



File: A024/19

Applicant: Mark and Sonia Ciarelli

Address: 50 Basilica Dr Woodbridge ON

Agent: Mike Dall’Acqua / Justin Nasello  
Kingscape Landing

Please note that comments received after the preparation of this Staff Report (up until 12:00 p.m. on the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/> Negative Comment	
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Urban Design	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Parks Department		
By-law & Compliance		
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA		
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None

Background History: None



**Minor Variance  
Application  
  
A024/19**

**Agenda Item: 05**  
  
**Ward: 3**

**Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer**

**Date of Hearing:** Thursday, April 4, 2019

**Applicant:** Marl and Sonia Ciarelli

**Agent:** Justin Nasello / Mike Dall'Acqua - Kingscape Landing

**Property:** **50 Basilica Drive, Woodbridge ON**

**Zoning:** The subject lands are zoned RV3(W.S), Residential Urban Village Zone Three and subject to the provisions of Exception 9(1024) under By-law 1-88 as amended.

**OP Designation:** VOP 2010: Low-Rise Residential

**Related Files:** None.

**Purpose:** Relief from the By-law is being requested to permit the construction of a proposed cabana located in the rear yard (south west corner).

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 6.0 metres is required.	1. To permit a minimum rear yard setback of 0.6 metres to an accessory structure (cabana).

**Background (previous applications approved by the Committee on the subject land): N/A**

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

**Adjournment History: N/A**

**Staff & Agency Comments**

Please note that comments received after the preparation of this Staff Report (up until 12:00 p.m. on the scheduled hearing date) will be provided as an addendum.

**Committee of Adjustment:**  
Public notice was mailed on March 20, 2019

Applicant confirmed posting of signage on March 14, 2019

Property Information	
Existing Structures	Year Constructed
Dwelling	2006
Cabana	Proposed

Applicant has advised that they cannot comply with By-law for the following reason(s): Yard size is too small to allow required setbacks.

**Building Standards (Zoning Review):**  
Stop Work Order(s) and Order(s) to Comply: None

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2.

A building permit must be obtained for the Accessory Structure (Cabana) from the Building Standards Department.

A permit must be obtained for the swimming pool from the Engineering Department.

Please note Section 4.1.1(b) that states the maximum height of an accessory building or structure measured from the average finished ground level to the highest point of the said building or structure shall be 4.5 metres. The nearest part of the roof shall not be more than three(3) metres above finished grade.

Eaves and gutters appurtenant to the accessory structure (cabana) shall not project more than 0.5 metres into a required yard.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

**Building Inspections (Septic):**

No comments or concerns

**Development Planning:**

VOP 2010: Low-Rise Residential

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

**Urban Design:**

There are no cultural heritage concerns for this application.

**Development Engineering:**

The Development Engineering Department recommend the following conditions of approval:

The home owner shall apply for a pool permit from the Development Engineering Department front counter located on the 2nd floor of City Hall.

**Parks Development:**

No Response.

**By-Law and Compliance, Licensing and Permit Services:**

No Response.

**Financial Planning and Development Finance:**

No comment no concerns

**Fire Department:**

No Response.

**Schedule A – Plans & Sketches**

**Schedule B – Public Correspondence**

None.

**Schedule C - Agency Comments**

MTO – Located outside of MTO permit control area  
Alectra (Formerly PowerStream) – No concerns or objections  
Region of York – No concerns or objections

**Schedule D - Previous Approvals (Notice of Decision)**

None.

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	Development Engineering Margaret Olivier  905-832-8585 x 8716 <a href="mailto:margaret.olivier@vaughan.ca">margaret.olivier@vaughan.ca</a>	The home owner shall apply for a pool permit from the Development Engineering Department front counter located on the 2nd floor of City Hall.

**Please Note:**

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**Notice to the Applicant – Development Charges**

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

## Notice to Public

**WRITTEN SUBMISSIONS:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition, which must be delivered no later than **12:00 p.m.** on the scheduled public hearing date.

