

<b>ITEM: 6.31</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A335/22 35 Riverside Blvd Thornhill</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

<b>File Number</b>	<b>Date of Decision</b> MM/DD/YYYY	<b>Decision Outcome</b>
A275/14	11/06/2014	Approved
A048/13	03/21/2013	Approved

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A335/22  
35 Riverside Blvd Thornhill**

<b>ITEM NUMBER: 6.31</b>	<b>CITY WARD #: 5</b>
<b>APPLICANT:</b>	Mohammad Ali Sharifian
<b>AGENT:</b>	Mani Yeganegi
<b>PROPERTY:</b>	35 Riverside Blvd Thornhill
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed single-family dwelling.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	The minimum front yard setback required is 39.42 metres. [Table 7-3, Note 1]	To permit a minimum front yard setback of 14.31 metres.
2	The maximum building height permitted is 8.5 metres. [Section 4.5, 1. B.]	To permit a maximum building height of 10.99 metres.
3	The maximum lot coverage permitted is 20%. [Table 7-3]	To permit a maximum lot coverage of 24.63%.

**The subject lands are zoned R1V – Old Village Residential Zone and subject to the provisions of Exception 9(662) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
4	The maximum building height permitted is 9.5 metres. [Schedule 'A']	To permit a maximum building height of 10.99 metres.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday , March 2, 2023  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)  
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

## INTRODUCTION

That the general intent and purpose of the by-law will be maintained.  
 That the general intent and purpose of the official plan will be maintained.  
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	February 17, 2023	
<b>Date Applicant Confirmed Posting of Sign:</b>	February 7, 2023	
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Permitted coverage is 20% we proposed 24.63% (22.7% main dwelling and attached garage+0.65% Porch+1.28% rear covered patio) Permitted Height is 9.5 m we proposed 10.99m.	
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None.	
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
<b>Committee of Adjustment Comments:</b>	General comments	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None	

## BUILDING STANDARDS (ZONING) COMMENTS

\*\*See Schedule B for Building Standards (Zoning) Comments

<b>Building Standards Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

As the proposed residence in the subject property is 805.40 m<sup>2</sup>, the Owner / Applicant needs to obtain a Lot Grading Permit from Development Inspection and Lot Grading Division of the City's Development Engineering Department. Please note any in-ground structure over 10 m<sup>2</sup> requires a Grading Permit. Please contact the Development Engineering Reviewer after receiving the Grading Permit to clear the condition. (Condition attached)

The Owner / Applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca).

## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

The proposed work by the Owner/ Applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Development Engineering strongly encourages the Owner / Applicant introduce Low-Impact Development (LID) measures (e.g., bioswales, permeable pavers, rain gardens, rain barrels etc.) to reduce the impacts to the stormwater system. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A335/22, subject to the following condition(s):

**Development Engineering Recommended Conditions of Approval:**

The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City's Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca).

## PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Comments with condition

**PFH Recommended Conditions of Approval:**

Applicant/owner shall obtain a "Private Property Tree Removal & Protection" permit through the forestry division prior to any construction works on the subject property.

## DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

**Development Finance Recommended Conditions of Approval:**

None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date

**BCLPS Recommended Conditions of Approval:**

None

## BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

**Building Inspection Recommended Conditions of Approval:**

None

## FIRE DEPARTMENT COMMENTS

No comments received to date

**Fire Department Recommended Conditions of Approval:**

None

## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

### SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:rex.bondad@vaughan.ca">rex.bondad@vaughan.ca</a>	The Owner / Applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City’s Development Engineering Department for final Lot Grading and/or Servicing Permit prior to any work being undertaken on the property. Please visit the Grading Permit page at City of Vaughan website to learn how to apply for the Grading Permit. If you have any questions about Grading Permit, please contact the Development Engineering Department by email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> .
2	Parks, Forestry and Horticulture Operations <a href="mailto:Andrew.swedlo@vaughan.ca">Andrew.swedlo@vaughan.ca</a>	Applicant/owner shall obtain a “Private Property Tree Removal & Protection” permit through the forestry division prior to any construction works on the subject property.

