

COMMITTEE OF ADJUSTMENT

REVISED APPLICATION PACKAGE

Name (Applicant or Agent):

File Number:

Property:

Revised Submission Date:

IMPORTANT:

- You are completing this form because you are making a change to your application and plans.
- You must properly document any changes to your application so that the variances can be re-confirmed by zoning staff.
- The original [Structure Setback Chart](#), [Structure Size Chart](#) and [Variance Chart](#) submitted with your application have been provided by your file manager. Please update these charts to reflect the changes made to your plans and email to cofa@vaughan.ca. Please ensure that the information is updated correctly and accurately to avoid processing delays.
- In addition to updating the charts, please provide a **detailed description** of the changes made to your application in the box below. Without this description we cannot process your revised submission.

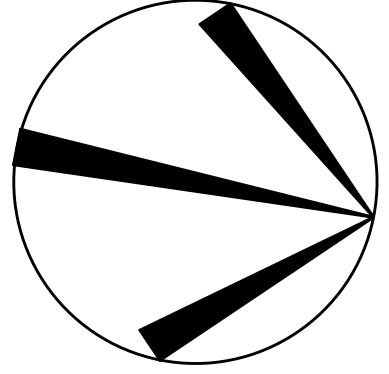
The City of Vaughan does not assume responsibility for identifying zoning deficiencies that have not been identified as part of the application submission.

Detailed Description of Changes Made to Application:

LOT 16 - 205 OLD HUMBER CRES

POOL LOCATION
#4 & #7

12.41 M
#2



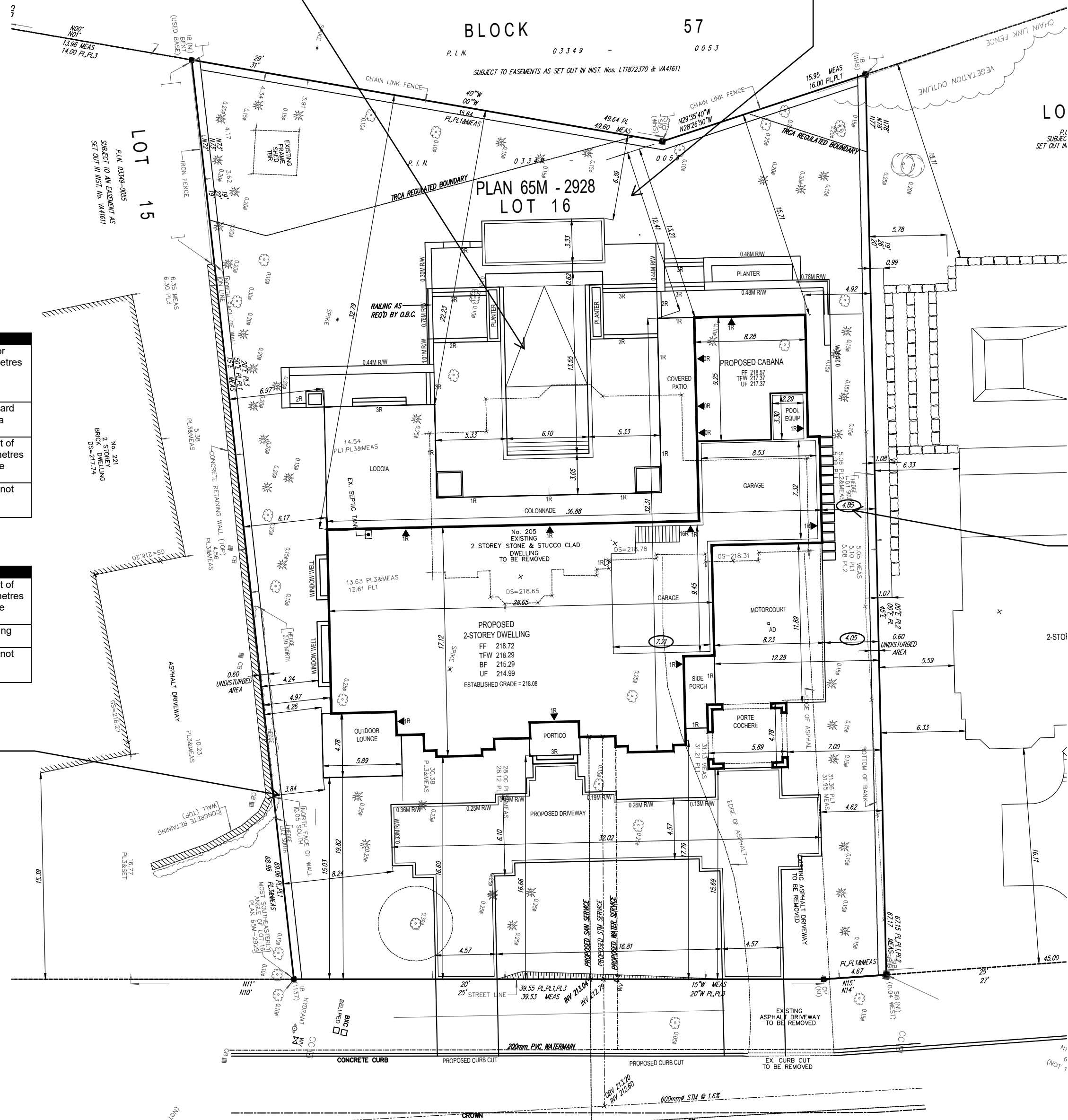
#	Zoning By-law 001-2021	Variance requested
1	The minimum interior side yard setback required is 13.61 metres on the south side and 5.05 metres on the north side. [Section 4.5, 2. b.]	To permit a minimum interior side yard setback of 3.84 metres on the south side and 4.05 metres on the north side of proposed dwelling.
2	The minimum rear yard setback required is 15.0 metres. [Table 7-3]	To permit a minimum rear yard setback of 12.41 metres to a covered patio.
3	The maximum encroachment of an eaves and gutter permitted is 0.5 metres. [Table 4-1]	To permit the encroachment of eaves and gutters of 0.56 metres into the required interior side yards.
4	An outdoor swimming pool shall only be permitted in the rear yard of a lot. [Section 4.21, 2.]	To permit a swimming pool not entirely in the rear yard.