Written submissions can be mailed and/or emailed to:

City of Vaughan  
Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[CofA@vaughan.ca](mailto:CofA@vaughan.ca)

**ORAL SUBMISSIONS:** If you wish to attend the meeting you will be given an opportunity to make an oral submission. Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings are audio recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

T 905 832 8585 Extension 8394  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

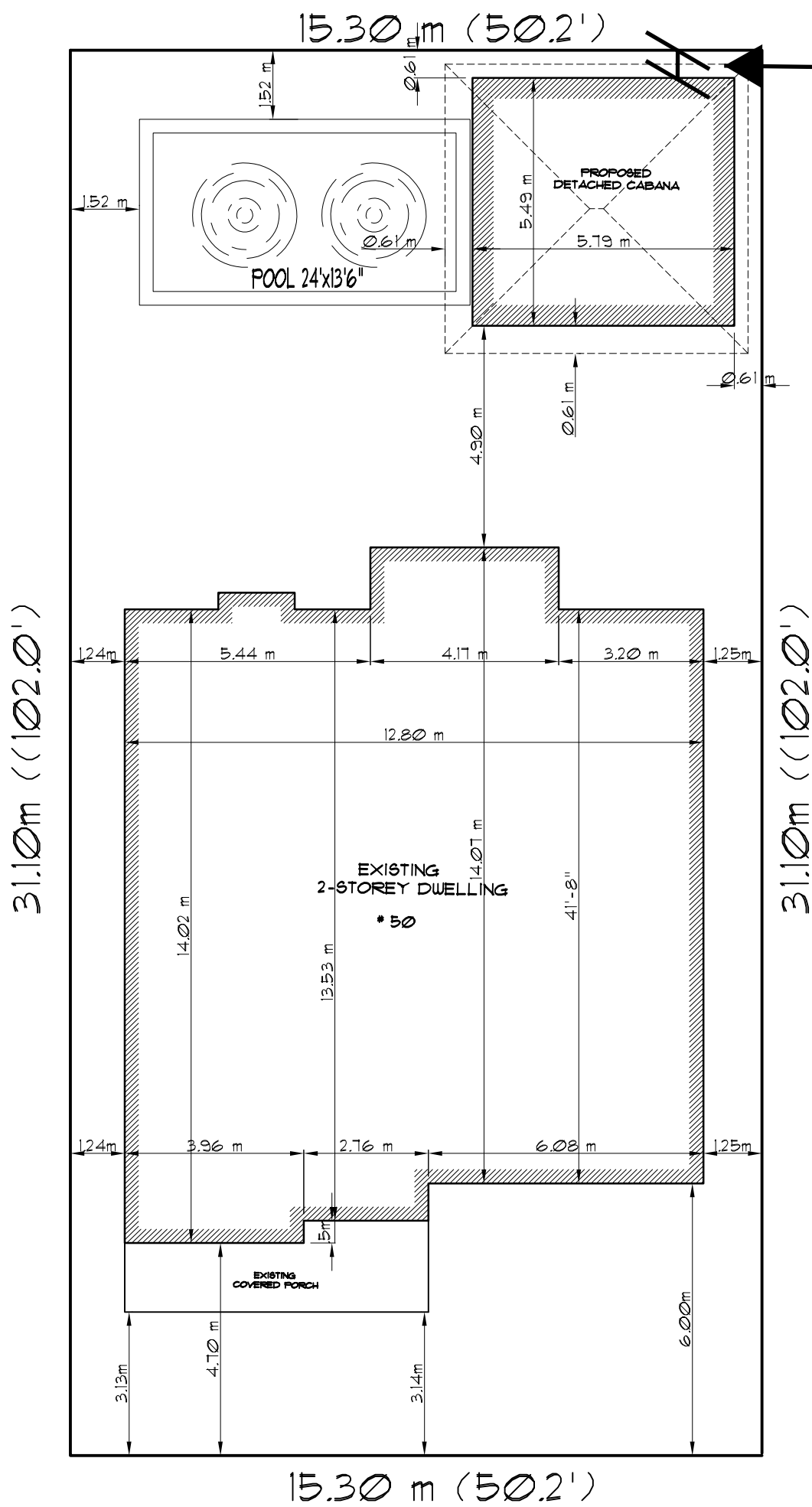
Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Location Map  
Sketches

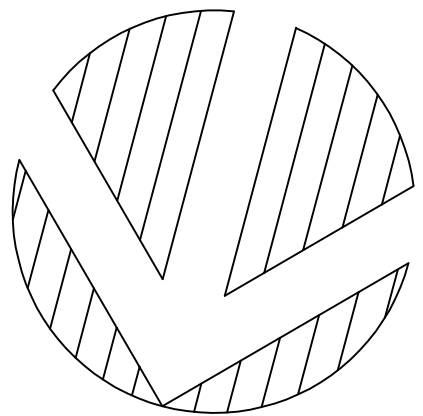






**0.6m**

PERMIT IS FOR  
DETACHED CABANA  
AT REAR.