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

### IMPORTANT INFORMATION – PLEASE READ

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**

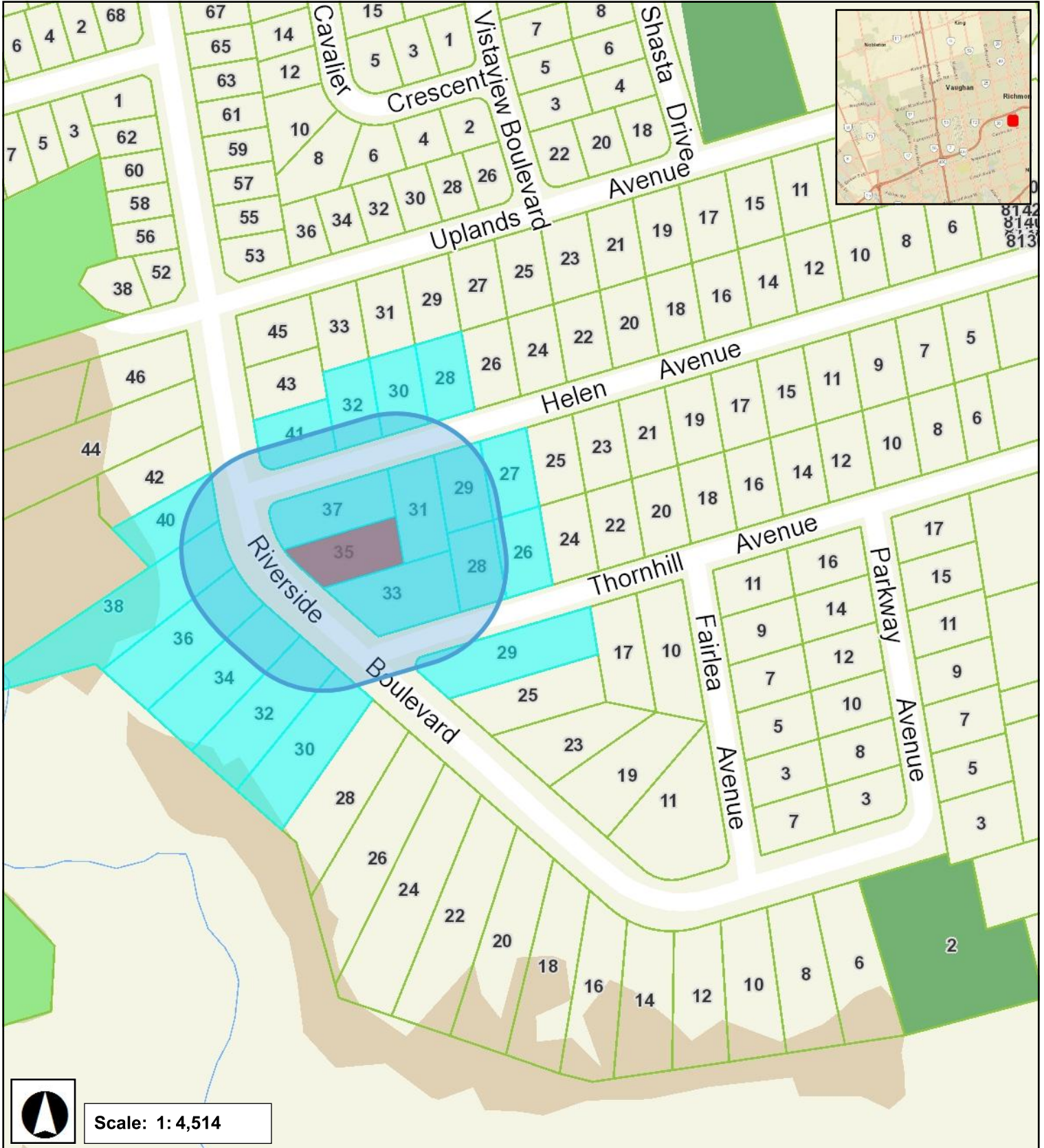


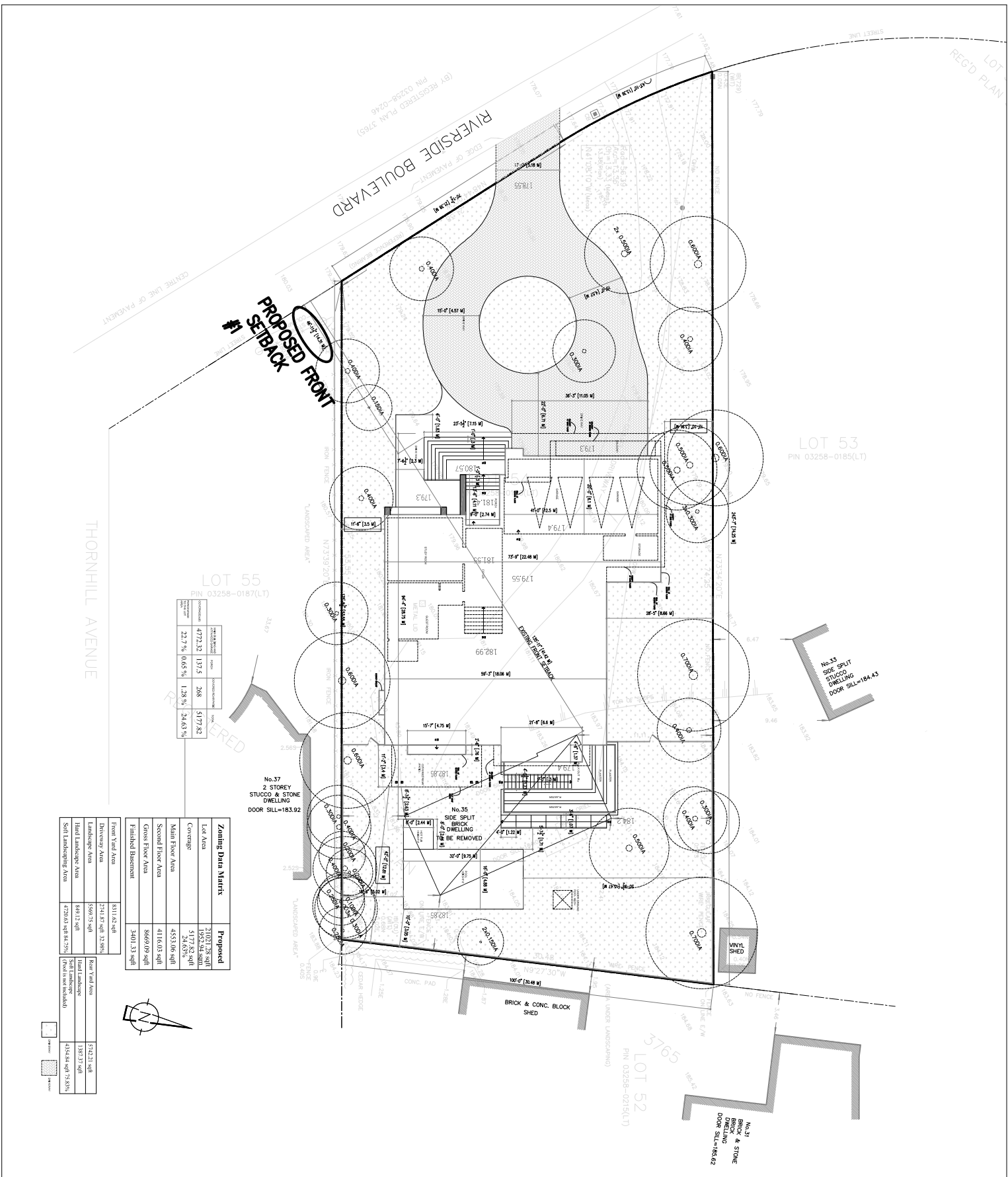


# LOCATION MAP - A335/22

35 RIVERSIDE BLVD, THORNHILL

**Highway 7**





**LOT 55**  
PIN 03258-0187(LT)

Item	Area (sq ft)	Value	Rate	Total Value
Frontage	4722.32	137.5	2.88	\$177.82
Depth	22.7%	0.65%	1.28%	24.63%

**Zoning Data Matrix**

Item	Proposed
Lot Area	31021.38 sqft
Coverage	1392.84 sqft
Main Floor Area	5177.83 sqft
Second Floor Area	24.69%
Gross Floor Area	4553.06 sqft
Finished Basement	4116.03 sqft
Front Yard Area	8669.09 sqft
Driveway Area	3401.33 sqft
Landscape Area	1811.65 sqft
Hard Landscape Area	2214.85 sqft
Soft Landscaping Area	5896.75 sqft

Item	Proposed
Front Yard Area	1811.65 sqft
Hard Landscape Area	2214.85 sqft
Soft Landscaping Area	5896.75 sqft



**ONTARIO ASSOCIATION OF ARCHITECTS**  
 REG. 1920/22  
 MANI YEMANEHI  
 ARCHITECTS  
 LICENCE 9488

**DRAWING TITLE:** SITE PLAN & SITE STATISTICS  
**SCALE:** 1/16" = 1"  
**PAPER SIZE:** 18x24

**ARCHITECTURAL DESIGN**  
 48 BROADVIEW AVE. #200  
 TORONTO, ONT. M5E 1B8  
 TEL: (416) 924-5222

**PROJECT:** 35 RIVERSIDE BOULEVARD

**A0**

**Hirman Architects**  
 ISSUED FOR  
 COA  
 2023-12-19  
 REVISIONS  
 2023-01-10

**GENERAL NOTES:**  
 THIS DRAWING IS THE PROPERTY OF HIRMAN ARCHITECTS AND SHALL BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED THEREIN. IT IS TO BE USED IN CONJUNCTION WITH THE CONTRACT DOCUMENTS AND NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF HIRMAN ARCHITECTS.  
 ALL DIMENSIONS ARE IN METERS AND DIMENSIONS OTHERWISE SHOWN ARE IN METERS.  
 REPORT INCURRING THEREON AND OBTAINING TO THE CONSULTANT FROM THE CONSULTANT'S OFFICE AND NOT FROM THE CONTRACT DOCUMENTS.  
 ALL WORK SHALL BE CHECKED BY HIRMAN ARCHITECTS WITHIN THE SCOPE OF THE CONTRACT.  
 ALL DIMENSIONS AND REPORTS SHALL BE CHECKED AND VERIFIED ON THE JOB AND MANAGED BY HIRMAN ARCHITECTS. THE WRITTEN CONSENT OF HIRMAN ARCHITECTS IS REQUIRED FOR ANY CHANGES TO THE DESIGN.  
 ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY A REGISTERED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.  
 THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND THE SET OUT IN THIS DRAWING TO BE A REGISTERED QUALIFICATION INSPECTION (C-2.2.5.1) OF THE 2012 O.B.C. (OR 2.17.3.1. OF THE 1997 O.B.C.)

**GENERAL NOTES:**

THIS DRAWING IS REPRODUCED AND MUST NOT BE USED, REPRODUCED, COPIED, REPRINTED, OR OTHERWISE REPRODUCED WITHOUT WRITTEN PERMISSION FROM HIRMAN ARCHITECTS. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. SCALE 1/8"=1'-0".

REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CORRECTION BEFORE COMMENCEMENT OF THE WORK. HIRMAN ARCHITECTS SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. HIRMAN ARCHITECTS SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. HIRMAN ARCHITECTS SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE (OBC) AND ALL APPLICABLE REGULATIONS. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE (OBC) AND ALL APPLICABLE REGULATIONS.

ALL DIMENSIONS AND REQUIREMENTS SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIATIONS OR DISCREPANCIES SHALL BE WRITTEN COMBINATIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL DIMENSIONS AND REQUIREMENTS SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIATIONS OR DISCREPANCIES SHALL BE WRITTEN COMBINATIONS PRIOR TO COMMENCEMENT OF THE WORK.

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THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING.



DRAWING TITLE:

ROOF PLAN

SCALE: 1/8"=1'-0"

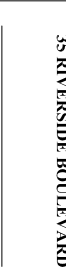
PAPER SIZE: 18x24



ARCHITECTURAL DESIGN

MANI YEMANEHI  
ARCHITECTS  
440 COLLEGE AVENUE, SUITE 200  
TORONTO, ONTARIO M5G 1B8  
TEL: 416-977-9222

PROJECT:  
**35 RIVERSIDE BOULEVARD**



**GENERAL NOTES:**

THE DRAWING IS PREPARED AND MUST NOT BE USED, REPRODUCED, COPIED, EITHER WHOLLY OR PARTIALLY, OR IN ANY MANNER WITHOUT WRITTEN PERMISSION FROM THE CONSULTANT. ALL DIMENSIONS ARE IN METERS AND INCHES UNLESS OTHERWISE NOTED. SCALE: THIS DRAWING DOES NOT SCALE. THIS DRAWING REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CORRECTION BEFORE COMMENCING WITH THE WORK. DESIGN FROM THE CONSULTANT'S DRAWINGS AND SPECIFICATIONS SHALL BE THE BASIS FOR THE CONTRACTOR'S OBLIGATION AT THE CONTRACTOR'S EXPENSE.

ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE AND ALL APPLICABLE REGULATIONS.

ALL DIMENSIONS AND REQUIREMENTS SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIATIONS OR DISCREPANCIES MUST BE WRITTEN CORRECTIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY A REGISTERED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN AND HAS THE OBLIGATION TO BE A REGISTERED QUALIFYING PROFESSIONAL ENGINEER UNDER THE PROFESSIONAL ENGINEERING ACT, R.S.O. 1997, C.22.5.1, OF THE 2012 O.B.C. (OR 2.17.3.1, OF THE 1997 O.B.C.)



DRAWING TITLE:  
FRONT (WEST) ELEVATION

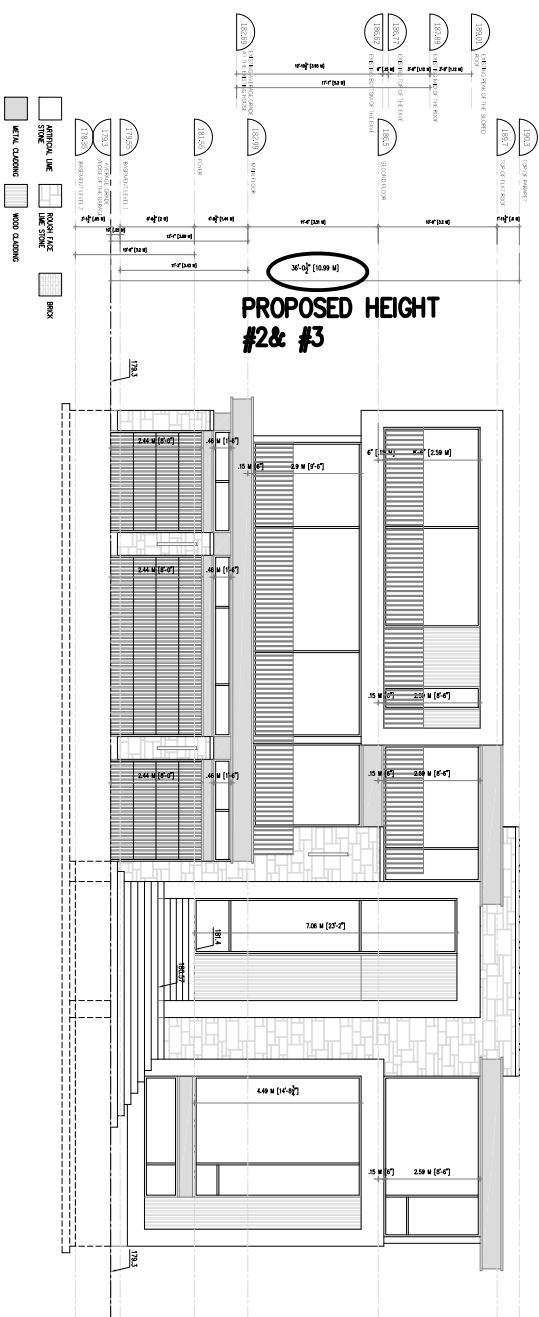
SCALE: 1/8"=1'

PAPER SIZE: 18x24

ARCHITECTURAL DESIGN  
MANI YEANDEGI  
48 MCCOWAN AVENUE  
SUITE 100  
TORONTO, ONT. M6J 1S8  
TEL: 979-9152/222

PROJECT:  
35 RIVERSIDE BOULEVARD

A5





**GENERAL NOTES:**

THE DRAWING IS PREPARED AND MUST NOT BE USED, REPRODUCED, COPIED OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT WRITTEN PERMISSION FROM HIRMAN ARCHITECTS. ALL DIMENSIONS ARE IN METERS AND DIMENSIONS UNLESS OTHERWISE NOTED SHALL BE IN METERS. REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT IMMEDIATELY. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION COSTS, MATERIALS, OR LABOR. THE CONSULTANT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS DRAWING. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE AND ALL APPLICABLE REGULATIONS.

