

ITEM: 6.15	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A337/22 9 BUCK'S PL WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A337/22
9 Buck's Pl Woodbridge**

ITEM NUMBER: 6.15	CITY WARD #: 3
APPLICANT:	2826765 Ontario Ltd.
AGENT:	Ian Robertson Design
PROPERTY:	9 Buck's Place, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed single-family dwelling, swimming pool and circular driveway.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.82 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard setback (east) of 7.7m is required. [Section 4.5, 7.2.2]	To permit a minimum interior side yard setback (east) of 4.8m
2	A minimum interior side yard setback (west) of 6.24m is required. [Section 4.5, 7.2.2]	To permit a minimum interior side yard setback (west) of 4.6m
3	A minimum front yard setback of 15.0 metres is required. [Section 4.5, 7.2.2]	To permit a minimum front yard setback of 13.9 metres.
4	A maximum building height of 9.5 metres is permitted. [Section 4.5, 7.2.2]	To permit a maximum building height of 10.87 metres.
5	A circular driveway shall not provide access to more than one road. [Section 6.7.4]	To permit a circular driveway to access more than one road.
6	A swimming pool shall only be located in the rear yard of a lot. [Section 4.21]	To permit a swimming pool to be located not in the rear yard.

HEARING INFORMATION

<p>DATE OF MEETING: Thursday, March 16, 2023 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan LIVE STREAM LINK: Vaughan.ca/LiveCouncil</p> <p align="center">PUBLIC PARTICIPATION</p> <p>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca If you would like to submit written comments, please quote file number above and submit by mail or email to: Email: cofa@vaughan.ca</p> <p>Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1</p> <p align="center">THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS <u>NOON</u> ON THE LAST BUSINESS DAY BEFORE THE MEETING.</p>
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INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	March 3, 2023
Date Applicant Confirmed Posting of Sign:	February 22, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Due to the owners required rooms and needed space we could not comply with the side yard setbacks, lot coverage and building height. that being said 3 of the variances being asked we would comply with either the new or old bylaw, for example the old bylaw for lot coverage has a max of 10%; where the new bylaw has no lot coverage requirement for our zone.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On March 2, 2023, Development Planning provided the following:</p> <p>Thank you for providing the reduction to the height. However, I would still request an increase to the east interior side yard setback as well. The reduction of height does help with the streetscape, but we would still require more trees within the front and side yards to be saved to maintain the existing character. I would like to reiterate our recommendation to maintain as much of the 7.7 m east interior side yard setback as possible. If you choose to move forward without any further changes, we will be in a position to provide partial approval of the application, and refusal of variances 2 and 3 of the east interior side yard and front yard setbacks. The front yard setback would be refused as it would not be required if the side yard was shifted to comply with the 7.7 m.</p> <p>On March 2, 2023, Applicant submitted revised proposal, together with Zoning Review Waiver to proceed to March 16 hearing.</p> <p>On March 3, 2023, Development Planning provide the following:</p> <p>Thank you for the revision of including additional trees on site. Please see revised comments from UD and Development Planning below.</p> <ol style="list-style-type: none"> 1. Redesign the circular element into an ellipse shape to permit one more established tree to be retained. 2. Further reduce the motor court/hardscape to allow for more trees to be saved and proposed trees to survive. 3. Maintain a larger east interior side yard setback. <p>On March 3, 2023, Applicant provided revised landscape and Arborist Report to address Urban Design comments.</p> <p>On March 8, 2023, Zoning staff completed review of the application, confirming variances as identified in the Zoning Review Waiver, with the exception of variance #4. It should be noted that the public notice indicated 10.87 metres (as indicated in Waiver), which cannot be increased to 10.9 metes without providing statutory public notice.</p>

COMMITTEE OF ADJUSTMENT COMMENTS

<p>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</p> <p>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</p> <p>*A revised submission may be required to address staff / agency comments received as part of the application review process.</p> <p>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</p>	Yes
<p>Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.</p> <p>An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.</p>	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments. Application under review	
Development Planning Recommended Conditions of Approval:	TBD

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

<p>As the proposed residence in the subject property is 1,795.60 m², the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m² requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)</p> <p>The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at DEPermits@vaughan.ca.</p> <p>The Owner / Applicant shall apply and obtain the necessary Curb Cut / Reinstating Permit through the Transportation and Fleet Management Services. Please visit the Curb Cut Permits page at the City of Vaughan website to learn how to apply for the Curb Cut/ Reinstating Permit.</p> <p>The proposed work by the Owner/ Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.</p> <p>The Development Engineering Department does not object to the Minor Variance application A337/22, subject to the following condition(s):</p>	
Development Engineering Recommended Conditions of Approval:	<p>The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading</p>

