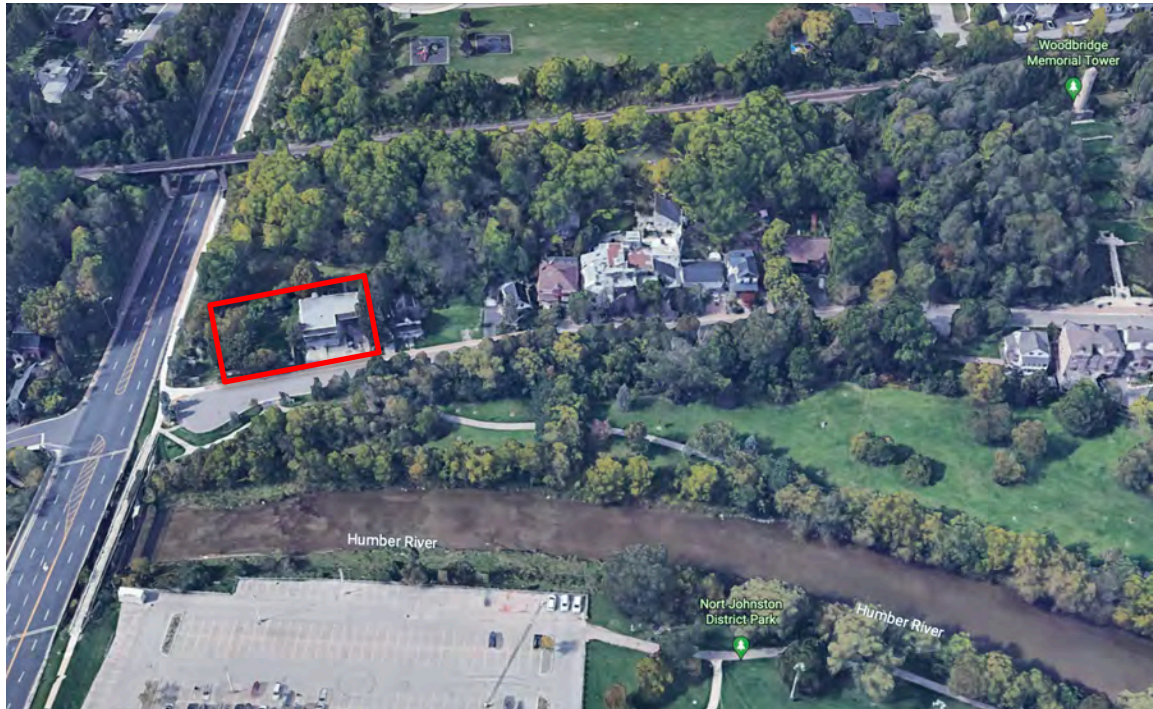


# HERITAGE IMPACT ASSESSMENT



158-166 WALLACE STREET

WOODBIDGE HERITAGE CONSERVATION DISTRICT

29 JAN 2023

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**ATTACHMENT 2**  
**158-166 WALLACE**

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## EXECUTIVE SUMMARY

Megan Hobson consulting was retained by King Home Construction to prepare an *Addendum* to a previous *Heritage Impact Assessment* (HIA) undertaken by Robinson Heritage Consulting for 158-166 Wallace Street in Woodbridge in the City of Vaughan. This *Addendum* includes a revised design based on recommendations in the HIA and further consultation with heritage staff. The revised design by Caricari Lee Architects is included as an appendix to this report.

The *HIA Addendum* finds that the proposed development will not have negative impacts on the *Woodbridge Heritage Conservation District Plan* and is a good example of appropriate low-rise multi-unit residential infill within the district. The larger scale and massing of the proposed development has been successfully mitigated through the following design measures:

- the height is limited to 3.5 storeys (12.1 metres)
- there is a transition down in height to the adjacent heritage building
- the building massing is broken up into two blocks of four units and each block is articulated to convey the individual units
- the building form is a street-orientated form that maintains the front setback of adjacent residential properties on the west side of Wallace Street
- the proposal includes new landscaping and street trees along the Wallace Street frontage
- the primary cladding material is brick, a common building material within the district
- the window-to-wall ratio is similar to historic buildings on Wallace Street
- the windows have traditional proportions with lintel and sill details and multi-pane sash
- the design is 'transitional', successfully combining Georgian symmetry with contemporary elements in a balanced and understated manner

Therefore, it is recommended that a heritage permit be granted, with the following conditions:

- that a detailed landscape design for the Wallace Street frontage be provided to heritage staff for review, prior to final site plan approval
- that samples of the brick cladding materials be provided to heritage staff for review, prior to the issue of building permits

## 1.0 BACKGROUND

Megan Hobson consulting was retained by King Home Construction to prepare an *Addendum* to a previous *Heritage Impact Assessment* (HIA) undertaken by Robinson Heritage Consulting for 158-166 Wallace Street in Woodbridge in the City of Vaughan. This *Addendum* includes a revised design based on recommendations in the HIA and further consultation with heritage staff. The revised design by Caricari Lee Architects is included as an appendix to this report.

## 2.0 LOCATION & SITE DESCRIPTION



AERIAL VIEW – 158-166 Wallace Street is located on a cul-de-sac at the edge of the Woodbridge Heritage Conservation District adjacent to Highway 7

The subject property is located on a cul-de-sac at the edge of the Woodbridge Heritage Conservation District where Wallace Street is terminated by Highway 7. It is situated on the north side of Wallace Street. Views to North Johnson District Park and the Humber River are blocked by trees along the south side of Wallace Street. The back of the property is a wooded slope up to the CN Railway line.

The subject property includes two residential lots: 158 Wallace Street, a lot that contains a vacant dwelling that is in poor condition and 166 Wallace Street, a vacant lot with no structures. The former dwelling at 166 Wallace was demolished by a previous owner. The subject property is adjacent to one residential lot at 148 Wallace Street that contains a 1.5-storey single-detached dwelling.



