98 Panorama Crescent, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a swimming pool, the location of pool equipment and a retaining wall.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R4(EN) – Forth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.642 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum setback of an outdoor swimming pool to any lot line shall be 1.5 metres. [Section 4.21, 3.]	To permit a minimum rear yard setback of 1.31 metres to a pool.
2	The minimum setback of an outdoor swimming pool to any lot line shall be 1.5 metres. [Section 4.21, 3.]	To permit a minimum interior side yard setback of 1.47 metres to a pool (North side).
3	The minimum setback of an outdoor swimming pool to any lot line shall be 1.5 metres. [Section 4.21, 3.]	To permit a minimum interior side yard setback of 1.39 metres to a pool (South side).
4	Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres. [Section 4.1.2, b.]	To permit a minimum interior side yard setback of 0.5 metres to pool equipment.
5	A retaining wall greater than 1.0 metre in height shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1]	To permit a rear and interior side yard setback of 0.0 metres to a retaining wall 1.2 metres in height.

HEARING INFORMATION

DATE OF MEETING: Thursday, April 20, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, **Woodbridge Room**, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	April 6, 2023	
Date Applicant Confirmed Posting of Sign:	April 5, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	We had applied for a pool permit in 2020. The pool construction was completed in 2022. Unfortunately the contractor did not adhere to some zoning regulations and now we need relief in order to close this permit. We resubmitted a new drawing to the permit portal as per Nicole Giroli's (Development Engineering) request. Now require relief from the requirement of By-Law-001-2021 as per direction from Joshua Cipolletta at Development Planning Department	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

Building Standards Recommended Conditions of Approval:	None
---	------

DEVELOPMENT PLANNING COMMENTS

****See Schedule B for Development Planning Comments.**

Development Planning Recommended Conditions of Approval:	TBD
---	-----

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The property owner has installed a French drain system along the northeast side yard property line to prevent the retaining wall from being overwhelmed by excess water flow. The drain will outlet to an existing rear yard drainage swale and be transferred to the City's stormwater management network.

The existing retaining wall design has been reviewed and stamped by a Professional Engineer. Plans were received in February of 2023.

The Development Engineering (DE) Department does not object to the variance application A020/23.

Development Engineering Recommended Conditions of Approval:	None
--	------

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments received to date.

PFH Recommended Conditions of Approval:	None
--	------

DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
--	------

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

inspection found the following setbacks for the pool:

north side setback (interior yard) 1.47m

south side setback (interior) 1.29m

rear setback 1.21m

inspection found the following setbacks for the equipment

pipes - between 0.2m-0.6m

equipment 0.3m

there is also a retaining wall on the property that Engineering is dealing with - it will need zoning review to ensure compliance

BCLPS Recommended Conditions of Approval:	None
--	------

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
--	------

FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
--	------

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Joshua.cipolletta@vaughan.ca	TBD