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Comments with condition

PFH Recommended Conditions of Approval:

Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

Development Finance Recommended Conditions of Approval:

None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date

BCLPS Recommended Conditions of Approval:

None

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

Building Inspection Recommended Conditions of Approval:

None

FIRE DEPARTMENT COMMENTS

No comments received to date

Fire Department Recommended Conditions of Approval:

None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Joshua.cipolletta@vaughan.ca	Application under review
2	Development Engineering Rex.bondad@vaughan.ca	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at DEPermits@vaughan.ca .
3	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	1) Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.
4	TRCA Kristen.Regier@trca.ca	1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority. 2. That the applicant obtains a permit for the proposed works within the Regulated Area pursuant to Ontario Regulation 166/06.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s

IMPORTANT INFORMATION – PLEASE READ

Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

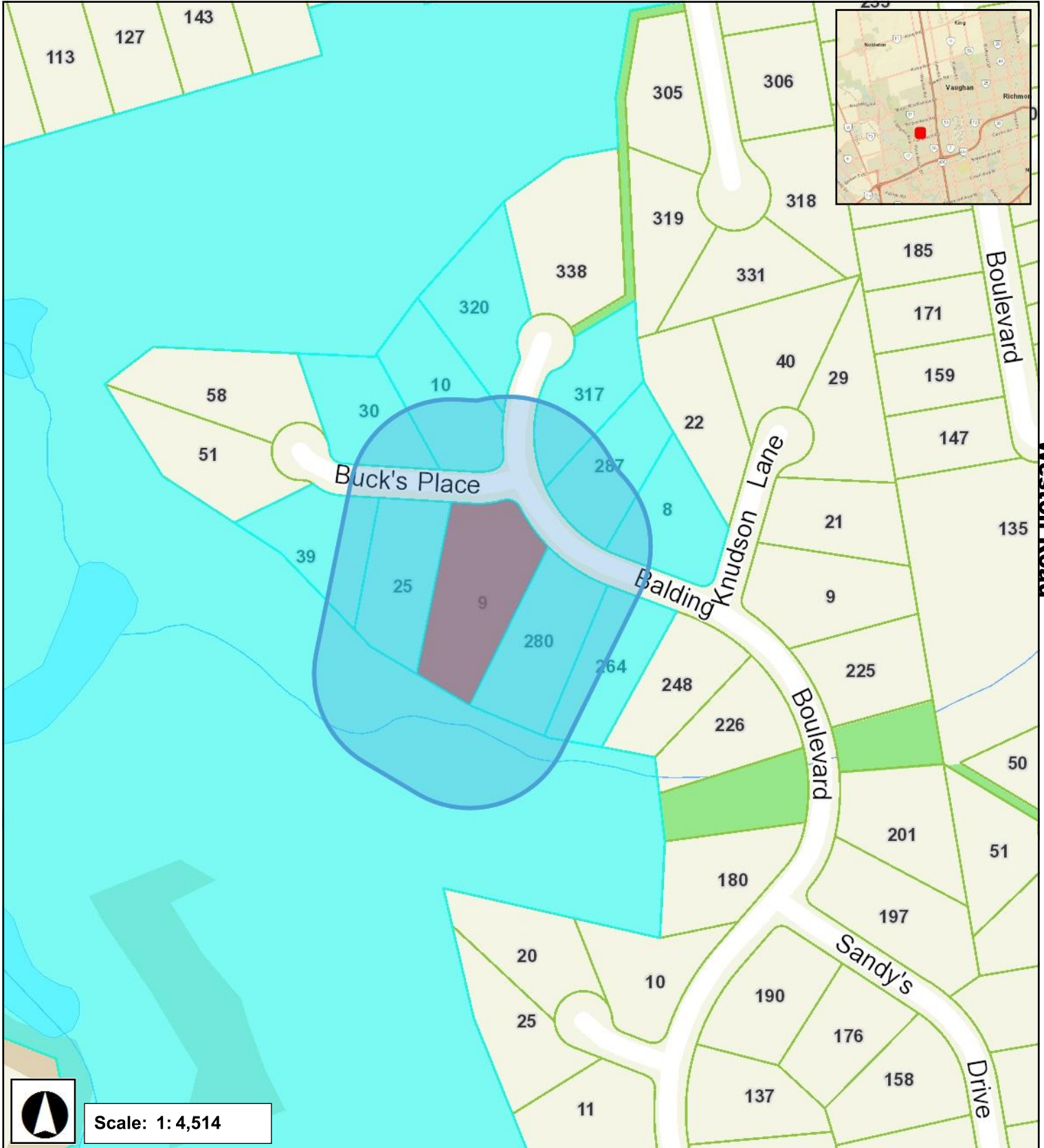
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A337/22

