

**ITEM #: 6.1**

**COMMITTEE OF ADJUSTMENT REPORT  
CONSENT APPLICATION  
B002/23  
9200 WESTON RD BLDG D VAUGHAN**

**COA REPORT SUMMARY**

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

*Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.*

<b>DEPARTMENTS</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
Committee of Adjustment	X	X	X	General Comments w/conditions
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X		Recommend Approval/No Conditions
Development Engineering	X	X		Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	X	X		General Comments
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X	X	General Comments w/condition
Real Estate	X	X		No Comments Recieved to Date
Fire Department	X			No Comments Recieved to Date
<b>AGENCIES</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B				
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received</b> (mm/dd/yyyy)	<b>Summary</b>
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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CONSENT APPLICATION  
B002/23  
9200 WESTON RD BLDG D VAUGHAN**

<b>ITEM NUMBER: 6.1</b>	<b>CITY WARD #: 3</b>
<b>APPLICANT:</b>	Piazza Villagio Corporation c/o Bruno Baldassarra
<b>AGENT:</b>	Bishoi Shinoda c/o Dillon Consulting Ltd
<b>PROPERTY:</b>	9200 Weston Rd Bldg F Vaughan ON L4H 2P8
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Mixed-Use"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Consent is being requested to permit a lease in excess of 21 years for Building D as shown on the site plan submitted with the application ("the Leased Lands").  The lands are to be leased to the TDL Group Corp. (the Tenant).

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, March 16, 2023  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)  
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

The Planning Act sets the standard to which provincial interests, provincial and local policies and goals are implemented. Accordingly, review of this application considers the following:

- ✓ Conformity to Section 51(24) as required by Section 53(12) of the Planning Act.
- ✓ Conformity to the City of Vaughan Official Plan.
- ✓ Conformity to the Provincial Policy Statements as required by Section 3 (1) of the Planning Act.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

**COMMITTEE OF ADJUSTMENT COMMENTS**

<b>Date Public Notice Mailed:</b>	March 2, 2023
<b>Date Applicant Confirmed Posting of Sign:</b>	February 25, 2023
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None

### COMMITTEE OF ADJUSTMENT COMMENTS

<p><b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>                  *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</p> <p>*A revised submission may be required to address staff / agency comments received as part of the application review process.</p> <p>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</p>	No
<p><b>Adjournment Fees:</b>                  In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.</p> <p>An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.</p>	
<b>Committee of Adjustment Comments:</b>	None
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	1. That the applicant's solicitor confirm the legal description of the leased land by providing a copy of the draft transfer. 2. That the applicant provides one full sized hard copy of the deposited plan of reference of the entire land which conforms substantially with the application 3. That the applicant email an electronic copy of the deposited plan of reference to cofa@vaughan.ca 4. Payment of the Certificate Fee as provided on the City of Vaughan's Committee of Adjustment Fee Schedule.

### BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments.	
<b>Building Standards Recommended Conditions of Approval:</b>	None

### DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.	
<b>Development Planning Recommended Conditions of Approval:</b>	None

### DEVELOPMENT ENGINEERING COMMENTS

<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
The Development Engineering (DE) Department does not object to the consent application B002/23.	
<b>Development Engineering Recommended Conditions of Approval:</b>	None

### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments received to date.	
<b>PFH Recommended Conditions of Approval:</b>	None

### DEVELOPMENT FINANCE COMMENTS

No comment no concerns	
<b>Development Finance Recommended Conditions of Approval:</b>	None

### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment or objection	
<b>BCLPS Recommended Conditions of Approval:</b>	None



### BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT COMMENTS

Ensure all construction is in compliance with the Ontario Building Code and applicable standards. Addressing distance to fire hydrants, fire routes and general access to building and property.

<b>Fire Department Recommended Conditions of Approval:</b>	
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### SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application, the following conditions have been recommended:

### SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Committee of Adjustment <a href="mailto:christine.vigneault@vaughan.ca">christine.vigneault@vaughan.ca</a>	1. That the applicant's solicitor confirms the legal description of the leased land by providing a copy of the draft transfer. 2. That the applicant provides one full sized hard copy of the deposited plan of reference of the entire land which conforms substantially with the application 3. That the applicant emails an electronic copy of the deposited plan of reference to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a> 4. Payment of the Certificate Fee as provided on the City of Vaughan's Committee of Adjustment Fee Schedule.
2	Development Finance <a href="mailto:nelson.pereira@vaughan.ca">nelson.pereira@vaughan.ca</a>	The owner shall pay all property taxes as levied. Payment is to be made by certified cheque, to the satisfaction of the City of Vaughan Financial Planning and Development Finance Department (contact Nelson Pereira to have this condition cleared).

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** Conditions must be fulfilled within two years from the date of the giving of the Notice of Decision, failing which this application shall thereupon be deemed to be refused. No extension to the last day for fulfilling conditions is permissible.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's

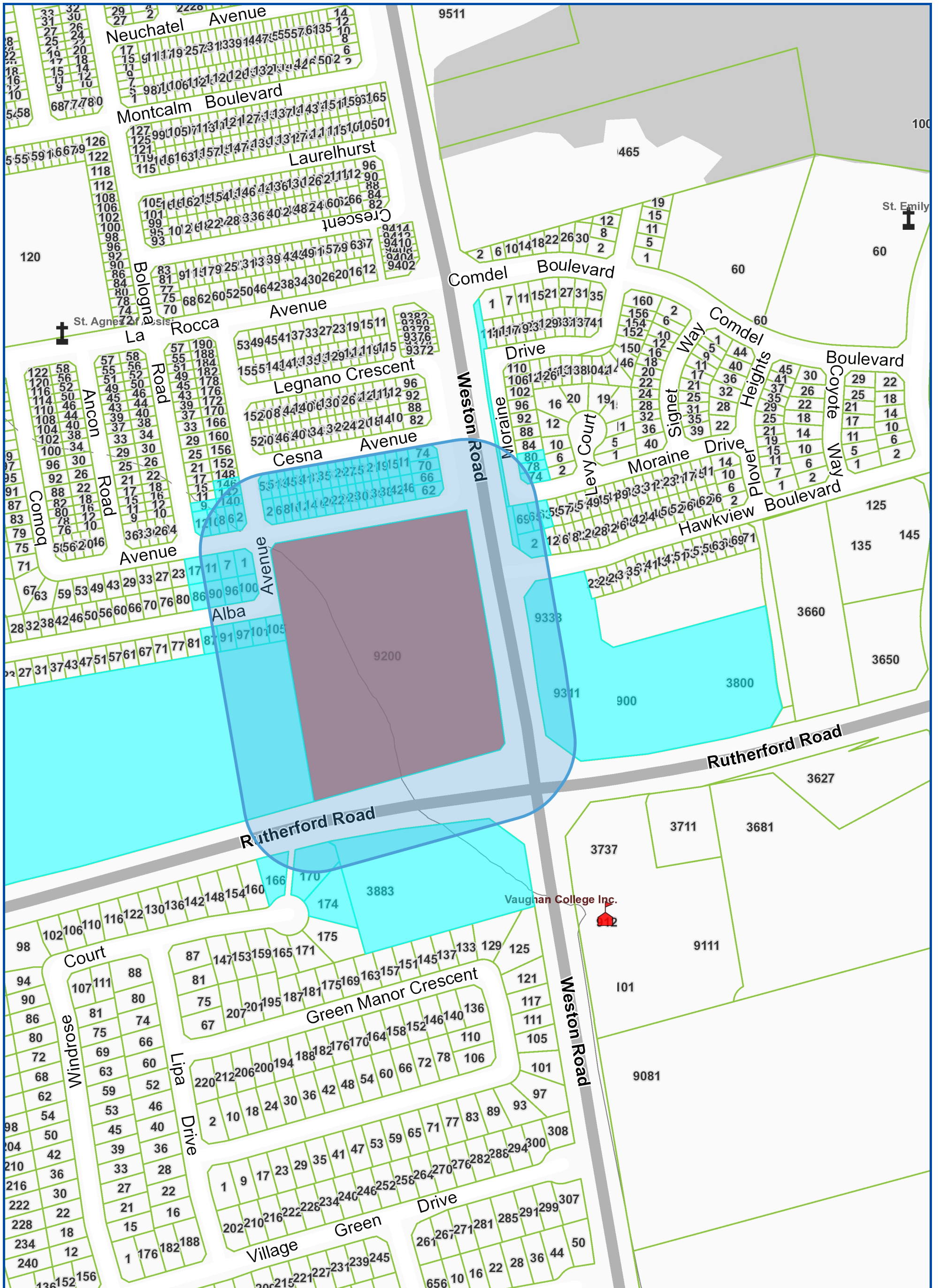
### **IMPORTANT INFORMATION – PLEASE READ**

Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

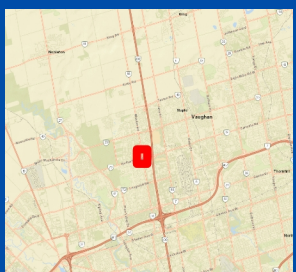
**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**





Map Information:



Title: **9200 Weston Road, Woodbridge**

**NOTIFICATION MAP - B002/23**

Disclaimer:  
 Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



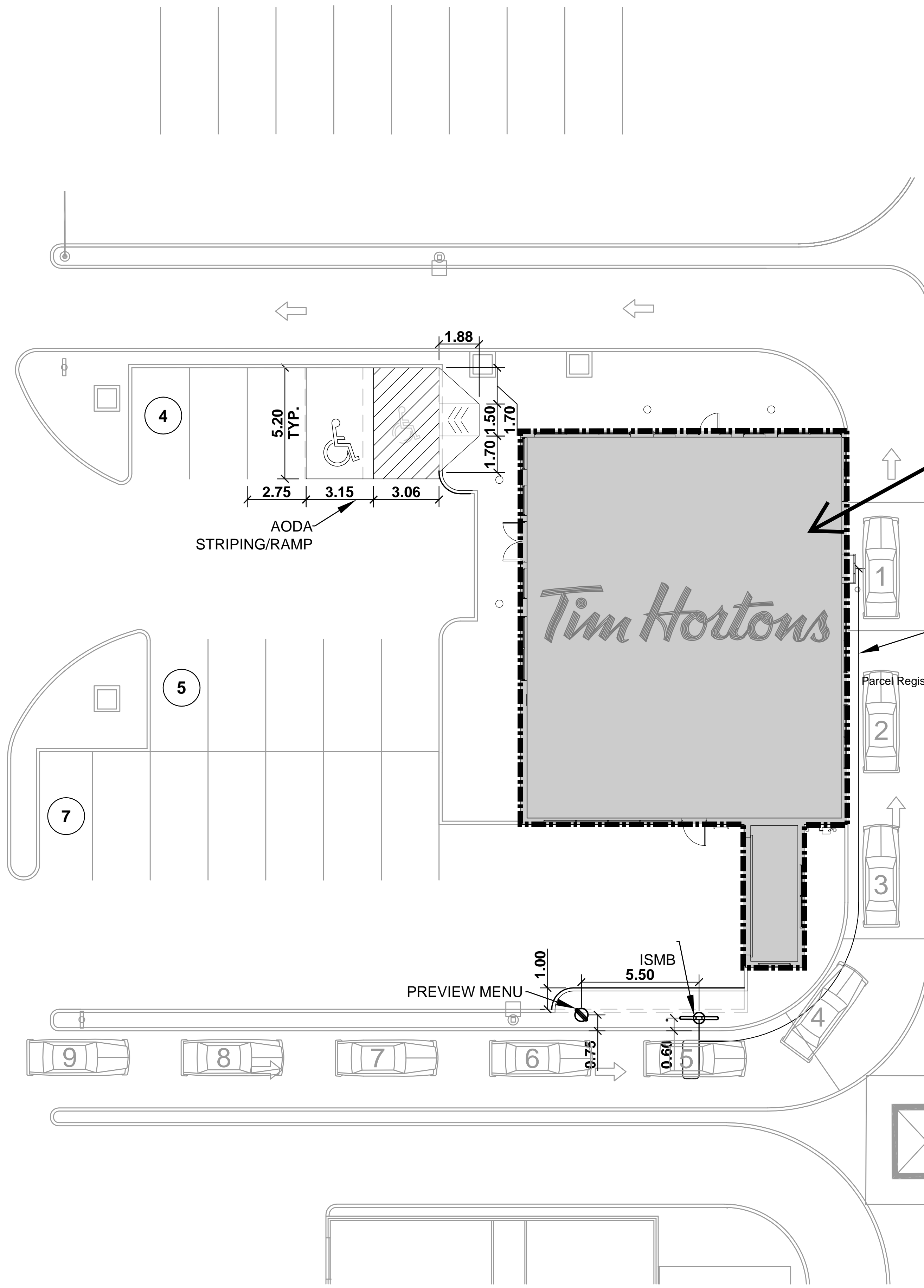
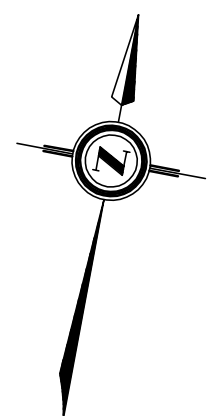
Scale: 1: 4,514  
 0 0.07 km



Created By:  
 Infrastructure Delivery  
 Department  
 February 27, 2023 8:59 PM

Projection:  
 NAD 83  
 UTM Zone  
 17N





NOT FOR CONSTRUCTION. NO SITE WORKS ARE PROPOSED.

FOR ILLUSTRATION PURPOSES ONLY REGARDING A PLANNING ACT CONSENT APPLICATION - LEASE.



7007 DISCOVERY BLVD  
DUBLIN, OH 43017  
614.634.7000 T

WDPARTNERS.COM

EXTERNAL REFERENCES

No. REVISIONS DATE

TDL STANDARDS VERSION:  
v.1112

STATUS  
V-

PROJECT  
**Tim Hortons.**

RESTAURANT #102238  
THCPM0174  
9200 WESTON ROAD  
VAUGHAN, ON

DRAWING TITLE:  
**PROPOSED  
FIFTH CAR STACK**

DRAWN BY: Peter Simko

DATE: 06.20.2013

SCALE: AS NOTED

COLOUR SCHEME: N/A

DRAWING NO.

**APS3**

EXISTING LIGHT (TYP.)

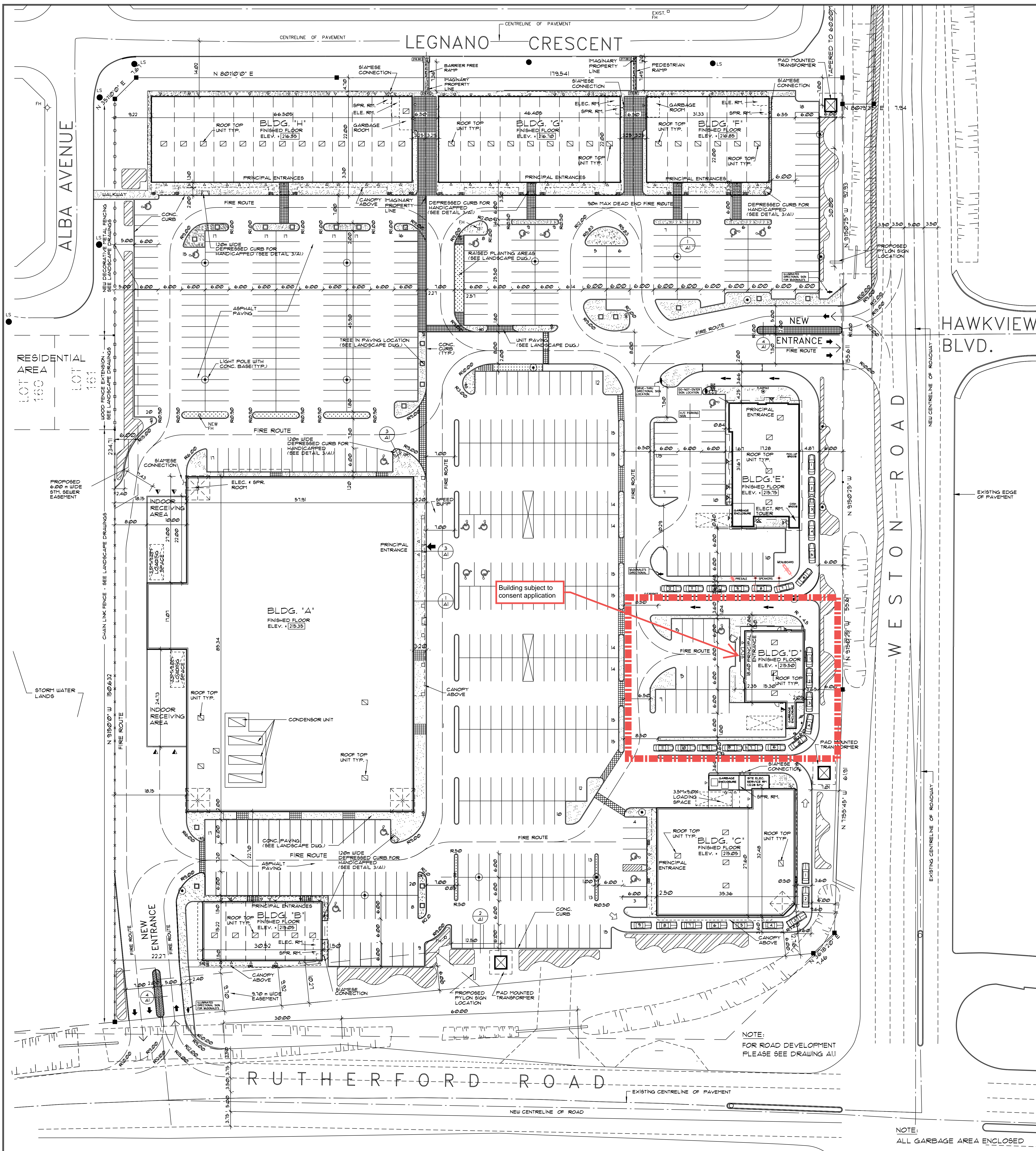
Leased Premises  
approximately 300 sq.m.