The subject lands are zoned RR – Rural Residential and subject to the provisions of Exception 9(741) under Zoning By-law 1-88, as amended.

#	Zoning By-law 4-88	Variance requested
5	The maximum encroachment of an eaves and gutter permitted is 0.5 metres. [Section 3.14 a)]	To permit the encroachment of eaves and gutters of 0.56 metres into the required interior side yards.
6	The maximum building height permitted is 9.5 metres. [Schedule 'A']	To permit a maximum building height of 11.28 metres.
7	A private swimming pool shall be constructed only in the rear yard. [Section 4.1.1, i)]	To permit a swimming pool not entirely in the rear yard.

3.84 M
#1

4.05 M
#1



ITEM	BY-LAW 001-2021	PROPOSED
ZONE	RR (R)	RR (R)
LOT FRONTAGE	45.0 M	44.76 M
LOT AREA	4000 M ²	4075.72 M ²
FRONT YARD SETBACK	15.0 M	15.0 M (PORCH)
REAR YARD SETBACK	15.0 M	15.68 M (PORTE COCHERE)
SIDE YARD SETBACK	13.61 M	3.84 M (HOUSE)
SEWER	1.05 M	4.97 M (HOUSE)
SEWER	1.05 M	7.05 M
REAR YARD SETBACK	15.0 M	12.21 M (CABANA)
GROUND FLOOR AREA		358.45 M ²
SECOND FLOOR AREA		739.69 M ²
LOT COVERAGE		16.51% (97.91 M ²)
NOF INCL. PORCH		0.28% (0.53 M ²)
LOT COVERAGE		0.89% (17.52 M ²)
OF PORCH		1.28% (25.84 M ²)
LOT COVERAGE		0.89% (17.52 M ²)
OF OUTDOOR LOUNGE		1.28% (25.84 M ²)
LOT COVERAGE		1.28% (25.84 M ²)
OF SIDE ENTRY PORCH & PORTE COCHERE		4.99% (100.53 M ²)
LOT COVERAGE		4.99% (100.53 M ²)
OF COLONNAGE & COVERED PORCH		2.49% (50.25 M ²)
LOT COVERAGE		2.49% (50.25 M ²)
OF CABANA		26.44% (534.37 M ²)
TOTAL COVERAGE		31.38 M
BACK HEIGHT TO REAR		9.5 M
BLDG HEIGHT TO MIDPOINT		9.5 M
DRIVEWAY HEIGHT		9.5 M
COMBINED DRIVEWAY		9.24 M
MINIM AT STREET		0.56 M
FRONT YARD AREA		739.69 M ²
DRIVEWAY AREA		253.12 M ²
WALKWAY & STEP AREA		9.65 M ²
FRONT YARD LANDSCAPING	50% (261.04 M ²)	788.58 M ²
FRONT YARD SOFT LANDSCAPING	60% (221.42 M ²)	479.97 M ² (10.99)
REAR YARD AREA		462.88 M ² (11.83)
REAR YARD AREA		1131.67 M ²
REAR YARD SOFT LANDSCAPING		333.67 M ²
REAR YARD SOFT LANDSCAPING	60% (346.00 M ²)	1213.67 M ² (30.13)
		791.85 M ² (19.67%)