9 BUCK'S PLACE, WOODBRIDGE

Rutherford Road



Scale: 1:4,514

Langstaff Road

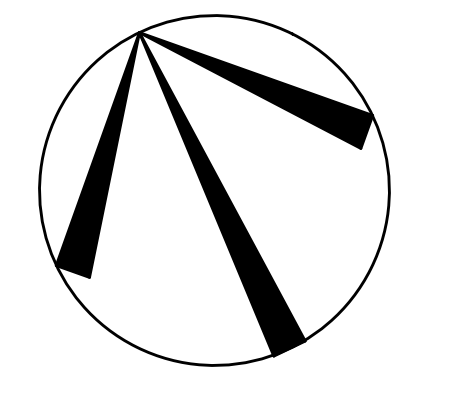
January 31, 2023 12:14 PM

RECEIVED
By RECEIVED at 11:43 am, Mar 02, 2023

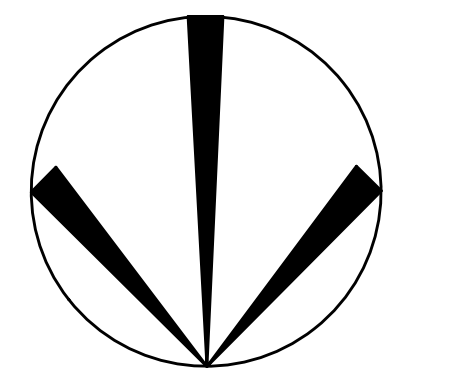
PLANS PREPARED BY APPLICANT

a337/22

#	Zoning By-law 01-2021	Variance requested
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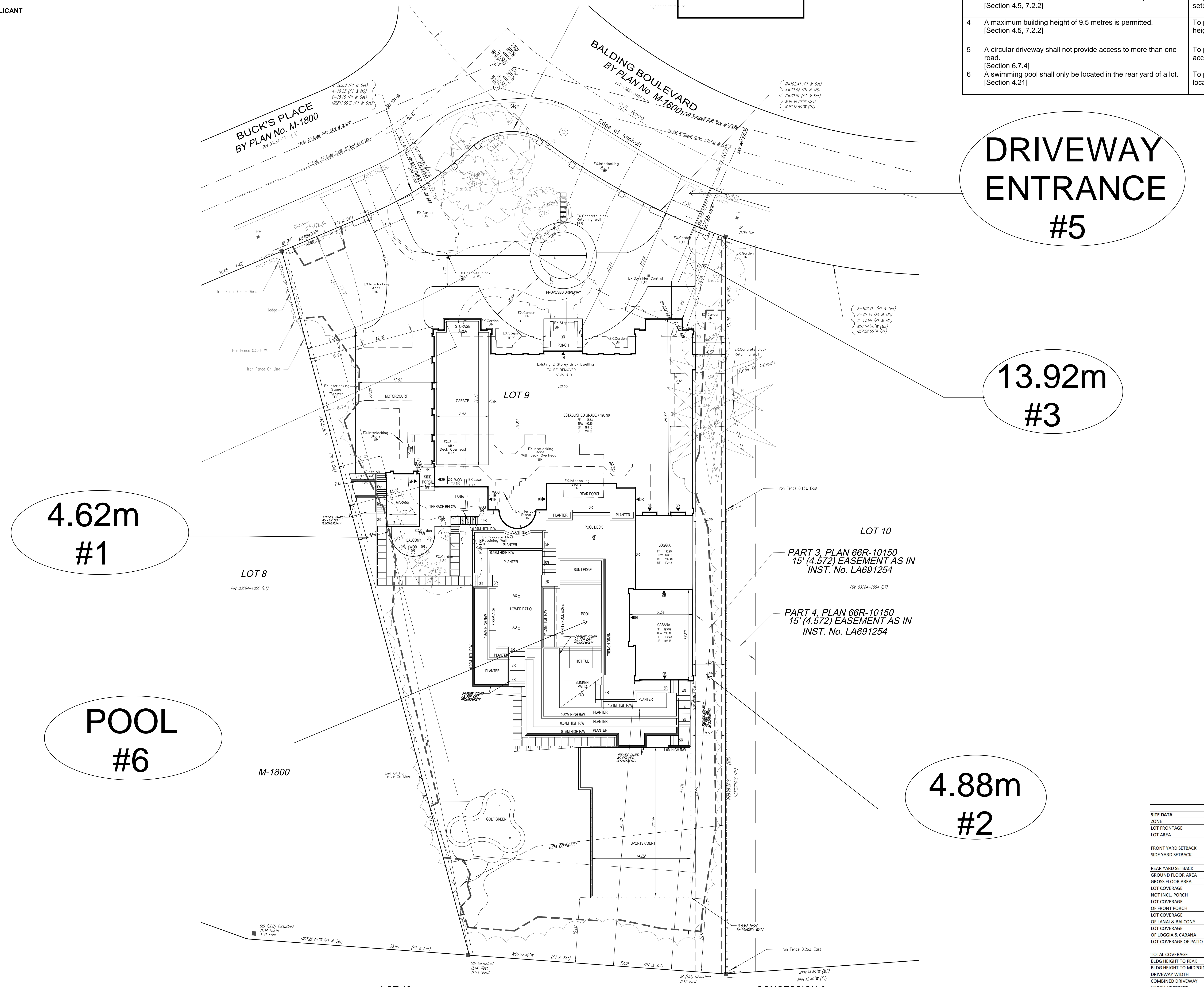