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

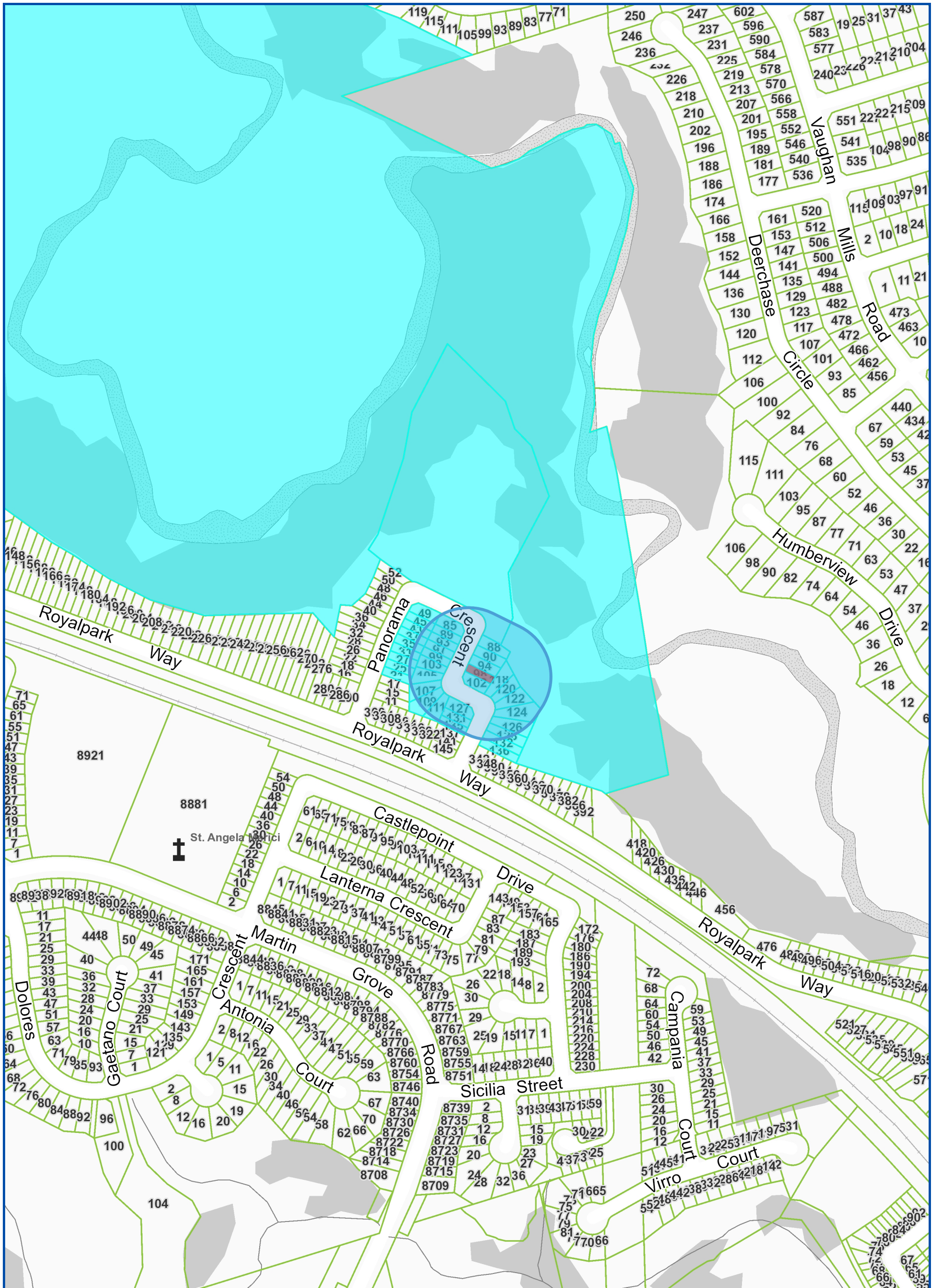
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

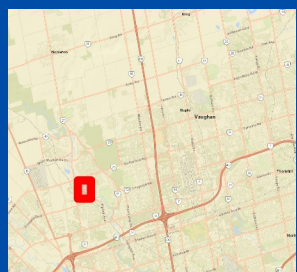
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title: **98 Panorama Crescent, Woodbridge**

NOTIFICATION MAP - A020/23

Disclaimer: Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: **1: 5,701**
 0 0.09 km

Created By:
 Infrastructure Delivery
 Department
 February 27, 2023 10:29 PM

Projection:
 NAD 83
 UTM Zone
 17N

Construction
North

METRIC

ALL PROPERTY DIMENSIONS
IN METERS UNLESS
OTHERWISE NOTED

SCOPE OF WORK:

NEW CONSTRUCTION OF REAR YARD
IN-GROUND POOL.

ALL CONSTRUCTION TO ADHERE TO
RELEVANT CODES AND AS INDICATED IN
THIS DRAWING SET.

BOUNDARY INFORMATION TAKEN FROM SURVEY:

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOTS 42, 43, 44, 45 AND 46
PLAN 65M-3159
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

BY RADY-PENTEK & EDWARDS SURVEYING LTD.
DATED MAR 16, 1998

CONTRACTOR MUST VERIFY ALL DIMENSIONS IN THE
FIELD. ANY DISCREPANCIES MUST BE REPORTED
BEFORE PROCEEDING WITH THE WORK.

ALL CONSTRUCTION TO ADHERE TO THESE PLANS
AND/OR SPECIFICATIONS AND TO CONFORM TO THE
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE
CODES AND AUTHORITIES HAVING JURISDICTION. THESE
REQUIREMENTS ARE TO BE TAKEN AS MINIMUM
SPECIFICATIONS. ONT. REG. 332/12.