50 BASILICA DRIVE

LOT AREA = 475.61 sq.m (5,119.38 sq.ft.)

LOT COVERAGE (CALCS)

- EXIST. DWELLING = 176.42 sq.m (1,899.02 sq.ft.)  
(incl. GARAGE)
- EXIST. FRONT PORCH AREA = 11.60 sq.m (124.9 sq.ft.)
- REAR DETACHED CABANA = 31.77 sq.m (342.0 sq.ft.)

TOTAL = 219.80 sqm (2,365.92 sq.ft.)

46.22%

# BASILICA DRIVE

[illegible]

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION  
 REQUIRED UNDER DESIGN EXEMPT UNDER 2.1.5.1  
 OF THE BUILDING CODE

SAMIR HINNAWI  
NAME  
SIGNATURE  
34165  
BCIN

# SHESIGN

**OUR VISION, OUR EXPERTISE**  
**CONSULTATIONS-DESIGNS-DRAFTING**

SAMIR HINNAWI  
CEL: (416) 414-9176  
Email: shdesign@rogers.com

## SITE PLAN

PROPOSED CABANA AT:-  
5 BASILICA DRIVE  
VAUGHAN, ONTARIO

DRAWN	CHECKED BY:	SHEET <b>5.P.</b>
DATE DEC. 2018	SCALE 3/32" = 1'-0"	FILE



[illegible]

# SH DESIGN

**YOUR VISION OUR EXPERTISE**

---

DESIGN CONSULTATIONS, DRAFTING

- RESIDENTIAL DESIGNS
- CUSTOM HOMES
- ADDITIONS & RENOVATIONS

**SAMIR HINNALI**

**Cell: (416) 414-9176**  
**Email: [shdesign@rogers.com](mailto:shdesign@rogers.com)**

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
REQUIRED UNLESS DESIGN EXEMPT UNDER 21.3.1. OF THE BUILDING CODE

GAILIR HINNALL  
NAME *Gail Hinnall* 34165  
SIGNATURE  
BCN

PROPOSED CABANA AT:-			
50 BASILICA DRIVE VAUGHAN, ONTARIO			
<p align="center"><b>PROPOSED CABANA PLANS</b></p>			
DRAWN	CHECKED BY:	SHEET	
DATE	SCALE	A-1	
DEC. 2008	1/4" = 1'-0"	FILE	

1 EAVES PROTECTION

45# ROLL ROOFING (2-LAYERS)  
EAVES PROTECTION MEMBRANE TO  
EXTEND FROM THE EDGE OF THE  
ROOF, 36" UP THE SLOPE BUT NOT  
LESS THAN 12" BEYOND THE INTERIOR  
FACE OF THE EXTERIOR WALL