ALL DIMENSIONS AND REQUIREMENTS SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIATIONS OR DEVIATIONS MUST BE WRITTEN COMMENTARY PRIOR TO COMMENCEMENT OF THE WORK. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY A REGISTERED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND SHALL BE HELD RESPONSIBLE FOR THE DESIGN QUALITY AND ACCORDANCE WITH THE O.B.C. TO BE A REGISTERED QUALIFICATION INSPECTION C-2.2.5.1, OF THE 2012 O.B.C. (OR 2.17.3.1, OF THE 1997 O.B.C.)



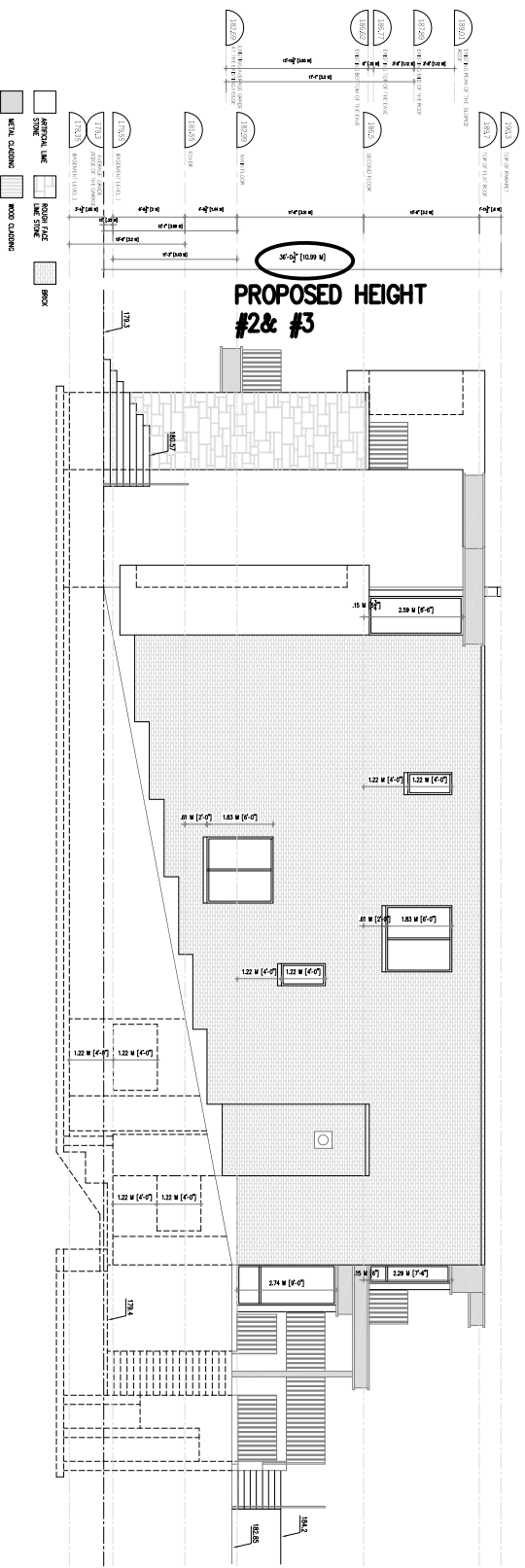
DRAWING TITLE:  
SIDER(SOUTH) ELEVATION

SCALE:  
1/8" = 1"

PAPER SIZE: 18x24

ARCHITECTURAL DESIGN  
HIRMAN ARCHITECTS  
4400 CANTON STREET, SUITE 100  
SCARBOROUGH, ONTARIO, CANADA M1S 1T8  
TEL: (416) 291-5522

PROJECT:  
35 RIVERSIDE BOULEVARD



**GENERAL NOTES:**

THIS DRAWING IS PREPARED AND MUST NOT BE USED, REPRODUCED, COPIED, EITHER WHOLLY OR PARTIALLY, OR IN ANY MANNER, WITHOUT WRITTEN PERMISSION FROM HIRMAN ARCHITECTS. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT IMMEDIATELY UPON DISCOVERY. CONSULTANT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS DRAWING. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE AND ALL APPLICABLE REGULATIONS. ALL DIMENSIONS AND REQUIREMENTS SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIATIONS OR DEVIATIONS MUST BE WRITTEN COMBINATIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY A REGISTERED PROFESSIONAL ENGINEER. CONSULTANT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS DRAWING. ALL DIMENSIONS AND REQUIREMENTS SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIATIONS OR DEVIATIONS MUST BE WRITTEN COMBINATIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY A REGISTERED PROFESSIONAL ENGINEER. CONSULTANT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS DRAWING. ALL DIMENSIONS AND REQUIREMENTS SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIATIONS OR DEVIATIONS MUST BE WRITTEN COMBINATIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY A REGISTERED PROFESSIONAL ENGINEER. CONSULTANT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS DRAWING.



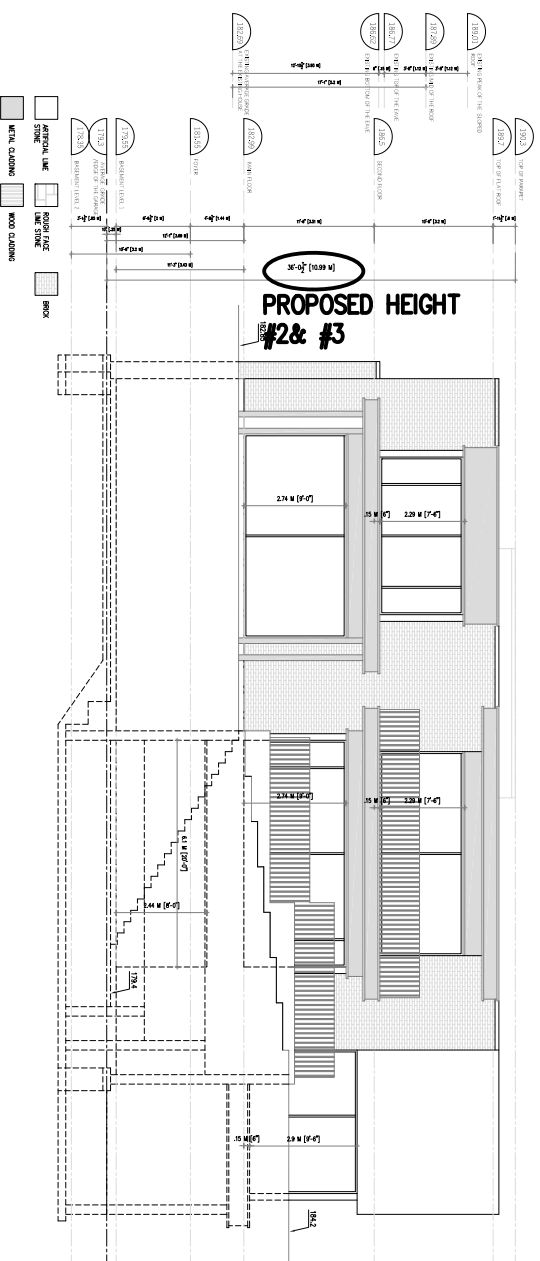
DRAWING TITLE:  
REAR/EAST ELEVATION  
SCALE: 1/8" = 1"

PAPER SIZE: 18x24



ARCHITECTURAL DESIGN  
HIRMAN ARCHITECTS  
4400 CULLEN DRIVE, SUITE 100  
SCARBOROUGH, ONTARIO, CANADA M1V 4Y8  
TEL: (416) 291-5202

PROJECT:  
35 RIVERSIDE BOULEVARD



**GENERAL NOTES:**

THIS DRAWING IS PREPARED AND MUST NOT BE USED, REPRODUCED, COPIED, EITHER WHOLLY OR PARTIALLY, OR IN ANY MANNER WITHOUT WRITTEN PERMISSION FROM HIRMAN ARCHITECTS. ALL DIMENSIONS ARE IN METERS AND INCHES UNLESS OTHERWISE NOTED. SCALE: THIS DRAWING: DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT IMMEDIATELY. THE CONSULTANT DOES NOT WARRANT THAT THE DRAWING IS FREE FROM ERRORS OR OMISSIONS. THE CONSULTANT'S LIABILITY IS LIMITED TO THE CONTRACTOR'S EXPENSE. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE AND ALL APPLICABLE REGULATIONS. ALL DIMENSIONS AND REQUIREMENTS SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE WRITTEN COMMUNICATION PRIOR TO COMMENCEMENT OF THE WORK. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY A REGISTERED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION. THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND SHALL BE HELD RESPONSIBLE FOR THE DESIGN QUALITY AND ACCORDANCE WITH THE O.B.C. TO BE A REGISTERED QUALIFIED ARCHITECT UNDER THE O.B.C. (S. 2.2.5.1 OF THE 2012 O.B.C. (OR 2.17.3.1 OF THE 1997 O.B.C.)