DOWNSPOUTS ARE TO SPLASH TO
GRADE, AND WHERE POSSIBLE, THE
DISCHARGE IS TO BE DIRECTED
TOWARDS THE ROAD

ELEVATIONS ARE ASSUMED

LEGEND:

FFE DENOTES FINISHED FLOOR ELEVATION
GFE DENOTES GARAGE FINISHED ELEVATION
BFE DENOTES BASEMENT FLOOR ELEVATION
UFE DENOTES UNDERSIDE OF FOOTING ELEVATION
TFE DENOTES TOP OF FOUNDATION ELEVATION
HP DENOTES HIGH POINT
123.45 DENOTES EXISTING ELEVATION
[123.45] DENOTES SHEET FLOOR DIRECTION
xR DENOTES PROPOSED ELEVATION
DENOTES RAINWATER LEADER

NOTE:

1. ALL FOOTING FORMWORK ELEVATIONS AND STEBACKS ARE
TO BE CONFIRMED BY A REGISTERED ONTARIO LAND
SURVEYOR PRIOR TO THE PLACEMENT OF ANY CONCRETE.
2. PRIOR TO PROCEEDING WITH ANY SUPERSTRUCTURE
WORKS, CONTRACTOR MUST ENSURE THAT THE TOP OF
FOUNDATIONS ARE IN CONFORMITY WITH THE GRADING PLAN
REVIEWED BY THE CITY.
3. ALL RAINWATER LEADERS SHALL DISCHARGE ONTO
SPLASH PADS AT GROUND LEVEL.
4. EXISTING BOUNDARY ELEVATIONS ALONG THE SITE
PERIMETER SHALL REMAIN UNDISTURBED. DRAINAGE
RECEIVED FROM ADJACENT PROPERTIES SHALL BE
ACCOMMODATED AND DRAINAGE FROM THE SUBJECT LANDS
SHALL BE SELF CONTAINED.
5. ALL YARD AREAS SHALL RECEIVE A MINIMUM OF 100mm
TOPSOIL PLUS SOD.