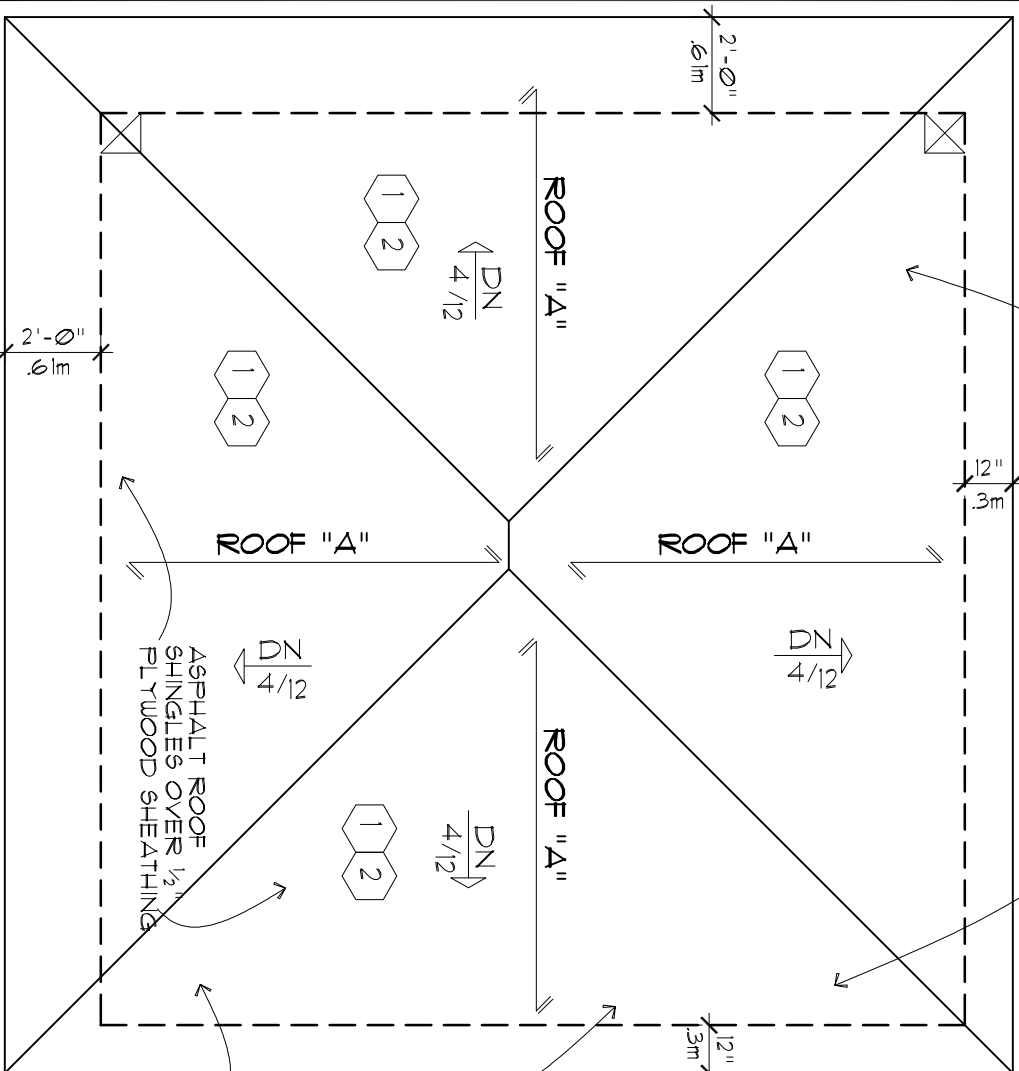
2 ROOF CONSTRUCTION

- \*2" SELF SEALING ASPHALT SHINGLES  
3/8" EXTERIOR PLYWOOD SHEATHING  
ON APPROVED ROOF TRUSSES OR  
CONVENTIONAL FRAMING (SEE PLANS)  
SUBSECTION 9.23.13, O.B.C. REG. 350/06  
USE 1" CLIPS IF 24" O.C. SPACING
- TRUS MANUFACTURER TO CHECK  
SLOPE PRIOR TO MANUFACTURING  
TRUSSES
- PROVIDE LOW SLOPE SHINGLES  
FOR ROOF SLOPE LESS THAN  
1 IN 3 (AS PER O.B.C. 9.26.8.)

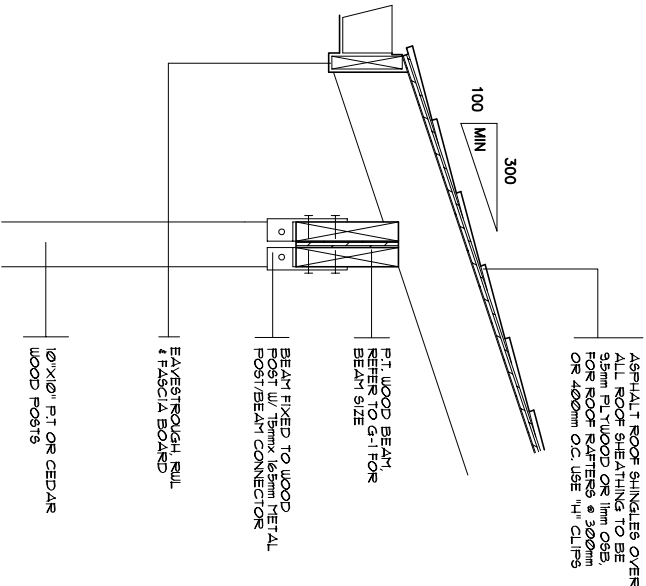
ROOF "A"

ASPHALT SHINGLES ON MIN.  
9.5mm PLYWOOD SHEATHING  
OVER MIN 2"x4" @16"O.C ROOF  
RAFTERS & MIN. 2"x6" RIDGE  
BOARD & HIP5

