

<b>ITEM: 6.24</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A321/22 97 Fontevielle Cr Woodbridge</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

	MM/DD/YYYY	
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A321/22  
97 Fontevielle Cr Woodbridge ON**

<b>ITEM NUMBER: 6.24</b>	<b>CITY WARD #: 3</b>
<b>APPLICANT:</b>	Marianne Vurinaris
<b>AGENT:</b>	Pool Craft
<b>PROPERTY:</b>	97 Fontevielle Cr Woodbridge
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R3 subject to the provisions of Exception 14.1000 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard setback of 2.4 metres to the proposed Residential Accessory Structure (Cabana) is required. [Section 4.1]	To permit a minimum rear yard setback of 1.1 metres to the proposed Residential Accessory Structure (Cabana).
2	A minimum interior side yard setback of 2.4 metres to the proposed Residential Accessory Structure (Cabana) is required. [Section 4.1]	To permit a minimum interior side yard setback of 1.2 metres to the proposed Residential Accessory Structure (Cabana).
3	A maximum height of 3.0 for the proposed Residential Accessory Structure (Cabana) is permitted.[Section 4.1]	To permit a maximum height of 3.4 metres for the proposed Residential Accessory Structure (Cabana).

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday , March 2, 2023  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)  
 If you would like to submit written comments, please quote file number above and submit by mail or email to:  
**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.

## INTRODUCTION

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	February 17, 2023
<b>Date Applicant Confirmed Posting of Sign:</b>	February 6, 2023
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	The Lot size is insufficient to accommodate all structures while complying with the zoning by-law
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.	
<b>Committee of Adjustment Comments:</b>	General Comments
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None

## BUILDING STANDARDS (ZONING) COMMENTS

**\*\*See Schedule B for Building Standards (Zoning) Comments**

<b>Building Standards Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT PLANNING COMMENTS

**\*\*See Schedule B for Development Planning Comments.**

<b>Development Planning Recommended Conditions of Approval:</b>	That the final Landscape Plan shall be amended to include tree plantings along the eastern edge of the cabana, and shall be approved to the satisfaction of the Development Planning Department
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## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the pool permit link provided above to learn how to apply for the pool permit.

Staff have identified a rear yard catchbasin on the subjected site. It is recommended that the Applicant identify the catchbasin's underground PVC pipe prior to construction of the proposed cabana.

A grading permit will not be required for the proposed Cabana, as the applicant has already obtained approval from The Development Engineering Department in January of 2023.

The Development Engineering (DE) Department does not object to the variance application A321/22.

## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)  
 [Link to Pool Permit](#)  
 [Link to Curb Curt Permit](#)  
 [Link Culvert Installation](#)

<b>Development Engineering Recommended Conditions of Approval:</b>	None
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## PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment at this time.

<b>PFH Recommended Conditions of Approval:</b>	None
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## DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date

<b>BCLPS Recommended Conditions of Approval:</b>	None
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## BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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## FIRE DEPARTMENT COMMENTS

No comments received to date

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

## SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning <a href="mailto:Joshua.cipolletta@vaughan.ca">Joshua.cipolletta@vaughan.ca</a>	That the final Landscape Plan shall be amended to include tree plantings along the eastern edge of the cabana, and shall be approved to the satisfaction of the Development Planning Department

## IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## IMPORTANT INFORMATION – PLEASE READ

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

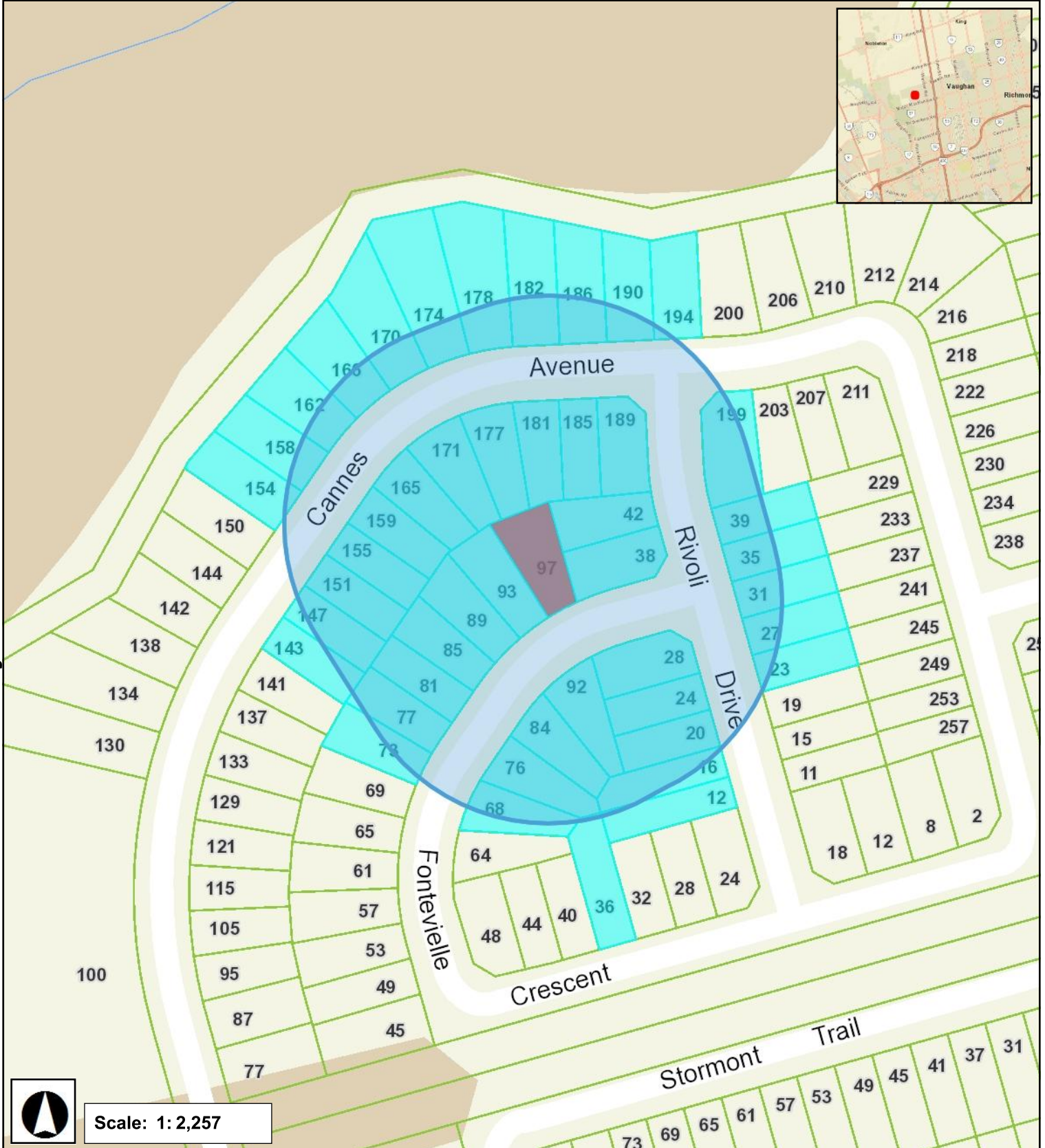
**SCHEDULE A: DRAWINGS & PLANS**



# LOCATION MAP - A321/22

97 FONTEVIELLE CRESCENT, WOODBRIDGE