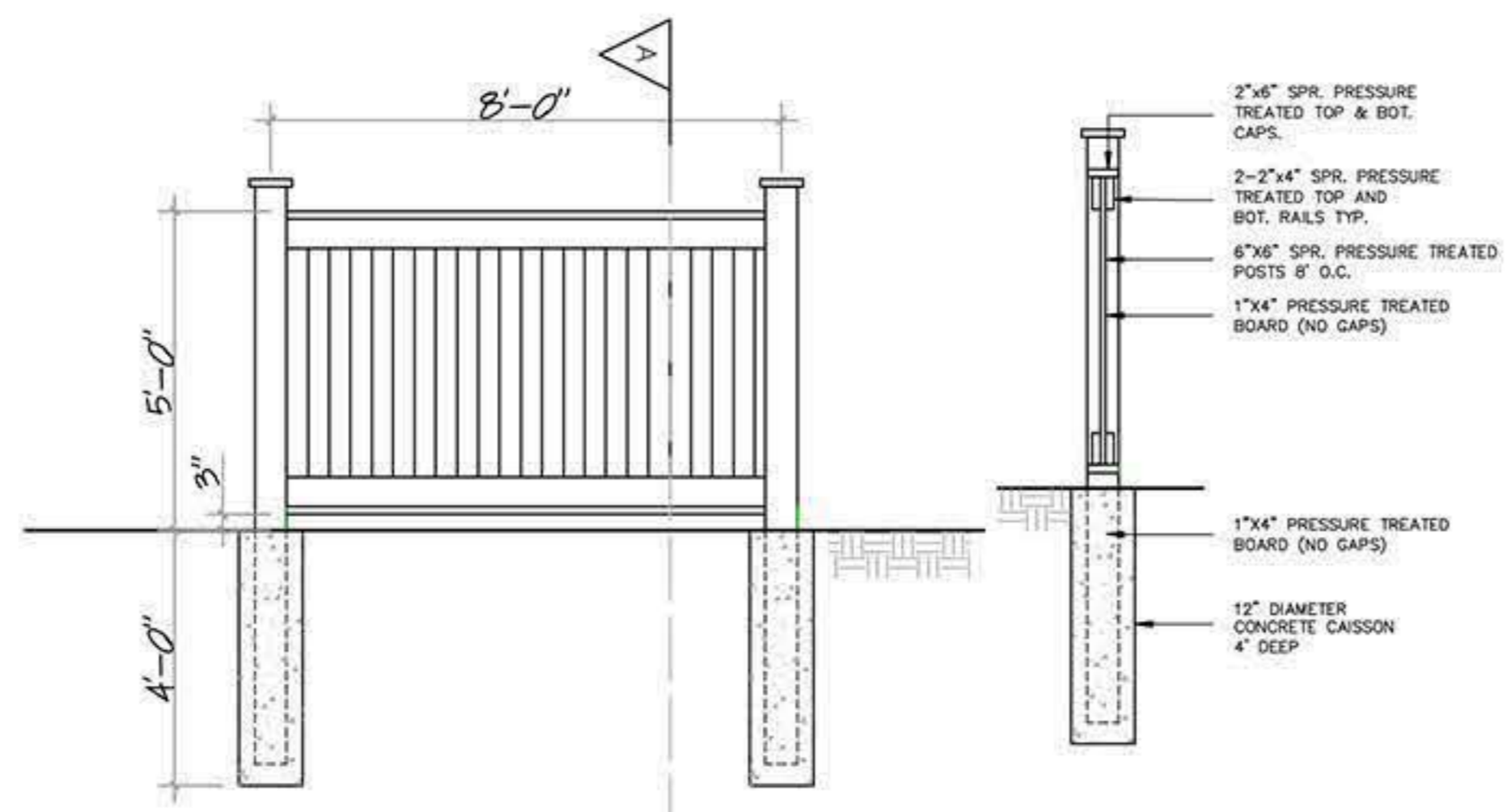
3		
2		
No.	Revision/Issue	Date

LASONNE

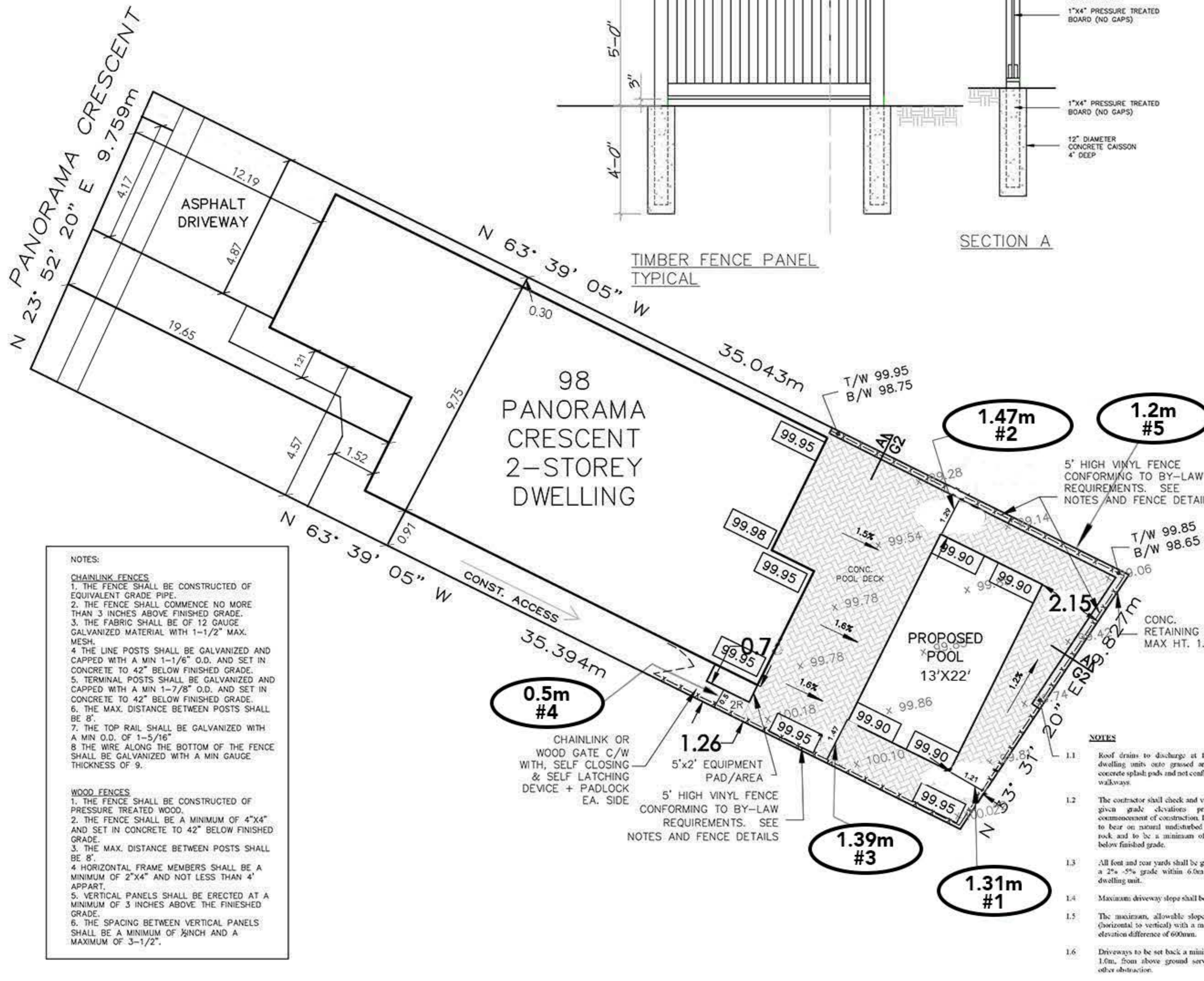
98 PANORAMA CRESCENT
REAR YARD POOL
Vaughan, Ontario