ASPHALT ROOF  
SHINGLES OVER 1/2"  
PLYWOOD SHEATHING



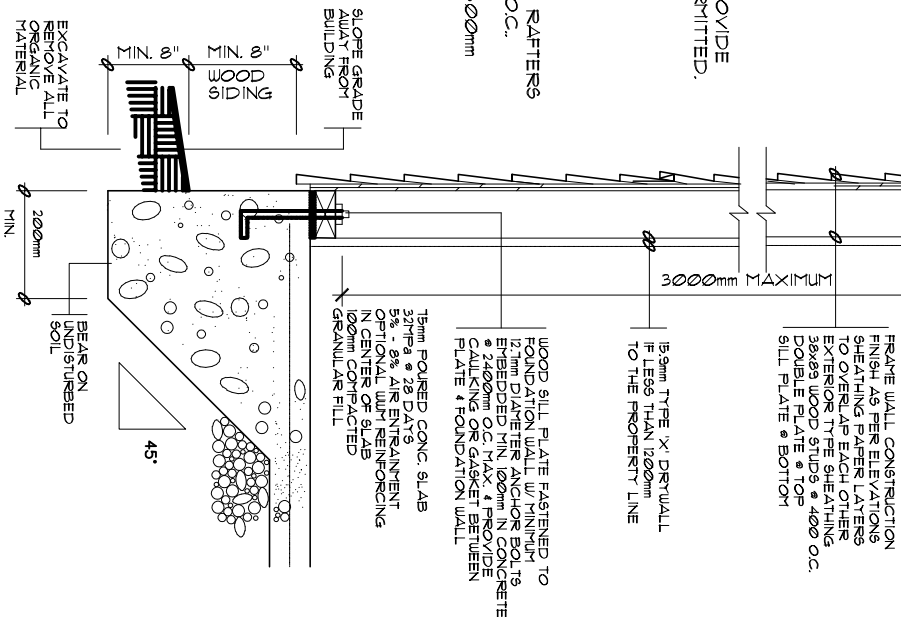
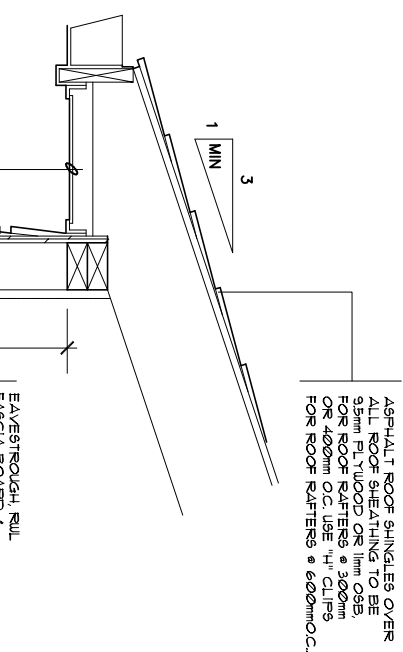
ROOF PLAN



GENERAL NOTES

- ALL LUMBER TO BE NO. 1&2 SPRUCE OR BETTER
- ALL PLYWOOD SHALL BE STAMPED EXTERIOR GRADE
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL
- IF STRUCTURE WALL IS LESS THAN 1200mm TO THE PROPERTY LINE PROVIDE 15.9mm TYPE 'X' DRYWALL INTERIOR SHEATHING. NO WINDOWS ARE PERMITTED.
- CLADDING OR VINYL SIDING W/ GYPSUM SHEATHING IS REQUIRED.
- SLAB SHALL BE SLOPED TO DRAIN TO THE OUTSIDE. CONCRETE SHALL BE MIN. 32MPa W/ 5%-8% AIR ENTRAINMENT.
- ALL ROOF SHEATHING TO BE 9.5mm PLYWOOD OR 1mm OSB, FOR ROOF RAFTERS @ 300mm OR 400mm O.C. USE 1" CLIPS FOR ROOF RAFTERS @ 600mm O.C.
- STEPPED FOOTINGS, IF REQUIRED, SHALL HAVE A MAXIMUM RISE OF 600mm & A MINIMUM RUN OF 600mm.
- PROVIDE A LIGHT FIXTURE

EAVE PROTECTION TO EXTEND FROM THE EDGE OF THE ROOF, 900mm UP THE SLOPE BUT NOT LESS LESS THAN 300mm BEYOND THE INT. FACE OF THE EXTERIOR WALL (TYPICAL)