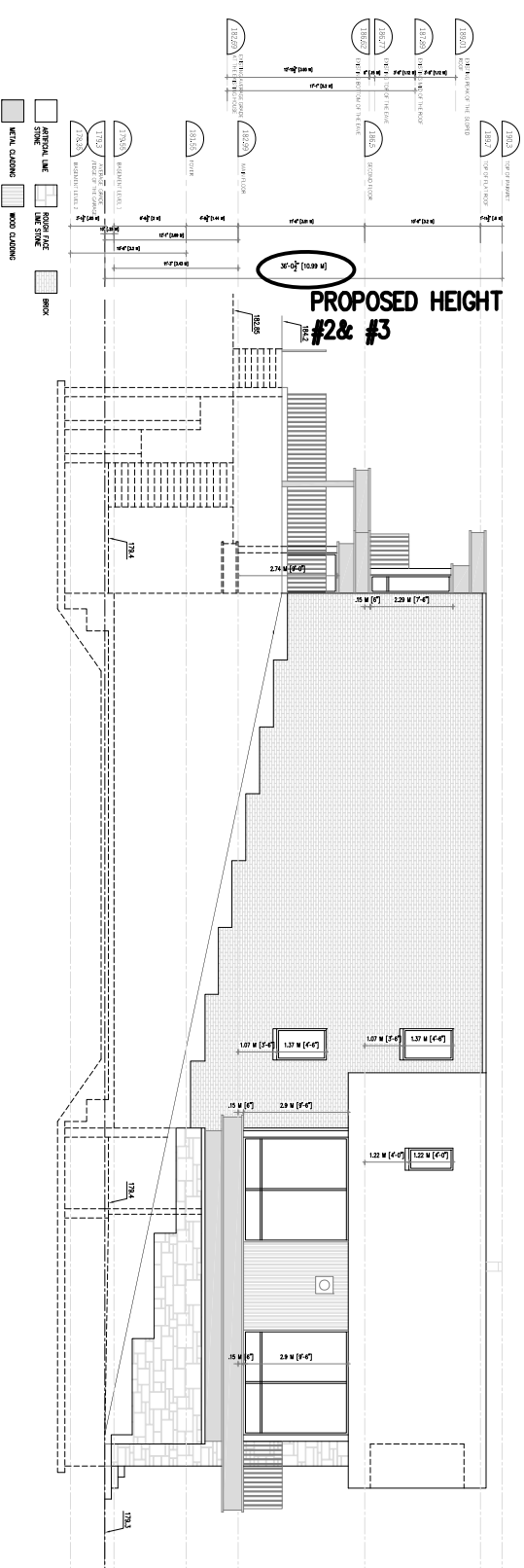


DRAWING TITLE:  
SIDENORTH ELEVATION  
SCALE: 1/8" = 1'

PAPER SIZE: 18x24

ARCHITECTURAL DESIGN  
ARCHITECTS  
48 BUCKINGHAM STREET, SUITE 100  
TORONTO, ONTARIO, CANADA M5G 1K8  
TEL: (416) 593-9222

PROJECT:  
35 RIVERSIDE BOULEVARD



<b>SCHEDULE B: STAFF &amp; AGENCY COMMENTS</b>				
<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	X	X		Recommend Approval/No Conditions
Building Standards (Zoning)	X	X		General Comments



**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** February 22, 2023  
**Name of Owner:** Mohammad Ali Sharifian  
**Location:** 35 Riverside Boulevard  
**File No.(s):** A335/22

---

**Proposed Variance(s) (By-law 001-2021):**

1. To permit a minimum front yard setback of 14.31 m.
2. To permit a maximum building height of 10.99 m.
3. To permit a maximum lot coverage of 24.63%.

**By-Law Requirement(s) (By-law 001-2021):**

1. The minimum required front yard setback required is 39.42 m. [Table 7-3, Note 1]
2. The maximum building height permitted is 8.5 m. [Section 4.5, 1. B.]
3. The maximum lot coverage permitted is 20%. [Table 7-3]

**Proposed Variance(s) (By-law 1-88):**

4. To permit a maximum building height of 10.99 m.

**By-law Requirement(s) (By-law 1-88):**

4. The maximum building height permitted is 9.5 m. [Schedule 'A']

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is requesting permission to demolish the existing single detached dwelling and construct a two-storey single-detached dwelling with the above noted variances. The dwelling is proposed to have a reverse walk-out basement design with the garage door portion of the front wall providing full height basement access, and the front door portion of the front wall providing a raised basement design due to the rooms surrounding the front door being sunken. This design is proposed as the topography of the site slopes downwards from east to west, and southeast to northwest.

The existing dwelling is located to the extreme rear of the property. The Development Planning Department has no objection to Variance #1, as the front lot line runs on a diagonal. The dwelling is at an angle to the front lot line, and as a result the proposed front yard setback of 14.31 m is measured at the southwest corner of the dwelling where the front stairs are proposed. Given the distance between the dwelling and front lot line increases the further north the front lot line travels, there are no perceived massing impacts to the public right-of-way. Bringing the dwelling forward on the lot allows the dwelling to better address the street while maintaining a sufficiently deep front yard depth to provide for the establishment of the more robust vegetation and landscaping typical of this VOP 2010-identified Large-Lot Neighbourhood. Moving the dwelling towards the road also provides for a more functional rear yard amenity area.

In support of the application, the Owner submitted an Arborist Report and Tree Protection and Removal Plan, prepared by P & A Urban Forestry Consulting Ltd., dated December 21, 2022. Urban Design staff reviewed the report and are satisfied with the mitigation methods proposed for the existing trees. The Owner is advised that all private trees being removed or injured require a Tree Permit through the Parks, Forestry and Horticulture Operations Department.

The Development Planning Department can support Variances #2 and #4, as the proposed maximum building height is compatible with other recently constructed two-storey dwellings in the area. Any perceived scale and massing concerns associated with the increase in height is lessened by the central placement of the dwelling on the lot, and the sunken front entry/raised basement design. As outlined in the Arborist Report and Tree Protection and Removal Plan, trees within the front yard are to be preserved, and additional trees planted. The preservation and planting of vegetation

along the front lot line will assist in tying the development into the streetscape. The design and planting mitigation tools will ensure the built form will not visually impact the streetscape and maintain the character of the neighbourhood.

With respect to Variance #3, the Development Planning Department has historically supported variances with a maximum lot coverage of 23% in this area for two-storey dwellings. Exceptions to increase the total lot coverage calculation may be considered where a covered, unenclosed porch and/or patio is proposed. The Development Planning Department has no objection to the proposed maximum lot coverage of 24.63% as the main dwelling represents 22.7% of the total proposed lot coverage and the remaining 1.93% lot coverage is associated with the proposed covered and unenclosed front porch and rear patio, which are considered non-livable areas. The proposed maximum lot coverage of 24.63% is also consistent with previous approvals in the area.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Roberto Simbana, Planner I  
David Harding, Senior Planner

**To:** Committee of Adjustment  
**From:** Christian Tinney, Building Standards Department  
**Date:** January 19, 2023  
**Applicant:** Mohammad Ali Sharifian  
**Location:** 35 Riverside Blvd  
 PLAN RP3765 Lot 54  
**File No.(s):** A335/22

**Zoning Classification:**

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum front yard setback required is 39.42 metres. [Table 7-3, Note 1]	To permit a minimum front yard setback of 14.31 metres.
2	The maximum building height permitted is 8.5 metres. [Section 4.5, 1. B.]	To permit a maximum building height of 10.99 metres.
3	The maximum lot coverage permitted is 20%. [Table 7-3]	To permit a maximum lot coverage of 24.63%.

The subject lands are zoned R1V – Old Village Residential Zone and subject to the provisions of Exception 9(662) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	The maximum building height permitted is 9.5 metres. [Schedule 'A']	To permit a maximum building height of 10.99 metres.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	Air Conditioner and/or Heat Pump Units shall be permitted in the interior side yard with a minimum setback of 0.6 metres and may encroach a maximum of 1.5 metres into the required rear yard or exterior side yard.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**Date:** January 16<sup>th</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A335-22**

**Related Files:**

**Applicant** Mohammad Ali Sharifian

**Location** 35 Riverside Blvd



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
None				

**SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

<b>PREVIOUS COA DECISIONS ON THE SUBJECT LAND</b>		
<small>*Please see <b>Schedule D</b> for a copy of the Decisions listed below</small>		
<b>File Number</b>	<b>Date of Decision MM/DD/YYYY</b>	<b>Decision Outcome</b>
A275/14	11/06/2014	Approved
A048/13	03/21/2013	Approved

# NOTICE OF DECISION

## MINOR VARIANCES

**FILE NUMBER:** A275/14

**APPLICANT:** JFJ DEVELOPMENT INC.

**PROPERTY:** Part of Lot 33, Concession 1 (Lot 54, Registered Plan 3765) municipally known as 35 Riverside Blvd, Thornhill.

**ZONING:** The subject lands are zoned R1V, Old Village Residential, under By-law 1-88 subject to Exception 9(662) as amended.

**PURPOSE:** To permit the construction of a new 3 storey dwelling, as follows:

**PROPOSAL:**

1. Maximum Lot Coverage = 24.96%  
(House 16.69%, Pool 6.06%, Overhang/Balcony = 2.2%)
2. Maximum Building Height = 10.7m
3. Minimum Front Yard Setback = 11.10m

**BY-LAW REQUIREMENT:**

1. Maximum Lot Coverage = 20%
2. Maximum Building Height = 9.5m
3. Minimum Front Yard Setback = Existing minus 10% (43.80 – 10%) = 39.42m

**BACKGROUND INFORMATION:** Other Planning Act Applications  
The land which is the subject in this application was also the subject of another application under the Planning Act:

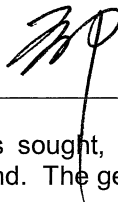
A048/13 - APPROVED March 21, 2013 - building height 10.966m; front yard setback 11.10m  
A091/12 - APPROVED March 29, 2012 - front yard setback 11.19m

Sketches are attached illustrating the request.

**MOVED BY:**



**SECONDED BY:**



THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A275/14, JFJ DEVELOPMENT INC.**, be **APPROVED**, in accordance with the sketches attached

**THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.**

**CARRIED.**



CHAIR: Perrella

Signed by all members present who concur in this decision:

Perrella  
A. Perrella,  
Chair

ZP  
H. Zheng,  
Vice Chair

J. Caserio  
J. Caserio,  
Member

L. Fluxgold  
L. Fluxgold,  
Member

~~M. Mauti~~  
**ABSENT**  
~~M. Mauti,  
Member~~

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.

T. Coles  
Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

**Date of Hearing: NOVEMBER 6, 2014**  
**Last Date of Appeal: NOVEMBER 26, 2014**

**APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

Should you decide to appeal this decision to the Ontario Municipal Board, a copy of an appeal form is available for download in Microsoft Word and Adobe Acrobat versions from the Ontario Municipal Board website at [www.omb.gov.on.ca](http://www.omb.gov.on.ca). If you do not have Internet access, these forms can be picked up at the City of Vaughan, Committee of Adjustment offices.

Please fill out Form A1 and follow the instructions as provided by the Ontario Municipal Board and submit your appeal to the City of Vaughan, Committee of Adjustment on or before the date stated above. You must enclose the completed form with the \$650.00 processing fee, paid by **certified cheque** or **money order**, to the "TREASURER, CITY OF VAUGHAN" and the appeal fee of \$125.00 for each application appealed, paid by **certified cheque** or **money order**, made payable to the "ONTARIO MINISTER OF FINANCE".