DOMENIC TASSONE

LOT 16

205 OLD HUMBER CRES, CITY OF VAUGHAN

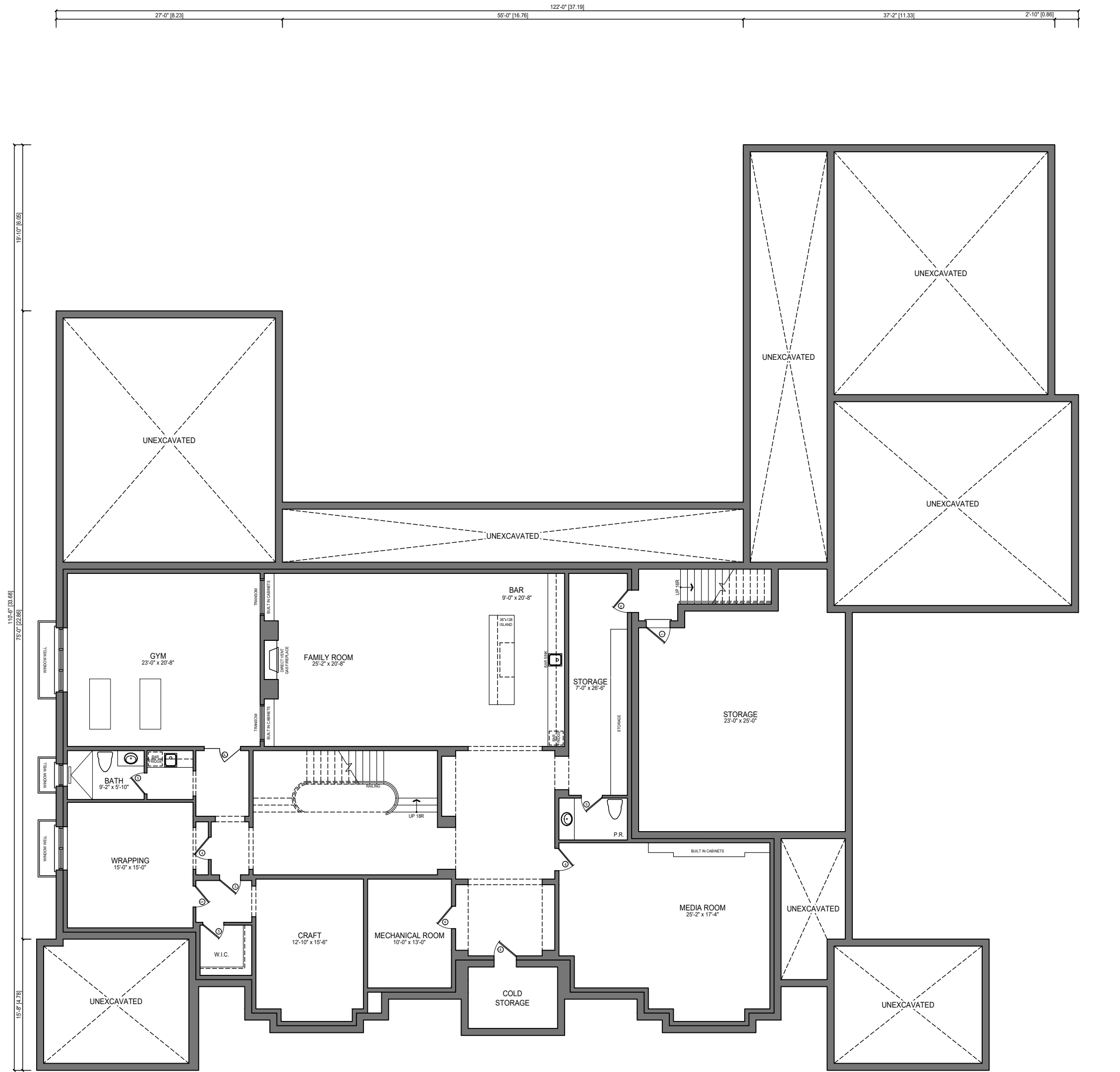
SITE PLAN

MG 03/01/23

22-20

