

ITEM: 6.16	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A339/22 10 RAINBOW'S END KLEINBURG
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A339/22
10 RAINBOW'S END KLEINBURG**

ITEM NUMBER: 6.16	CITY WARD #: 1
APPLICANT:	Enzo Battaglia and Vanessa Boni
AGENT:	Gabe Farrarone
PROPERTY:	10 Rainbow's End, Kleinburg
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana and reduced landscaping in rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.815 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 67.0 m ² is permitted for all accessory buildings and residential accessory structures excluding an accessory detached garage. [4.1.3.1 and Section 3, Definitions]	To permit a maximum lot coverage of 95.57 m ² including roof overhangs) for a residential accessory structure (cabana).
2	A maximum height of 3.0 m is permitted for a residential accessory structure (cabana). [4.1.4.1]	To permit a maximum height of 4.37 m 4.05 m for a residential accessory structure (cabana). <i>*Height of cabana reduced, variance confirmed by Zoning Staff.</i>
3	In the R1B Zone, any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape (154.31 m ² soft landscape is required). [4.19.1.1]	To permit a minimum of 50.6% (130.36 m ²) of the area of the rear yard in excess of 135.0 m ² to be composed of soft landscape.

HEARING INFORMATION

DATE OF MEETING: Thursday, March 16, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION

That the general intent and purpose of the by-law will be maintained.
 That the general intent and purpose of the official plan will be maintained.
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	March 3, 2023
Date Applicant Confirmed Posting of Sign:	March 1, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Coverage exceed what is allowed by zoning height exceed what is allowed by zoning cabana limits soft landscape requirements. Min. Rear yard to accessory structure (cabana) exceeded
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On February 28, 2023, Development Planning provided the following:</p> <p>Development Planning staff have reviewed your minor variance application with senior management and provide you with the following comments:</p> <ol style="list-style-type: none"> 1. This application will need to reviewed by the Urban Design Division of Development Planning to ensure the built form is compatible and will not cause an adverse massing impacts. Staff have become aware of this application yesterday and there isn't enough time for staff to review prior to the notices being sent out. 2. Based on the general intent and purpose of By-law 001-2021, as well as scale of other existing structures in the neighbourhood, Development Planning recommends the proposed maximum height and area be decreased. 3. It also appears that two conferious trees are within 6m of the proposed construction. Please provide an arborist letter that confirms the proposed cabana will not impact this vegetation based on its proximity. <p>Applicant submitted Zoning Review Waiver and reduced height of cabana to 4.05m. Zoning confirmed variances identified in the Waiver were correct on March 8, 2023.</p>
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	Yes
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That the final Landscape Plan, showing tree plantings along the north, west, and south sides of the cabana, be approved to the satisfaction of the Development Planning Department
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed Cabana in the subject property is 69.6m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The proposed work by the owner/ applicant will increase the rear yard hardscaping area in the subject property. The added hardscape may have impact on City's Storm Water management system. Staff suggests the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts.

The Development Engineering (DE) Department does not object to the variance application A339/22 subject to the following condition.

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comment at this time.

PFH Recommended Conditions of Approval:	None:
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date

FIRE DEPARTMENT COMMENTS

Fire Department Recommended Conditions of Approval:

None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Joshua.cipolletta@vaughan.ca	That the final Landscape Plan, showing tree plantings along the north, west, and south sides of the cabana, be approved to the satisfaction of the Development Planning Department
2	Development Engineering lan.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

IMPORTANT INFORMATION – PLEASE READ

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

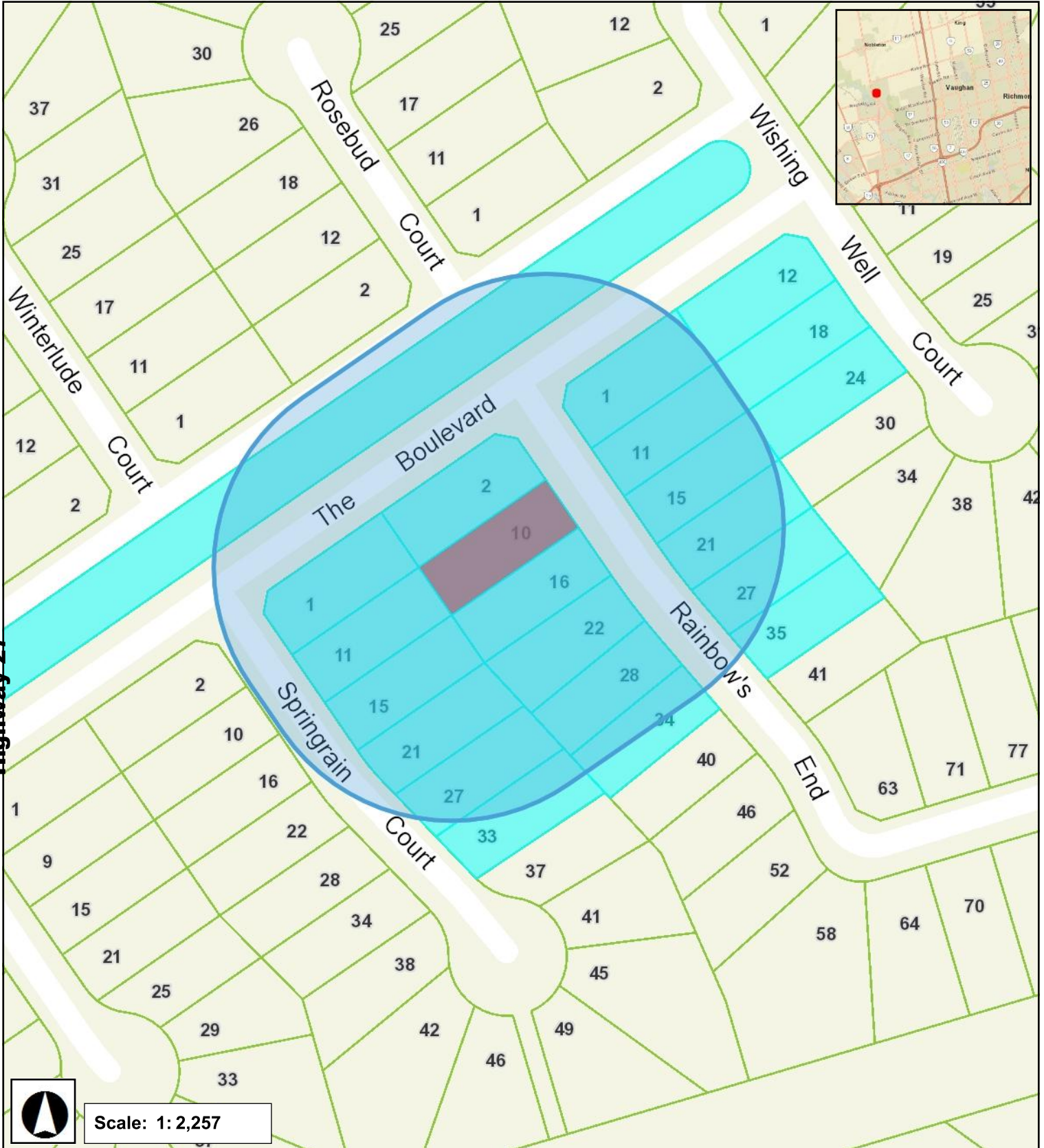
SCHEDULE A: DRAWINGS & PLANS



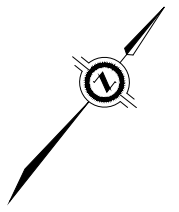
LOCATION MAP - A339/22

10 RAINBOW'S END, KLEINBURG

Kirby Road



CITY of VAUGHAN
Regional Municipality of York
LOT 131



Zoning By-law 001-2021 Variance requested

- To permit a maximum lot coverage of 95.57 m² including roof overhangs for a residential accesso
- To permit a maximum height of 4.37 m for a residential accessory structure (cabana).
- To permit a minimum of 50.6% (130.36 m²) of the area of the rear yard in excess of 135.0 m² to be composed of soft landscape.