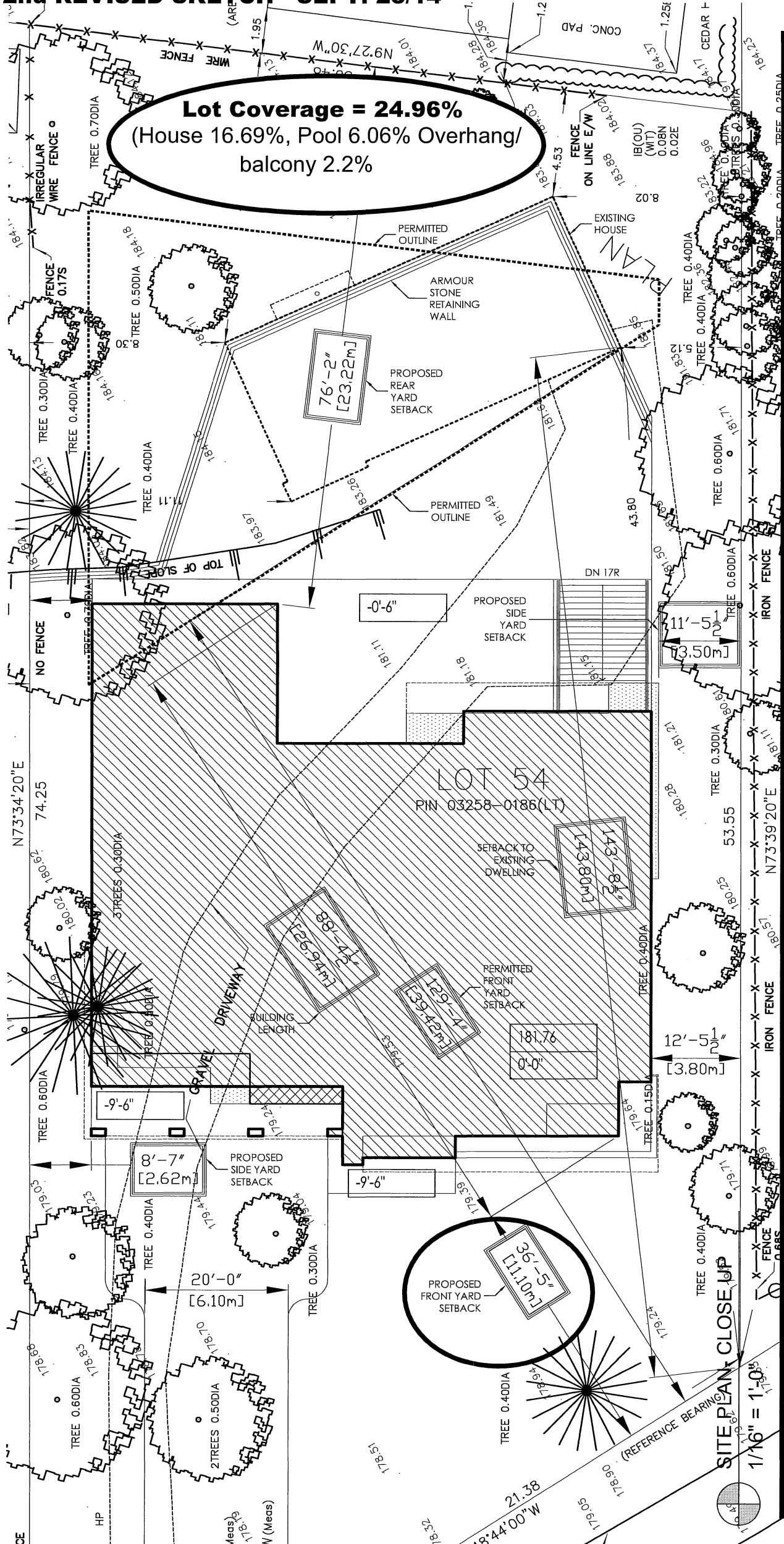
**NOTE:** The Planning Act provides for appeals to be filed by "persons". As groups or associations, such as residents or ratepayers groups which do not have incorporated status, may not be considered "persons" for the purposes of the Act, groups wishing to appeal this decision should do so in the name of individual group members, and not in the name of the group.

**CONDITIONS**

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS: **NOVEMBER 26, 2015**



**Lot Coverage = 24.96%**  
 (House 16.69%, Pool 6.06% Overhang/  
 balcony 2.2%)



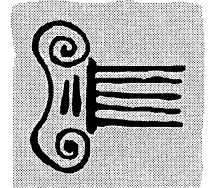
LOT 54  
 PIN Q3258-0186(LT)

35 RIVERSIDE BOULEVARD

VAUGHAN, ONTARIO

SEPTEMBER 23, 2014  
 1351

RICHARD WENGLE  
 ARCHITECT INC.



SITE PLAN CLOSE UP

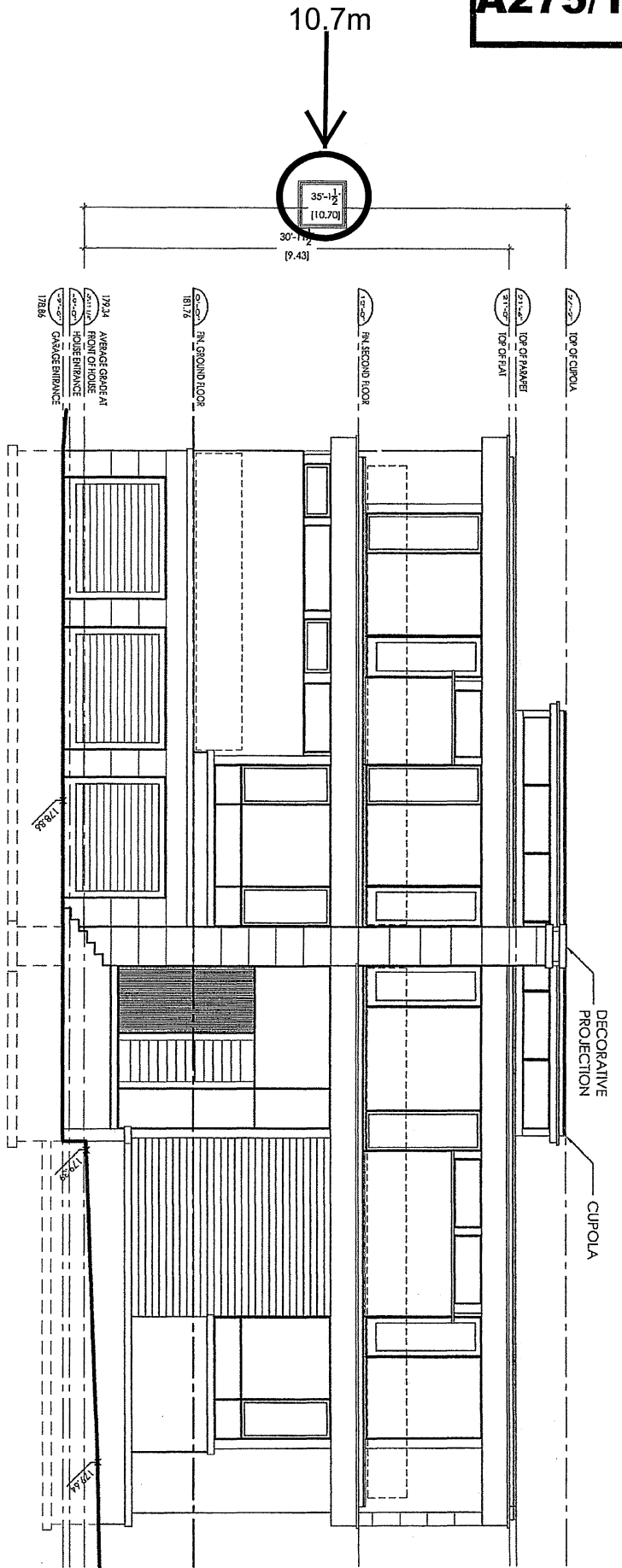
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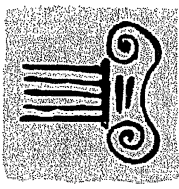
(REFERENCE BEARING)

8°44'00" W

**A275/14**



FRONT ELEVATION  
 3/32" = 1'-0"



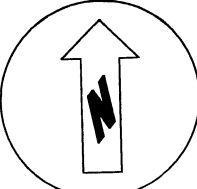

RICHARD WENGLE  
 ARCHITECT INC.

35 RIVERSIDE BOULEVARD  
 VAUGHAN, ONTARIO

OCTOBER 29, 2014  
 1351



COMMITTEE OF ADJUSTMENT  
 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
 Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	<b>A275/14</b>
	APPLICANT:	<b>JFJ DEVELOPMENT INC.</b>
		<b>Subject Area</b> Municipally known as 35 Riverside Blvd, Thornhill

# **NOTICE OF DECISION**

## **MINOR VARIANCES**

**FILE NUMBER:** A048/13

**APPLICANT:** ELIZABETH and GIOVANNI RIZZO

**PROPERTY:** Lot 33, Concession 1 (Lot 54, Registered Plan # 3765, municipally known as 35 Riverside Blvd, Thornhill)

**ZONING:** The subject lands are zoned R1V, Old Village Residential, under By-law 1-88 subject to Exception 9(662) as amended.

**PURPOSE:** To permit the construction of two-storey single family dwelling.

**PROPOSAL:**

1. Maximum building height measured from average finished grade to the top of roof containing a flat portion = 10.966m.
2. Minimum Front Yard Setback (Existing 43.80m minus 74.65%) = 11.10m

**BY-LAW REQUIREMENT:**

1. Maximum building height measured from average finished grade to the top of roof containing any flat portion = 9.5m
2. Minimum Front Yard Setback (Existing 43.80m minus 10%) = 39.42m

**BACKGROUND INFORMATION:** Other Planning Act Applications  
The land which is the subject in this application was also the subject of another application under the Planning Act:

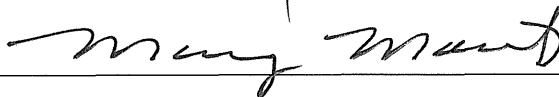
A091/12 – APPROVED – Minimum front yard setback of 11.10m

Sketches are attached illustrating the request.

**MOVED BY:**



**SECONDED BY:**



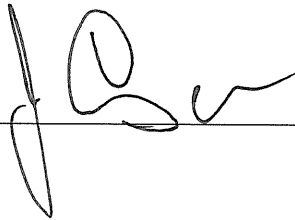
THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A048/13, ELIZABETH and GIOVANNI RIZZO**, be **APPROVED**, in accordance with the sketches attached

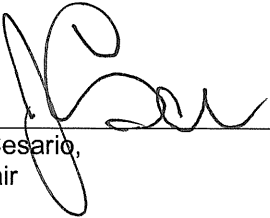
**THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.**

CARRIED.