TRUE NORTH



PROJECT NORTH

IAN ROBERTSON DESIGN



DRIVEWAY
ENTRANCE
#5

13.92m
#3

4.62m
#1

POOL
#6

4.88m
#2

ZONING		BY-LAW 001-2021	PROPOSED
SITE DATA			
ZONE	RE (EN)	65.73 M	
LOT FRONTAGE	45.0 M	65.73 M	
LOT AREA	4000 M ²	6362.41 M ²	
FRONT YARD SETBACK	15.0 M	13.92 M (HOUSE)	
SIDE YARD SETBACK	6.24 M	4.62 M (GARAGE)	
REAR YARD SETBACK	15.0 M	4.88 M	
GROUND FLOOR AREA		778.08 M ²	
GROSS FLOOR AREA		1808.46 M ²	
LOT COVERAGE		15.73% (1000.73 M ²)	
NOT INCL. PORCH		0.22% (14.29 M ²)	
LOT COVERAGE OF FRONT PORCH		1.30% (82.82 M ²)	
LOT COVERAGE OF LANAI & BALCONY		3.57% (227.37 M ²)	
LOT COVERAGE OF LOGGIA & CABANA		0.82% (52.15 M ²)	
TOTAL COVERAGE		21.64% (1377.36 M ²)	
BLDG HEIGHT TO PEAK	9.5 M	10.87 M	
BLDG HEIGHT TO MIDPOINT	9.5 M	10.10 M	
DRIVEWAY WIDTH	9.0 M	8.37 M	
CONBINED DRIVEWAY WIDTH AT STREET	15.0 M	9.73 M	
EAVE PROJECTION	0.5 M	0.56 M	
FRONT YARD AREA		1453.38 M ²	
DRIVEWAY AREA		498.82 M ²	
WALKWAY & STEP AREA		14.69 M ²	
FRONT YARD LANDSCAPING	50% (726.69M ²)	1453.38 - 498.82 = 954.56 M ² (65.67%)	
FRONT YARD SOFT LANDSCAPING	60% (436.01M ²)	954.56 - 18.69 = 935.87 M ² (129%)	
REAR YARD AREA		2976.25 - 135 = 2841.25 M ²	
REAR YARD LANDSCAPE AREA		1046.35 M ²	
HARDSCAPE AREA INC. RET. WALLS, POOL, POOL DECK, SPORT COURT		2976.25 - 1046.35 = 1929.90 M ² (67.92%)	
REAR YARD SOFT LANDSCAPING	60% (1704.75 M ²)	1929.90 M ² (67.92%)	