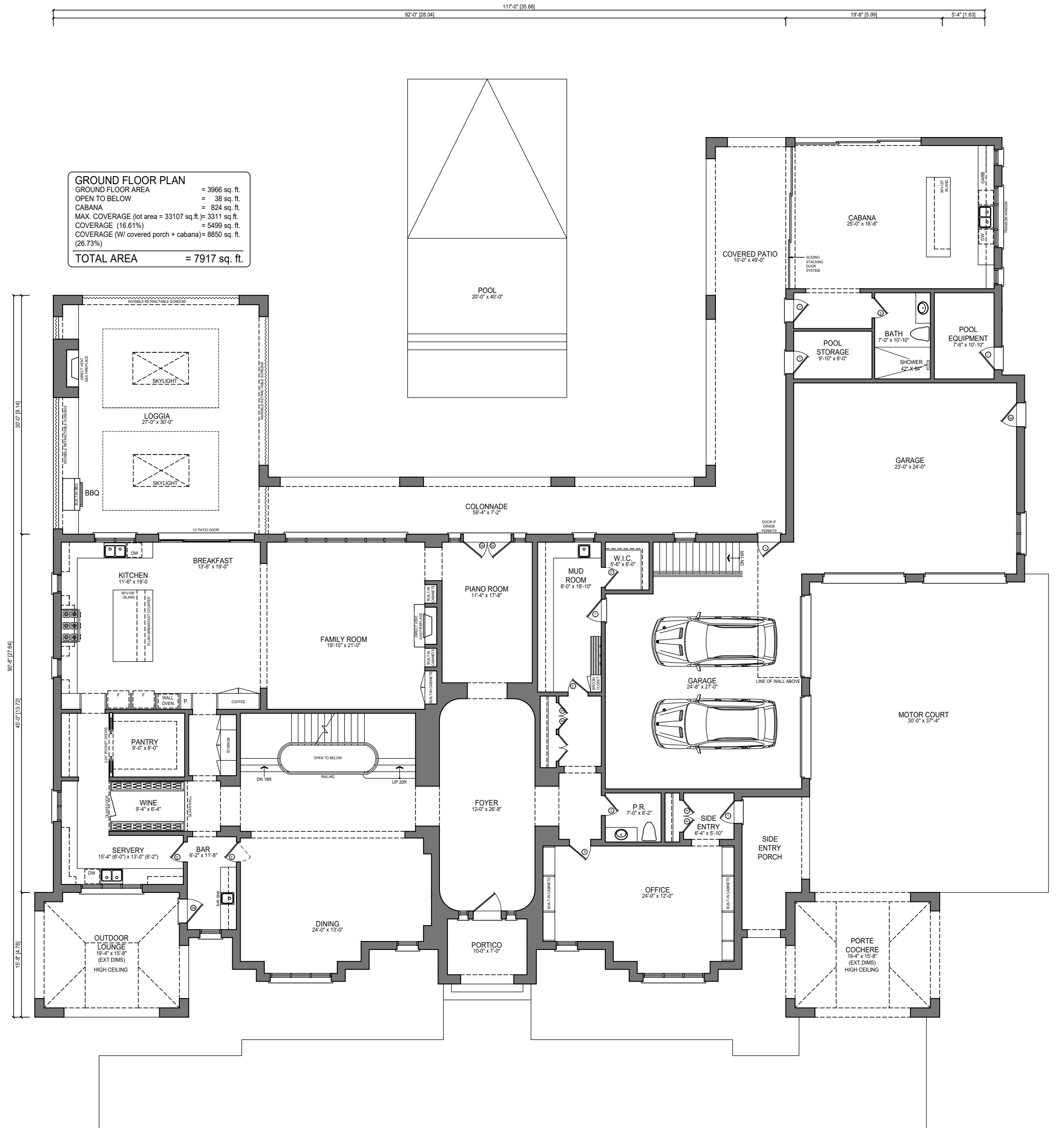
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LOT 16 - 205 OLD HUMBER CRESCENT