TITLE:
**GRADING AND
POOL PLAN**

Drawing No.	G1	Checked by:	DF
Project No.	2047H		
Date	AUG '20		
Scale	1:150		
Drawn by:	DF		



TIMBER FENCE PANEL
TYPICAL



NOTES:

CHAINLINK FENCES

1. THE FENCE SHALL BE CONSTRUCTED OF EQUIVALENT GRADE PIPE.
2. THE FENCE SHALL COMMENCE NO MORE THAN 3 INCHES ABOVE FINISHED GRADE.
3. THE FABRIC SHALL BE OF 12 GAUGE GALVANIZED MATERIAL WITH 1-1/2" MAX. MESH.
4. THE LINE POSTS SHALL BE GALVANIZED AND CAPPED WITH A MIN 1-1/8" O.D. AND SET IN CONCRETE TO 42" BELOW FINISHED GRADE.
5. TERMINAL POSTS SHALL BE GALVANIZED AND CAPPED WITH A MIN 1-7/8" O.D. AND SET IN CONCRETE TO 42" BELOW FINISHED GRADE.
6. THE MAX. DISTANCE BETWEEN POSTS SHALL BE 8'.
7. THE TOP RAIL SHALL BE GALVANIZED WITH A MIN O.D. OF 1-5/16"
8. THE WIRE ALONG THE BOTTOM OF THE FENCE SHALL BE GALVANIZED WITH A MIN GAUGE THICKNESS OF 9.

WOOD FENCES

1. THE FENCE SHALL BE CONSTRUCTED OF PRESSURE TREATED WOOD.
2. THE FENCE SHALL BE A MINIMUM OF 4"x4" AND SET IN CONCRETE TO 42" BELOW FINISHED GRADE.
3. THE MAX. DISTANCE BETWEEN POSTS SHALL BE 8'.
4. HORIZONTAL FRAME MEMBERS SHALL BE A MINIMUM OF 2"x4" AND NOT LESS THAN 4" APART.
5. VERTICAL PANELS SHALL BE ERRECTED AT A MINIMUM OF 3 INCHES ABOVE THE FINISHED GRADE.
6. THE SPACING BETWEEN VERTICAL PANELS SHALL BE A MINIMUM OF 1/2" INCH AND A MAXIMUM OF 3-1/2".

NOTES

- 1.1 Roof drains to discharge at front of dwelling units onto grassed areas via concrete splash pads and not conflict with walkways.
- 1.2 The contractor shall check and verify all given grade elevations prior to commencement of construction. Footings to bear on natural undisturbed soil or rock and to be a minimum of 1.2m below finished grade.
- 1.3 All front and rear yards shall be graded at a 2% -5% grade within 6.0m of the dwelling unit.
- 1.4 Maximum driveway slope shall be 8%.
- 1.5 The maximum allowable slope is 3:1 (horizontal to vertical) with a maximum elevation difference of 600mm.
- 1.6 Driveways to be set back a minimum of 1.0m from above ground services or other obstruction.