CHAIR:

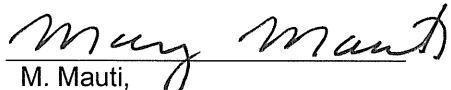


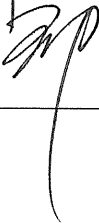
Signed by all members present who concur in this decision:

  
J. Cesario,  
Chair

  
A. Perrella,  
Vice Chair

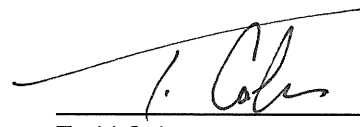
  
L. Fluxgold,  
Member

  
M. Mauti,  
Member

  
H. Zheng,  
Member

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.



Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

**Date of Hearing: MARCH 21, 2013**  
**Last Date of Appeal: APRIL 10, 2013**

**APPEALS**

**APPEALS MUST BE RECEIVED BY THIS OFFICE NO LATER THAN 4:30 P.M. ON THE LAST DATE OF APPEAL NOTED ABOVE.**

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**CONDITIONS**

IF ANY CONDITIONS ARE IMPOSED ON THIS APPLICATION, THE FINAL DATE FOR FULFILLING THEM IS:  
**APRIL 10, 2014**

## GRADING PLAN

PREPARED THE ACCOMPANYING S.A.I. TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO THE EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS NOT BELIEVED THAT ADOPTION OF THIS PROPOSAL WILL CAUSE ANY ADVERSE EFFECT TO THE EXISTING ADJACENT PROPERTIES OR MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES. 0.60 MOUNTAIN RISE (MTR) TO BE MAINTAINED ABOVE THE PERMITTER OF THE PROPERTY.

NO TREES ARE TO BE REMOVED OR PRUNED WITHOUT PRIOR CONSENT FROM THE CITY OF VAUGHAN.

2. ALL RAINWATER LEADING TO DISCHARGE AT STREET LEVEL.

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A DWELLING TO BE LOCATED ON LOT 54 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

PRINCIPAL TO SUPERSTRUCTURE WORKS PROCEEDING AND THE RELEASE OF THE COMPLETION STAGE PERMIT. THE OWNERS CONSULTANT SHALL CERTIFY THAT THE TOP OF THE FOUNDATION IS LOCATED WITHIN THE PROPERTY BOUNDARIES AS SHOWN ON THE GRADING PLAN. ALL OTHER ITEMS MUST BE DISCHARGED TO GRADE AND PROPERLY DETAIL WITH.

EXTENSION CLADDING, TRESHOLD, WELLS SHALL BE A MIN. OF 150MM ABOVE FINISHED GRADE. WHERE WINDOW WELLS ARE PROVIDED, THE FOUNDATION SHALL BE CONNECTED TO THE FOUNDATION DRAIN ON A LOT 57 OR GREATER IN WIDTH AND WITH 6 SIDE WELLS DISCHARGED TO THE EXISTING SEWER SYSTEM IS THE WEIRING TILE. ALL OTHER ITEMS MUST BE DISCHARGED TO GRADE AND PROPERLY DETAIL WITH.

PLAN SHOWING TOPOGRAPHIC DETAIL OF

**LOT 54**  
**REGISTERED PLAN 3765**  
**CITY OF VAUGHAN**  
**REGIONAL MUNICIPALITY OF YORK**

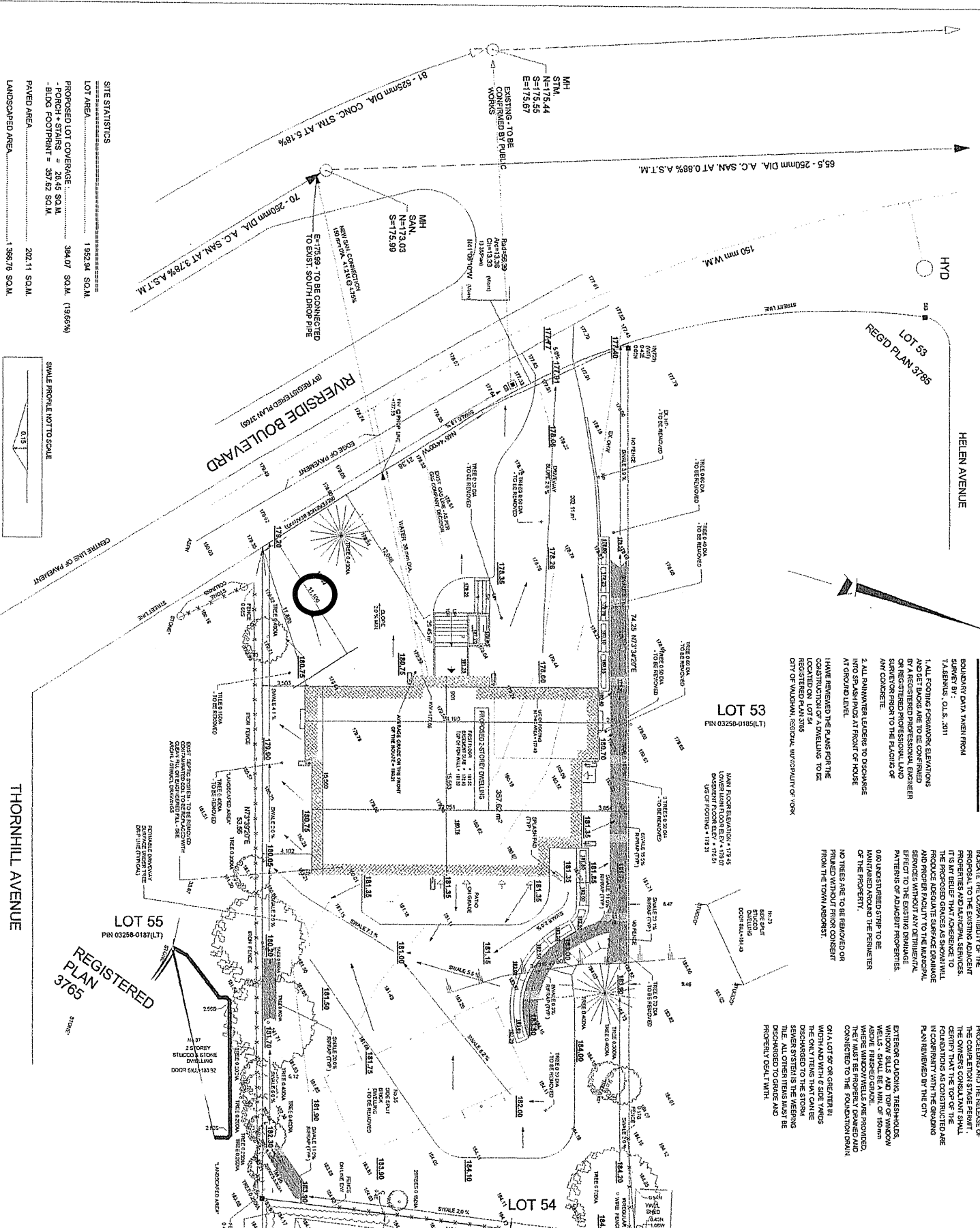
SCALE 1:150

TOM A. SENKUS, O.L.S.

© COPYRIGHT

METRIC  
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

5m 5m 5m 10m 10m 10m



- ### NOTES AND LEGEND
- GREATEST SURVEY INSTRUMENT PLANTED
  - DENOTES SURVEY MONUMENT FOUND
  - ▣ DENOTES STANDARD IRON BAR
  - ▤ DENOTES IRON BAR
  - ▥ DENOTES WIRELESS MONUMENT
  - ▦ DENOTES CEMENT MONUMENT
  - ▧ DENOTES OVERHEAD WIRE
  - ▨ DENOTES HYDROPIPE
  - ▩ DENOTES CATCH BASIN
  - DENOTES CONCREOUS TREE
  - DENOTES BLACK O.L.S.
  - ▬ DENOTES POINT OF CURVATURE
  - ▭ DENOTES CENTRE LINE
- AREA \* 1932 M. SQ.M.

### ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CITY OF VAUGHAN GEODETIC MARKING 1. DENOTES 151.250 METRES

### BEARING NOTE

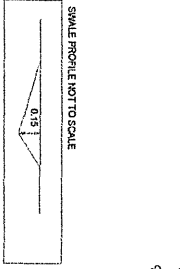
BEARINGS ARE ASTROGNOMIC AND ARE REFERRED TO THE NORTH EASTERNLY LIMIT OF RIVERSIDE BOULEVARD AS SHOWN ON REGISTERED PLAN 3765 HAVING A BEARING OF N48°40'00"W.

### SUPERVISOR'S CERTIFICATE

I CERTIFY THAT THIS PLAN WAS COMPLETED ON THE 5TH DAY OF JULY, 2012. THIS PLAN WAS REVISED ON JAN 22, 2013. REVISED JULY 20, 2012. REVISED FEB. 02, 2013.

### SITE STATISTICS

LOT AREA..... 1 922.94 SQ.M.  
 PROPOSED LOT COVERAGE..... 384.07 SQ.M. (19.96%)  
 - PORCH + STAIRS = 28.45 SQ.M.  
 - BLDG FOOTPRINT = 257.62 SQ.M.  
 PAVED AREA..... 202.11 SQ.M.  
 LANDSCAPED AREA..... 1 585.76 SQ.M.