WALLACE STREET (north end) - 20<sup>th</sup> century infill 3-storey multi-residential



ONTARIO COTTAGE



QUEEN ANNE



WALLACE STREET (west end) – the subject property is located at the edge of the heritage district adjacent to Hwy 7



Left: 148 WALLACE STREET – 19<sup>th</sup> century Gothic Revival style dwelling adjacent to the subject property



Right: 158 WALLACE STREET – non-contributing building on the subject property to be demolished

### 3.0 HERITAGE PLANNING CONTEXT

The subject property is located in the Woodbridge Heritage Conservation District and is *Designated under Part V of the Ontario Heritage Act*. The building located on the subject property at 158 Wallace Street is a non-contributing building.<sup>1</sup> The subject property is adjacent to a contributing building located at 148 Wallace Street that is a 1.5-storey late 19<sup>th</sup> century Gothic Revival style dwelling with some later modifications.

The subject property is located on the west side of Wallace Street. Wallace Street is identified as a 'character area' within the heritage district. It is a residential street that extends from the small scale commercial area on Woodbridge Avenue to Highway 7. The street has a mixed character with commercial, multi-unit residential, and single-detached housing constructed in the 19<sup>th</sup> & 20<sup>th</sup> centuries in varied architectural styles that range in height from 1 to 3.5-storeys in height. Residential properties on the west side of Wallace Street typically have setbacks with landscaped front yards whereas properties on the east side tend to be built close to the road. There is a sidewalk on the west side of the street only.

Notable natural features and open spaces that contribute to the character of the Woodbridge Heritage District include the Humber River Valley and Nort Johnson District Park to the east and the wooded slope and railway corridor to the west. Memorial Hill Park on Wallace Street is a commemorative space that contains the Woodbridge War Memorial Tower.



WOODBRIDGE HERITAGE CONSERVATION DISTRICT BOUNDARY (left) – the subject property is located at the edge of the district and contains a non-contributing building at 158 Wallace Street. The contributing building at 166 Wallace Street was demolished by a previous owner and that lot remains empty.

The *Woodbridge Heritage District Study & Plan (2009)* provides general guidelines for alterations and new development within the district, as well as site specific guidelines for the various character areas. A *Heritage Impact Assessment* is required for any new development within the district.

<sup>1</sup> The previous HIA by Robinson Heritage Consulting evaluated the building at 158 Wallace Street and determined that it does not have cultural heritage value and does not contribute to the heritage district.

The subject property is located within the Woodbridge Secondary Plan Area. It is currently zoned R-3 and contains an early 20<sup>th</sup> century commercial garage that has been converted to a dwelling. A zoning change is required to permit the proposed low-rise multi-unit residential development.

#### 4.0 HISTORICAL CONTEXT

Historically, the subject property is located on part of Lot 6, Concession 7. It is located within the historic settlement area of the Village of Woodbridge, a small crossroads settlement in the Humber River Valley. Woodbridge was originally called Burwick after Roland Burwick who established the first settlement there in 1837.

In 1855, the name was changed to Woodbridge. Throughout the 19<sup>th</sup> century Woodbridge remained the economic centre for the larger agricultural community surrounding it. Early industries included the Abell Agricultural Works that produced steam-powered agricultural machinery. By 1882, Woodbridge had a population of 1,000. When the Abell factory relocated to Toronto due to failure to secure a railway connection to the factory, the village experience a decline in population.

In 1908, the Canadian Pacific Railway built a line through the village of Woodbridge that contributed to renewed economic growth. In 1908, the Toronto Suburban Railway was extended its Weston line through Woodbridge that resulted in further residential growth. In the post-War era the area experienced rapid growth and new residential subdivisions were built on former farmland and vacant industrial sites.

In 1971, the new regional government of York Region was established and the Township merged with the Village of Woodbridge to form the Town of Vaughan. In 1991 Vaughan changed its legal status to the City of Vaughan. Due to enormous growth and development pressure, the City of Vaughan identified heritage areas and developed planning tools to protect the heritage values associated with these areas. The City of Vaughan has four Heritage Conservation Districts. The Woodbridge Heritage Conservation District was established in 2009 and has not been updated.

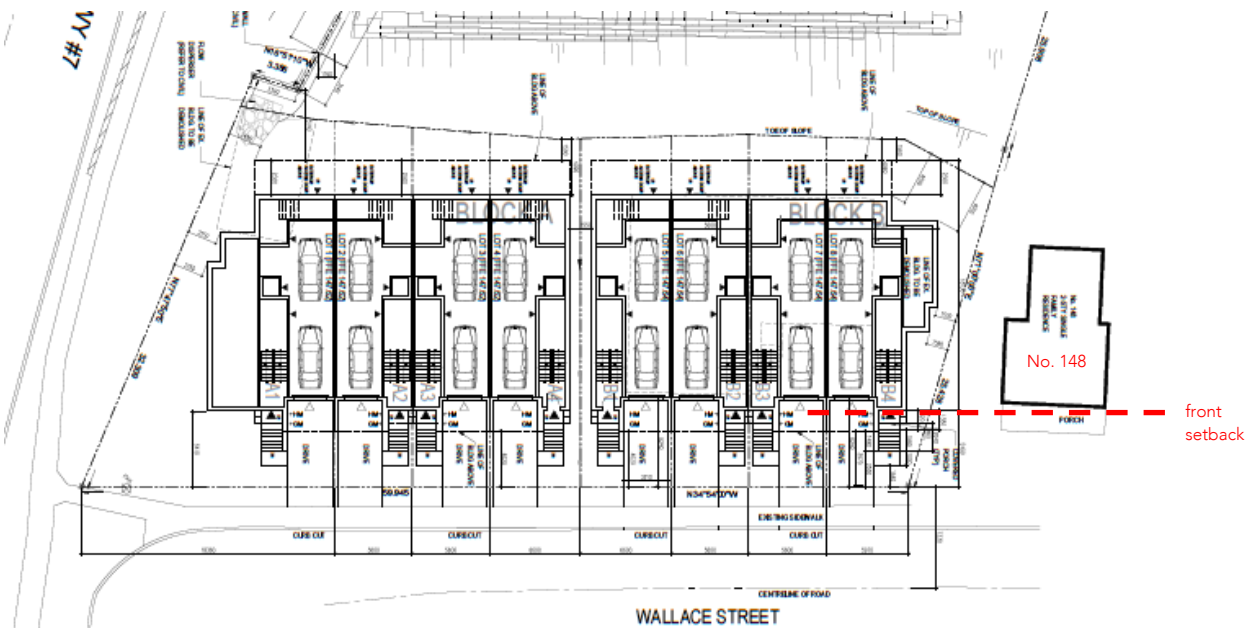
#### 5.0 PROPOSED DEVELOPMENT

The proposed development is for two 3.5-storey blocks of townhouses with 4 residential in each block for a total of 8 residential units. The roof form is a mansard roof and the height at the top of the roof is 12.1 metres (39 '8"). There are roof terraces at the 3<sup>rd</sup> floor level. The blocks are identified as Block A & Block B on the building plans. Block A is clad with red brick and Block B is clad with buff brick.