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application under Review
Building Standards (Zoning)	X	X		General Comments

Date: February 14th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A020-23**

Related Files:

Applicant Lisa Marchese and Rachid Wehbi

Location 98 Panorama Crescent

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

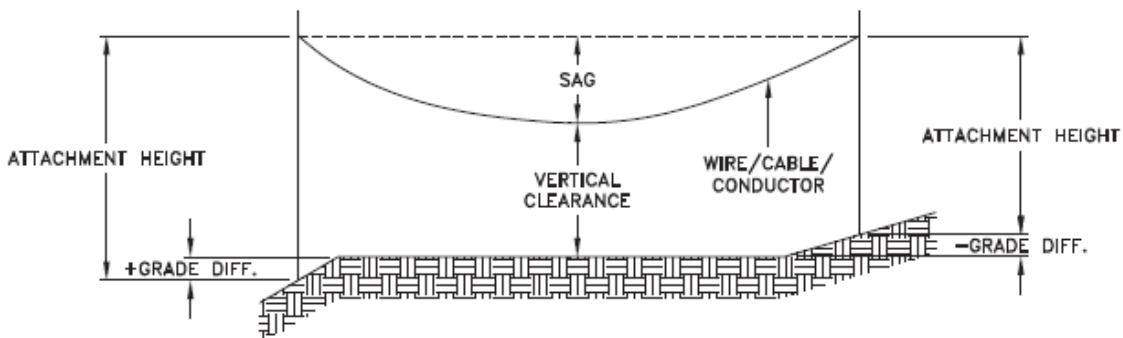
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

E-mail: stephen.cranley@alecrautilities.com

Email: Mitchell.Penner@alecrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO VEHICLES	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