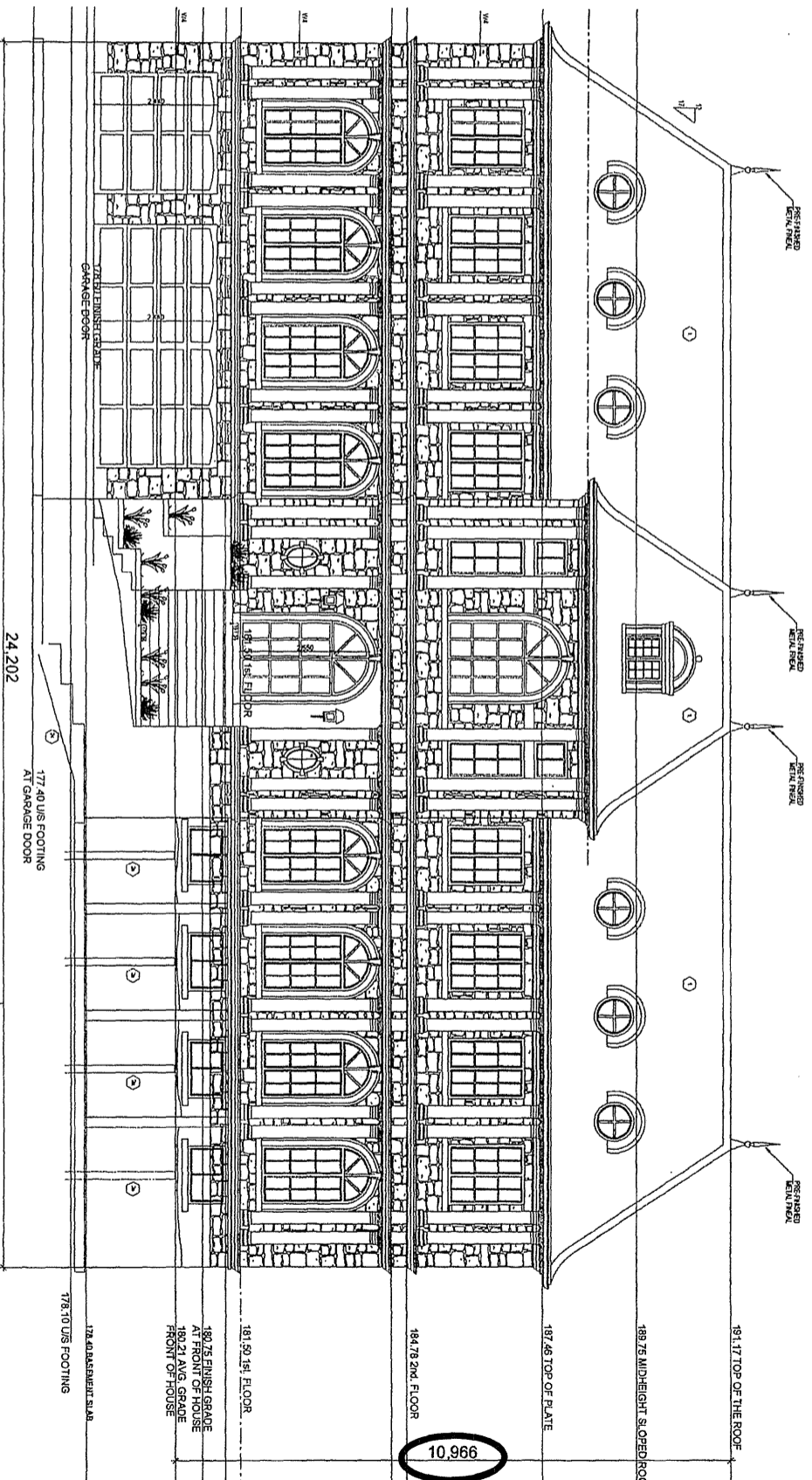


T. A. SENKUS  
 ONTARIO LAND SURVEYOR

**TOM A. SENKUS**  
 ONTARIO LAND SURVEYOR  
 40 BURROWS AVENUE  
 TORONTO (SILVERTON), ONTARIO  
 M9B 4W7

PHONE: (416) 237-1899  
 FAX: (416) 237-0428  
 EMAIL: tom@tasesnkus.com

FILE: 03-240  
 DATE: 2013 Feb 20 17:39:17



**WEST ELEVATION (FRONT)**

24.202

177.40 US FOOTING AT GARAGE DOOR

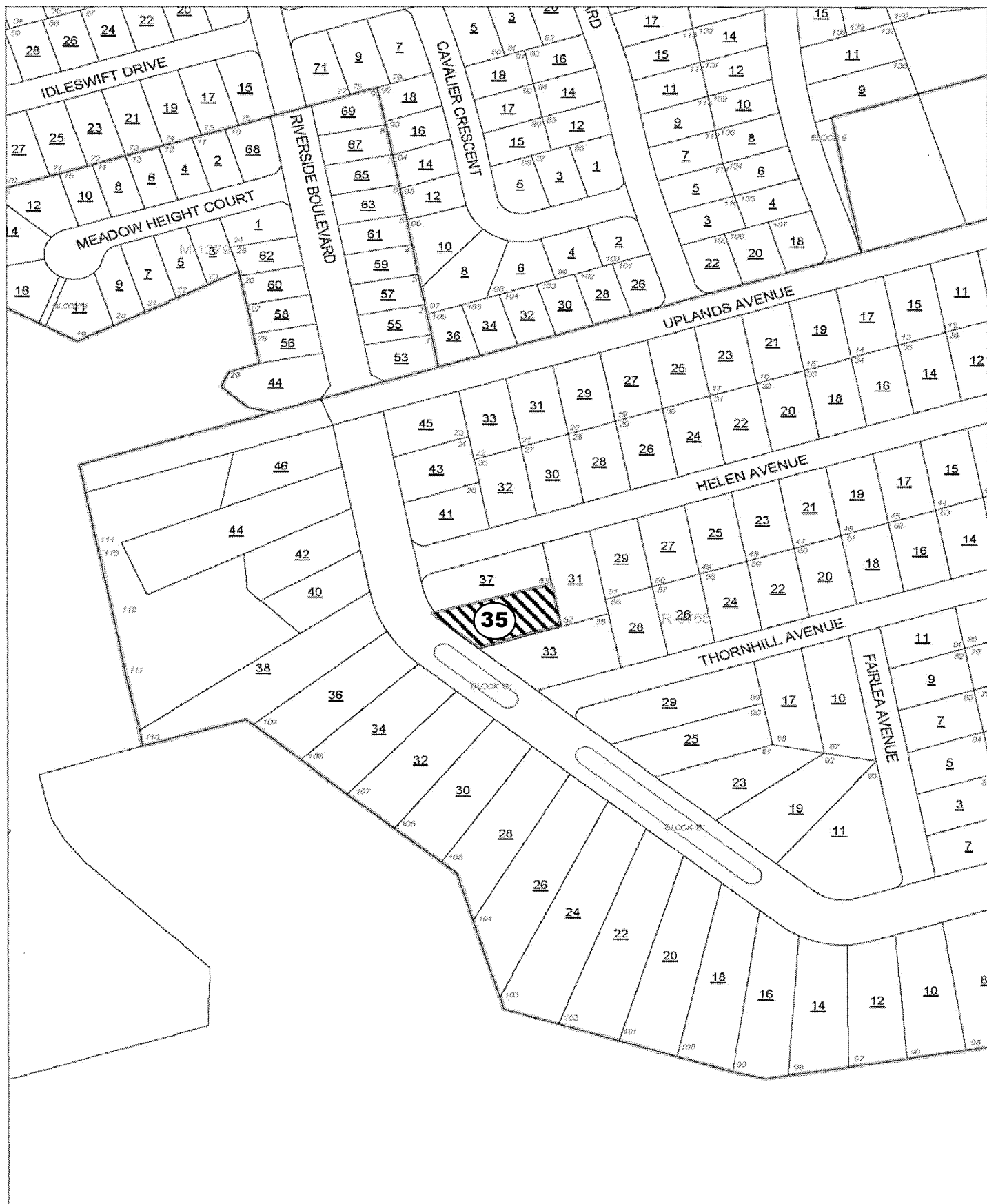
JOHN RIZZO  
TEL. 416 948 2877

PROJECT : 35 RIVERSIDE BOULEVARD  
FRONT ELEVATION



10.966





COMMITTEE OF ADJUSTMENT  
 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
 Phone: (905)832-8585 Fax: (905)832-8535

	<b>FILE NUMBER:</b>	<b>A048/13</b>
	<b>APPLICANT:</b>	<b>ELIZABETH and GIOVANNI RIZZO</b>
		<b>Subject Area</b> Municipally known as 35 Riverside Blvd, Thornhill

**NOTICE OF DECISION**  
**MINOR VARIANCES**

**FILE NUMBER:** A091/12

**APPLICANT:** TOIVA AND MARIE KRAUS

**PROPERTY:** Part of Lot 33, Concession 1, (Lot 54, Registered Plan 3765, municipally known as 35 Riverside Boulevard, Thornhill).

**ZONING:** The subject lands are zoned R1V, Old Village Residential, under By-law 1-88 subject to Exception 9(662) as amended.

**PURPOSE:** To permit the construction of a proposed two-storey single family detached dwelling with the garage attached.

**PROPOSAL:** Minimum Front Yard Setback (Existing 43.80m minus 74.65%) = 11.10m

**BY-LAW REQUIREMENT:** Minimum Front Yard Setback (Existing 43.80m minus 10%) = 39.42m

Sketches are attached illustrating the request.

MOVED BY:

  
\_\_\_\_\_

SECONDED BY:

  
\_\_\_\_\_

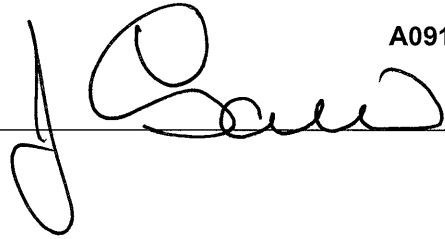
THAT the Committee is of the opinion that the variances sought, can be considered minor and are desirable for the appropriate development and use of the land. The general intent and purpose of the By-law and the Official Plan will be maintained.

THAT Application No. **A091/12, TOIVA AND MARIE KRAUS**, be **APPROVED**, in accordance with the sketches attached

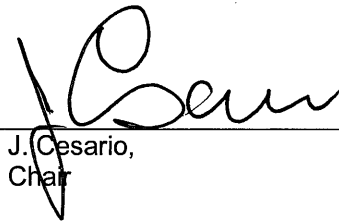
**THIS MINOR VARIANCE DECISION IS NOT A BUILDING PERMIT AUTHORIZING CONSTRUCTION UNDER THE BUILDING CODE ACT, R.S.O. 1990, AS AMENDED. A BUILDING PERMIT MAY BE REQUIRED. PLEASE CONTACT THE BUILDING STANDARDS DEPARTMENT IN THE EVENT THAT YOU REQUIRE FURTHER CLARIFICATION.**

**CARRIED.**

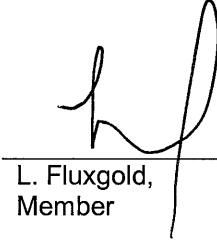
CHAIR:

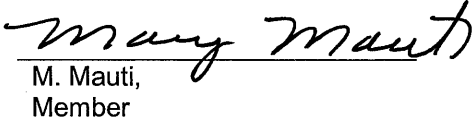


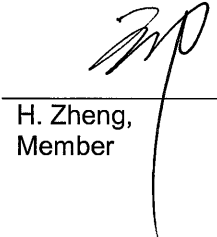
Signed by all members present who concur in this decision:

  
J. Cesario,  
Chair

  
A. Perrella,  
Vice Chair

  
L. Fluxgold,  
Member

  
M. Mauti,  
Member

  
H. Zheng,  
Member

**CERTIFICATION**

I hereby certify this to be a true copy of the decision of the Committee of Adjustment, and this decision was concurred in by a majority of the members who heard this application.