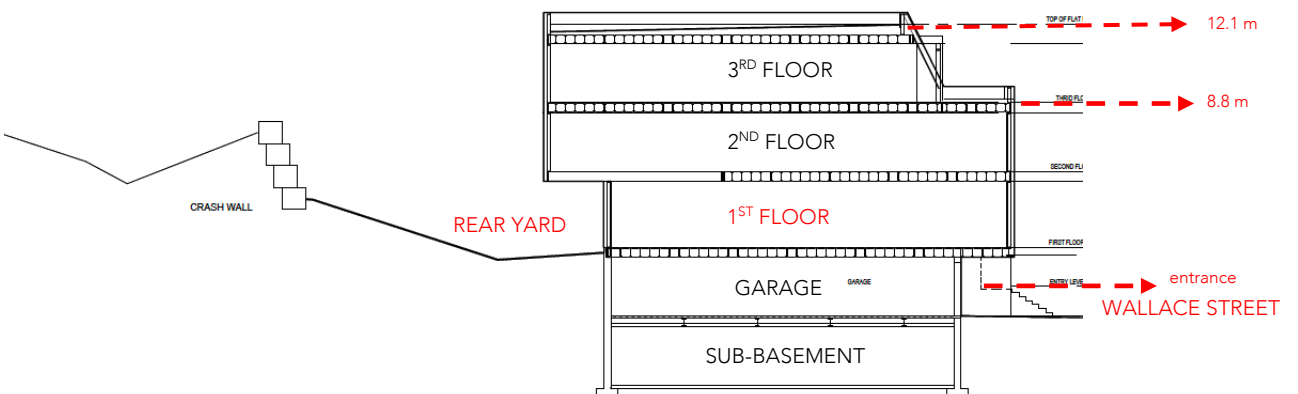
Each unit has a main entrance and garage on Wallace Street with an additional level of parking provided below grade. The site is sloped at the back with a change in grade across the site of approximately 10 m. There are steps up to the 1<sup>st</sup>-floor level from the lower grade on Wallace Street so that the first floor living area can walk directly out to the back yard. The front setback maintains the setback of adjacent buildings on the west side of Wallace Street and the street frontage includes new landscaping and street trees in front of each unit.



WALLACE STREET ELEVATION – two blocks of 3.5 storey townhouses with four units in each block. Block A is clad with red brick. Block B is clad with buff brick. The roof form is mansard roof with dark metal cladding.



SITE PLAN & BASEMENT LEVEL – the proposed buildings maintain the front setback of the adjacent contributing building at 148 Wallace Street.

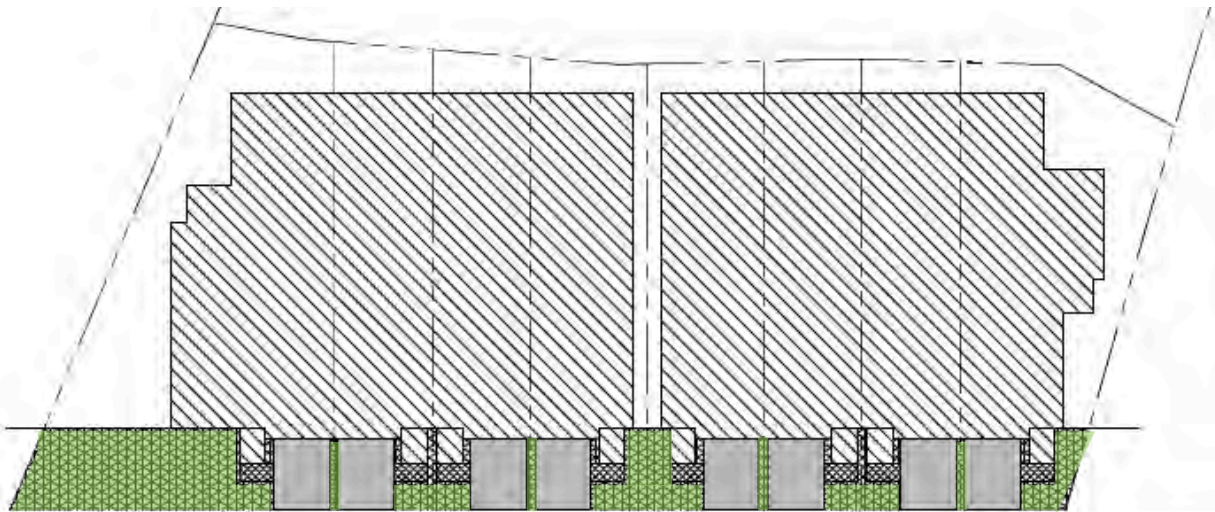


SECTION – the site slopes at the back, requiring stairs up to the front entrances on Wallace Street





BLOCK B ELEVATION – transition in height to the 1.5 storey adjacent contributing building at 148 Wallace Street that maintains a 45 degree angle



PROPOSED LANDSCAPING ON THE WALLACE STREET FRONTAGE – areas shaded green where new plantings and street trees are proposed

## 6.0 HERITAGE IMPACT ASSESSMENT

The *Ontario Heritage Toolkit* is a heritage planning tool prepared by the Ontario Ministry of Culture (now Ministry of Tourism, Culture and Sport). The *Toolkit* provides guidance on assessing impacts on cultural heritage resources and provides strategies for conserving cultural heritage values and mitigating negative impacts if any are identified

There may be negative impacts on cultural heritage resources before, during or after work has been completed. These impacts may be direct or indirect, temporary or permanent. Negative impacts should be described in terms of their effect on specific heritage attributes, or, in some cases, the overall cultural heritage value or interest of a property.