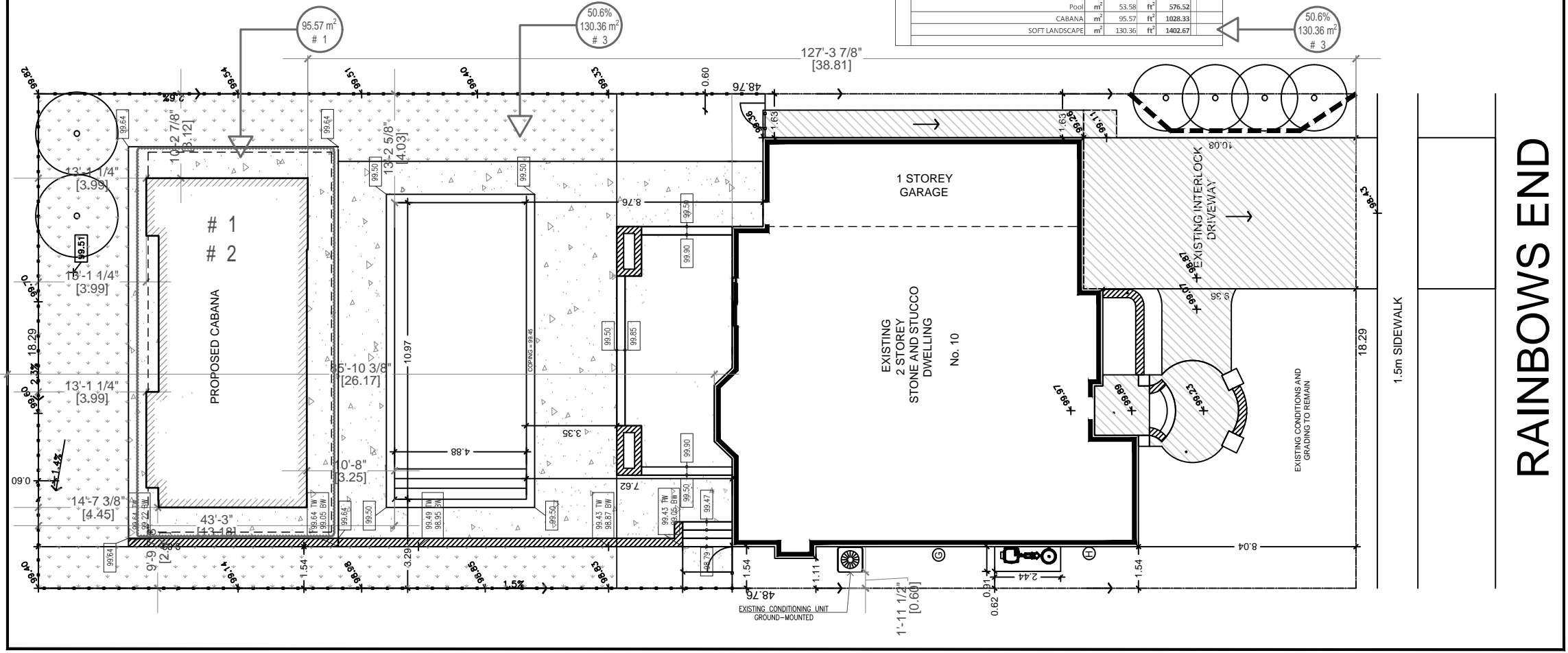
INDEXES				TOTAL m ²	TOTAL ft ²	%
TOTAL AREA				891.82	9599.47	
EXISTING COVERAGE				249.51	2684.73	27.98
PROPOSED COVERAGE (HOUSE+GARAGE+CABANA)				345.08	3713.06	38.69

EXISTING LOT COVERAGE HOUSE				TOTAL m ²	TOTAL ft ²	%
HOUSE (includes the covered loggia at the rear of the				210.44	2264.33	23.60
GARAGE				39.07	420.39	4.38
COVERAGE				249.51	2684.73	27.98

EXISTING SET BACK LANDSCAPING				TOTAL m ²	TOTAL ft ²	%
TOTAL REAR YARD AREA				392.18	4219.86	
Conc., Loggia & Steps				198.19	2132.52	
Pool Coping				10.05	108.14	
Pool				53.58	576.52	
SOFT LANDSCAPE				130.36	1402.67	

PROPOSED LOT COVERAGE HOUSE				TOTAL m ²	TOTAL ft ²	%
HOUSE (includes the covered loggia at the rear of the				210.44	2264.33	23.60
GARAGE				39.07	420.39	388.76
PROPOSED CABANA				95.57	1028.33	10.72
COVERAGE (HOUSE+GARAGE+CABANA)				345.08	3713.06	38.69

PROPOSED SET BACK LANDSCAPING				TOTAL m ²	TOTAL ft ²	%
TOTAL REAR YARD AREA				392.18	4219.86	
Hard Landscape				102.62	1104.19	
Pool Coping				10.05	108.14	
Pool				53.58	576.52	
CABANA				95.57	1028.33	
SOFT LANDSCAPE				130.36	1402.67	



PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc.
2572 Eglinton Avenue West
Toronto, ON M6M 1T4
Tel. 416-656-0134
B.C.I.N 28087

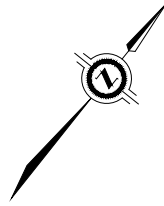
No.	Description	Date	By
8.			
7.			
6.			
5.	Revision	2023.01.16	FM
4.	Revision	2023.01.11	FM
3.	Revision	2023.01.10	FM
2.	Revision	2022.12.19	FM
1.	Issued for Permit	2022.09.28	FM
No.	Description	Date	By

REVISIONS

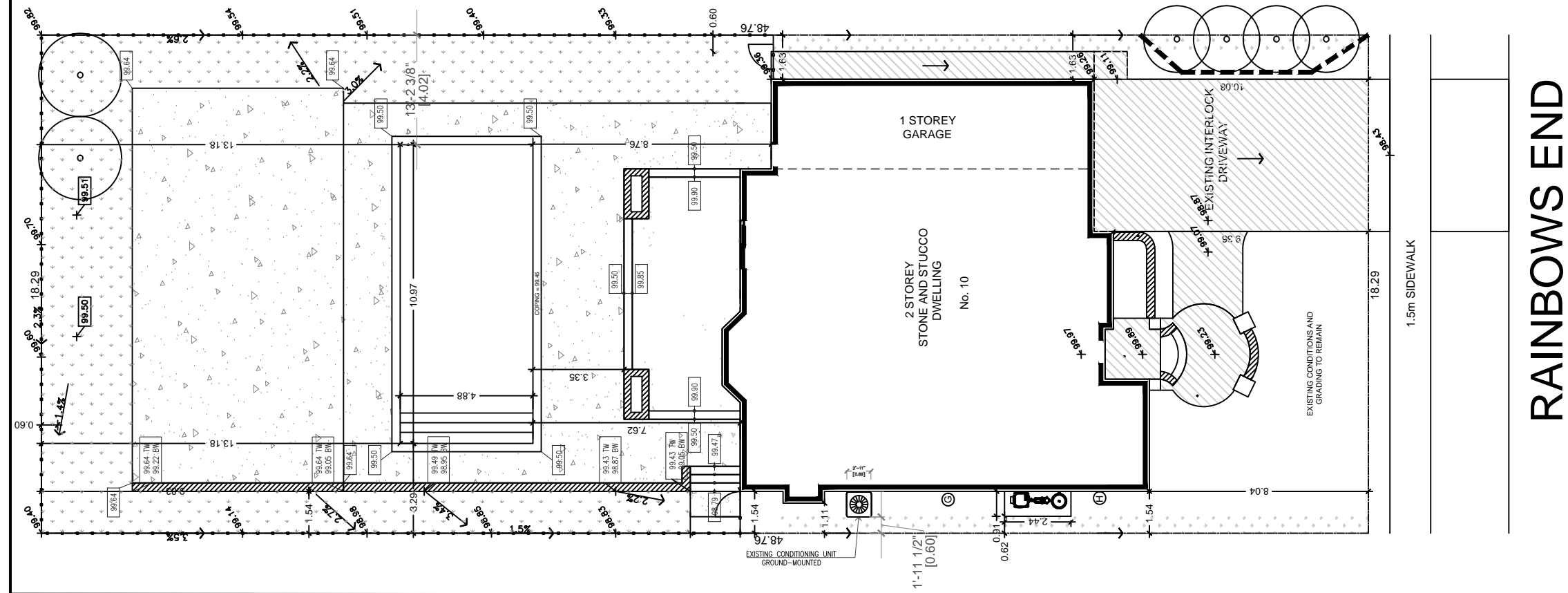
CLIENT:
PROJECT: **10 RAINBOWS END VAUGHAN, ON.**