1 ALTERNATE FOR FRAME DETACHED STRUCTURE  
MAXIMUM 55'12, ONE STOREY WOOD FRAME ONLY

REVISIONS		DATE
NO.	ISSUED FOR BUILD & TENDER	FEB. 2018
1		

### SH DESIGN

YOUR VISION. OUR EXPERTISE

DESIGN CONSULTATIONS, DRAFTING  
RESIDENTIAL DESIGNS  
- CABINETS  
- ADDITIONS & RENOVATIONS

SAMIR HINNAWI

Cell: (416) 414-5116  
Email: shdesigns@gmail.com

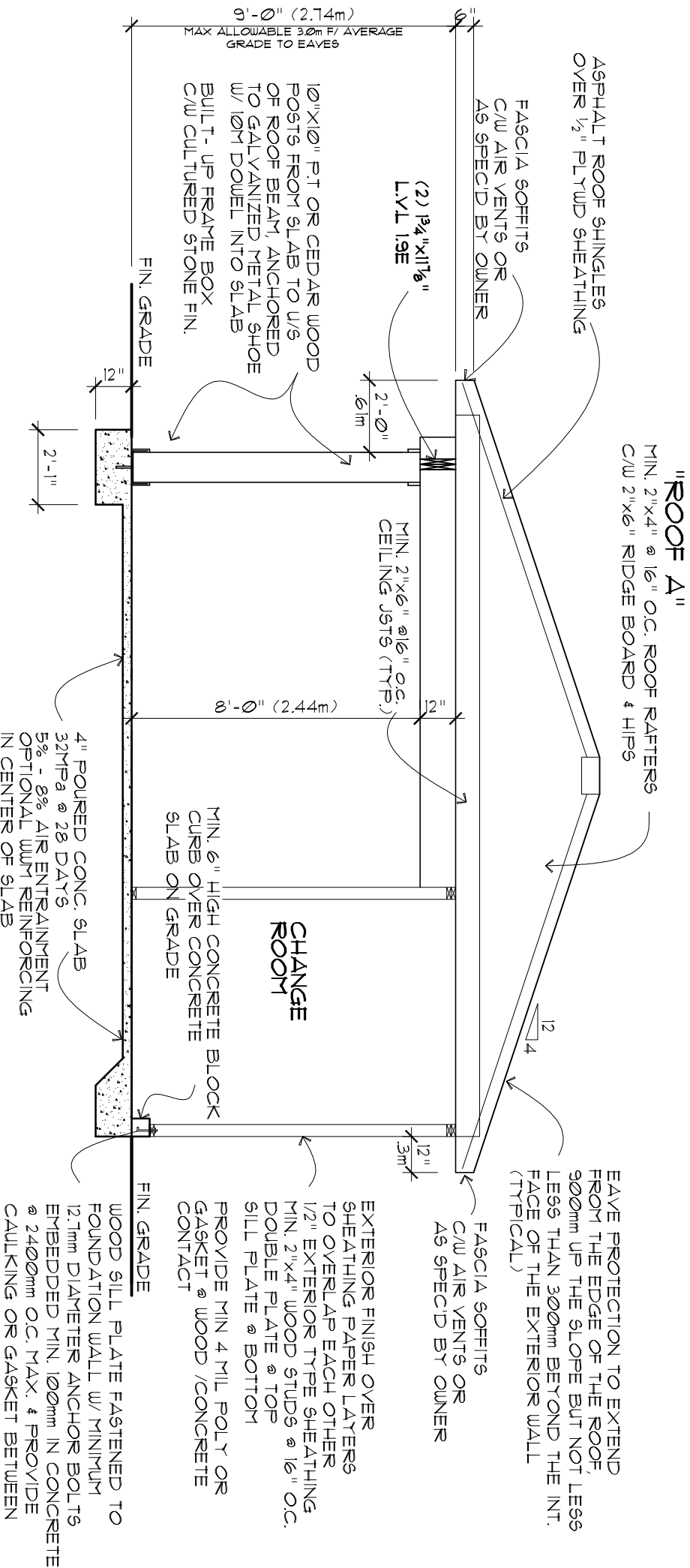
THE UNDERSIGNED HAS REVIEWED AND TAKES  
RESPONSIBILITY FOR THIS DESIGN, AND HAS  
REPRESENTED TO THE CITY OF TORONTO  
BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION  
OF THE BUILDING CODE