Identified impacts and recommended mitigation measures are outlined in the table below:

NEGATIVE IMPACTS <i>Ontario Heritage Toolkit (2006)</i>	IMPACT ASSESSMENT	RECOMMENDATIONS
<b>Destruction</b> of any, or part of any, significant heritage attributes or features	<b>POSITIVE IMPACTS</b> <ul style="list-style-type: none"> <li>A vacant building that does not contribute to the character of the area will be demolished.</li> </ul>	NO MITIGATION REQUIRED
<b>Alteration</b> that is not sympathetic, or is incompatible, with the historic fabric and appearance	N/A	NO MITIGATION REQUIRED
<b>Shadows</b> created that alter the appearance of a heritage attribute or change the viability of an associated natural feature or plantings, such as a garden	<b>NO NEGATIVE IMPACTS</b> <ul style="list-style-type: none"> <li>the shadow analysis provide by Caricari Lee Architects indicates there will be no significant shadow impacts</li> </ul>	NO MITIGATION REQUIRED
<b>Isolation</b> of a heritage attribute from its surrounding environment, context or or a significant relationship	N/A	NO MITIGATION REQUIRED
<b>Direct or indirect obstruction of significant views or vistas</b> within, from, or of built and natural features	<b>MINOR IMPACTS</b> <ul style="list-style-type: none"> <li>there may be minor impacts to the viewsheds between the Humber River Valley and the sloped hillside behind the subject property because the top of the roof may be visible from some vantage points.</li> </ul>	NO MITIGATION REQUIRED This viewshed is heavily treed and it is anticipated that existing vegetation will provide adequate buffering.

<p><b>A change in land use</b> (such as rezoning a church to a multi-unit residence) where the change in use negates the property's cultural heritage value</p>	<p>NO NEGATIVE IMPACTS</p> <ul style="list-style-type: none"> <li>the District plan anticipated new development on vacant sites and sites containing non-contributing buildings, and includes guidelines for new development, including quadraplexes.</li> </ul>	<p>MITIGATION</p> <ul style="list-style-type: none"> <li><i>Heritage Impact Assessment</i></li> </ul>
<p><b>Land disturbances</b> such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources</p>	<p>UNKNOWN</p> <ul style="list-style-type: none"> <li>consult with relevant authorities to determine if the property has archaeological potential</li> </ul>	<p>MITIGATION</p> <ul style="list-style-type: none"> <li><i>Archaeological Assessment, if required</i></li> </ul>

Methods of minimizing or avoiding a negative impact on an adjacent cultural heritage resource, as stated in the *Ontario Heritage Tool Kit* include, but are not limited to:

- Alternative development approaches;
- Isolating development and site alteration from significant built and natural features and vistas;
- Design guidelines that harmonize mass, setback, setting, and materials;
- Limiting height and density;
- Allowing only compatible infill and additions;
- Reversible alterations.

The *Standards & Guidelines for the Conservation of Historic Places in Canada* provides guidance for new development in historic contexts. This guidance is reflected in the *Woodbridge HCD Study & Plan* to ensure that new development in the district will not have a negative impact on its cultural heritage value.

The previous *Heritage Impact Assessment* by Robinson Heritage Consulting determined that the existing dwelling on the subject property that is proposed for demolition does not have cultural heritage value and does not contribute to the heritage district. The HIA recommended minor revisions to the proposed development including a reduction in the overall height. This *Heritage Impact Assessment Addendum* evaluates the revised design that has been informed by recommendations in the previous HIA and further consultation with heritage planning staff.

The current development proposal is assessed in the table below according to applicable guidelines in the *Woodbridge HCD Study & Plan*:

WOODBRIDGE HCD	DESIGN GUIDELINE	ANALYSIS
6.1.3 Wallace Street Character Area	<i>The Street should retain the existing residential character with a single family detached building type and be</i>	CONSISTENT: YES

	<p><i>designed to support a pedestrian streetscape. Where the Official Plan permits, duplexes, triplexes, and quadruplexes may be permitted provided they are carefully designed to appear as single detached dwellings, sensitive to abutting contributing buildings and landscapes, and provided they maintain existing side yard and front yard setbacks, are of a similar building height, and are of a building frontage width which is consistent with adjacent single detached dwellings.</i></p>	<p>The proposed development requires planning approvals to rezone the subject site for low-rise multi-residential development and to amend the Official Plan to permit low-rise residential development.</p> <p>The design of the proposed development responds to the existing character of the areas in the following ways:</p> <ul style="list-style-type: none"> <li>• the individual residential units have a building frontage width that is similar to adjacent single-detached dwellings</li> <li>• a transition in height is provided at the east end of Block B that is adjacent to a 1.5-storey contributing building</li> <li>• the wood slope at the rear of the property is being conserved and new landscaping and trees are proposed for the front and side yards</li> </ul>
	<p><i>Pedestrian connections to and from Woodbridge Avenue and the park system must be protected, maintained and additional opportunities to increase connections should be secured when new development applications are considered. Views and public access to parkland must be protected and enhanced.</i></p> <p><i>Consistent setbacks should provide opportunities for landscape on the west side of the street.</i></p>	<p>CONSISTENT: YES</p> <p>The proposed development will have no impact on pedestrian connections, park systems, public views or public access to parkland.</p> <p>The proposed setback from Wallace Street includes new landscaping and trees in front of each unit.</p>
	<p><i>New buildings should be a minimum of 2 floors (8.5 m) high and a maximum of 3 floors (11 m).</i></p>	<p>CONSISTENT: YES</p> <p>The proposed buildings are 12.1 m in height and have a mansard</p>