SHEET TITLE: **PROPOSED SITE PLAN**
SCALE: **3/16" = 1'-0"**
SP1.2

CITY of VAUGHAN
Regional Municipality of York
LOT 131



INDEXES			
	TOTAL m ²	TOTAL ft ²	%
TOTAL AREA	m ² 891.82	ft ² 9599.47	
EXISTING COVERAGE	m ² 249.51	ft ² 2684.73	27.98
PROPOSED COVERAGE (HOUSE+GARAGE+CABANA)	m ² 345.08	ft ² 3713.06	38.69
EXISTING			
EXISTING LOT COVERAGE HOUSE			
HOUSE (includes the covered loggia at the rear of the)	m ² 210.44	ft ² 2264.33	23.60
GARAGE	m ² 39.07	ft ² 420.39	4.38
COVERAGE	m ² 249.51	ft ² 2684.73	27.98
EXISTING SET BACK LANDSCAPING			
TOTAL REAR YARD AREA	m ² 392.18	ft ² 4219.86	
Conc., Loggia & Steps	m ² 198.19	ft ² 2132.52	
Pool Copping	m ² 10.05	ft ² 108.14	
Pool	m ² 53.58	ft ² 576.52	
SOFT LANDSCAPE	m ² 130.36	ft ² 1402.67	
PROPOSED			
PROPOSED LOT COVERAGE HOUSE			
HOUSE (includes the covered loggia at the rear of the)	m ² 210.44	ft ² 2264.33	23.60
GARAGE	m ² 39.07	ft ² 420.39	388.76
PROPOSED CABANA	m ² 95.57	ft ² 1028.33	10.72
COVERAGE (HOUSE+GARAGE+CABANA)	m ² 345.08	ft ² 3713.06	38.69
PROPOSED SET BACK LANDSCAPING			
TOTAL REAR YARD AREA	m ² 392.18	ft ² 4219.86	
Hard Landscape	m ² 102.62	ft ² 1104.19	
Pool Copping	m ² 10.05	ft ² 108.14	
Pool	m ² 53.58	ft ² 576.52	
CABANA	m ² 95.57	ft ² 1028.33	
SOFT LANDSCAPE	m ² 130.36	ft ² 1402.67	



RAINBOWS END

NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc.
2572 Eglinton Avenue West
Toronto, ON M6M 1T4
Tel. 416-656-0134
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No.	Description	Date	By
8.			
7.			
6.			
5.	Revision	2023.01.16	FM
4.	Revision	2023.01.11	FM
3.	Revision	2023.01.10	FM
2.	Revision	2022.12.19	FM
1.	Issued for Permit	2022.09.28	FM
No.	Description	Date	By

CLIENT:

PROJECT:

10 RAIMBOWS END
VAUGHAN, ON.

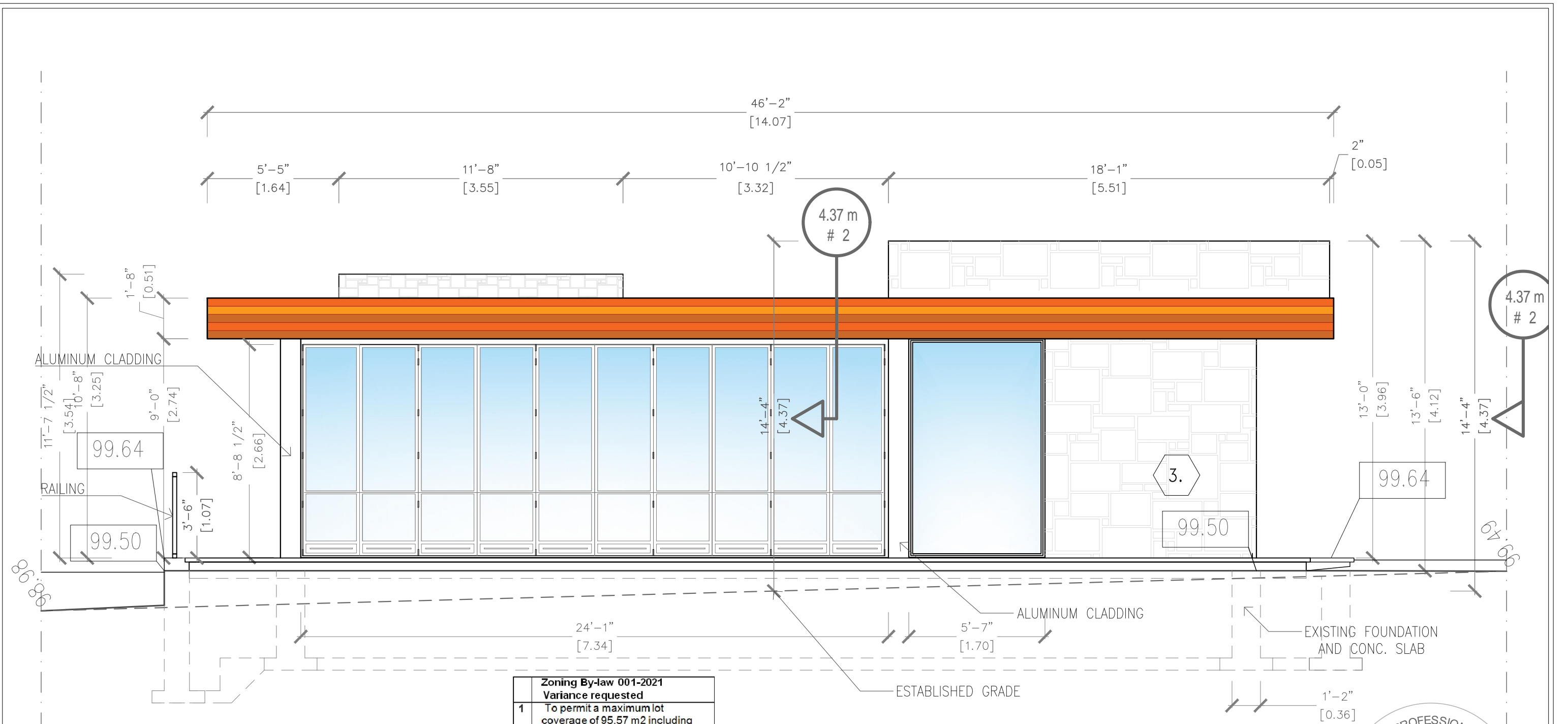
SHEET TITLE:

EXISTING SITE PLAN

SCALE:

1/16" = 1'-0"

SP1.1



Zoning By-law 001-2021 Variance requested			
1	To permit a maximum lot coverage of 95.57 m ² including roof overhangs) for a residential accesso		
2	To permit a maximum height of 4.37 m for a residential accessory structure (cabana).		
3	To permit a minimum of 50.6% (130.36 m ²) of the area of the rear yard in excess of 135.0 m ² to be composed of soft landscape.		