## Teston Road



## Major Mackenzie Drive

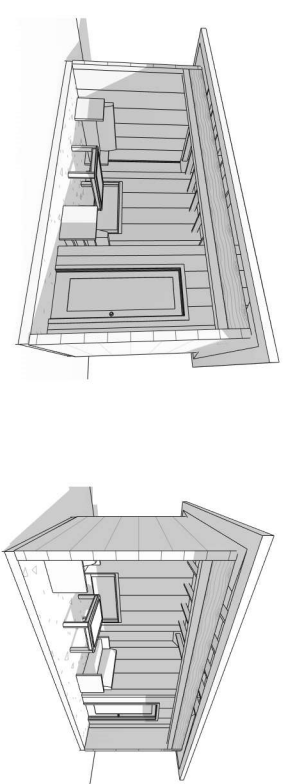
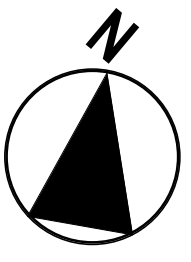
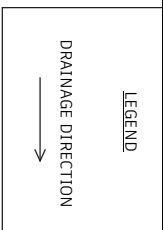
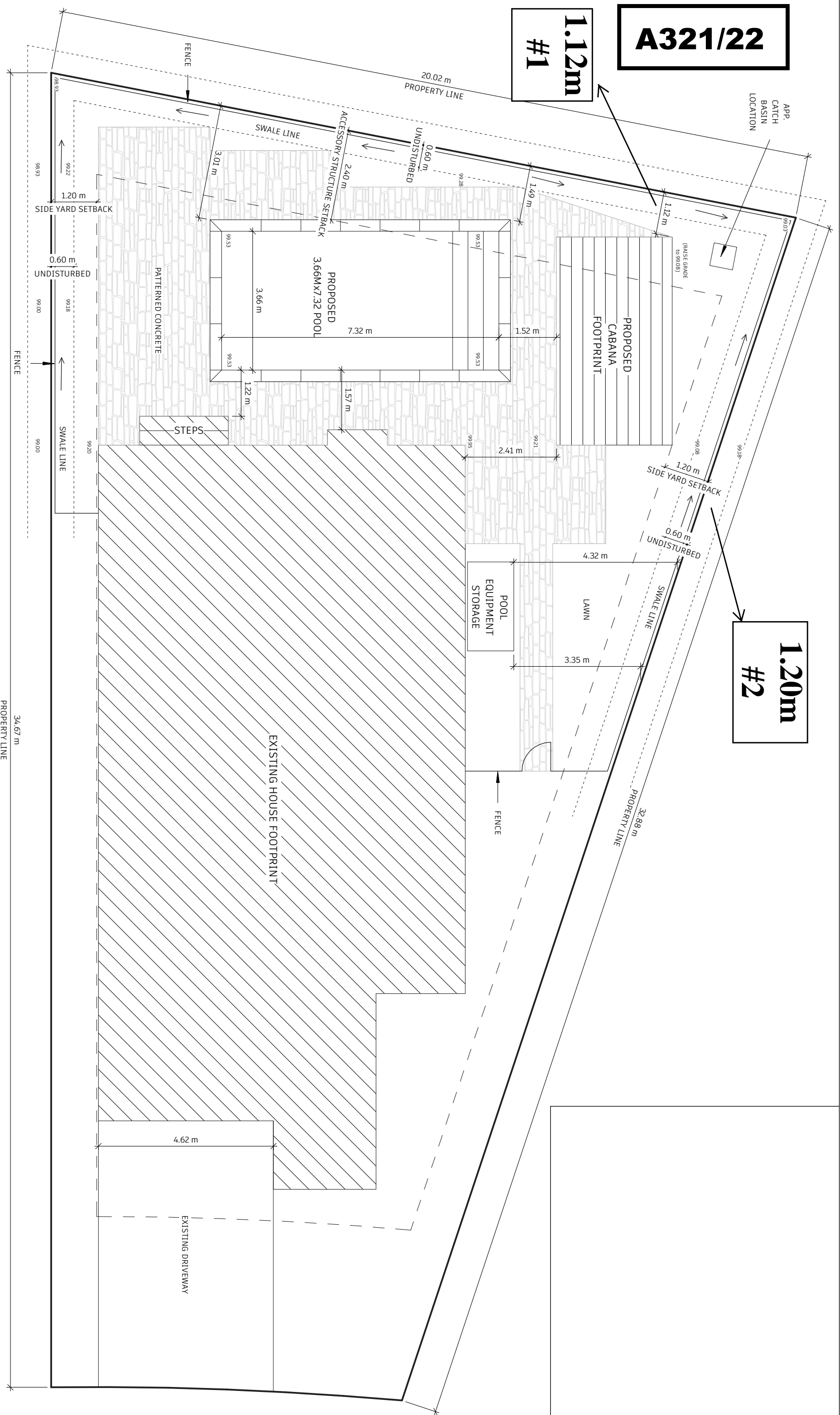
January 30, 2023 9:58 AM