SAMIR HINNAWI 34165  
DATE SIGNATURE BCN

PROPOSED CABANA AT:-  
50 BASILICA DRIVE  
VAUGHAN, ONTARIO

PROPOSED CABANA PLANS	
DRAWN	CHECKED BY:
DATE	SCALE
DEC. 2018	1/4" = 1'-0"
	SHEET
	A-2
	FILE



**NOTE:-**  
LUMBER EXPOSED TO WEATHER  
SHALL BE PRESURE TREATED  
L.V.L'S SHALL BE PROTECTED  
BY METAL FLASHING OR CEDAR  
FIN. CLADDING (AS REQUIRED)

A  
A-3

## CROSS SECTION

DETAIL NO. A-3	
REVISIONS	
NO.	DATE
1	ISSUED FOR BUILD. & TENDER FEB. 2018

**SH DESIGN**

YOUR VISION. OUR EXPERTISE

DESIGN CONSULTATION, DRAFTING

RESIDENTIAL DESIGNS

• CUSTOM HOMES

• ADDITIONS & RENOVATIONS

SAYIR HINNAUJI

Cell: (416) 414-5116

Email: shdes@shdesigns.com

THE UNDERSIGNED HAS REVIEWED AND TAKES  
RESPONSIBILITY FOR THIS DESIGN, AND HAS  
REQUIREMENTS SET OUT IN THE ONTARIO  
BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION  
REQUIRED: UNLESS DESIGN EXEMPT UNDER 217(3),  
OF THE BUILDING CODE

SAYIR HINNAUJI  
NAME SIGNATURE 34165  
BCN

PROPOSED CABANA AT:-  
**50 BASILICA DRIVE**  
VAUGHAN, ONTARIO

**PROPOSED  
CABANA PLANS**

DRAWN	CHECKED BY:	SHEET
DATE	SCALE	A-3
DEC. 2018	1/4" = 1'-0"	FILE

HORIZONTAL WOOD SIDING  
SHEATHING PAPER LAYERS  
TO OVERLAP EACH OTHER  
1/2" EXTERIOR TYPE SHEATHING  
MIN. 2"x4" WOOD STUDS @ 16" O.C.  
DOUBLE PLATE @ TOP  
SILL PLATE @ BOTTOM  
PROVIDE MIN 4 MIL POLY OR  
GASKET @ WOOD /CONCRETE  
CONTACT

## FRONT ELEVATION

### FACING THE POOL

MIN. 4" POURED CONC. SLAB  
32MPa @ 28 DAYS  
5% - 8% AIR ENTRAINMENT  
C/W W/UM REINFORCING  
IN CENTER OF SLAB  
4" COMPACTED GRANULAR FILL  
@ U/S OF BUILT OUTS

PROVIDE 24"x24"x12"  
PAD @ U/S OF COLUMNS  
@ ALL CORNERS (TYP.)

10"x10" P.T OR CEDAR WOOD  
POSTS FROM U/S OF WOOD BEAM  
TO TOP OF BLOCK PIERS, ANCHORED  
TO GALVANIZED METAL SHOE  
W/ 10M DOWEL INTO PIER

**NOTE:-**  
LUMBER EXPOSED TO WEATHER  
SHALL BE PRESSURE TREATED  
L.V.L'S SHALL BE PROTECTED  
BY METAL FLASHING OR CEDAR  
FIN. CLADDING (AS REQUIRED)

HORIZONTAL WOOD SIDING  
SHEATHING PAPER LAYERS  
TO OVERLAP EACH OTHER  
1/2" EXTERIOR TYPE SHEATHING  
MIN. 2"x4" WOOD STUDS @ 16" O.C.  
DOUBLE PLATE @ TOP  
SILL PLATE @ BOTTOM  
PROVIDE MIN 4 MIL POLY OR  
GASKET @ WOOD /CONCRETE  
CONTACT

## REAR ELEVATION

MIN. 4" POURED CONC. SLAB  
32MPa @ 28 DAYS  
5% - 8% AIR ENTRAINMENT  
C/W W/UM REINFORCING  
IN CENTER OF SLAB  
4" COMPACTED GRANULAR FILL  
@ U/S OF BUILT OUTS