26.0 METERS  
ALONG THE CURB FROM  
ISMB TO DT  
WINDOW

WESTON ROAD

WDPARTNERS.COM - P:\03\THCPM0174\_ON\_Vaughan\_9200\_Weston\_Rd\_Z23804-CadDesign\0102238\_THCPM0174\_PSP.dwg - 18 Sep 2013 - 2:24PM





- BUILDING CLASSIFICATION A & E (where noted)**
- Building shall be fully sprinkled.
  - Sprinkler design shall be submitted to the City of Vaughan Fire Department prior to occupancy.
  - Fire dept. manhole connections shall be within 6m of Municipal street hydrant.
  - Sprinkler heads shall be extended into all office, washroom, closets, etc.
  - Automatic battery-operated emergency lighting shall be provided.
  - All secondary means of egress shall be equipped with approved exit lights and self-closers.
  - Portable fire extinguishers shall comply with Ontario Reg. 700/81 made under the Fire Marshal's Act.
  - Building shall comply with applicable requirements of Ontario Reg. 700/81 made under the Fire Marshal's Act.
  - A further inspection must be made by the fire inspector prior to any change of occupancy.
  - All construction to comply with the applicable requirements of the Ontario Reg. 403/97 made under the Building Code (International Ac. 190) and amendments under Ontario Reg. 549/84.

- STANDARD NOTES FOR SITE PLAN**
- Standard drawings of the City of Vaughan constitute part of the site plan drawing(s).
  - All construction work to be carried out in accordance with the requirements of the Occupational Health and Safety Act and Regulations for construction for construction purposes.
  - The Owner and/or his representative shall rectify all disturbed areas to original condition or better and to the satisfaction of the City.
  - The location of all underground utilities and structures in approximate only and where shown on the drawing(s) the accuracy of the location of such utilities and structures shall be determined by the location of all such utilities and structures and shall assume all liability for damage or restoration to same.
  - Any conflicts with existing services shall be rectified at the Owner's expense.
  - Sanitary and storm control manholes shall be in accordance with City Standard Drawings M-2 and M-3. Frame and cover shall be McWey H331 or approved equal. The manholes shall be located to the lowest of pipe.
  - All sanitary manhole covers in the ponding areas to be water tight sealed covers.
  - All catchbasins shall be installed in accordance with City Standard Drawing K-9. All catchbasin frames and covers shall be McWey H331 or approved equal.
  - Watermain shall have a minimum vertical separation of 0.5 m and horizontal separation of 2.0 m between any sewer or manhole.
  - Hydrants to be installed as per City Standard H-4.
  - Driveway entrance shall be constructed with heavy duty asphalt from the back of the municipal curb or edge of pavement to the property line (area highlighted on drawing(s)) in accordance with the following specifications:
    - 60 mm compacted depth of H1/2 asphalt - top course
    - 75 mm compacted depth of H1/2 asphalt - binder course
    - 100 mm compacted depth of 20 mm crusher run limestone - granular base
    - 300 mm compacted depth of 50 mm crusher run limestone - granular sub-base
  - All concrete curbs from existing road curb to street line shall be barrier curb City Standard F-4. All concrete curb heights shall be 150 mm unless otherwise noted. Driveway curb to be discontinuous at sidewalk and tapered back 600 mm minimum.
  - All required curb curbing and driveway entrance curb represent as at sidewalk curbing shall be installed to the satisfaction of the City.
  - Streets to be 200 mm deep through driveway entrance per City Standard S-1.
  - Front curbs are to be provided on curb steps and valve boxes when located within the limits of the driveway.
  - Driveway shall be set back a minimum clearance of 1.0 m from all above ground services or other obstructions.
  - Appropriate construction details shall be provided for retaining walls higher than 1.0 m. Details shall be designed and certified by a professional engineer upon approval.
  - Driveway curb curbing shall be required when height exceeds 0.80 m (see per City Standard Drawing N-2 or approved equal).
  - Landscaping shall not encroach on boulevard nor shall boulevard grade be altered.
  - Slopes in landscaped areas and on berms shall not exceed 3 horizontal to 1 vertical.
  - Pavement grades (min. 0.5%, max. 5%).
  - Drainage swales with grades (min. 2%, max. 5%).
  - Outside lighting shall be directed downward and inward and designed to maintain zero cutoff light level distribution at the property line.
  - Sanitary, storm and water service connections which are not in place on the municipal front allowance to the property line shall be arranged for installation by the City on payment of installation costs by the owner. To initiate the installation of the service connections, the owner shall file an application with the Construction Services Division.
  - Sign fence(s) to be installed and maintained to prevent soil flowing onto adjacent lands.
  - Construction areas shall be constructed with a minimum depth of 400 mm crusher stone base from the municipal curb or edge of pavement to the property line, to the satisfaction of the City.
  - The surface of all loading spaces and related driveways, parking spaces, and maneuvering areas within the site shall be paved with a hard surface. The recommended minimum depth requirements are as follows:
    - 40 mm compacted depth H1/2 asphalt - top course
    - 60 mm compacted depth H1/2 asphalt - binder course
    - 100 mm compacted depth 20 mm crusher run limestone - granular base
    - 300 mm compacted depth 50 mm crusher run limestone - granular sub-base

**PAVING SPECIFICATION**

**HEAVY DUTY ASPHALT PAVING AT ENTRANCES**

ASPHALT: 150mm (17) of compacted H1/2  
 75mm (9) of compacted H1/2  
 100mm (12) of compacted H1/2  
 300mm (36) of compacted depth of 50mm crusher run limestone

**ALL ASPHALT PAVING ON SITE SHALL BE AS FOLLOWS:**

BASE: 150mm (17) of compacted H1/2  
 75mm (9) of compacted H1/2  
 100mm (12) of compacted H1/2  
 300mm (36) of compacted depth of 50mm crusher run limestone