Todd Coles, BES, MCIP, RPP  
Manager of Development Services  
and Secretary-Treasurer to  
Committee of Adjustment

**Date of Hearing: MARCH 29, 2012**  
**Last Date of Appeal: APRIL 18, 2012**

**APPEALS**

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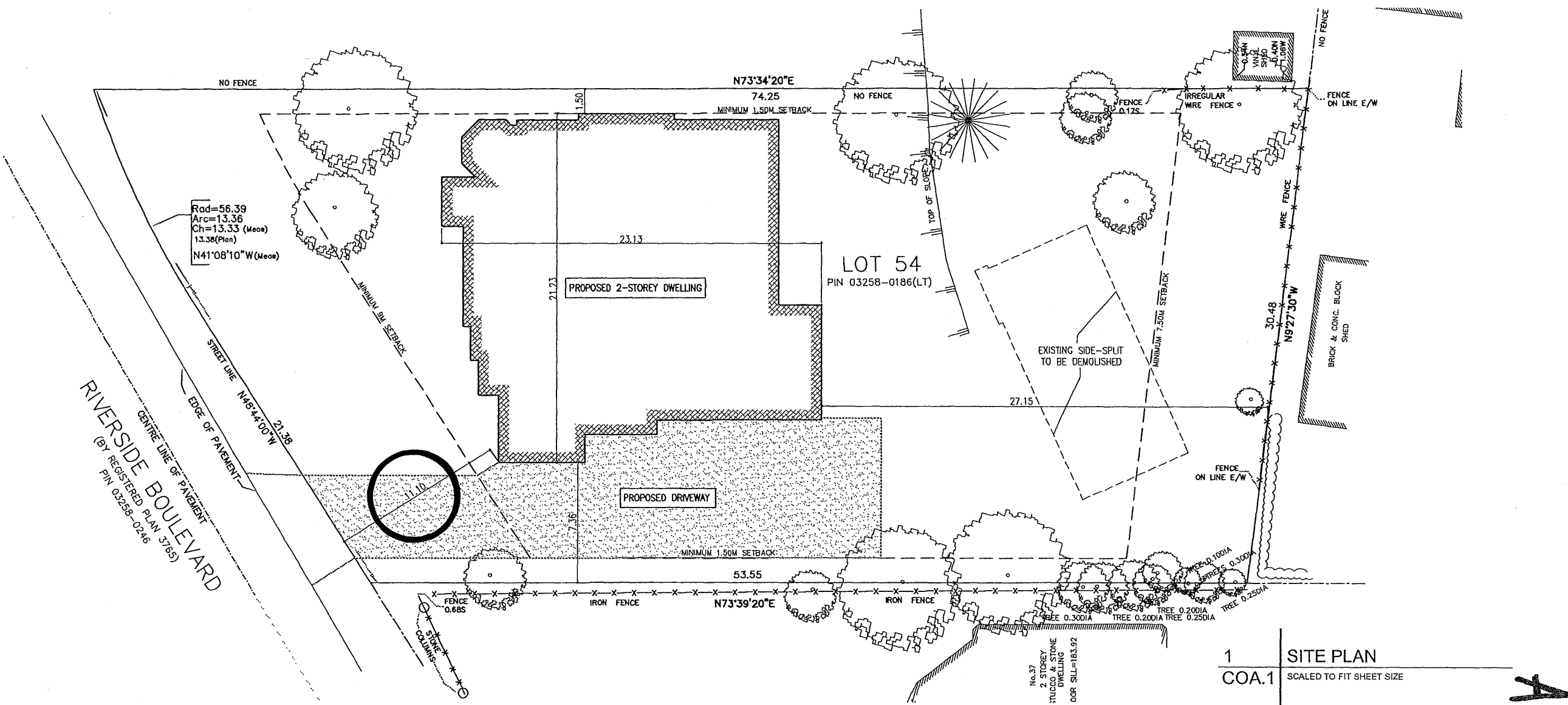
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**APRIL 18, 2013**



**RIVERSIDE BOULEVARD**  
 CENTRE LINE OF PAVEMENT  
 (BY REGISTERED PLAN 3765)  
 PIN 03258-0246

**1 SITE PLAN**  
 COA.1 SCALED TO FIT SHEET SIZE

**PROJECT STATISTICS:**

**SITE CALCULATIONS:**

SITE AREA	1952.94SM (21021.96SF)
PROPOSED FOOTPRINT	386.09SM (4155.97SF)
PROPOSED COVERAGE	386.09/1952.94 = 19.77%

**DWELLING CALCULATIONS:**

PROPOSED GROUND FLOOR AREA	272.90SM (2937.57SF)
PROPOSED SECOND FLOOR AREA	287.53SM (3095.05SF)
TOTAL PROPOSED DWELLING AREA	560.43SM (6032.62SF)

INFORMATION SHOWN ON THIS PROPOSED SITE PLAN HAS BEEN TAKEN FROM:

PLAN SHOWING TOPOGRAPHICAL DETAIL OF LOT 54, REGISTERED PLAN 3765  
 CITY OF VAUGHAN, REGIONAL MUNICIPALITY OF ROK

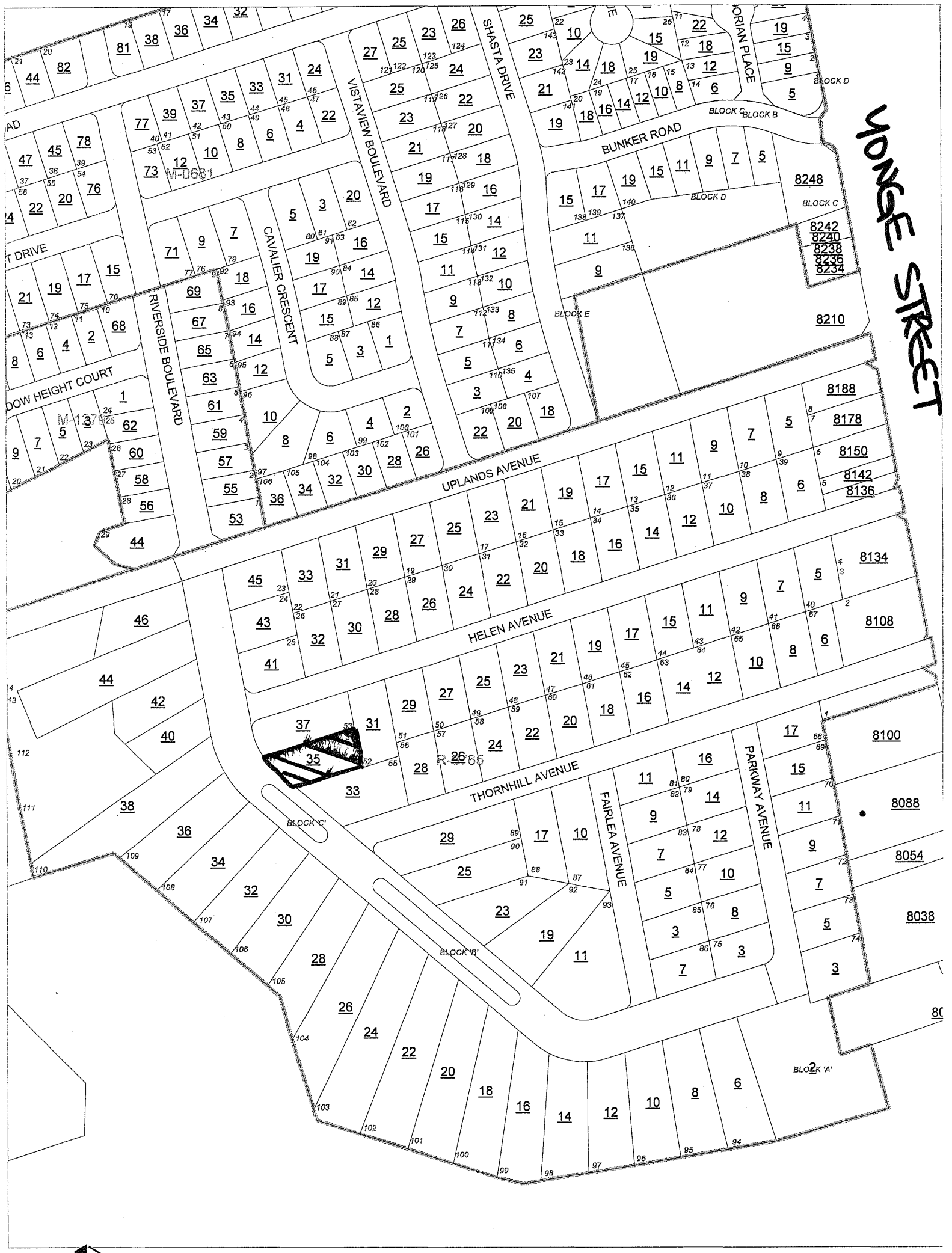
AS PREPARED BY:  
 TOM A. SENKUS, ONTARIO LAND SURVEYOR  
 40 BURROWS AVENUE, TORONTO, ONTARIO  
 AND DATED DEC 19, 2011

**PIETRO FERRARI**  
 b.architecture 1416.526.2871

**Project : 35 Riverside Boulevard**

SITE/LOCATION : City of Vaughan, Region of York  
 DRAWING : COA.1 - Site Plan  
 SCALE : Scaled to Fit Sheet Size  
 DATE : 28-Dec-11  
 FILE : 30-Jan.2012\_C of A.dwg

*A091/12*



COMMITTEE OF ADJUSTMENT  
 2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
 Phone: (905)832-8585 Fax: (905)832-8535

	FILE NUMBER:	<b>A091/12</b>
	APPLICANT:	<b>TOIVA AND MARIE KRAUS</b>
		<b>Subject Area</b> Municipally known as <b>35 RIVERSIDE BOULEVARD, THORNHILL</b>