SH DESIGN

YOUR VISION. OUR EXPERTISE

DESIGN CONSULTATIONS DRAFTING

RESIDENTIAL DESIGNS

CUSTOM HOMES

ADDITIONS & RENOVATIONS

SAMIR HINNAULI

Cell: (416) 414-5116

Email: shdes@shdesigners.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS AGREED TO DEFEND, INDEMNIFY AND HOLD HARMLESS THE CLIENT FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY THE CLIENT AS A RESULT OF THIS DESIGN OR THE BUILDING CODE

QUALIFICATION INFORMATION

REQUIRED UNDER DESIGN EXEMPT UNDER 2173.1 OF THE BUILDING CODE

SAMIR HINNAULI  
NAME  
SIGNATURE  
34165  
BCN

PROPOSED CABANA AT:-  
50 BASILICA DRIVE  
VAUGHAN, ONTARIO

PROPOSED CABANA PLANS

DRAWN	CHECKED BY:	SHEET
DATE	SCALE	A-4
DEC. 2008	1/4" = 1'-0"	FILE



**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum. Written submissions from the public will only be accepted / processed until 12:00 p.m. on the date of the scheduled hearing.

**None.**



Schedule C: Agency Comments

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

- MTO – Located outside of MTO permit control area
- Alectra (Formerly PowerStream) – No concerns or objections
- Region of York – No concerns or objections

**Providence, Lenore**

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**Subject:** FW: A024-19 - REQUEST FOR COMMENTS (Vaughan - Committee of Adjustment)

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**From:** Akhtar, Usman (MTO) <Usman.Akhtar@ontario.ca>

**Sent:** March-13-19 1:04 PM

**To:** Providence, Lenore <Lenore.Providence@vaughan.ca>

**Subject:** FW: A024-19 - REQUEST FOR COMMENTS (Vaughan - Committee of Adjustment)

No comments or concerns.

Usman

Usman Akhtar  
Corridor Management Officer  
Ministry of Transportation  
416-235-3509

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**From:** Nunes, Paul (MTO)  
**Sent:** March 7, 2019 1:53 PM  
**To:** Della Mora, Dan (MTO) <[Dan.DellaMora@ontario.ca](mailto:Dan.DellaMora@ontario.ca)>  
**Cc:** Mazzotta, Rob (MTO) <[Rob.Mazzotta@ontario.ca](mailto:Rob.Mazzotta@ontario.ca)>  
**Subject:** FW: A024-19 - REQUEST FOR COMMENTS (Vaughan - Committee of Adjustment)

Dan, please re-assign.

**Paul Nunes | Corridor Management Officer - Utilities**  
Ministry of Transportation | Corridor Management Section | Peel & Simcoe Regions  
159 Sir William Hearst Avenue, 7<sup>th</sup> floor Building D, Downsview, ON M3M 0B7  
(416) 235-5559 | [paul.nunes@ontario.ca](mailto:paul.nunes@ontario.ca)



Confidentiality Warning: This message and any attachments may contain PRIVILEGED and CONFIDENTIAL INFORMATION and is intended only for the use of the recipient(s). If you are not the intended recipient, you are hereby notified that any review, retransmission, conversion to hard copy, copying, circulation or other use of this message and any attachments is strictly prohibited. If you have received this message in error, please immediately notify the sender by return e-mail, and delete this message and any attachments from your system. Thank you.



**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra’s cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI  
**Phone:** 1-877-963-6900 ext. 31297  
**Fax:** 905-532-4401  
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D’Onofrio  
Supervisor, Subdivisions & New Services  
**Phone:** 1-877-963-6900 ext. 24419  
**Fax:** 905-532-4401  
**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)

**Providence, Lenore**

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**Subject:** FW: MVAR.19.V.0093 (A024/19) - 50 Basilica Drive - Mark and Sonia Ciarelli

**From:** McMackin, Joseph <Joseph.McMackin@york.ca>

**Sent:** March-12-19 8:08 AM

**To:** Providence, Lenore <Lenore.Providence@vaughan.ca>

**Subject:** MVAR.19.V.0093 (A024/19) - 50 Basilica Drive - Mark and Sonia Ciarelli

Hi Lenore,

The Regional Municipality of York has completed its review of the above mentioned Minor Variance Application and has *no comment*.

Please feel free to contact me if you have any further questions or concerns.

Best,

**Joseph McMackin, B.URPI | Associate Planner**

Planning and Economic Development Branch, Corporate Services Dept.

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