		<p>roof form. This represents a minor increase of 1.1 m above the maximum height recommended in the district guidelines.</p> <p>Given that this site is located at the edge of the district and that a transition in height down to the only contributing building that abuts the development has been provided, the impacts of the minor increase in height are considered to be negligible.</p>
	<p><i>Detached residential units must provide a side yard as per zoning with open east-west views.</i></p>	<p>CONSISTENT: YES</p> <p>East west views will be maintained on either side of the development and between Blocks A and B.</p>
<p>6.3 Architectural Guidelines</p>	<p><i>Entirely new buildings may be proposed:</i></p> <ul style="list-style-type: none"> <li>• <i>where no previous building existed or,</i></li> <li>• <i>where original buildings are missing or,</i></li> <li>• <i>where severely deteriorated buildings are removed through no fault of the current owner,</i></li> <li>• <i>or where non-contributing buildings are removed</i></li> </ul>	<p>CONSISTENT: YES</p> <p>The proposed development is located on two residential lots, one that is vacant and one that contains a building that does not have heritage value and does not contribute to the character of the area.</p>
<p>6.3.3. Material Palette</p>	<p><i>Materials proposed for new buildings in the district should include those drawn from ones historically in use in Woodbridge. This includes brick, stone, traditional stuccos, wood siding and trim, glass windows and storefronts and various metals.</i></p>	<p>CONSISTENT: YES</p> <p>The proposed buildings will be clad with brick. Red brick is a common material for existing buildings on Wallace Street. The use of buff brick is not found within the District.</p> <p>The buff brick selection should be revised to be more in keeping with the red brick found in this area.</p> <p>Final material selections should be provided to heritage staff for</p>

		review, prior to the issue of building permits.
6.4.1.4 Wallace Street Character Area	<i>New buildings on the west side must setback a minimum of 3m from the street and a maximum of 4.5 m.</i>	CONSISTENT: YES  The front setback maintains the setback of adjacent dwellings on the west side of Wallace Street.
	<i>New buildings must be sympathetic to the setbacks of adjacent contributing buildings.</i>	CONSISTENT: YES  The setback maintains the setback of the adjacent contributing building at 148 Wallace Street.
6.4.2 Street Wall Height and Scale	<i>Except where noted, new buildings should be a minimum of 2 floors (8.5 m) to a maximum of 3 floors (11 m).</i>	CONSISTENT: YES  The height is 12.1 m. This represents a minor increase of 1.1 m above the district guideline.  Given that this site is located at the edge of the district and that a transition in height down to the only contributing building that abuts the development has been provided, impacts of the minor increase in height are considered negligible.
	<i>New buildings must be sympathetic to, and transition from, the height of adjacent contributing buildings, with a minimum 45 degree angular plane.</i>	CONSISTENT: YES  Block B transitions down to the height of the 1.5-storey contributing building at 148 Wallace Street with a 45 degree angular plane.
6.5 Transitions	<i>The setback requirement to adjacent contributing heritage buildings must be at least half the building height.</i>	CONSISTENT: YES  The side yard adjacent to the contributing heritage building at 148 Wallace Street is equal to half of the building height.
6.6.3	<i>Existing natural forest stands or groupings of trees should be conserved.</i>	CONSISTENT: YES

Tree Canopy and Vegetation		The natural wooded slope at the back of the property will be conserved.
	<i>Streetscapes should conserve the existing green canopy and provide new tree planting where none exists, in order to create a continuous tree canopy along the street.</i>	CONSISTENT: YES  A new tree will be planted in front of each unit.
	<i>Trees on public and private property having a tree diameter of 20 cm or more or having a base diameter of 20 cm or more, must be conserved, and the requirements of the City of Vaughan Tree Bylaw 185-2007 must be adhered to.</i>	CONSISTENT: YES  Tree removals will be regulated through the City of Vaughan Tree By-law 185-2007.
	<i>Prior to issue of a Heritage Permit, Building Permit or Site plan approval, a tree conservation plan is required to be submitted and approved by the City.</i>	CONSISTENT: YES  A Tree Inventory and Preservation Plan (April 19, 2022) by 7 Oaks Tree Care & Urban Forestry Consultants has been submitted to the City.
	<i>An ongoing maintenance plan and replacement strategy should be developed in order to maintain the extensive forest canopy, especially as maturing trees start to show signs of deterioration or stress.</i>	CONSISTENT: YES  A Tree Inventory and Preservation Plan (April 19, 2022) indicates that 25 privately owned trees and 12 trees located on municipal and regional property will be removed and recommends that 36 replacement trees be provided as compensation.
6.6.4 Views and Landmarks	<i>All views to the river valleys and to key sites as defined on the adjacent map (Schedule 19: Views, Landmarks and Bridges) should be maintained and protected. Key view corridors, some of which are identified on Schedule 19, should remain open and free from obstruction.</i>	CONSISTENT: YES  There will be no significant impacts to views or landmarks.  There may be minor impacts to the view corridor between the River Valley and the hillside on the west side of Wallace Street because the top of the roof may be visible from some vantage

		points. It is anticipated that the dense trees canopy existing within this view shed will provide adequate screening. Therefore these impacts are considered to be negligible.
6.7.3 Street Trees	<i>In general, all streets should be well planted with street trees to enhance the green character of the District and extend the character of the surrounding parkland.</i>	<p>CONSISTENT: YES</p> <p>The proposal includes 36 new trees including new trees on Wallace Street in front of each unit.</p> <p>A detailed landscape plan should be provided to heritage staff for review, prior to final site plan approval.</p>



## 7.0 CONCLUSIONS & RECOMMENDATIONS

The *HIA Addendum* finds that the proposed development will not have negative impacts on the *Woodbridge Heritage Conservation District Plan* and is a good example of appropriate low-rise multi-unit residential infill within the district. The larger scale and massing of the proposed development has been successfully mitigated through the following design measures:

- the height is limited to 3.5 storeys (12.1 metres)
- there is a transition down in height to the adjacent heritage building
- the building massing is broken up into two blocks of four units and each block is articulated to convey the individual units
- the building form is a street-orientated form that maintains the front setback of adjacent residential properties on the west side of Wallace Street
- the proposal includes new landscaping and street trees along the Wallace Street frontage
- the primary cladding material is brick, a common building material within the district
- the window-to-wall ratio is similar to historic buildings on Wallace Street
- the windows have traditional proportions with lintel and sill details and multi-pane sash
- the design is 'transitional', successfully combining Georgian symmetry with contemporary elements in a balanced and understated manner