DOMENIC TASSONE	
LOT 16	
205 OLD HUMBER CRESCENT, CITY OF VAUGHAN	
BASEMENT PLAN	
DATE: 12/20/22	BY: MG
SCALE: 3/32" = 1'0"	SHEET: 22-20
1 OF 6	

LOT 16 - 205 OLD HUMBER CRESCENT



DOMENIC TASSONE	
LOT 16	
205 OLD HUMBER CRESCENT, CITY OF VAUGHAN	
GROUND FLOOR PLAN	
DATE: MG	DATE: 12/20/22
SCALE: 3/32" = 1'0"	PAGE: 2 OF 6

20 RIVERMERE ROAD, UNIT 01, VAUGHAN, ONTARIO, L4K 3N3
 PHONE: (416) 883-0111; FAX: 1 (866) 662-1183; WWW.IANROBERTSONDESIGN.CA

LOT 16 - 205 OLD HUMBER CRESCENT

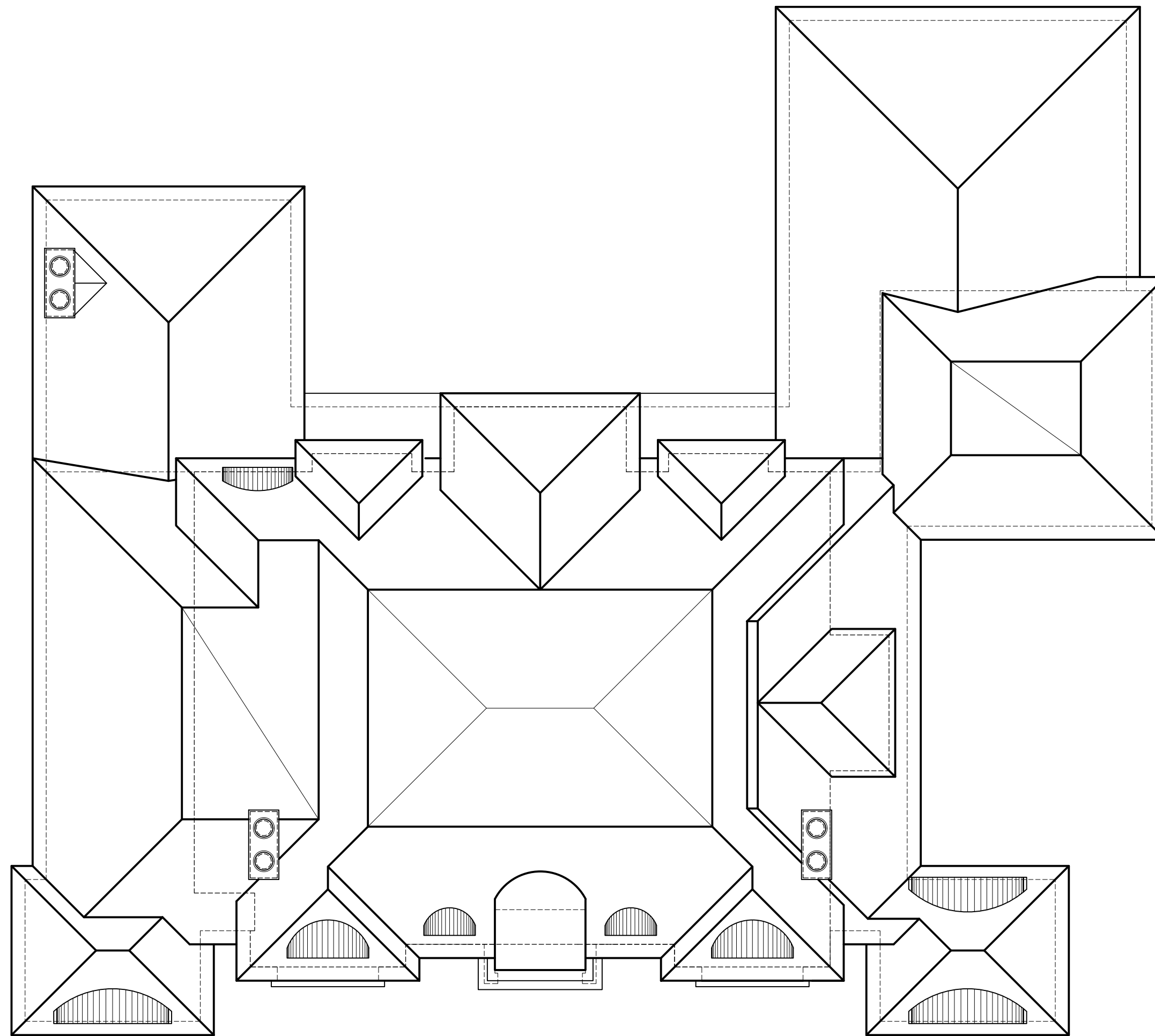


SECOND FLOOR PLAN
 SECOND FLOOR AREA = 3996 sq. ft.
 OPEN TO BELOW (inc.) = 38 sq. ft.

DOMENIC TASSONE	
LOT 16	
205 OLD HUMBER CRESCENT, CITY OF VAUGHAN	
SECOND FLOOR PLAN	
DATE: 12/20/22	SCALE: 3/32" = 1'0"
PROJECT: MG	SHEET: 22-20
3 OF 6	

20 RIVERMEDE ROAD, UNIT 01, VAUGHAN, ONTARIO, L4K 3N3
 PHONE: (416) 883-0111; FAX: 1 (866) 662-1183; WWW.IANROBERTSONDESIGN.CA