**INSTALLATION:**

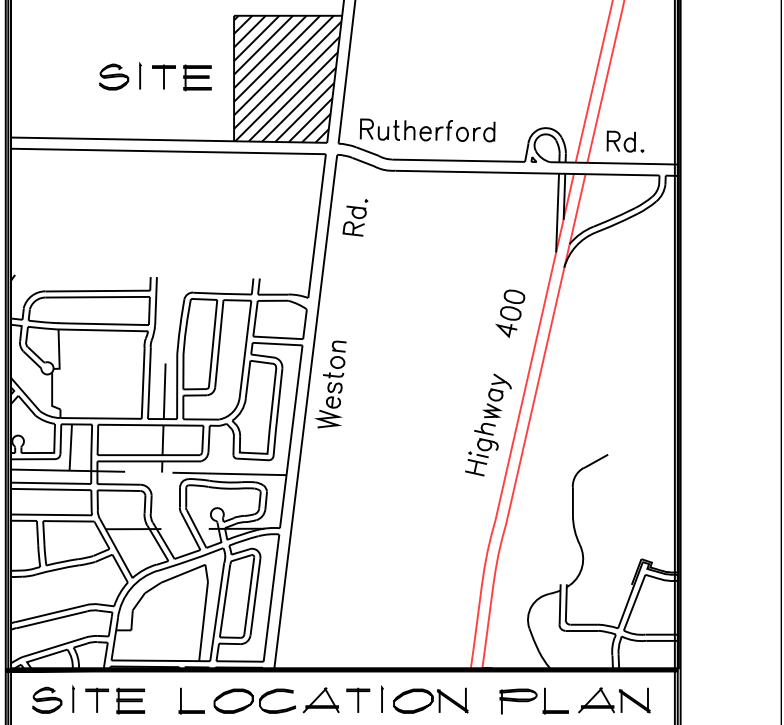
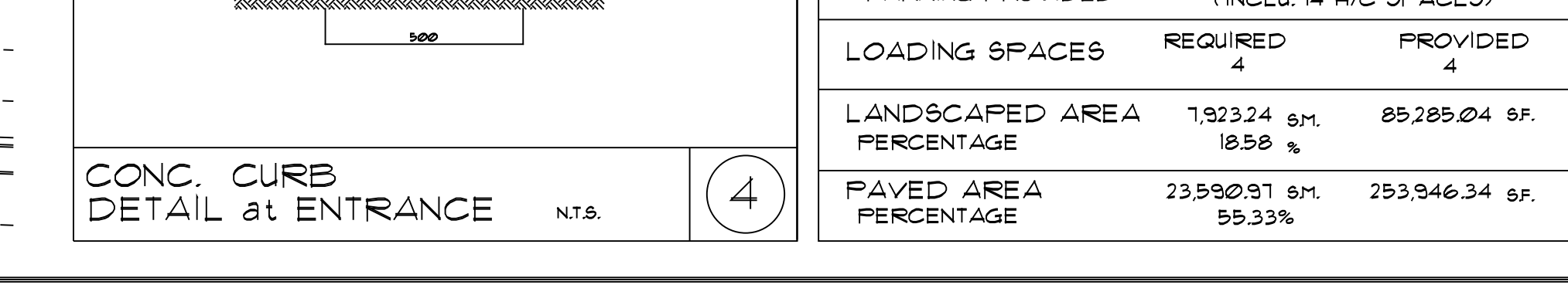
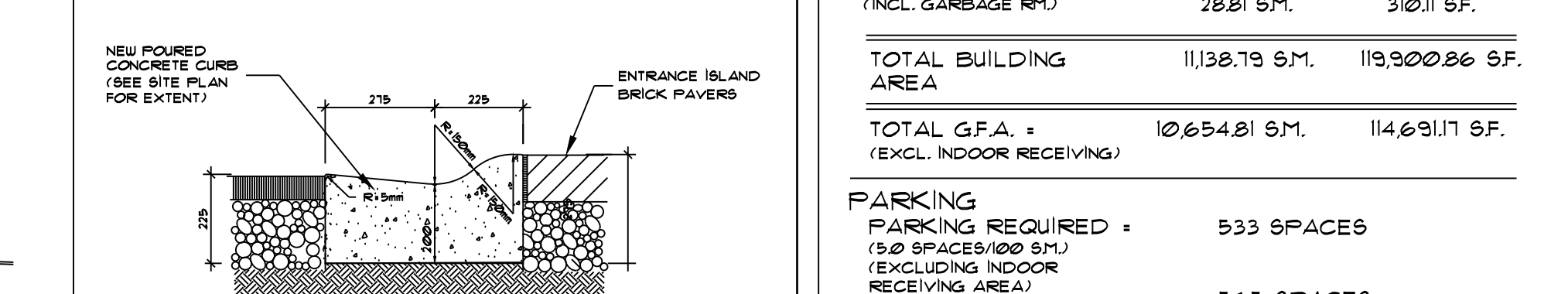
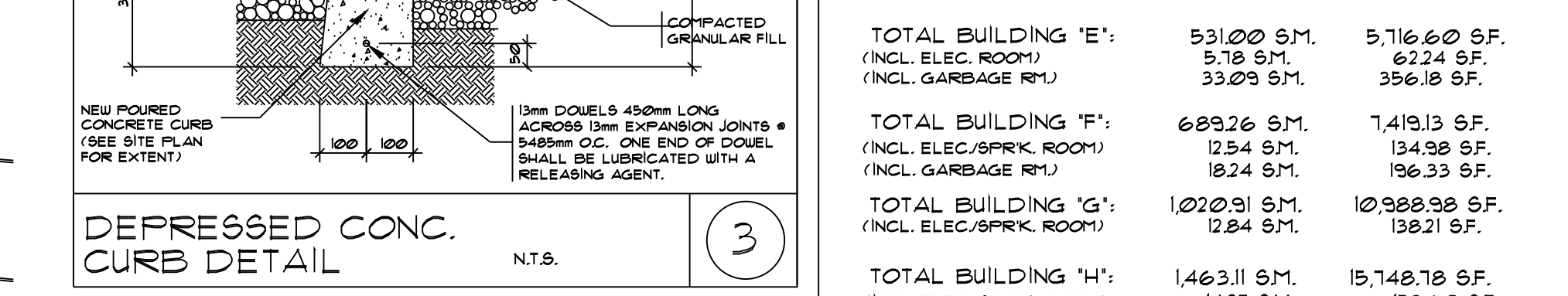
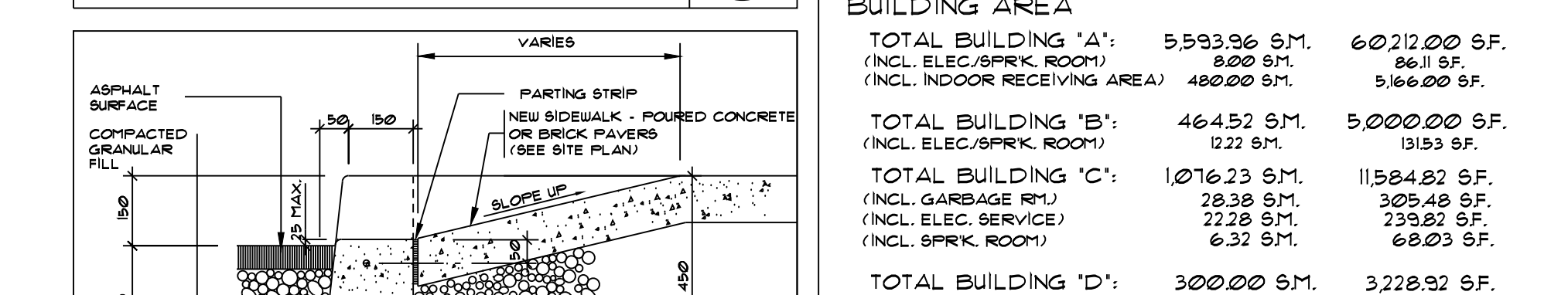
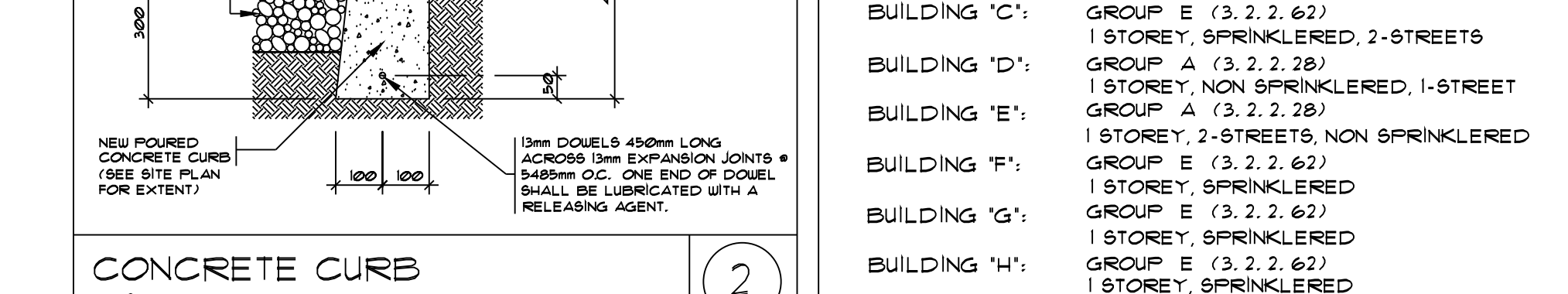
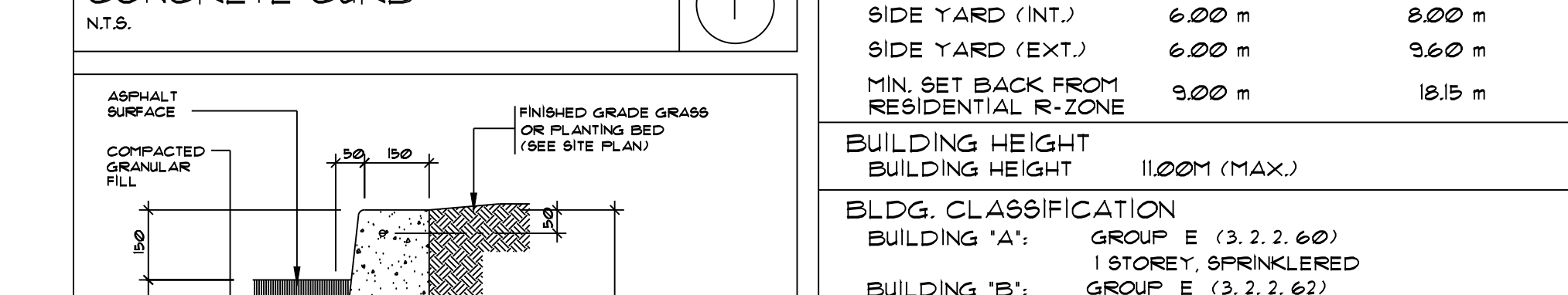
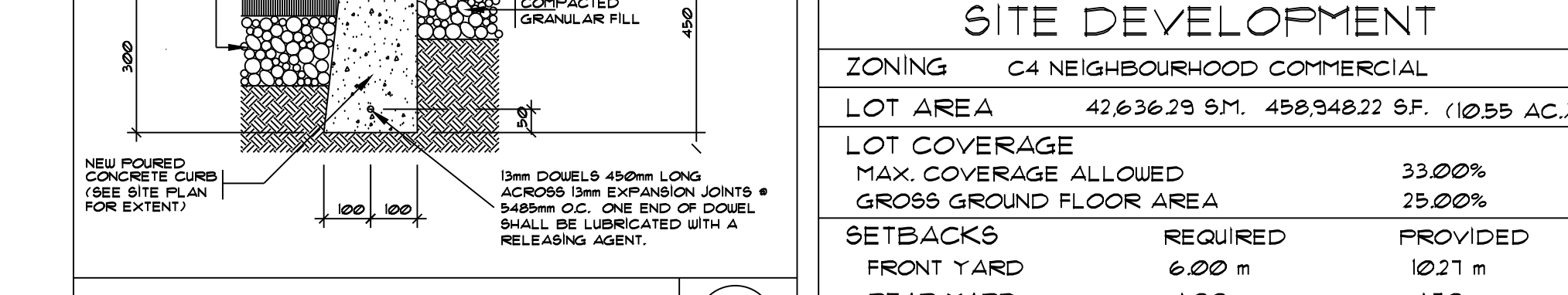
- Place and consolidate 300mm (12") of limestone base course as specified above.
- Asphalt shall spread to an even and uniform layer and shall be compacted to the following:
  - Supply and install 7" deep non asphalt base.
  - Base course shall be compacted to Ontario Department of Highways specifications for type H1/2.
  - 1" Lay 7" deep non asphalt paving conforming to Ontario Department of Highways specifications for type H1/2.