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

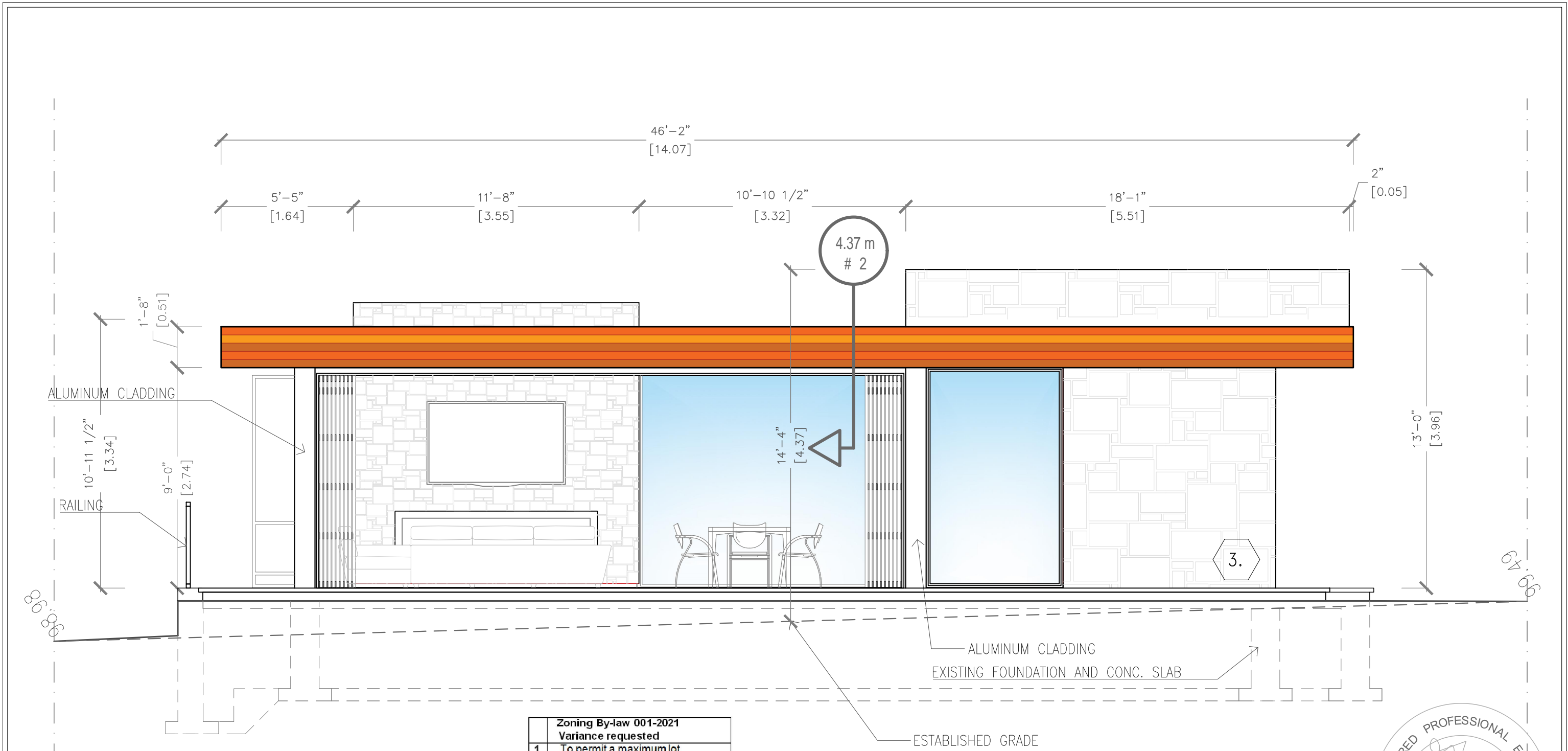
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No.	Description	Date	By
8.			
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5.	Revision	2023.01.16	FM
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2.	Revision	2022.12.19	FM
1.	Issued for Permit	2022.09.28	FM

CLIENT:
PROJECT: **10 RAIMBOWS END
VAUGHAN, ON.**

SHEET TITLE: **PROPOSED FRONT ELEVATION**
SCALE: **1/4" = 1'-0"**

A1.03



Zoning By-law 001-2021 Variance requested			
1	To permit a maximum lot coverage of 95.57 m ² including roof overhangs) for a residential access		
2	To permit a maximum height of 4.37 m for a residential accessory structure (cabana).		
3	To permit a minimum of 50.6% (130.36 m ²) of the area of the rear yard in excess of 135.0 m ² to be composed of soft landscape.		



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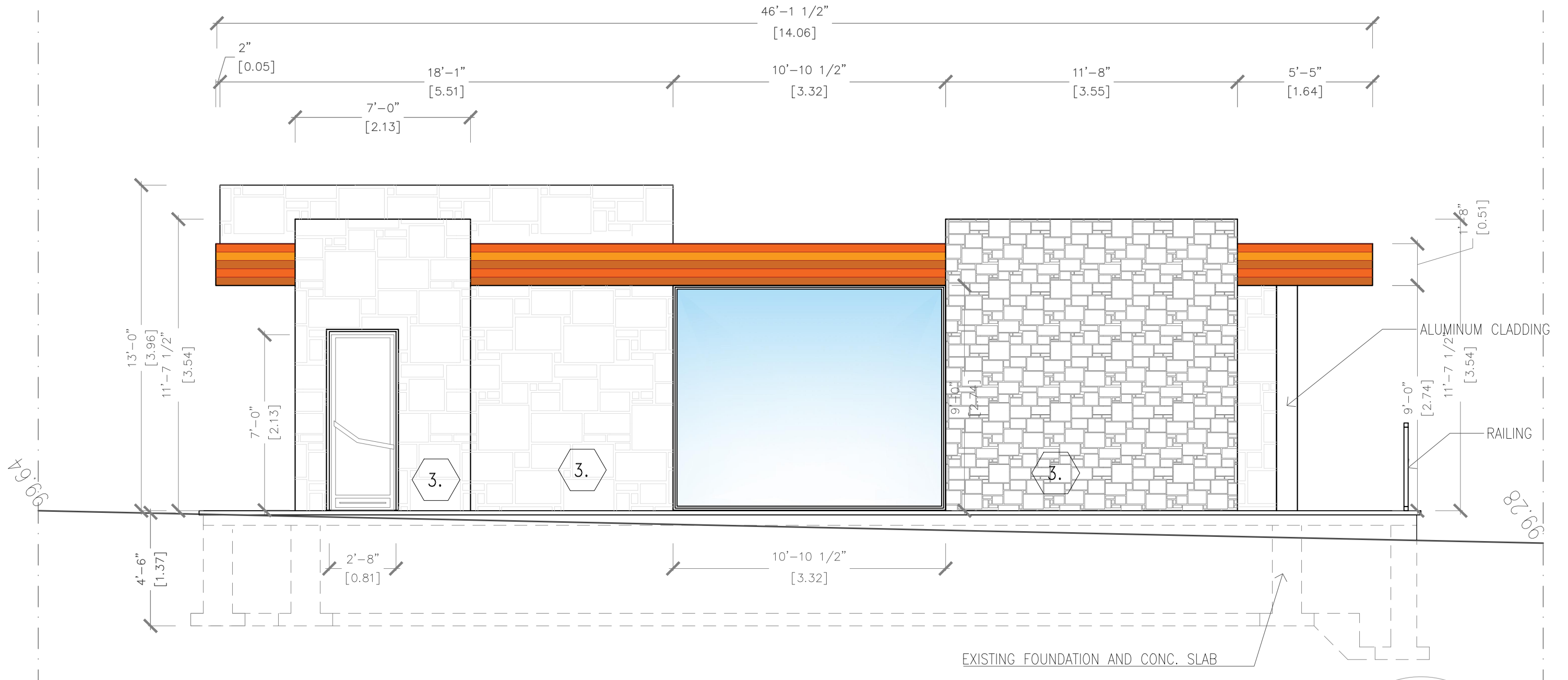
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2572 Eglinton Avenue West
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Tel. 416-656-0134
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2.	Revision	2022.12.19	FM
1.	Issued for Permit	2022.09.28	FM

CLIENT:
PROJECT:
**10 RAIMBOWS END
VAUGHAN, ON.**

SHEET TITLE:
PROPOSED FRONT ELEVATION
SCALE:
1/4" = 1'-0"