LOT 16 - 205 OLD HUMBER CRESCENT



TOTAL ROOF AREA: 8643 SQ.FT
FLAT ROOF AREA: 1641 SQ.FT
PERCENTAGE OF FLAT ROOF AREA: 17.02%

DOMENIC TASSONE	
LOT 16	
205 OLD HUMBER CRESCENT, CITY OF VAUGHAN	
ROOF PLAN	
MG	12/20/22
22-20	
3/32" = 1'0"	4 OF 6

LOT 16 - 205 OLD HUMBER CRESCENT

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The subject lands are zoned RR – Rural Residential and subject to the provisions of Exception 9(741) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
5	The maximum encroachment of an eaves and gutter permitted is 0.5 metres. [Section 3.14 a)]	To permit the encroachment of eaves and gutters of 0.56 metres into the required interior side yards.
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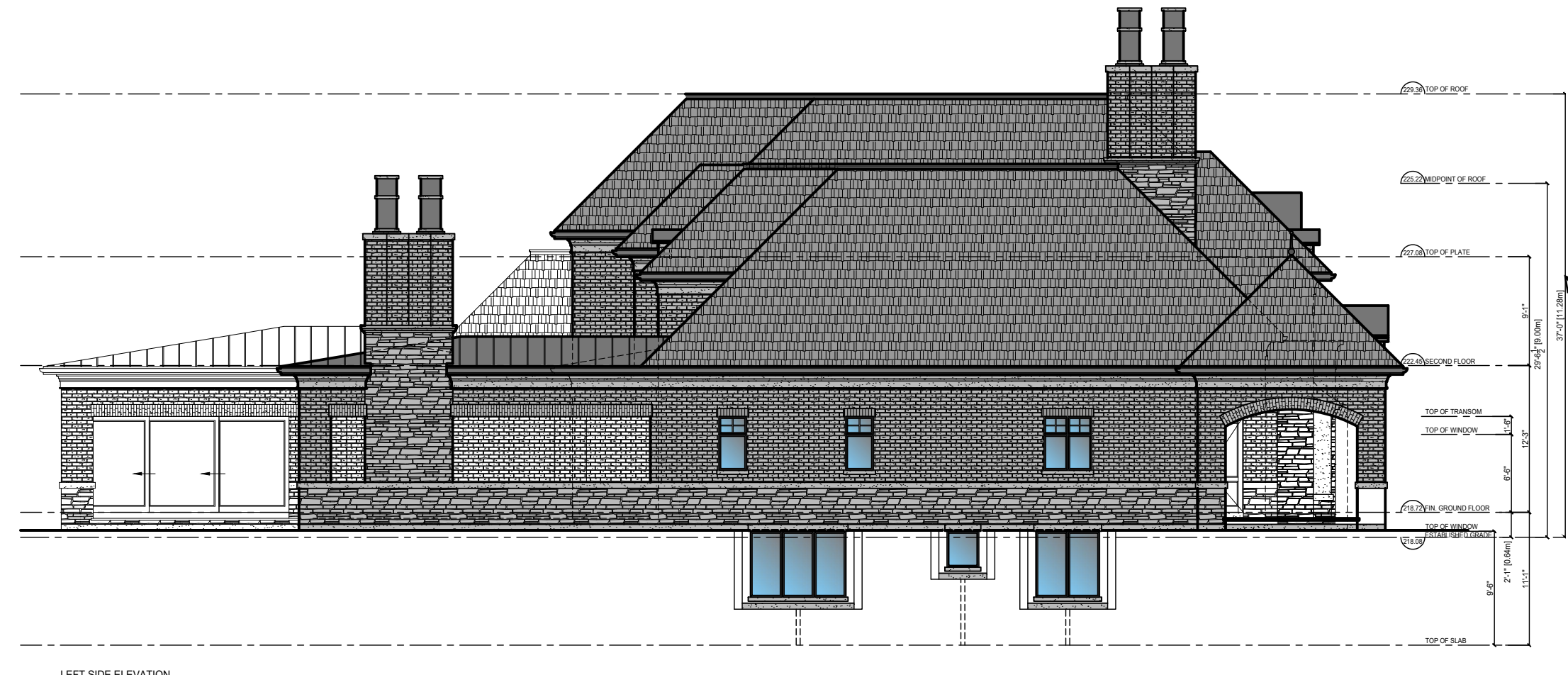
DOMENIC TASSONE	
LOT 16	
205 OLD HUMBER CRESCENT, CITY OF VAUGHAN	
FRONT & REAR ELEVATIONS	
DATE: MG	DATE: 12/20/22
PROJECT: 22-20	PAGE: 5 OF 6
SCALE: 3/32" = 1'0"	

LOT 16 - 205 OLD HUMBER CRESCENT

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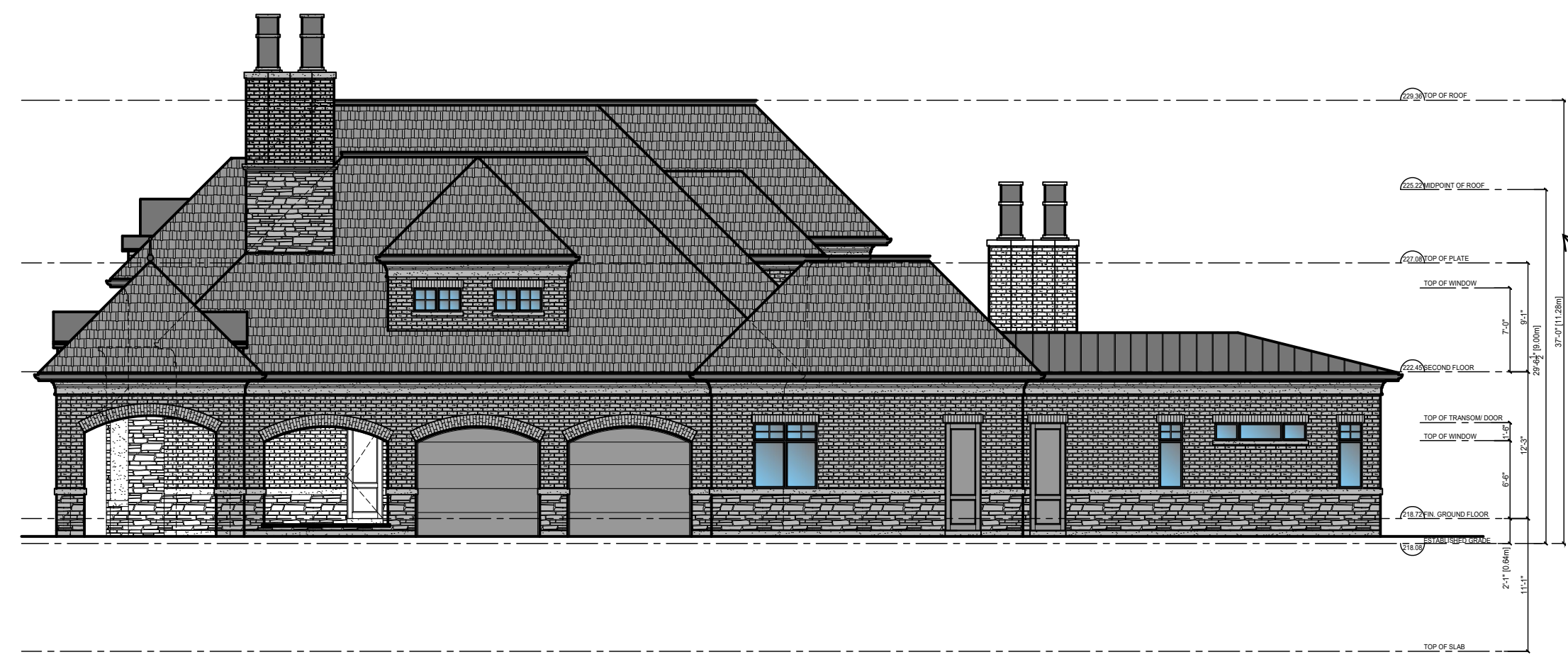
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LEFT SIDE ELEVATION