**NOTE: ALL ASPHALT BASE TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.**

**FOR SITE SERVING GRADING & TOPOLATER MANAGEMENT PLAN**  
 REFER TO DRAWING G1 BY V.A. PISCONE & ASSOCIATES INC. (416) 736-1004

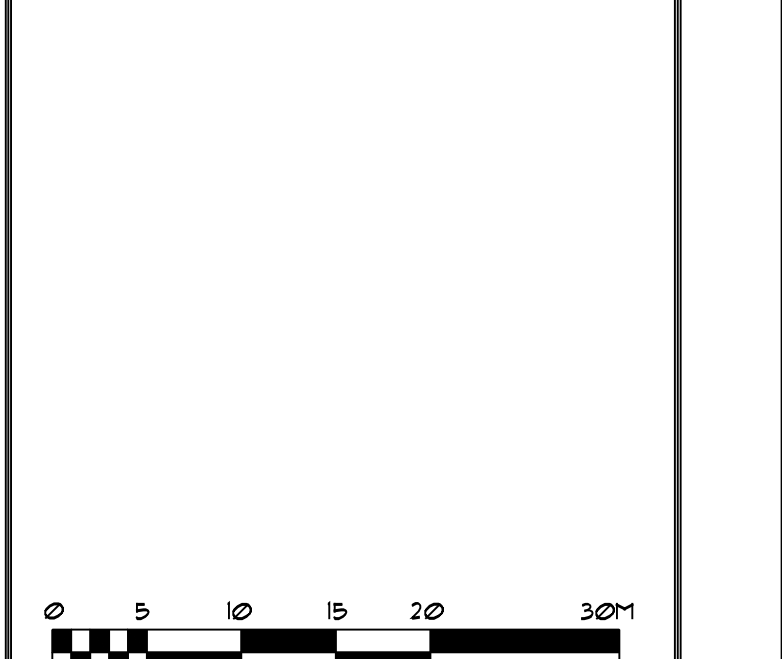
**FOR LANDSCAPING PLAN AND LANDSCAPE DETAILS**  
 REFER TO DRAWINGS L1 BY LANDSCAPE ARCHITECTURE

**BENCHMARK NOTE:**  
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO A TEMPORARY BENCHMARK ESTABLISHED BY RADY-PENK & EDWARDS SURVEYING LTD. BEING THE TOP NAT. ON A FIRE HYDRANT LOCATED IN FRONT OF A LOT 43 PLAN 65M-3359, HAVING AN ELEVATION OF 218.1 METERS



**LEGEND**

SYMBOL	EXISTING FIN. GRADE	PROPOSED FIN. GRADE
TC (7500)	TOP OF CURB	TOP OF CURB
CB (7500)	TOP OF CATCH BASIN	TOP OF CATCH BASIN
MD	MAN DOOR LOCATIONS	MAN DOOR LOCATIONS
LD	LOADING DOCK OR LOCATIONS	LOADING DOCK OR LOCATIONS
LD	LOADING DOCK OR LOCATION	LOADING DOCK OR LOCATION
CB	CATCH BASIN	CATCH BASIN
CBM	CATCH BASIN MANHOLE	CATCH BASIN MANHOLE
SM	SANITARY MANHOLE	SANITARY MANHOLE
SMH	STORM SEWER MANHOLE	STORM SEWER MANHOLE
+	FIRE HYDRANT	FIRE HYDRANT
+	GAS	GAS
RD	ROOF DRAIN	ROOF DRAIN
RD	HEAVY DUTY ASPHALT PAVING	HEAVY DUTY ASPHALT PAVING
RD	CONC. PAVING	CONC. PAVING
RD	UNIT PAVING	UNIT PAVING
RD	RAISED PLANTING AREAS	RAISED PLANTING AREAS
RD	STOP SIGN	STOP SIGN
RD	SNOW STORAGE	SNOW STORAGE
RD	LIGHT POLE WITH CONCRETE BASE	LIGHT POLE WITH CONCRETE BASE



**SURVEY INFORMATION SHOWN ON THIS PLAN**

TAKEN FROM:  
 TOPOGRAPHIC PLAN OF BLOCK 113  
 PLAN 65M-3359  
 CITY OF VAUGHAN  
 REGIONAL MUNICIPALITY OF YORK  
 AS PREPARED BY:  
 RADY-PENK & EDWARDS SURVEYING LTD.  
 ONTARIO SURVEYOR  
 TEL: 635-5000

**SITE DEVELOPMENT**

ZONING: C4 NEIGHBOURHOOD COMMERCIAL

LOT AREA: 42,636.29 SQ. M. (10,355 AC.)

MAX. COVERAGE ALLOWED	33.00%
GROSS GROUND FLOOR AREA	15,000.00 SQ. M.
FRONT YARD	6.00 m
REAR YARD	4.00 m
SIDE YARD (INT.)	6.00 m
SIDE YARD (EXT.)	9.60 m
MIN. SET BACK FROM RESIDENTIAL R-ZONE	18.15 m

**BUILDING HEIGHT**  
 10.00M (MAX.)

**BUILDING CLASSIFICATION**  
 GROUP E (3, 2, 2, 6, 6)

**BUILDING 'A':** 1 STOREY, SPRINKLERED  
 GROUP E (3, 2, 2, 6, 6)

**BUILDING 'B':** 1 STOREY, SPRINKLERED  
 GROUP E (3, 2, 2, 6, 6)

**BUILDING 'C':** 1 STOREY, SPRINKLERED, 2-STREETS  
 GROUP A (3, 2, 2, 2, 8)

**BUILDING 'D':** 1 STOREY, NON-SPRINKLERED, 1-STREET  
 GROUP A (3, 2, 2, 2, 8)

**BUILDING 'E':** 1 STOREY, 2-STREETS, NON-SPRINKLERED  
 GROUP E (3, 2, 2, 6, 6)

**BUILDING 'F':** 1 STOREY, SPRINKLERED  
 GROUP E (3, 2, 2, 6, 6)

**BUILDING 'G':** 1 STOREY, SPRINKLERED  
 GROUP E (3, 2, 2, 6, 6)

**BUILDING 'H':** 1 STOREY, SPRINKLERED  
 GROUP E (3, 2, 2, 6, 6)

**BUILDING AREA**

TOTAL BUILDING 'A'	5,593.96 SQ. M.	6,022.00 SQ. M.
(INCL. ELEC./SPRK. ROOM)	820 SQ. M.	86.7 SQ. M.
(INCL. INDOOR RECEIVING AREA)	4,773.96 SQ. M.	5,135.30 SQ. M.
TOTAL BUILDING 'B'	464.50 SQ. M.	5,000.00 SQ. M.
TOTAL BUILDING 'C'	1,076.23 SQ. M.	1,184.82 SQ. M.
(INCL. ELEC. SERVICE)	228 SQ. M.	739.82 SQ. M.
(INCL. SPRK. ROOM)	848.23 SQ. M.	445.00 SQ. M.
TOTAL BUILDING 'D'	3,002.00 SQ. M.	3,228.92 SQ. M.
(INCL. GARAGE RP)	1,848 SQ. M.	1,582.92 SQ. M.
TOTAL BUILDING 'E'	531.00 SQ. M.	5,716.60 SQ. M.
(INCL. ELEC. ROOM)	578 SQ. M.	6,224.50 SQ. M.
(INCL. GARAGE RP)	332.92 SQ. M.	356.58 SQ. M.
TOTAL BUILDING 'F'	689.26 SQ. M.	7,419.13 SQ. M.
(INCL. ELEC./SPRK. ROOM)	124 SQ. M.	14,338.50 SQ. M.
(INCL. GARAGE RP)	824 SQ. M.	15,233.50 SQ. M.
TOTAL BUILDING 'G'	1,020.91 SQ. M.	10,968.98 SQ. M.
(INCL. ELEC./SPRK. ROOM)	124 SQ. M.	13,821.50 SQ. M.
TOTAL BUILDING 'H'	1,463.11 SQ. M.	15,748.78 SQ. M.
(INCL. ELEC./SPRK. ROOM)	421 SQ. M.	15,360.50 SQ. M.
(INCL. GARAGE RP)	288 SQ. M.	3,401.50 SQ. M.
TOTAL BUILDING AREA	11,387.81 SQ. M.	119,500.86 SQ. M.
TOTAL G.F.A. (EXCL. INDOOR RECEIVING)	10,654.81 SQ. M.	114,619.17 SQ. M.