A1.04



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

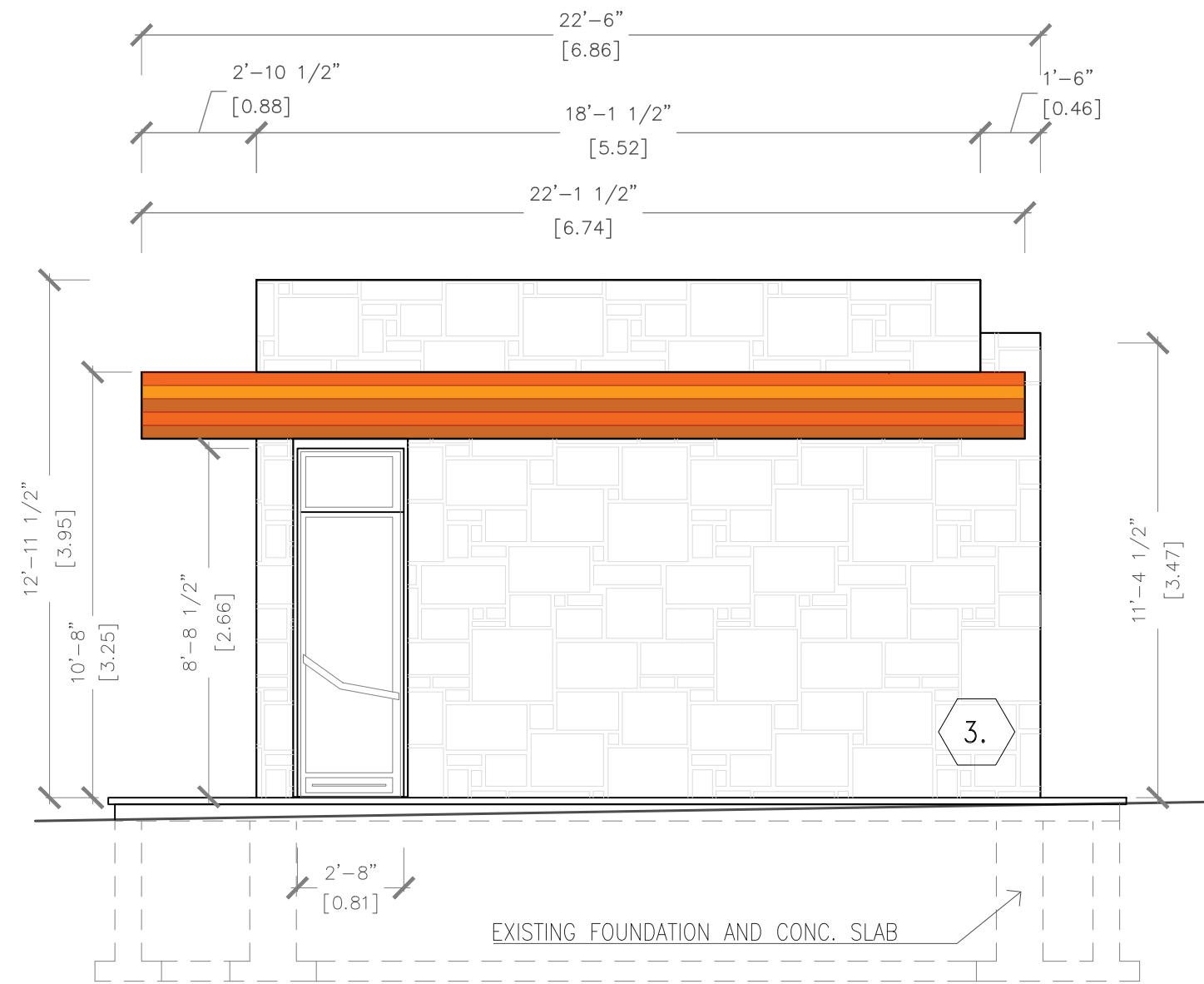
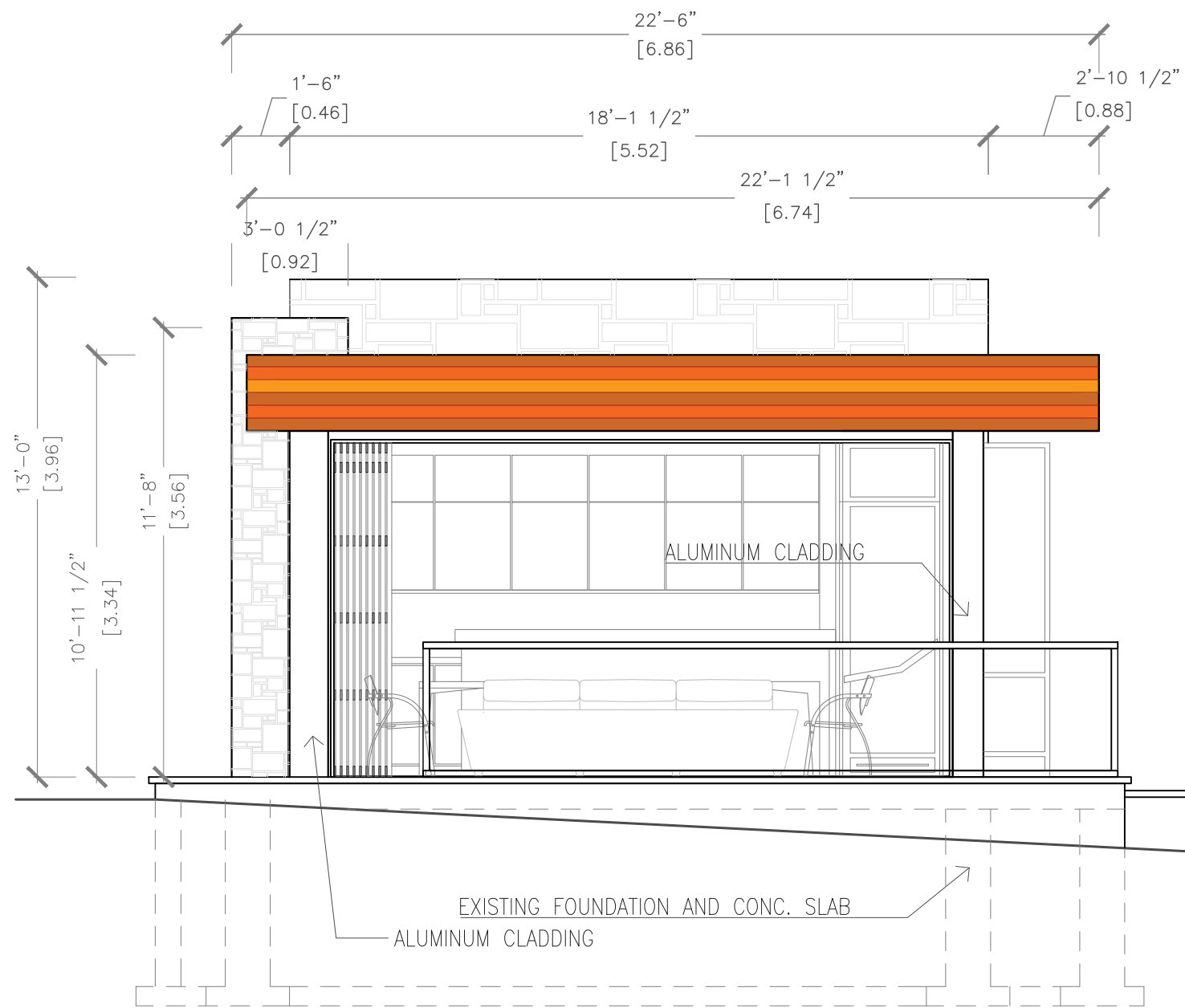
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6.			
5.	Revision	2023.01.16	FM
4.	Revision	2023.01.11	FM
3.	Revision	2023.01.10	FM
2.	Revision	2022.12.19	FM
1.	Issued for Permit	2022.09.28	FM