Therefore, it is recommended that a heritage permit be granted, with the following conditions:

- that a detailed landscape design for the Wallace Street frontage be provided to heritage staff for review, prior to final site plan approval
- that samples of the brick cladding materials be provided to heritage staff for review, prior to the issue of building permits

## 8.0 SOURCES

Ministry of Tourism, Culture & Sport (MTCS), *Ontario Heritage Toolkit (2006)*

Office for Urbanism in association with Goldsmith Borgal and Company Architects, *Woodbridge Heritage Conservation District Study & Plan (2009)*

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada (2010)*

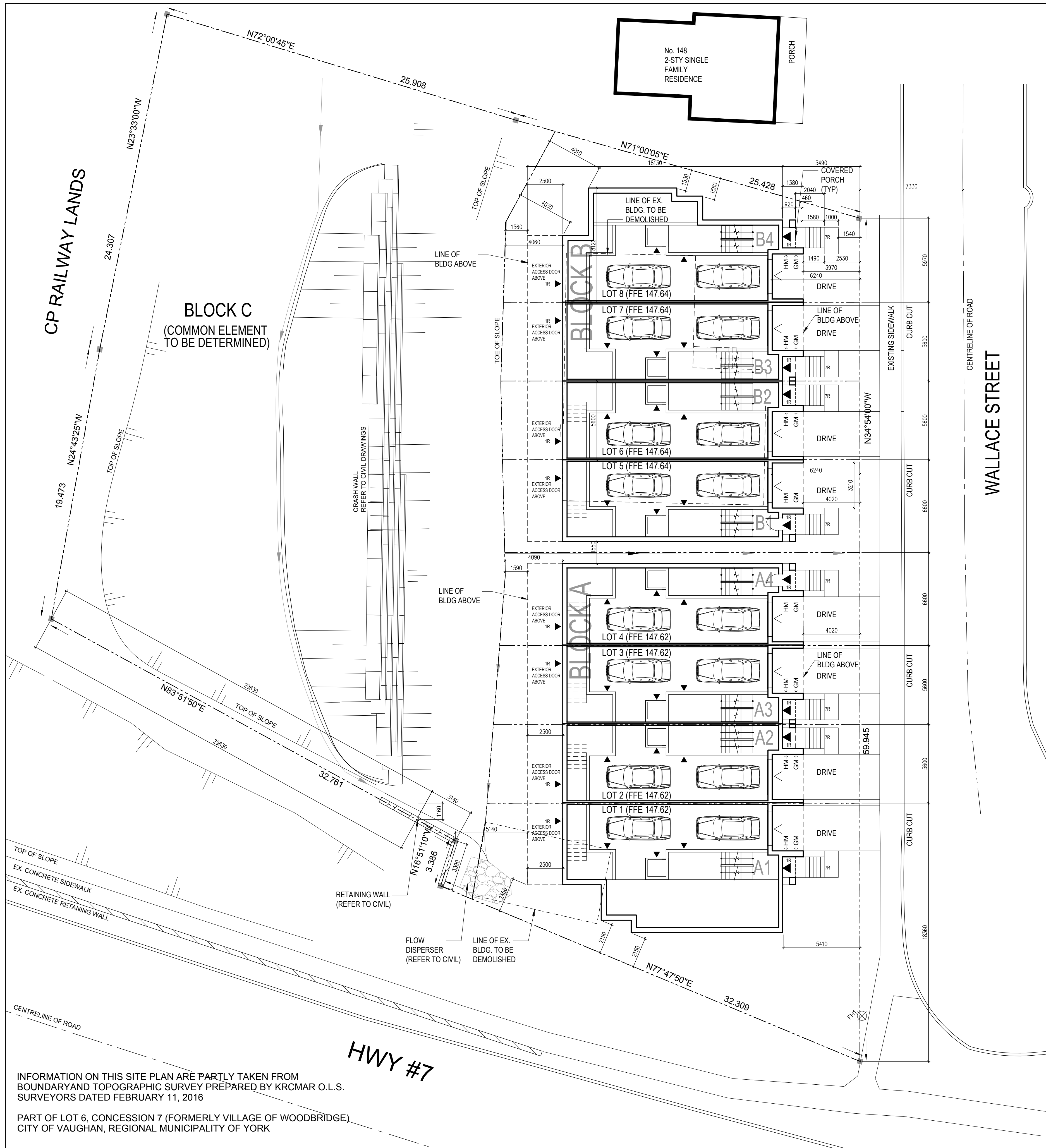
7 Oaks Tree Care & Urban Forestry Consultants Inc. *158-166 Wallace Street: Tree Inventory & Preservation Plan (April 19, 2022)*

## 9.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the Canadian Association of Heritage Professionals. Formal education includes a Master of Arts in Architectural History from the University of Toronto and a Diploma in Heritage Conservation from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian & Conservation Specialist at Taylor Hazell Architects in Toronto, and 10 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching architectural history at the University of Toronto and McMaster University and teaching research methods and conservation planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.