LEGEND

---	Proposed Driveway	---	Proposed Retaining Wall
---	Proposed Easement	---	Proposed Pool
---	Proposed Fence	---	Proposed Hot Tub
---	Proposed Planter	---	Proposed Sun Ledge
---	Proposed Terrace	---	Proposed Screened Patio
---	Proposed Pool Deck	---	Proposed Lower Patio
---	Proposed Pool	---	Proposed Upper Patio
---	Proposed Hot Tub	---	Proposed Sports Court
---	Proposed Golf Green	---	Proposed Garden
---	Proposed Lawn	---	Proposed Walkway
---	Proposed Step	---	Proposed Eave Projection
---	Proposed Retaining Wall	---	Proposed Foundation
---	Proposed Foundation	---	Proposed Footing
---	Proposed Footing	---	Proposed Wall
---	Proposed Wall	---	Proposed Column
---	Proposed Column	---	Proposed Beam
---	Proposed Beam	---	Proposed Slab
---	Proposed Slab	---	Proposed Stair
---	Proposed Stair	---	Proposed Railing
---	Proposed Railing	---	Proposed Handrail
---	Proposed Handrail	---	Proposed Balustrade
---	Proposed Balustrade	---	Proposed Glass
---	Proposed Glass	---	Proposed Door
---	Proposed Door	---	Proposed Window
---	Proposed Window	---	Proposed Skylight
---	Proposed Skylight	---	Proposed Vent
---	Proposed Vent	---	Proposed Cap
---	Proposed Cap	---	Proposed Flashing
---	Proposed Flashing	---	Proposed Sealant
---	Proposed Sealant	---	Proposed Insulation
---	Proposed Insulation	---	Proposed Vapor Barrier
---	Proposed Vapor Barrier	---	Proposed Membrane
---	Proposed Membrane	---	Proposed Drainage
---	Proposed Drainage	---	Proposed Sump
---	Proposed Sump	---	Proposed Pump
---	Proposed Pump	---	Proposed Control
---	Proposed Control	---	Proposed Valve
---	Proposed Valve	---	Proposed Fitting
---	Proposed Fitting	---	Proposed Pipe
---	Proposed Pipe	---	Proposed Conduit
---	Proposed Conduit	---	Proposed Cable
---	Proposed Cable	---	Proposed Wire
---	Proposed Wire	---	Proposed Switch
---	Proposed Switch	---	Proposed Outlet
---	Proposed Outlet	---	Proposed Receptacle
---	Proposed Receptacle	---	Proposed Breaker
---	Proposed Breaker	---	Proposed Panel
---	Proposed Panel	---	Proposed Cabinet
---	Proposed Cabinet	---	Proposed Island
---	Proposed Island	---	Proposed Counter
---	Proposed Counter	---	Proposed Sink
---	Proposed Sink	---	Proposed Stove
---	Proposed Stove	---	Proposed Dishwasher
---	Proposed Dishwasher	---	Proposed Refrigerator
---	Proposed Refrigerator	---	Proposed Freezer
---	Proposed Freezer	---	Proposed Microwave
---	Proposed Microwave	---	Proposed Range Hood
---	Proposed Range Hood	---	Proposed Exhaust Fan
---	Proposed Exhaust Fan	---	Proposed Light Fixture
---	Proposed Light Fixture	---	Proposed Ceiling Fan
---	Proposed Ceiling Fan	---	Proposed Fan
---	Proposed Fan	---	Proposed Heater
---	Proposed Heater	---	Proposed Air Conditioner
---	Proposed Air Conditioner	---	Proposed Dehumidifier
---	Proposed Dehumidifier	---	Proposed Humidifier
---	Proposed Humidifier	---	Proposed Water Heater
---	Proposed Water Heater	---	Proposed Tankless Water Heater
---	Proposed Tankless Water Heater	---	Proposed Sump Pump
---	Proposed Sump Pump	---	Proposed Pool Pump
---	Proposed Pool Pump	---	Proposed Hot Tub Pump
---	Proposed Hot Tub Pump	---	Proposed Spa Pump
---	Proposed Spa Pump	---	Proposed Fountain Pump
---	Proposed Fountain Pump	---	Proposed Irrigation Pump
---	Proposed Irrigation Pump	---	Proposed Backflow Preventer
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SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	X			Application under review
Building Standards (Zoning)	X	X		General Comments

Date: January 13th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A337-22**

Related Files:

Applicant 2826765 Ontario Ltd.