**PROJECT:** PROPOSED COMMERCIAL CENTRE FOR PIAZZA VILLAGIO CORP. RUTHERFORD RD. & WESTON RD. BLK 113 CITY OF VAUGHAN, ONTARIO

**DRAWING:** SITE PLAN AND SITE DETAILS

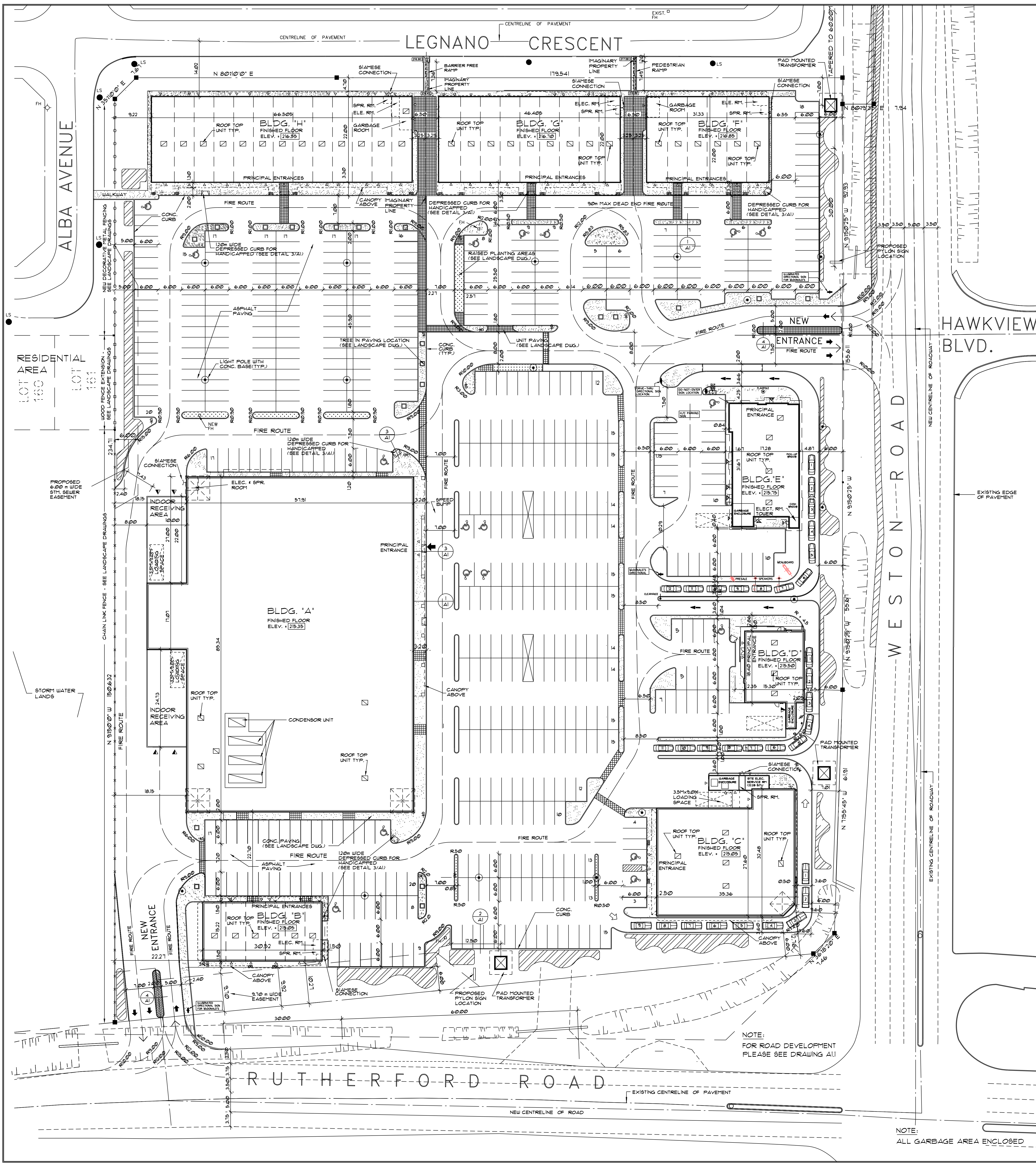
PLOTTED: Mon 10:00PM 02/25/09

**intra** architect inc.

DATE:	OCT. 8/09	PROJECT No.	2034
SCALE:	1:400	DRAWING No.	
DRAWN BY:	KLM		A1-4r

FILE NAME: R:\13034-HISTORY HILL-WESTON & RUTHERFORD\ARCHITECTURAL\1-1 SITE PLAN\2034-A1-4.rvt  
 PLOT SCALE: 1:400  
 PLOT DATE: 11-20-09





- BUILDING CLASSIFICATION A & E (where noted)**
- Building shall be fully sprinkled.
  - Sprinkler design shall be submitted to the City of Vaughan Fire Department prior to occupancy.
  - Fire dept. manhole connections shall be within 6m of Municipal street hydrant.
  - Sprinkler heads shall be extended into all office, warehouse, closets, etc.
  - Automatic battery-operated emergency lighting shall be provided.
  - All secondary means of egress shall be equipped with approved exit lights and self-closers.
  - Portable fire extinguishers shall comply with Ontario Reg. 700/81 made under the Fire Marshal Act.
  - Building shall comply with applicable requirements of Ontario Reg. 700/81 made under the Fire Marshal Act.
  - A further inspection must be made by the fire inspector prior to any change of occupancy.
  - All construction to comply with the applicable requirements of the Ontario Reg. 603/97 made under the Building Code (International Act, 1993) and amendments under Ontario Reg. 649/94.

- STANDARD NOTES FOR SITE PLAN**
- Standard drawings of the City of Vaughan constitute part of the site plan drawing(s).
  - All construction work to be carried out in accordance with the requirements of the Occupational Health and Safety Act and Regulations for construction purposes.
  - The Owner and/or his representative shall rectify all disturbed areas to original condition or better and to the satisfaction of the City.
  - The location of all underground utilities and structures in approximate only and where shown on the drawing(s) the accuracy of the location of such utilities is not guaranteed. The Owner and/or his representative shall determine the location of all such utilities and structures by consulting the appropriate authorities or utility companies concerned. The Owner shall provide the location of all such utilities and structures and shall assume all liability for damage or restoration to same.
  - Any conflicts with existing services shall be rectified at the Owner's expense.
  - Sanitary and storm control manholes shall be in accordance with City Standard Drawings M-2 and M-3. Frame and cover shall be McWey H331 or approved equal. The manholes shall be located to the lowest of pipe.
  - All sanitary manhole covers in the ponding areas to be water tight sealed covers.
  - All catchbasins shall be installed in accordance with City Standard Drawing K-9. All catchbasin frames and covers shall be McWey H331 or approved equal.
  - All industrial/commercial/condominium watermain connections shall be constructed in accordance with City Standard Drawings I-2 and I-4.
  - Watermain shall have a minimum vertical separation of 0.5 m and horizontal separation of 2.0 m between any sewer or manhole.
  - Hydrants to be installed as per City Standard H-4.
  - Driveway entrance shall be constructed with heavy duty asphalt from the back of the municipal curb or edge of pavement to the property line (area highlighted on drawing(s)) in accordance with the following specifications:
    - 60 mm compacted depth of H1/2 asphalt - top course
    - 75 mm compacted depth of H1/2 asphalt - binder course
    - 100 mm compacted depth of 20 mm crusher run limestone - granular base
    - 300 mm compacted depth of 50 mm crusher run limestone - granular sub-base
  - All concrete curbs from existing road curb to street line shall be barrier curb City Standard F-4. All concrete curb heights shall be 150 mm unless otherwise noted. Driveway curbs to be discontinuous at sidewalk and tapered back 600 mm minimum.
  - All required curb cutting and driveway entrances shall be constructed in accordance with the specifications of the City.
  - Driveway to be 200 mm thick through driveway entrance per City Standard S-1.
  - Front curbs are to be provided on curb steps and valve boxes when located within the limits of the driveway.
  - Driveway shall be set back a minimum clearance of 1.0 m from all above ground services or other obstructions.
  - Appropriate construction details shall be provided for retaining walls higher than 1.0 m. Details shall be designed and certified by a professional engineer upon approval.
  - Driveway curbs shall be required when height exceeds 0.80 m (see per City Standard Drawing N-2 or approved equal).
  - Landscaping shall not encroach on boulevard nor shall boulevard grade be altered.
  - Slopes in landscaped areas and on berms shall not exceed 3 horizontal to 1 vertical.
  - Pavement grades (min. 0.5%, max. 5%).
  - Drainage swales with grades (min. 2%, max. 5%).
  - Outside lighting shall be directed downward and inward and designed to maintain zero cutoff light level distribution at the property line.
  - Sanitary, storm and water service connections which are not in place on the municipal front allowance to the property line shall be arranged for installation by the City on payment of installation costs by the owner. To initiate the installation of the service connections, the owner shall file an application with the Construction Services Division.
  - Sign fence(s) to be installed and maintained to prevent soil flowing onto adjacent lands.
  - Construction areas shall be constructed with a minimum depth of 400 mm crusher stone base from the municipal curb or edge of pavement to the property line, to the satisfaction of the City.
  - The surface of all loading spaces and related driveways, parking spaces, and maneuvering areas within the site shall be paved with a hard surface. The recommended minimum depth requirements are as follows:
    - 40 mm compacted depth H1/2 asphalt - top course
    - 60 mm compacted depth H1/2 asphalt - binder course
    - 100 mm compacted depth 20 mm crusher run limestone - granular base
    - 300 mm compacted depth 50 mm crusher run limestone - granular sub-base