CLIENT:
 PROJECT: **10 RAIMBOWS END
 VAUGHAN, ON.**

SHEET TITLE: **PROPOSED BACK ELEVATION**
 SCALE: **1/4" = 1'-0"**

A1.05



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

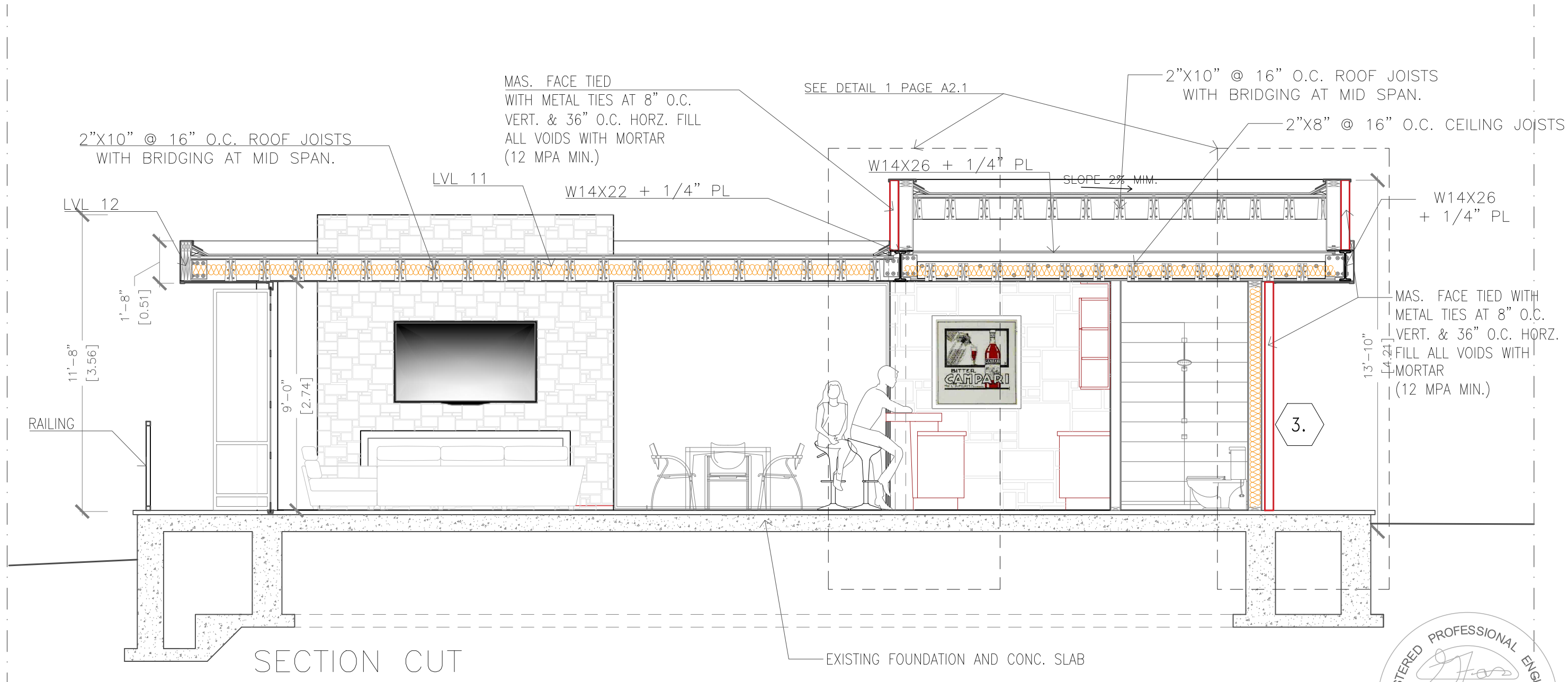
GPF Design Services Inc.
 2572 Eglinton Avenue West
 Toronto, ON M6M 1T4
 Tel. 416-656-0134
 B.C.I.N 28087

No.	Description	Date	By
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5.	Revision	2023.01.16	FM
4.	Revision	2023.01.11	FM
3.	Revision	2023.01.10	FM
2.	Revision	2022.12.19	FM
1.	Issued for Permit	2022.09.28	FM

CLIENT:
 PROJECT: **10 RAIMBOWS END
 VAUGHAN, ON.**

SHEET TITLE: **PROPOSED BACK ELEVATION**
 SCALE: **1/4" = 1'-0"**

A1.06



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc.
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 Tel. 416-656-0134
 B.C.I.N 28087

No.	Description	Date	By
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4.	Revision	2023.01.11	FM
3.	Revision	2023.01.10	FM
2.	Revision	2022.12.19	FM
1.	Issued for Permit	2022.09.28	FM

REVISIONS

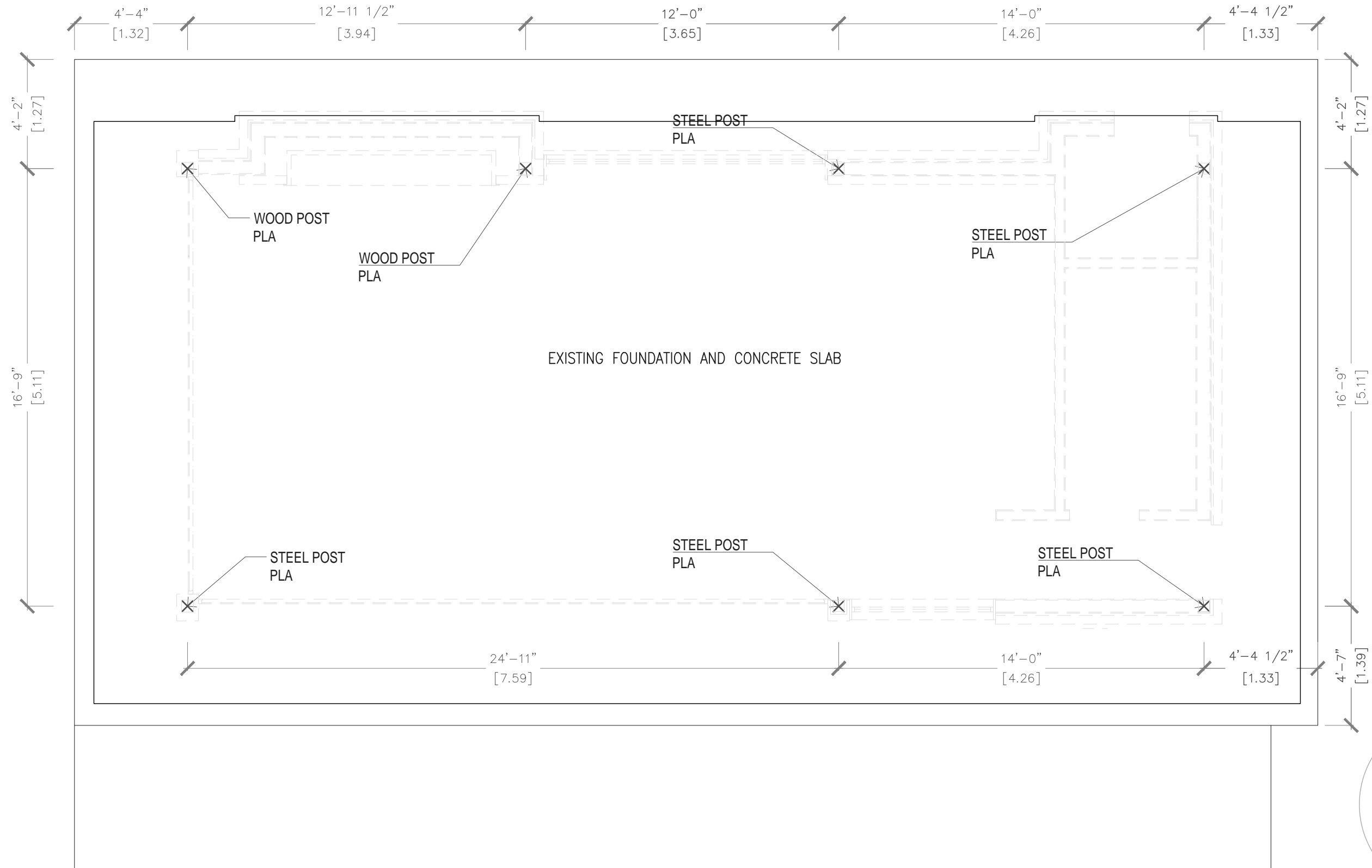
CLIENT:

PROJECT: **10 RAIMBOWS END
 VAUGHAN, ON.**

SHEET TITLE: **PROPOSED SECTION A-A'**

SCALE: **1/4" = 1'-0"**

A1.7



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc.
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 Tel. 416-656-0134
 B.C.I.N 28087

No.	Description	Date	By
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7.			
6.			
5.	Revision	2023.01.16	FM
4.	Revision	2023.01.11	FM
3.	Revision	2023.01.10	FM
2.	Revision	2022.12.19	FM
1.	Issued for Permit	2022.09.28	FM