# A321/22

## #1 1.12m

## #2 1.20m



**ZONING REQUIREMENTS: R3**

FRONT YARD SETBACK: 4.5M  
 INTERIOR SIDE YARD: 1.2M  
 ACCESSORY STRUCTURE < 2.8M HEIGHT: 2.4M  
 MAX. ACCESSORY LOT COVERAGE: 10% OR 67M<sup>2</sup> WHICH EVER IS LESS  
 MAX. BUILDING HEIGHT: 3M

LOT SIZE: 5507 SQFT  
 EXISTING FOOTPRINT: 1925 SQFT  
 EXISTING LOT COVERAGE: 1925/5507 = 34.9%

PROPOSED FOOTPRINT: 180 SQFT  
 NEW TOTAL LOT COVERAGE: 2105/5507 = 38.2%  
 ACCESSORY LOT COVERAGE: 180/5507 = 3.2%

BACKYARD: 153.85 M<sup>2</sup>  
 SOFTSCAPE: 43.50 M<sup>2</sup>  
 HARDSCAPE: 110.35 M<sup>2</sup>

HARDSCAPE: 72%  
 SOFTSCAPE: 28%

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

**QUALIFICATION INFORMATION**  
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 32.5.1 OF THE BUILDING CODE  
 DANA EVANS  
 NAME: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ BCIN: 100332

**REGISTRATION INFORMATION**  
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 32.4.1 OF THE BUILDING CODE  
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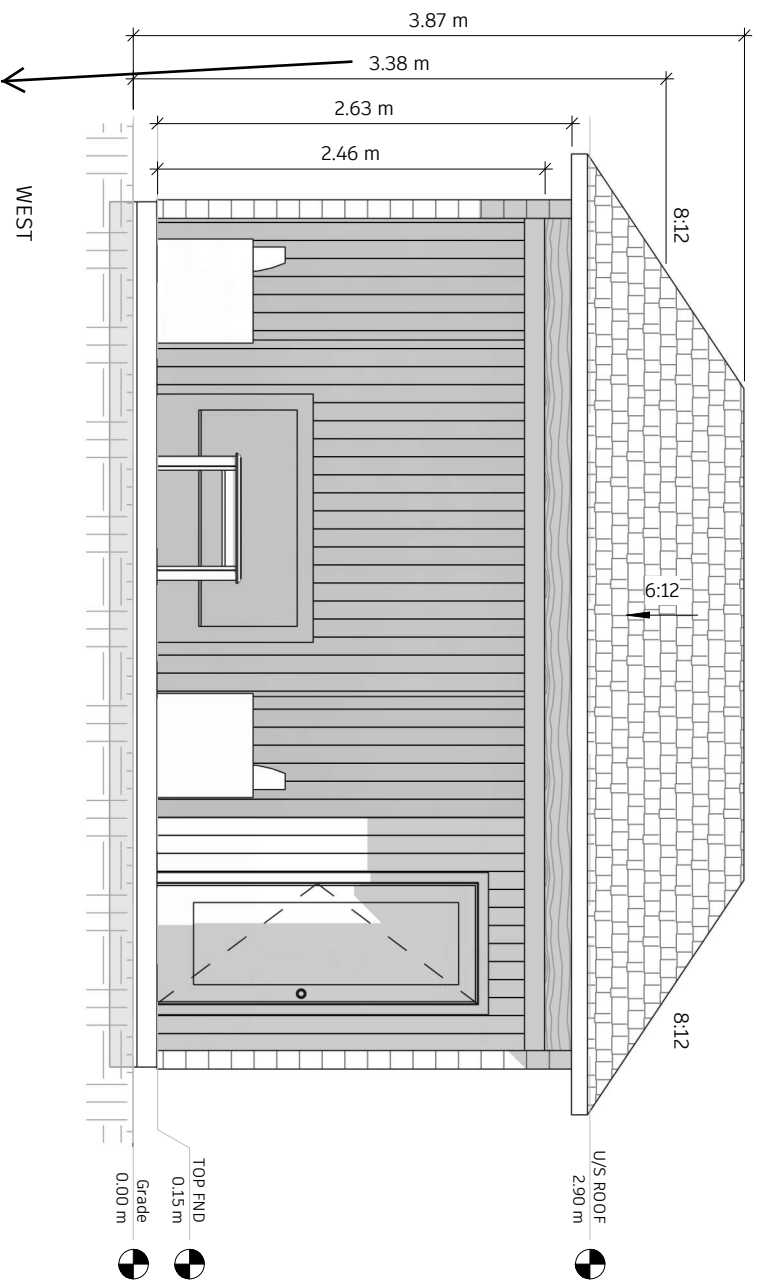
STAMPED & REVIEWED BY  
 DANA EVANS  
 15905 SIDE ROAD 17  
 SUNDERLAND ONTARIO  
 647-297-8300