Location 9 Bucks Place

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

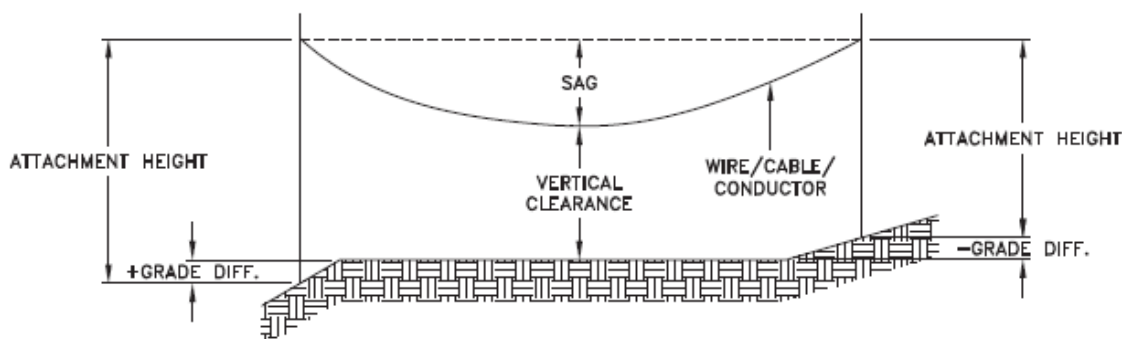
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

E-mail: stephen.cranley@alecrautilities.com

Email: Mitchell.Penner@alecrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO VEHICLES	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO PEDESTRIANS AND BICYCLES ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT RAILWAY CROSSINGS	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

REFERENCES

SAGS AND TENSIONS | SECTION 02

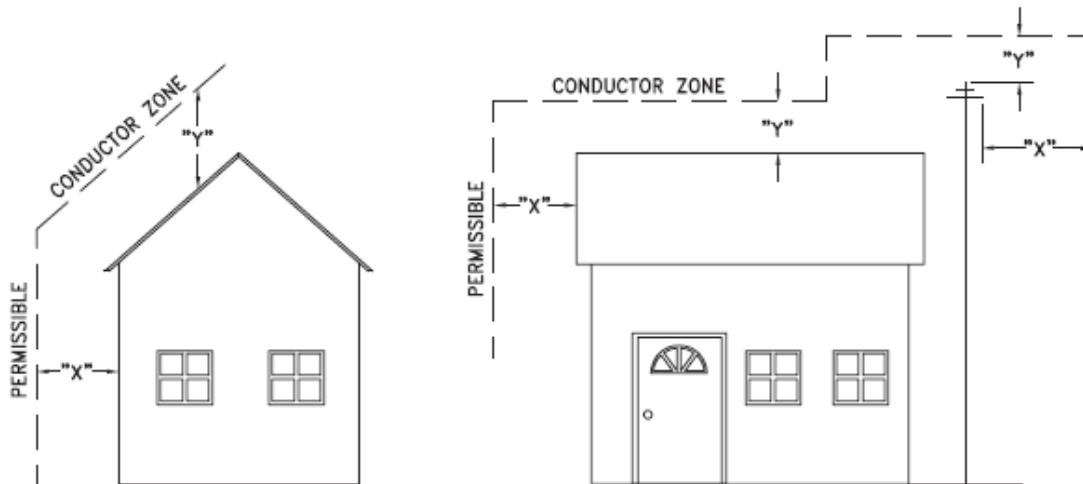
Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng. 2012-JAN-09
 Name Date
 P.Eng. Approval By: Joe Crozier