11.28 M
#6



RIGHT SIDE ELEVATION

11.28 M
#6

DOMENIC TASSONE	
LOT 16	
205 OLD HUMBER CRESCENT, CITY OF VAUGHAN	
LEFT & RIGHT SIDE ELEVATIONS	
DATE: MG	12/20/22
SCALE: 22-20	
3/32" = 1"0"	6 OF 6

ZONING REVIEW WAIVER

I,

Name of authorized owner or agent

Agree to proceed with an application(s) to the Committee of Adjustment without the benefit of having my revised submission reviewed by a Zoning Examiner within the City of Vaughan Building Standards Department, for the purposes of confirming the variances required to facilitate my proposal.

I assume full responsibility for identifying, correctly and completely, all variances associated with my proposal/application.

I also recognize and acknowledge that any errors may result in:

- a) a potential delay in the processing of my application(s);
- b) an inability to obtain a building permit;
- c) the need for additional application(s) to the Committee of Adjustment; and
- d) additional fees (adjournment/recirculation).

Date:

Signature:

IMPORTANT

By completing this Zoning Review Waiver, you are conducting a zoning review of your revised submission and assuming responsibility for identifying **all** variances required to facilitate your proposed development. If you would like zoning staff to conduct this review your file will require adjournment to a future hearing date.

Helpful Tips:

Review your original zoning report provided by your file manager. This report may be used as a tool to complete your review on the next page.

You may want to consider copying and pasting the variances, confirmed in your zoning report, into the charts on the next page as a starting point and update as required.

If new variances are required, you will need to review the applicable By-law to determine requirements. If you are submitting a Zoning Review Waiver Form, staff cannot assist you with completing your review.

Ensure that **all** variances are included in the charts below, even variances that are not changing from the zoning report must be included. The omission of a variance may result in delays in processing, inability to obtain a building permit after approval, requirement of additional applications and fees.

See next page to complete your review.

REVISED SUBMISSION - ZONING REVIEW (WAIVER SUBMITTED)

Completed By:

Date:

File No.(s):

Property:

In the chart below, identify all variances required under Zoning By-law 001-2021:

ZONING BY-LAW 001-2021		
#	By-law Requirement <small>*Quote actual provision of By-law</small>	Variance Requested
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

In the chart below, identify all variances required under Zoning By-law 1-88:

ZONING BY-LAW 1-88		
#	By-law Requirement <small>*Quote actual provision of By-law</small>	Variance Requested
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Zoning Review Waivers can only be submitted if your application has received an initial zoning review. Staff cannot be consulted to complete your Zoning Review Waiver. The owner/ agent can obtain a zoning review of their revised application, through the Committee of Adjustment submission process in accordance with the Committee of Adjustment internal deadlines. Should an applicant/agent/representative wish to proceed to a hearing without a revised submission being reviewed by a zoning examiner they must complete this waiver to assume full responsibility for identifying required variances.