4.	REVISED SUBMISSION	JAN 2023
3.	REVISED SUBMISSION	DEC 2022
2.	REVISED SUBMISSION	DEC 2022
1.	PERMIT SUBMISSION	NOV 2022

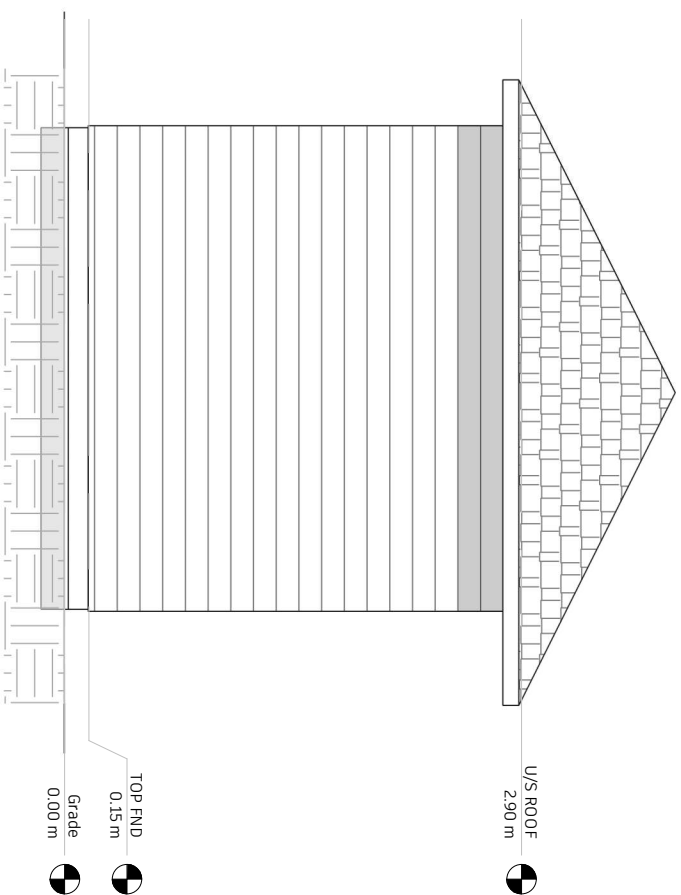