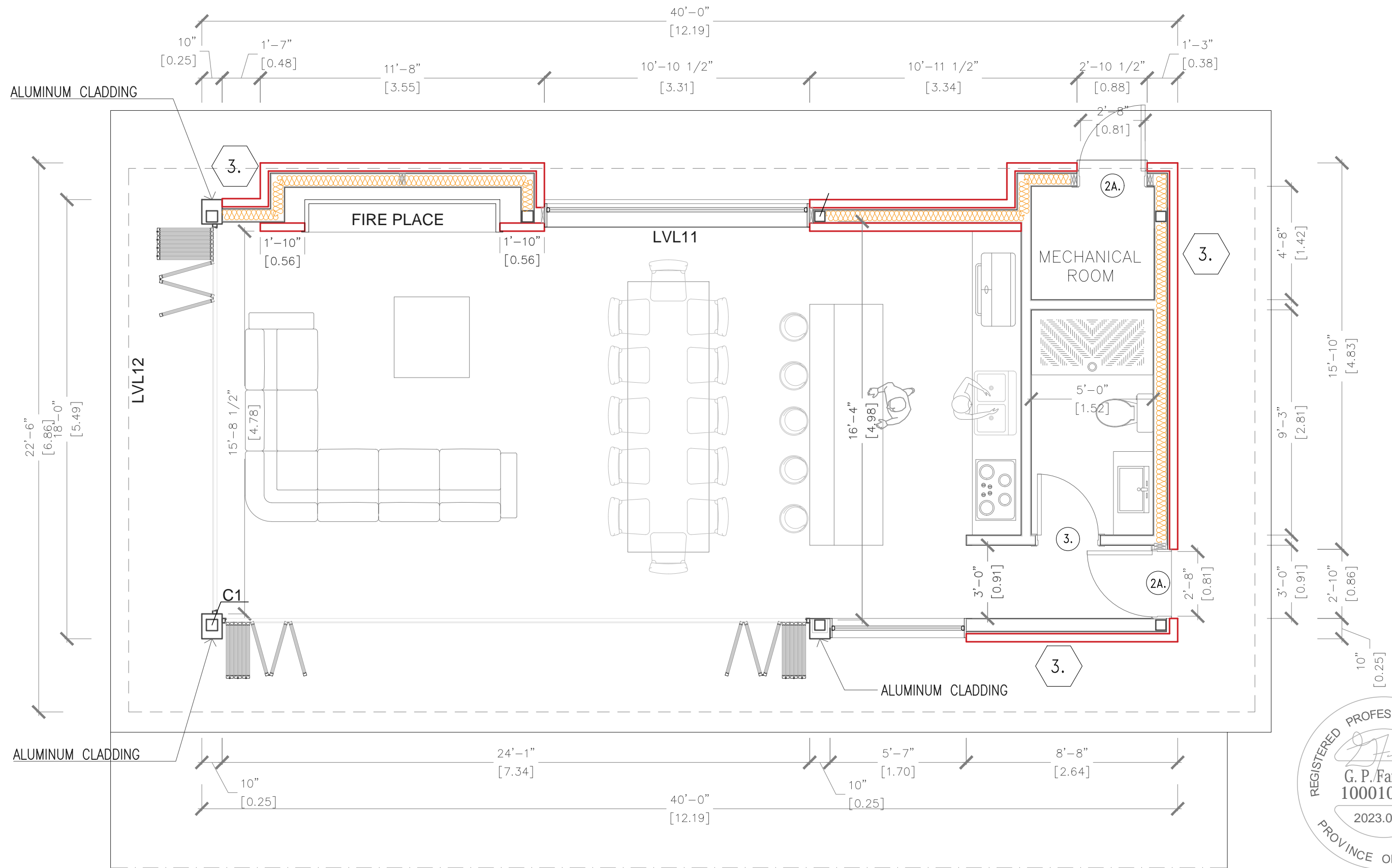
REVISIONS

CLIENT:
 PROJECT: **10 RAIMBOWS END
 VAUGHAN, ON.**

SHEET TITLE: **PROPOSED FOUNDATION FLOOR**

SCALE: **1/4" = 1'-0"**

A1.00



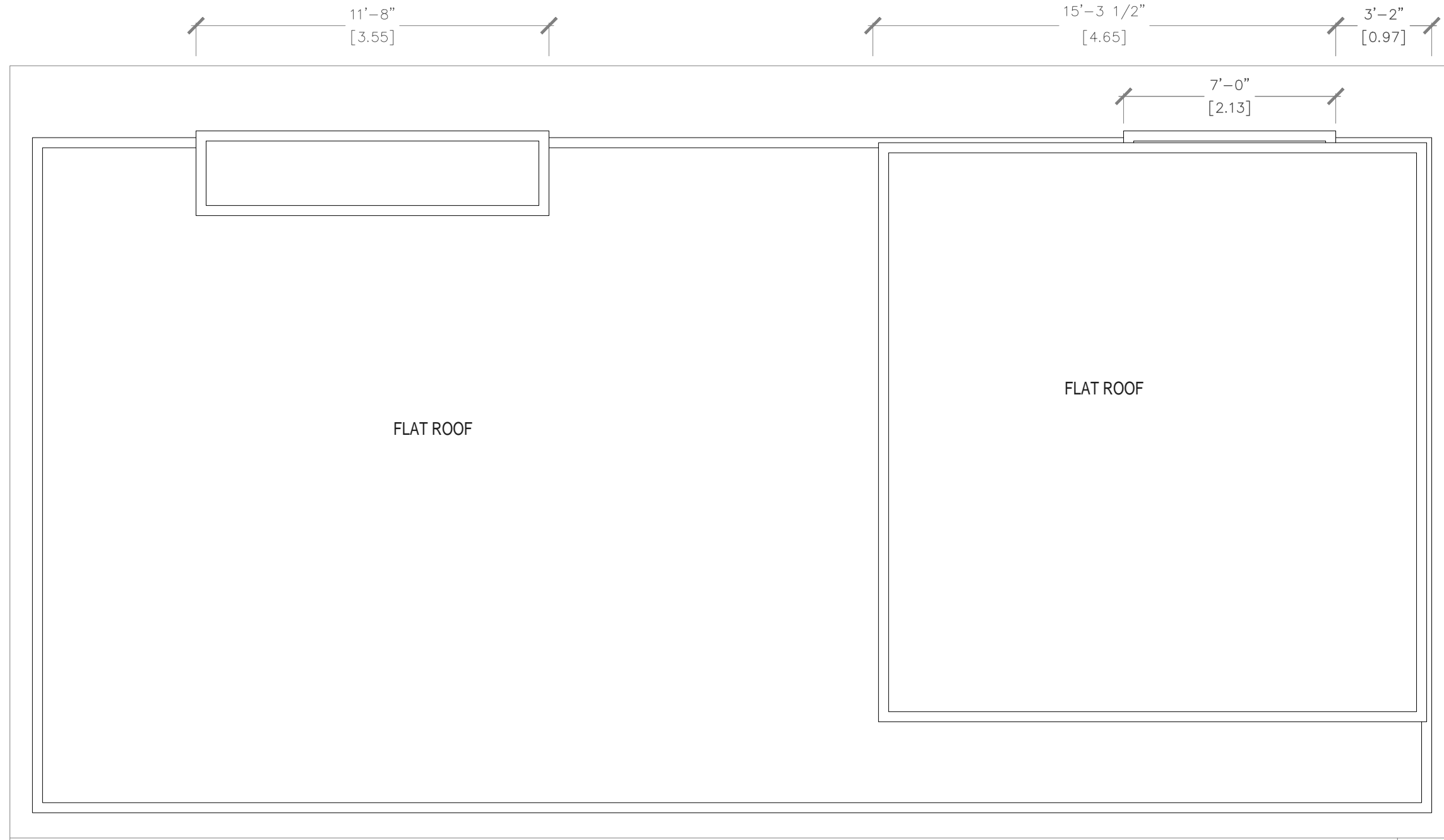
NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc.
 2572 Eglinton Avenue West
 Toronto, ON M6M 1T4
 Tel. 416-656-0134
 B.C.I.N 28087

No.	Description	Date	By
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7.			
6.			
5.	Revision	2023.01.16	FM
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3.	Revision	2023.01.10	FM
2.	Revision	2022.12.19	FM
1.	Issued for Permit	2022.09.28	FM

CLIENT:
 PROJECT: **10 RAIMBOWS END
 VAUGHAN, ON.**

SHEET TITLE: **PROPOSED FIRST FLOOR LAYOUT**
 SCALE: **1/4" = 1'-0"**
A1.01a



18'-0" [5.49]
3'-0" [0.91]



NOTE: - ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED.