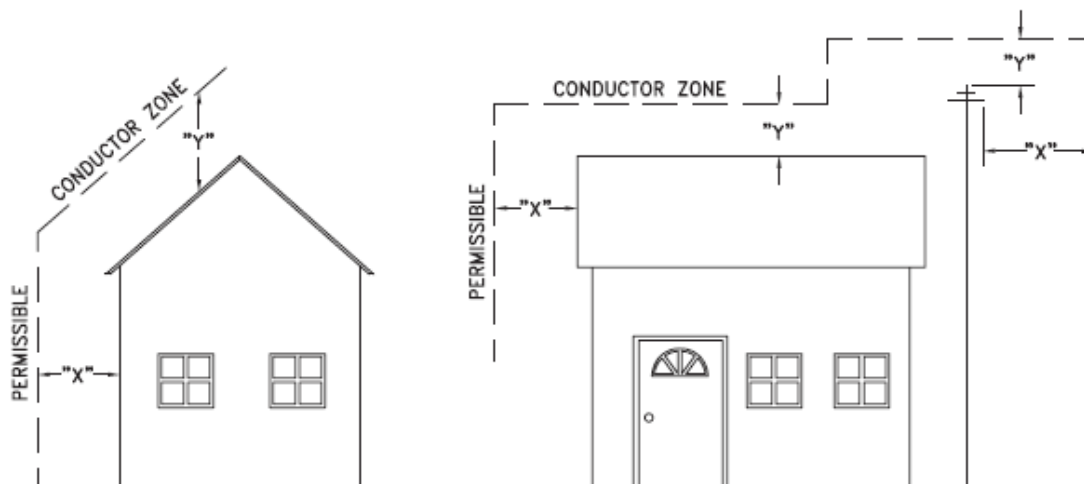
Joe Crozier, P.Eng. 2012-JAN-09

Name Date

P.Eng. Approval By: Joe Crozier

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

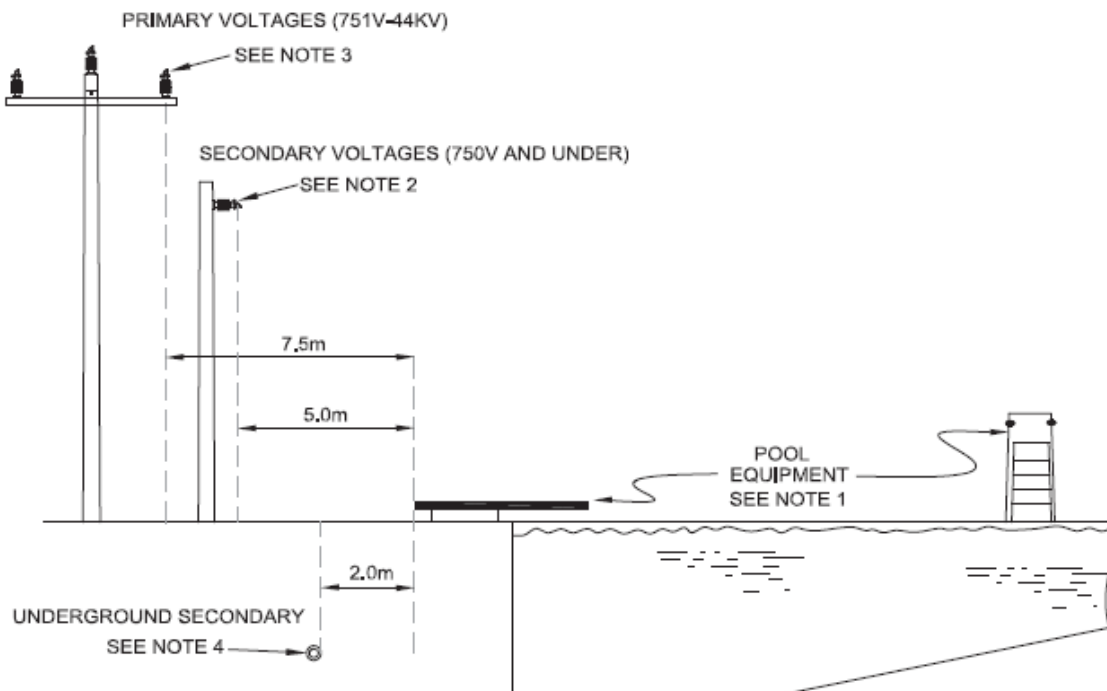
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
P:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:22:02 AM, Adobe PDF



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

REFERENCES

FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

To: Committee of Adjustment
From: Christian Tinney, Building Standards Department
Date: February 24, 2023
Applicant: Lisa Marchese and Rachid Wehbi
Location: 98 Panorama Crescent
 PLAN 65M3159 Lot 45
File No.(s): A020/23

Zoning Classification:

The subject lands are zoned R4(EN) – Forth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.642 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum setback of an outdoor swimming pool to any lot line shall be 1.5 metres. [Section 4.21, 3.]	To permit a minimum rear yard setback of 1.31 metres to a pool.
2	The minimum setback of an outdoor swimming pool to any lot line shall be 1.5 metres. [Section 4.21, 3.]	To permit a minimum interior side yard setback of 1.47 metres to a pool (North side).
3	The minimum setback of an outdoor swimming pool to any lot line shall be 1.5 metres. [Section 4.21, 3.]	To permit a minimum interior side yard setback of 1.39 metres to a pool (South side).
4	Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres. [Section 4.1.2, b.]	To permit a minimum interior side yard setback of 0.5 metres to pool equipment.
5	A retaining wall greater than 1.0 metre in height shall be setback an equal distance to the height of the highest portion of the retaining wall. [Table 4-1]	To permit a rear and interior side yard setback of 0.0 metres to a retaining wall 1.2 metres in height.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A020/23 (98 Panorama Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, February 15, 2023 5:52:53 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

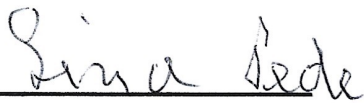
SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Antonio and Carolina Pede	118 Panorama Crescent	02/28/2023	Letter of Support
Public	Maurizzio Colorsai	102 Panorama Crescent	02/28/2023	Letter of Support

February 15, 2023

To whom it may concern,

This letter is to show support for the swimming pool, retaining wall and fence constructed at 98 Panorama Cres, Woodbridge adjacent to our property. This letter will be used to facilitate the closing of the pool permit.



Owner representative
118 Panorama Cres.
Woodbridge, On

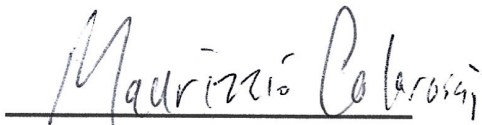


Signature

February 15, 2023

To whom it may concern,

This letter is to show support for the swimming pool equipment placed near our property line with 98 Panorama Cres, Woodbridge. This letter will be used to facilitate the closing of the pool permit.



Owner representative
102 Panorama Cres.
Woodbridge, On



Signature