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

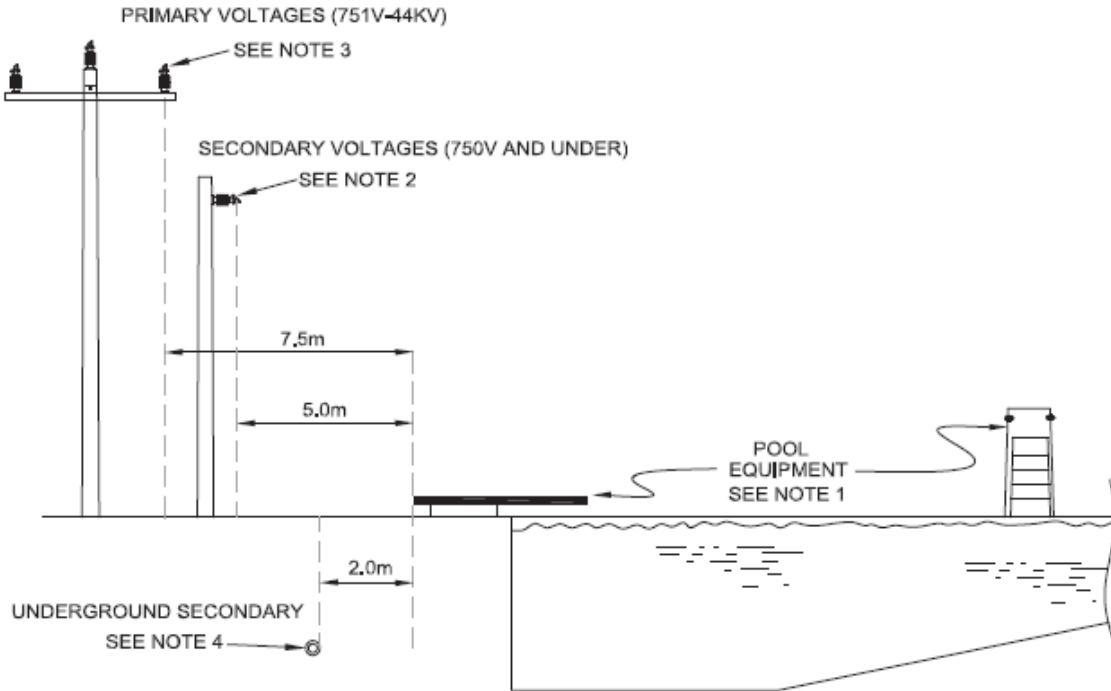
1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 23-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 9:22:02 AM, Adobe PDF



NOTES:

1. ANY STRUCTURE WITHIN 5.0 METRES OF POOL EDGE SHALL BE CONSIDERED PART OF THE POOL.
2. THERE SHALL NOT BE ANY OVERHEAD SECONDARY OR COMMUNICATION WIRING (750V OR LESS) ABOVE THE POOL, AND ABOVE OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, INCLUDING BUT NOT RESTRICTED TO A DIVING STRUCTURE, SLIDE, SWINGS, OBSERVATION STAND, TOWER OR PLATFORM, OR ABOVE THE ADJACENT AREA EXTENDING 5.0M HORIZONTALLY FROM THE POOL EDGE.
3. THERE SHALL NOT BE ANY OVERHEAD PRIMARY WIRING (751V - 44KV) ABOVE THE POOL AND OTHER ELEVATED SURFACES ASSOCIATED WITH THE POOL, OR ABOVE THE ADJACENT AREA EXTENDING 7.5M HORIZONTALLY FROM THE POOL EDGE.
4. ANY UNDERGROUND CONDUCTORS SHALL BE 2.0M AWAY FROM POOL EDGE IN DUCT WITH NON-CONDUCTING JACKET. FOR DEPTH AND DUCT DETAILS REFER TO FIGURE 3 IN 25-100 FOR 200A SERVICE AND 25-101 FOR 400A SERVICE RESPECTIVELY, AS PER POWERSTREAM SERVICE DESIGN SPECIFICATIONS.
5. THESE DIMENSIONS APPLY TO ALL SIDES OF THE POOL.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX.)
7.5m	24'-6"
5.0m	16'-3"
2.0m	6'-6"

REFERENCES

FIGURE 3, 25-100	SECTION 25
FIGURE 3, 25-101	SECTION 25

Certificate of Approval

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng.	2013-JUN-12
Name	Date
P.Eng. Approval By:	Joe Crozier

MINIMUM CLEARANCES FOR CONDUCTORS ADJACENT TO SWIMMING POOLS

ORIGINAL ISSUE DATE: 2013-JUNE-12 REVISION NO: R0 REVISION DATE:

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: March 8, 2023
Applicant: 2826765 Ontario Ltd.
Location: 9 Bucks Place
 PLAN M1800 Lot 9
File No.(s): A337/22

Zoning Classification:

The subject lands are zoned RE(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.82 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard setback (east) of 7.7m is required. [Section 4.5, 7.2.2]	To permit a minimum interior side yard setback (east) of 4.8m
2	A minimum interior side yard setback (west) of 6.24m is required. [Section 4.5, 7.2.2]	To permit a minimum interior side yard setback (west) of 4.6m
3	A minimum front yard setback of 15.0 metres is required. [Section 4.5, 7.2.2]	To permit a minimum front yard setback of 13.9 metres.
4	A maximum building height of 9.5 metres is permitted. [Section 4.5, 7.2.2]	To permit a maximum building height of 10.9 metres.
5	A circular driveway shall not provide access to more than one road. [Section 6.7.4]	To permit a circular driveway to access more than one road.
6	A swimming pool shall only be located in the rear yard of a lot. [Section 4.21]	To permit a swimming pool to be located not in the rear yard.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