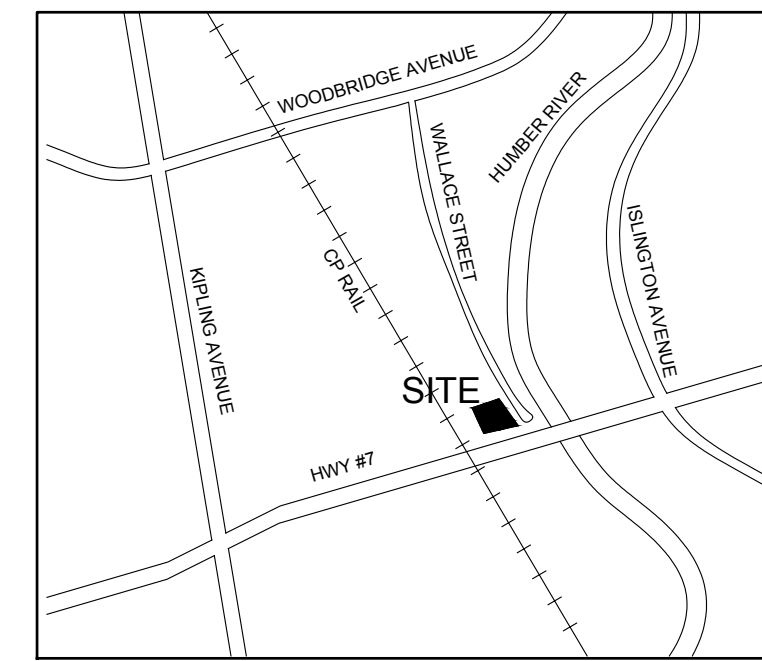




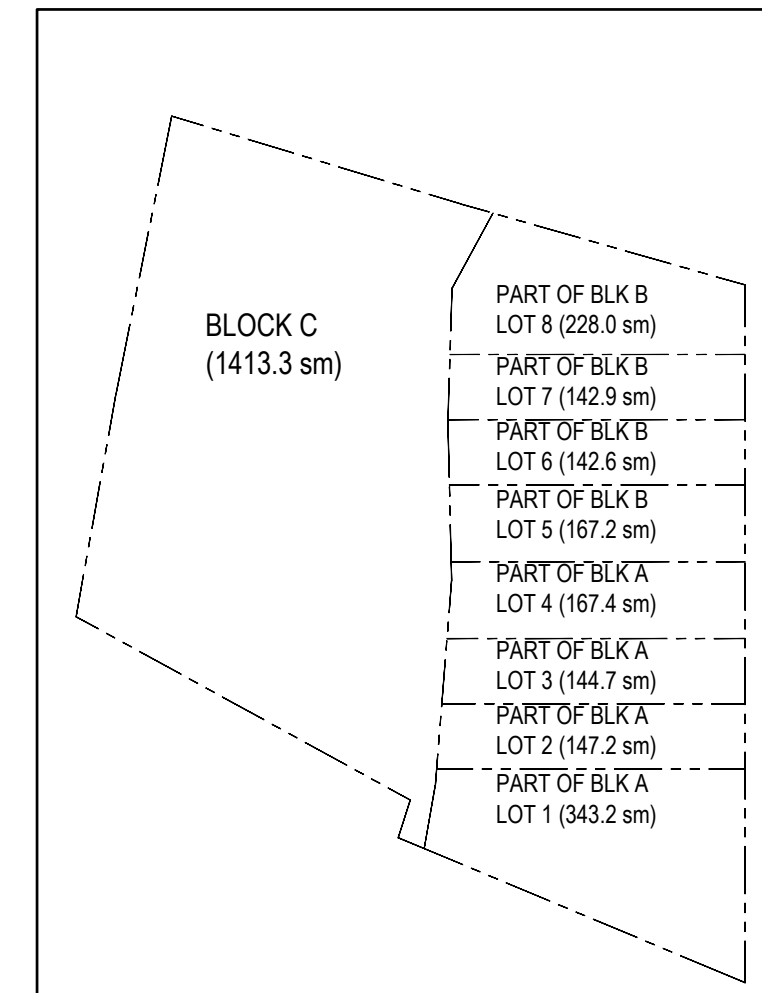
INFORMATION ON THIS SITE PLAN ARE PARTLY TAKEN FROM BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY KRCMAR O.L.S. SURVEYORS DATED FEBRUARY 11, 2016

PART OF LOT 6, CONCESSION 7 (FORMERLY VILLAGE OF WOODBRIDGE) CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF YORK

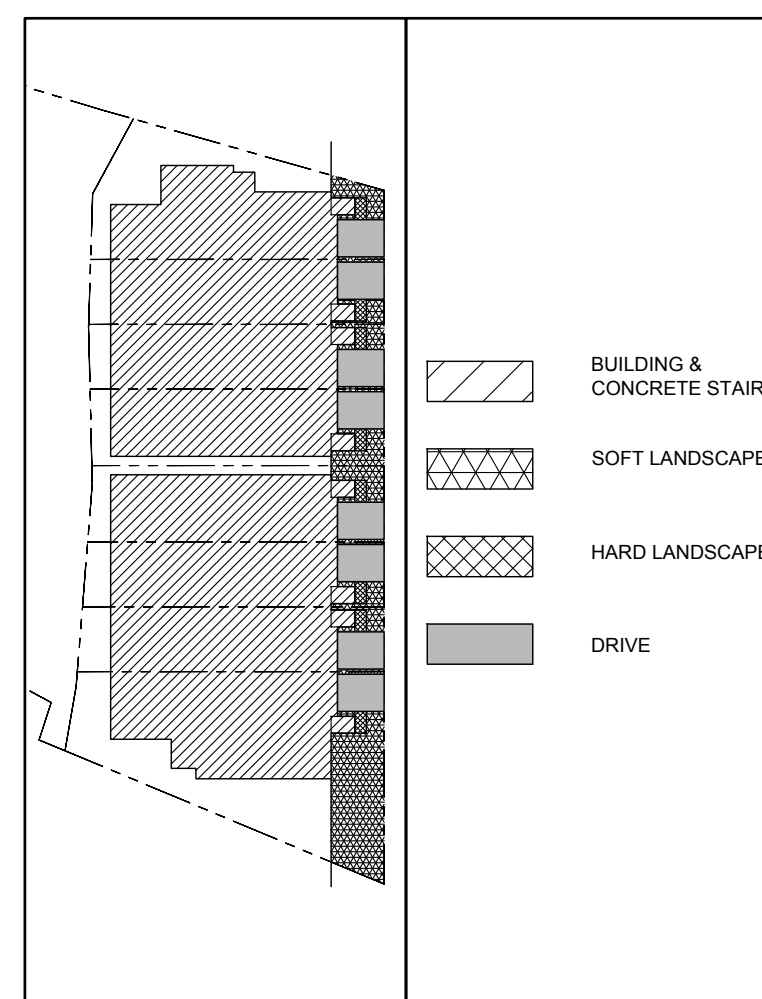
**01 SITE PLAN**  
SCALE: 1:150



**04 KEY PLAN**  
SCALE: NTS



**03 BLOCK KEY PLAN**  
SCALE: NTS



**02 FRONT YARD LANDSCAPE DIAGRAM**  
SCALE: NTS

**LEGEND**

- FFE FINISHED FIRST FLOOR ELEVATION
- #R NO. OF RISERS
- ▶ MAIN ENTRY DOOR LOCATION
- ▽ GARAGE DOOR LOCATION
- ▶ MAN DOOR LOCATION
- RETAINING WALL
- PROPERTY LINE
- FIRE HYDRANT
- GAS METER BOX
- HYDRO METER BOX