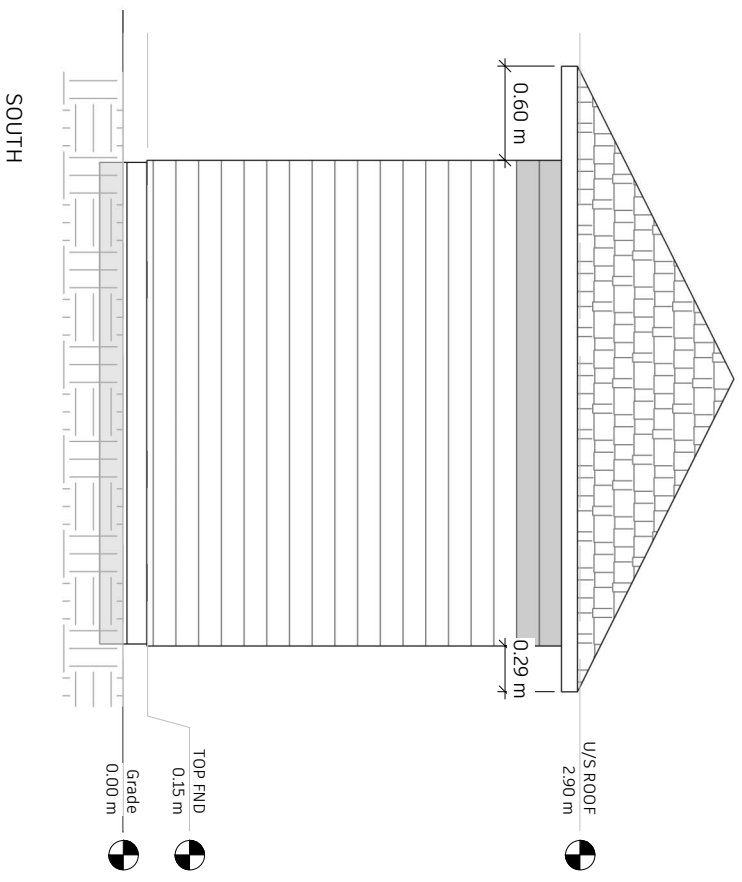
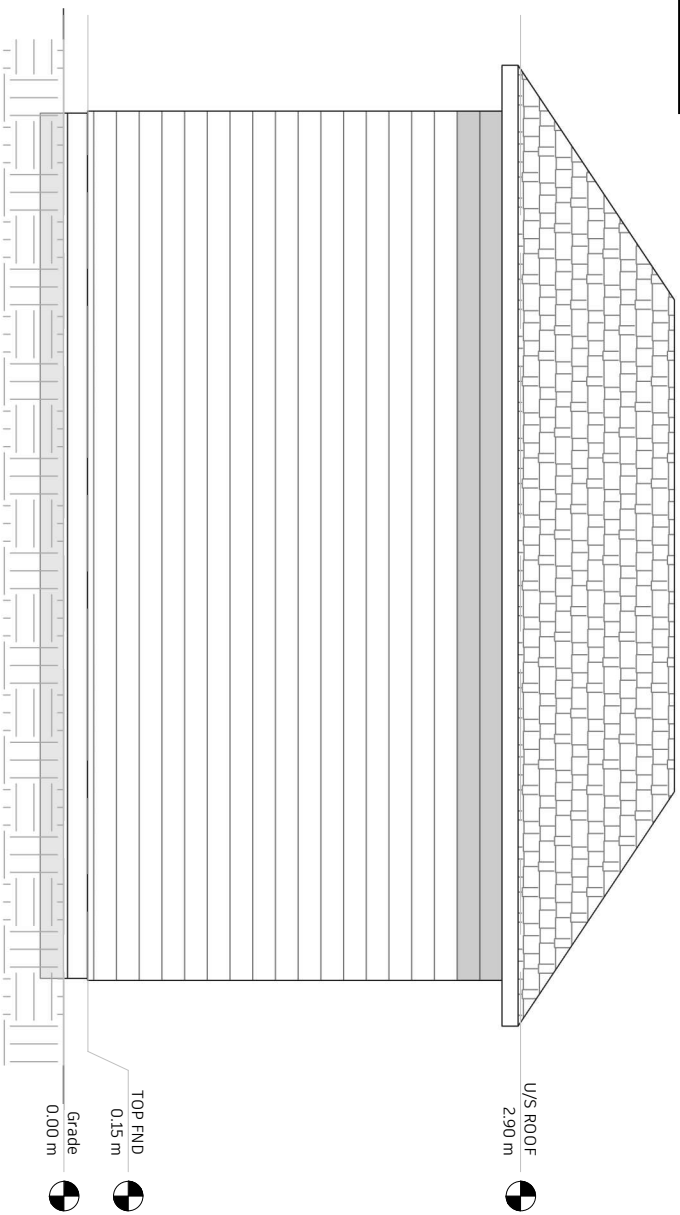
ADDRESS: 97 FONTEVIELLE CRESCENT  
 VAUGHAN ON L4H 3X2