GPF Design Services Inc.
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Toronto, ON M6M 1T4
Tel. 416-656-0134
B.C.I.N 28087

No.	Description	Date	By
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5.	Revision	2023.01.16	FM
4.	Revision	2023.01.11	FM
3.	Revision	2023.01.10	FM
2.	Revision	2022.12.19	FM
1.	Issued for Permit	2022.09.28	FM

REVISIONS

CLIENT:
PROJECT: **10 RAIMBOWS END
VAUGHAN, ON.**

SHEET TITLE: **PROPOSED ROOF FLOOR**
SCALE: **1/4" = 1'-0"**

A1.02

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	X	X	X	Recommend Approval w/Conditions
Building Standards (Zoning)	X	X		General Comments

Date: January 17th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A339-22**

Related Files:

Applicant Enzo Battaglia Vanessa Boni

Location 10 Rainbow's End Kleinburg



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

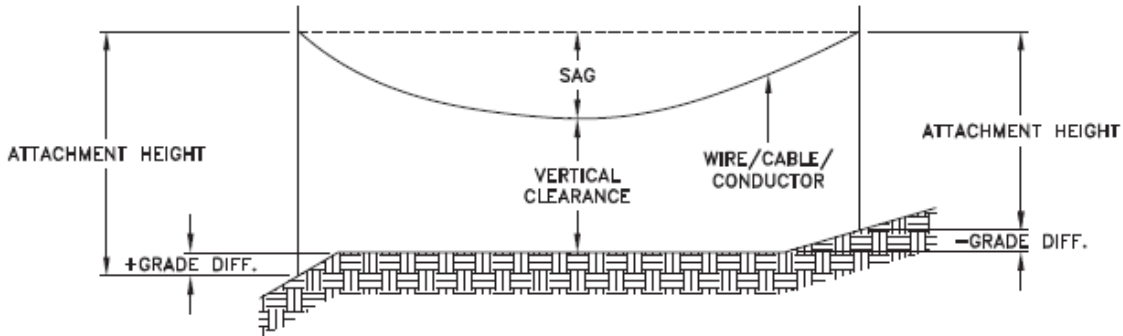
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

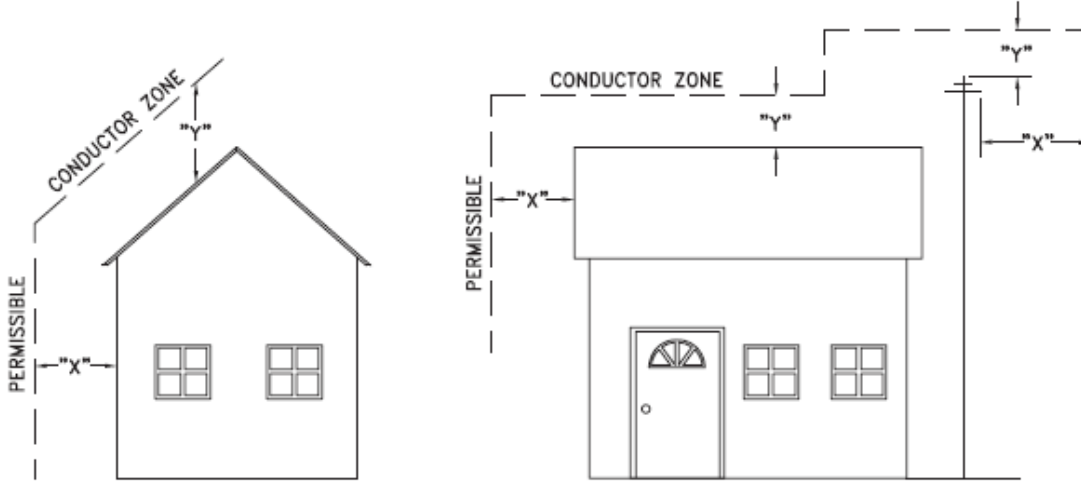
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: March 7, 2023
Applicant: Enzo Battaglia & Vanessa Boni
Location: 10 Rainbow's End
 Plan 65M3895 Lot 131
File No.(s): A339/22

Zoning Classification:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.815 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A maximum lot coverage of 67.0 m ² is permitted for all accessory buildings and residential accessory structures excluding an accessory detached garage. [4.1.3.1 and Section 3, Definitions]	To permit a maximum lot coverage of 95.57 m ² including roof overhangs) for a residential accessory structure (cabana).
2	A maximum height of 3.0 m is permitted for a residential accessory structure (cabana). [4.1.4.1]	To permit a maximum height of 4.05 m for a residential accessory structure (cabana).
3	In the R1B Zone, any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape (154.31 m ² soft landscape is required). [4.19.1.1]	To permit a minimum of 50.6% (130.36 m ²) of the area of the rear yard in excess of 135.0 m ² to be composed of soft landscape.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit Application No. 2022 - 133243 has been submitted for construction of a cabana.

Other Comments:

Zoning By-law 001-2021	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.
2	The applicant shall be advised that Comprehensive Zoning By-law 001-2021 is in effect and therefore any deficiencies identified under Zoning By-law 1-88 are no longer applicable.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: March 8, 2023
Name of Owners: Enzo Battaglia & Vanessa Boni
Location: 10 Rainbow's End
File No.(s): A339/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum lot coverage of 95.57 m² (including roof overhangs) for a residential accessory structure (cabana).
2. To permit a maximum height of 4.05 m for a residential accessory structure (cabana).
3. To permit a minimum of 50.6% (130.36 m²) of the area of the rear yard in excess of 135.0 m² to be composed of soft landscape.

By-Law Requirement(s) (By-law 001-2021):

1. A maximum lot coverage of 67.0 m² is permitted for all accessory buildings and residential accessory structures excluding an accessory detached garage.
2. A maximum height of 3.0 m is permitted for a residential accessory structure (cabana).
3. In the R1B Zone, any portion of a yard in excess of 135.0 m² shall be comprised of a minimum 60% soft landscape.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the construction of a cabana and reduced rear yard soft landscaping with the above noted variances.

The Development Planning Department has no objection to Variance 1 for the lot coverage of the proposed cabana. The cabana proposes a footprint of approximately 69 m², a slight increase over the permitted maximum lot coverage in the Zoning By-law. The architectural design of the cabana proposes wide eaves on a flat roof, which increases the covered area to 95.57 m². As the most noticeable increase to lot coverage relates to a wide eave, which is an architectural feature that does not increase the usable interior space of the cabana, staff is supportive of the requested relief. The applicant is also proposing tree plantings along the north, west, and south sides of the cabana to further screen it from all sides. A condition to this effect is recommended as a Condition of Approval. As such, no adverse use and/or massing impacts are anticipated to the neighbouring properties.

Upon recommendations from the Development Planning Department, the Owners have revised their application to reduce the height of cabana. The Development Planning Department has no objection to Variance 2 for the revised height of the cabana. The 4.05 m height is measured from the average grade to the top of a flat architectural feature that will only cover a portion of the cabana. The height when measured to the top of the roof of the cabana, where the architectural feature is not present, is 3.66 m. As such, the 1.05 m increase in height will not have adverse massing impacts to the neighbouring properties, provided that the recommended Condition of Approval is implemented to provide tree plantings along the north, west, and south sides of the cabana.

The Development Planning Department has no objection to Variance 3 for the proposed rear yard soft landscaping. The reduction to the soft landscaping is minor in nature and will continue to facilitate drainage and snow storage. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Landscape Plan, showing tree plantings along the north, west, and south sides of the cabana, be approved to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A339/22 (10 Rainbow's End) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, February 2, 2023 5:13:00 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				