Zoning By-law 1-88	
1	Zoning By-law 001-2021 as amended is in force however sections of the By-law have been appealed. By-law 1-88 is also applicable for all appealed sections.
General Comments	
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

February 3, 2023

CFN 68446.02

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A337.22
Plan M1800 Lot 9
9 Bucks Place
City of Vaughan, Region of York
Owner: 2826765 Ontario Limited
Agent: Michael Grisch**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on January 12, 2023. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variance under By-Law 001-2021:

By-Law 001-2021:

- To permit a minimum interior side yard setback (east) of 4.6 m, whereas a minimum interior side yard setback (east) of 7.7 m is required;
- To permit a minimum interior side yard setback (west) of 4.4 m, whereas a minimum interior side yard setback (west) of 6.24 m is required;
- To permit a maximum building height of 11.8 m, whereas a maximum building height of 9.5 m is permitted;
- To permit a circular driveway to access more than one road, whereas a circular driveway shall not provide access to more than one road;
- To permit a swimming pool to be located not in the rear yard, whereas a swimming pool shall only be located in the rear yard of a lot.

The noted variances are being requested to facilitate the construction of a replacement dwelling, garages (underground and aboveground), pool, patio, sports court and associated landscaping.

Ontario Regulation 166/06

The subject lands are partially located within TRCA's Regulated Area due to a valley corridor associated with a tributary of the Humber River. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Based on a review of the submitted materials, the proposed sports court is located within TRCA's Regulated Area. As such, a permit pursuant to Ontario Regulation 166/06 will be required to authorize the works. Details related to TRCA's permit application have been provided in Appendix 'A' of this letter for the proponent's reference.

Application-Specific Comments

As noted above, the subject property is regulated by TRCA due to the presence of a valley corridor. Based on a review of TRCA's digital elevation mapping, the physical top of bank of the valley corridor encroaches approximately 3-7 metres into the rear of the subject property, generally corresponding with the 190 metres above sea level (masl) contour line.

TRCA policies require a 10 metre setback from the furthest limit of a valley corridor for all habitable structures (i.e., residential dwelling) and a 6 metres setback for all non-habitable accessory structures (i.e., pools, sheds, decks) and minor landscaping.

Based on a review of the materials submitted with this minor variance application, TRCA staff are satisfied that the proposed works are appropriately set back from the valley corridor. As such, TRCA staff have no objections to the requested variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Minor Variance – Residential - Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A337.22 subject to the following conditions:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
2. That the applicant obtains a permit for the proposed works within the Regulated Area pursuant to Ontario Regulation 166/06.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,

Kristen Regier

Kristen Regier
Planner I
Development Planning and Permits

KR/sb

Appendix 'A' Permit Requirement Details

To initiate TRCA's permit review process, the following materials must be provided to TRCA:

1. Complete Application for Development, Interference with Wetlands & Alterations to Shorelines & Watercourses (Residential/Development Projects) (Pursuant to Ontario Regulation 166/06). The application can be downloaded from the following website: <https://trcaca.s3.ca-central-1.amazonaws.com/app/uploads/2021/10/08115745/4048-Permit-Application-for-DPP-Sept2021-fillable.pdf>
2. A digital copy of the following finalized plans/drawings are required.
 - a. Site plan – showing dimensions (size) and location (distance to property lines) of all proposed works within TRCA's Regulated Area.
 - b. Grading plan – identifying existing and proposed grades. If no grade changes are proposed, please include a note on the plans confirming existing grades are to be maintained.
 - c. Erosion and sediment control plan - Please add relevant TRCA erosion and sediment control notes 1, 2, and 4 for the following link to the site plan: https://trca.ca/app/uploads/2016/02/Guidelines_for_Standard_Notes_on_Infrastructure_Project_OR_166_06_Submissions.pdf . We would also be looking to ensure that a note confirming that a non-woven geotextile filter fabric, TERRAFIX 270R or equivalent silt fence would be installed during construction.
 - d. Landscape restoration plans – If any plantings are proposed please ensure that they are native, non-invasive species. For native species within TRCA jurisdiction, please see species ranked L1 to L5 on the following table:
3. The legal survey of the subject property
4. Permit Review fee of \$240.00 (Minor Ancillary – Private Residential) . An online payment link will be provided upon receiving the complete application.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				