**PAVING SPECIFICATION**

**HEAVY DUTY ASPHALT PAVING AT ENTRANCES**

ASPHALT: 50mm (2") of compacted H1/2  
 75mm (3") of compacted H1/2  
 BASE: 100mm (4") of 20mm crusher run limestone  
 300mm (12") of 50mm crusher run limestone  
 ALL ASPHALT PAVING ON SITE SHALL BE AS FOLLOWS:  
 BASE: 100mm (4") of 20mm crusher run limestone  
 50mm (2") of H1/2 asphalt  
 150mm (6") of 50mm crusher run limestone  
 300mm (12") of 50mm crusher run limestone

**INSTALLATION:**

- Place and consolidate 300mm (12") of limestone base course as specified above.
- Asphalt shall spread to an even and uniform layer and compacted to the required density as follows:  
 a) Supply and install 2" deep non asphalt base.  
 b) Base course shall be compacted to Ontario Department of Highways specifications for type H1/2.  
 c) Lay 2" deep non course non asphalt paving conforming to Ontario Department of Highways specifications for type H1/2.  
 d) Lay 1" deep non course non asphalt paving conforming to Ontario Department of Highways specifications for type H1/2.

**NOTE: ALL ASPHALT BASE TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.**

**FOR SITE SERVING GRADING & TOPOLATER MANAGEMENT PLAN**  
 REFER TO DRAWING G1 BY V.A. PISCONE & ASSOCIATES INC. (140) 136-3094

**FOR LANDSCAPING PLAN AND LANDSCAPE DETAILS**  
 REFER TO DRAWINGS L1 BY LANDSCAPE ARCHITECTURE

**BENCHMARK NOTE:**  
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO A TEMPORARY BENCHMARK ESTABLISHED BY RADY-PENK & EDWARDS SURVEYING LTD. BEING THE TOP NAT. ON A FIRE HYDRANT LOCATED IN FRONT OF A LOT 43 PLAN 65M-3359, HAVING AN ELEVATION OF 218.1 METERS

**LEGAL DESCRIPTION**

SURVEY INFORMATION SHOWN ON THIS PLAN TAKEN FROM:  
 TOPOGRAPHIC PLAN OF BLOCK 113  
 PLAN 65M-3359  
 CITY OF VAUGHAN  
 REGIONAL MUNICIPALITY OF YORK  
 AS PREPARED BY:  
 RADY-PENK & EDWARDS SURVEYING LTD.  
 ONTARIO LAND SURVEYOR  
 TEL: 635-5000

**SITE DEVELOPMENT**

ZONING: C4 NEIGHBOURHOOD COMMERCIAL

LOT AREA: 42,636.29 SQ. M. 458,948.22 SQ. FT. (10.55 AC.)

SETBACKS	REQUIRED	PROVIDED
FRONT YARD	6.00 m	10.21 m
REAR YARD	4.00 m	4.70 m
SIDE YARD (INT.)	6.00 m	6.00 m
SIDE YARD (EXT.)	6.00 m	9.60 m
MIN. SET BACK FROM RESIDENTIAL R-ZONE	5.00 m	18.15 m

**BUILDING HEIGHT**  
 BUILDING HEIGHT: 10.02M (MAX.)

**BLDG. CLASSIFICATION**

BLDG.	CLASSIFICATION
BUILDING 'A'	GROUP E (3, 2, 2, 6, 6)
BUILDING 'B'	1 STOREY, SPRINKLERED GROUP E (3, 2, 2, 6, 2)
BUILDING 'C'	1 STOREY, SPRINKLERED GROUP E (3, 2, 2, 6, 2)
BUILDING 'D'	1 STOREY, SPRINKLERED, 2-STREET GROUP A (3, 2, 2, 2, 2)
BUILDING 'E'	1 STOREY, NON-SPRINKLERED, 1-STREET GROUP A (3, 2, 2, 2, 2)
BUILDING 'F'	1 STOREY, 2-STREET, NON-SPRINKLERED GROUP E (3, 2, 2, 6, 2)
BUILDING 'G'	1 STOREY, SPRINKLERED GROUP E (3, 2, 2, 6, 2)
BUILDING 'H'	1 STOREY, SPRINKLERED GROUP E (3, 2, 2, 6, 2)

**CONCRETE CURB**

NTS.

**CONCRETE CURB**

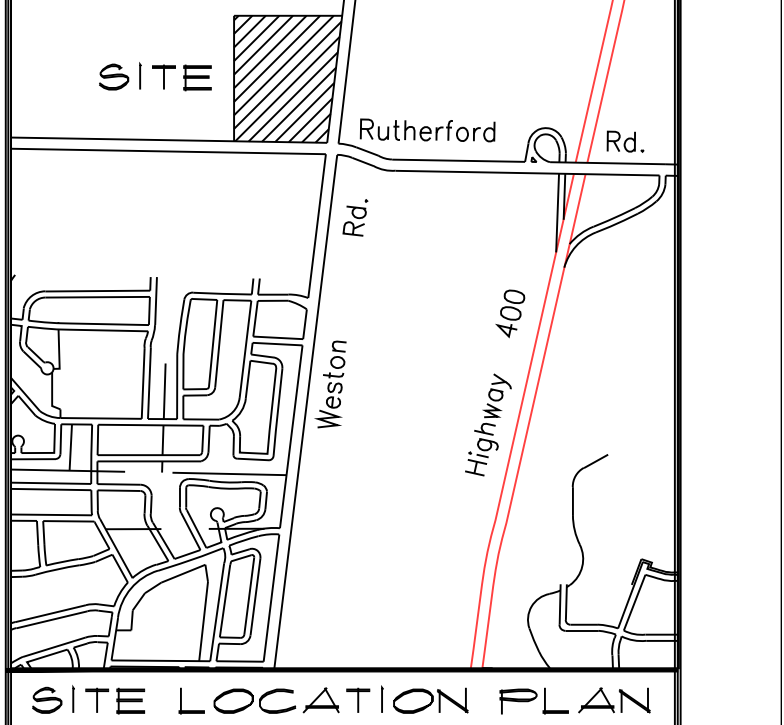
NTS.

**DEPRESSED CONC. CURB DETAIL**

NTS.

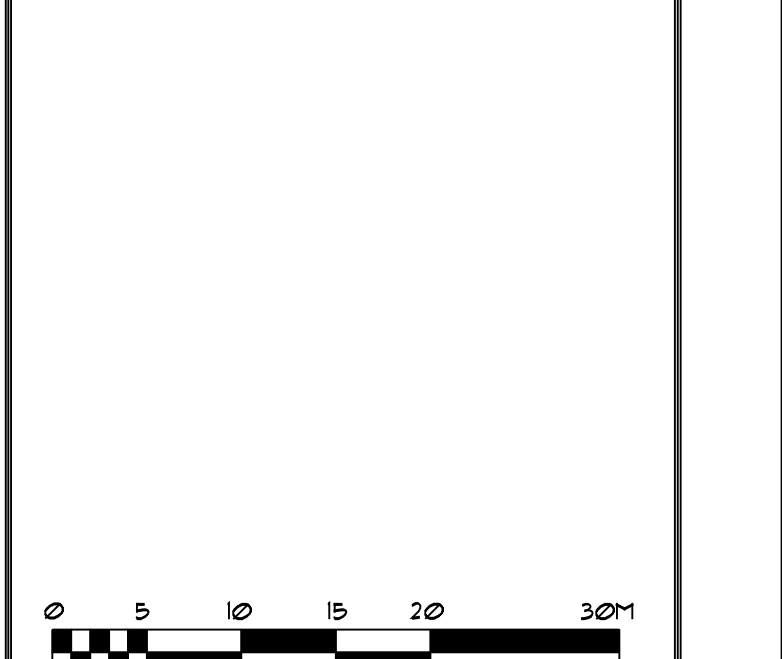
**CONC. CURB DETAIL AT ENTRANCE**

NTS.