**SITE STATISTICS:**

SITE AREA			
PART OF BLK A	LOT 1		343.18 sm
PART OF BLK A	LOT 2		147.22 sm
PART OF BLK A	LOT 3		144.70 sm
PART OF BLK A	LOT 4		167.46 sm
BLOCK A			
PART OF BLK B	LOT 5		167.19 sm
PART OF BLK B	LOT 6		142.65 sm
PART OF BLK B	LOT 7		142.49 sm
PART OF BLK B	LOT 8		228.04 sm
BLOCK B			
BLOCK C	Common Element - To be Determined		1413.37 sm

**TOTAL SITE AREA** 2896.30 sm

**COVERAGE** 0.33

**FSI** 0.91

Landscaped Areas

Front Yard Soft Landscape	49.0%
Front Yard Hard Landscape	6.5%
Drive	44.5%

**HEIGHT**  
TOP OF ROOF 12.1 m

**Parking Provided** 3 spaces/TH

**UNIT AREA CALCULATIONS**

UNIT	LEVEL	AREA (sm)
A1	ENTRY LEVEL	63.64
	FIRST FLOOR	129.04
	SECOND FLOOR	154.59
	THIRD FLOOR	93.46
<b>TOTAL</b>		<b>440.73</b>
A2	ENTRY LEVEL	18.58
	FIRST FLOOR	83.80
	SECOND FLOOR	108.23
	THIRD FLOOR	90.49
<b>TOTAL</b>		<b>301.10</b>
A3	ENTRY LEVEL	18.58
	FIRST FLOOR	83.80
	SECOND FLOOR	108.23
	THIRD FLOOR	90.49
<b>TOTAL</b>		<b>301.10</b>
A4	ENTRY LEVEL	20.35
	FIRST FLOOR	86.12
	SECOND FLOOR	112.04
	THIRD FLOOR	94.30
<b>TOTAL</b>		<b>312.80</b>
B1	ENTRY LEVEL	20.35
	FIRST FLOOR	86.12
	SECOND FLOOR	112.04
	THIRD FLOOR	94.30
<b>TOTAL</b>		<b>312.80</b>
B2	ENTRY LEVEL	18.58
	FIRST FLOOR	83.80
	SECOND FLOOR	108.23
	THIRD FLOOR	90.49
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	THIRD FLOOR	90.49
<b>TOTAL</b>		<b>301.10</b>
B4	ENTRY LEVEL	39.39
	FIRST FLOOR	101.64
	SECOND FLOOR	125.42
	THIRD FLOOR	89.65
<b>TOTAL</b>		<b>356.10</b>

CONTRACTOR TO VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED

DATE:	REVISION:

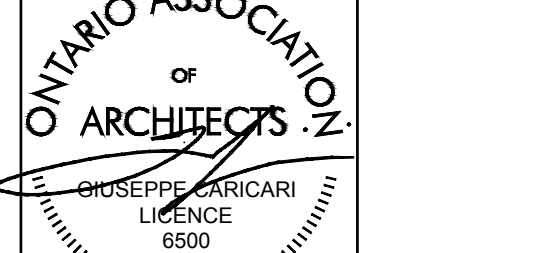
LANDSCAPE ARCHITECT:  
**GEOMETRIC STUDIO INC.**  
2222 TRUSCOTT DRIVE  
MISSISSAUGA, ON L5L 2A8  
647.306.3283  
david@geometricstudio.ca

CIVIL ENGINEER:  
**WSP Canada Inc.**  
118 SPADINA AVENUE, SUITE 900  
TORONTO, ON M5V 2L1  
416.750.7158  
Alex.Williams@wsp.com

2023-01-20 RE-ISSUED FOR ZBA  
2022-04-11 RE-ISSUED FOR SPA & ZBA

DATE: ISSUE:

SEAL:



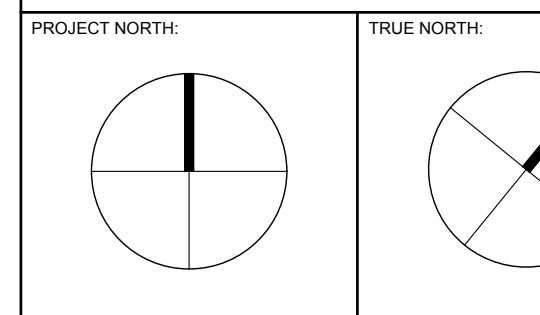
**CARICARI LEE ARCHITECTS**  
113 Wanda Avenue  
Toronto, ON M6B 3W8  
416.962.8073  
416.962.8071  
info@caricari.com



CLIENT NAME:  
**KING HOME CONSTRUCTION INC.**  
7 MAPLEDOWN WAY  
VAUGHAN, ON  
L6A 4A8  
renzo@movomatrix.com

PROJECT NAME:  
**WALLACE MILLS RESIDENTIAL TH DEVELOPMENT**  
1387 166 WALLACE STREET  
CITY OF VAUGHAN, ONTARIO, L4L 2P4  
VAUGHAN APPLICATION #: OP 17.006, 217.015, PAC.21.110

SHEET TITLE:  
**SITE PLAN KEY PLAN, SITE STATISTICS**



SCALE	AS NOTED	REVISION NO.
PROJECT NO.	21024	
DATE	JUNE 2021	DRAWING NO.
DRAWN	JC	
CHECKED	JC	