**LEGEND**

SYMBOL	EXISTING FIN. GRADE	PROPOSED FIN. GRADE
TC (75/80)	TOP OF CURB	TOP OF CURB
CB (75/80)	TOP OF CATCH BASIN	TOP OF CATCH BASIN
MD	MAN DOOR LOCATIONS	MAN DOOR LOCATIONS
LD	LOADING DOCK OR LOCATIONS	LOADING DOCK OR LOCATIONS
LD	LOADING DOCK OR LOCATIONS	LOADING DOCK OR LOCATIONS
CB	CATCH BASIN	CATCH BASIN
CBM	CATCH BASIN MANHOLE	CATCH BASIN MANHOLE
SM	STORM SEWER MANHOLE	STORM SEWER MANHOLE
FI	FIRE HYDRANT	FIRE HYDRANT
G	GAS	GAS
RD	ROOF DRAIN	ROOF DRAIN
HA	HEAVY DUTY ASPHALT PAVING	HEAVY DUTY ASPHALT PAVING
CP	CONC. PAVING	CONC. PAVING
UP	UNIT PAVING	UNIT PAVING
PL	RAISED PLANTING AREAS	RAISED PLANTING AREAS
S	STOP SIGN	STOP SIGN
SW	SHOW STORAGE	SHOW STORAGE
LP	LIGHT POLE WITH CONCRETE BASE	LIGHT POLE WITH CONCRETE BASE



**HISTORY HILL GROUP**

NO.	DESCRIPTION	DATE
1	PARKING AREA REVISED	MAR. 6/01
2	ISSUED FOR BUILDING PERMIT	FEB. 6/01
3	Revised & Reissued for SITE PLAN	JAN. 29/01
4	REVISED	JANUARY
5	REVISED	JANUARY
6	REVISED	JANUARY
7	ROOF TOP UNITS	01/25/00
8	ISSUED FOR CLIENT REVIEW	03/31/00
9	ISSUED FOR SITE PLAN APPROVAL	09/25/00

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.  
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SEALED AND SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS.

**PROPOSED COMMERCIAL CENTRE**  
 FOR  
**PIAZZA VILLAGIO CORP.**  
 RUTHERFORD RD. & WESTON RD. BLK 113  
 CITY OF VAUGHAN, ONTARIO

**SITE PLAN AND SITE DETAILS**

PLOTTED: MAR. 13/00 8:25 AM

**intra architect inc.**

DATE:	OCT. 8/99	PROJECT No.	2034
SCALE:	1:400	DRAWING No.	
DRAWN BY:	KLM		

FILE NAME: R:\13034-HISTORY HILL-WESTON & RUTHERFORD\COMMERCIAL\1-1 SITE PLAN\2034-A1-1400.dwg  
 PLOT SCALE: 1:400  
 PLOT DATE: 11-04-00



<b>SCHEDULE B: STAFF &amp; AGENCY COMMENTS</b>				
<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B				
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments



**Date:** February 8<sup>th</sup> 2023  
**Attention:** **Christine Vigneault**  
**RE:** Request for Comments

**File No.:** **B002-23**

**Related Files:**

**Applicant:** Piazza Villagio Corp. c/o Bruno Baldassarra

**Location** 9200 Weston Rd.



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Consent Application and have no comments or objections to its approval.
- We have reviewed the proposed Consent Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Consent Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Consent Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

#### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

Supervisor, Distribution Design, ICI & Layouts (North)

Supervisor, Distribution Design-Subdivisions

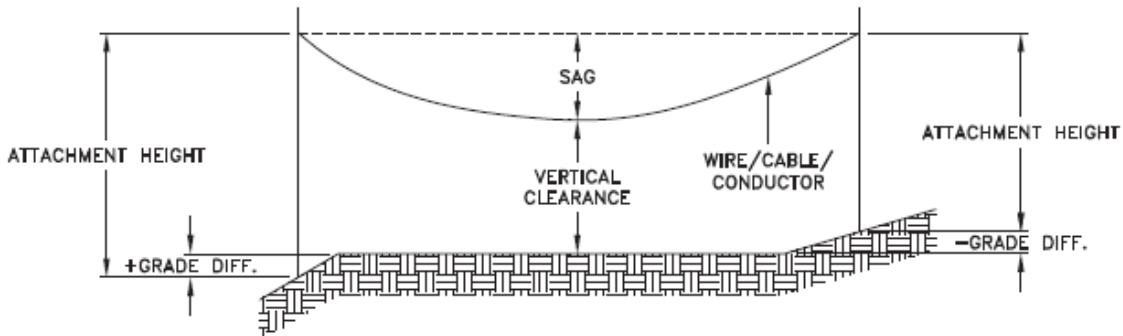
**Phone:** 1-877-963-6900 ext. 31297

**Phone:** 416-302-6215

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO VEHICLES	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

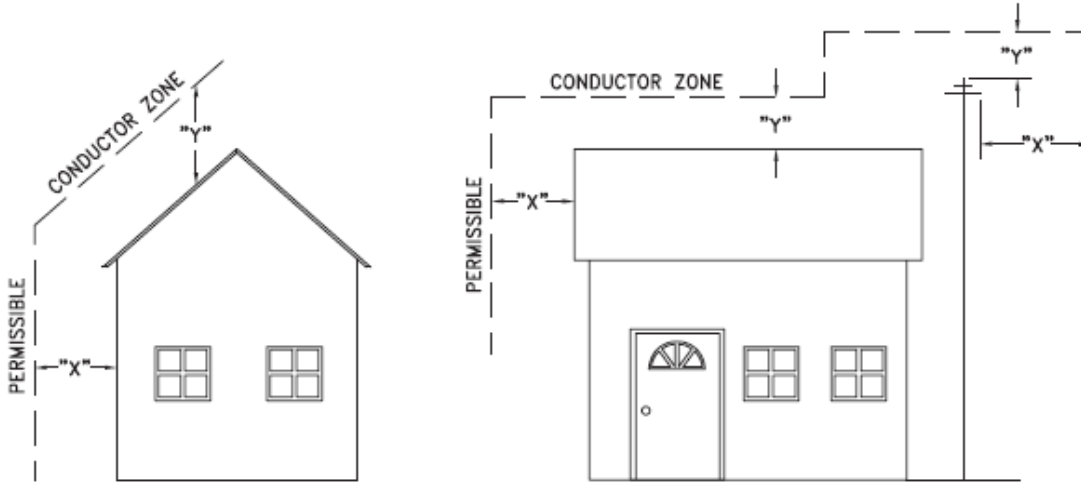
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

SAGS AND TENSIONS	SECTION 02
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**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Debbie Dadwani, P.Eng.	2010-MAY-05
Name	Date
P.Eng. Approval By: <i>D. Dadwani</i>	

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
F:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 03-4 DWG 03-4 RD May 5, 2010.dwg, 5/5/2010 9:27:52 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Bernd Paessler, Building Standards Department  
**Date:** February 03, 2023  
**Applicant:** Piazza Villagio Corporation c/o Bruno Baldassarra  
**Location:** 9200 Weston Road PLAN 65M3359 Block 173  
**File No.(s):** B002/23

**Zoning Classification:**

The subject lands are zoned GMU – General Mixed Use, subject to the provisions of Exception 14.693 & 14.799 under Zoning By-law 001-2021, as amended, and C4 Commercial Zone, subject to the provisions of Exception 9(1024) & 9(1145) under Zoning By-law 1-88, as amended.

The subject consent application is to permit a lease in excess of 21 years on the existing subject lands and therefore the Zoning By-law requirements for Lot Area, Lot Frontage and Lot Depth are not applicable.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 02-003760 for Business and Prof. Office Unit - Alteration, Issue Date: (Not Yet Issued)

**Other Comments:**

<b>General Comments</b>	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	This property is currently under to appeal with the Ontario Land Tribunal (OLT). OLT reference 002758/004768 – Armland Management Inc.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** March 8, 2023  
**Name of Owner:** Piazza Villagio Corporation c/o Bruno Baldassarra  
**Location:** 9200 Weston Road  
**File No.(s):** B002/23

---

**Proposal:**

The Owner has submitted Consent Application File B002/23 to permit a lease in excess of 21 years on the subject lands.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Mixed-Use"

**Comments:**

The Owner has submitted a consent application to facilitate a lease agreement in excess of 21 years. As it is a lease application, the Zoning By-law requirements of Lot Area, Lot Frontage and Lot Depth are not applicable.

The lands subject to the proposed lease are within the southwest corner of the Piazza Villagio plaza, and currently contains the Tim Hortons restaurant. The lease is specific to the building; the Tim Hortons parking area and drive thru are not part of this application. The proposal adds further permanency to the established restaurant use on this portion of the subject property. The lands are zoned "GMU - General Mixed-Use Zone" subject to Exceptions 14.693 and 14.799 in By-law 001-2021 and "C4 - Commercial Zone" subject to Exceptions 9(1024) and 9(1145) in By-law 1-88, which both permit the existing Restaurant/Eating Establishment use. There are no changes proposed to the existing use or site.

The Development Planning Department is of the opinion that the proposal meets the intent of the Official Plan, complies with the Zoning By-laws, and conforms to Section 51(24) as required by Section 53(12) of the Planning Act.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Joshua Cipolletta, Planner I  
David Harding, Senior Planner

## Lenore Providence

---

**From:** Wong, Justin <Justin.Wong@york.ca>  
**Sent:** February-15-23 1:24 PM  
**To:** Lenore Providence  
**Subject:** [External] CONS.23.V.0021 (B002/23)

Hi Lenore,

The Region has reviewed the above noted consent application and do not have any comments.

Thank you,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Justin Wong, MCIP, RPP** | Planner, Planning and Economic Development Branch, Corporate Services Department

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Our Mission: **Working together to serve our thriving communities – today and tomorrow**

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None