DRAWING: SITE PLAN & 3D VISUAL

DATE: JAN 20, 2023  
 SCALE: 1:100  
 DWG. NO.: 22-080  
 PAGE: 1



**3.4m  
#3**



THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

**QUALIFICATION INFORMATION**  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 32.5.1 OF THE BUILDING CODE  
DANA EVANS

NAME: DANA EVANS  
SIGNATURE: [Signature]  
BCIN: J00332

**REGISTRATION INFORMATION**  
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 32.4.1 OF THE BUILDING CODE  
209 DESIGN  
FIRM NAME: 209 DESIGN  
BCIN: J00321

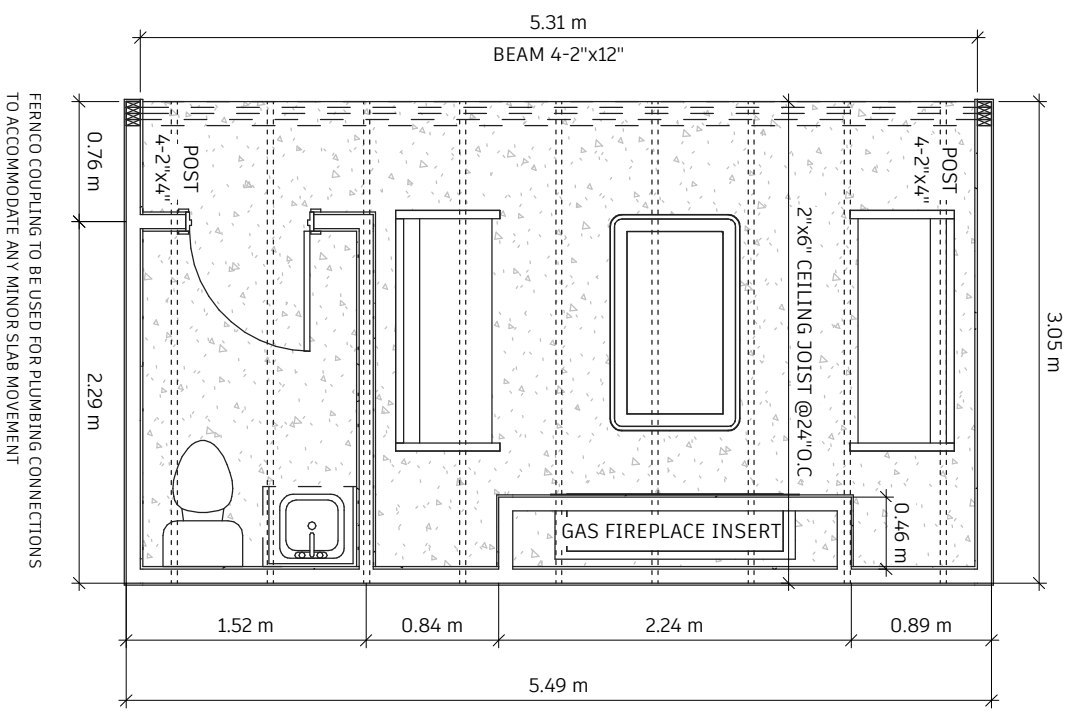
**STAMPED & REVIEWED BY**  
DANA EVANS  
15905 SIDE ROAD 17  
SUNDERLAND ONTARIO  
647-297-8300

**ADDRESS**  
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VAUGHAN ON L4H 3X2

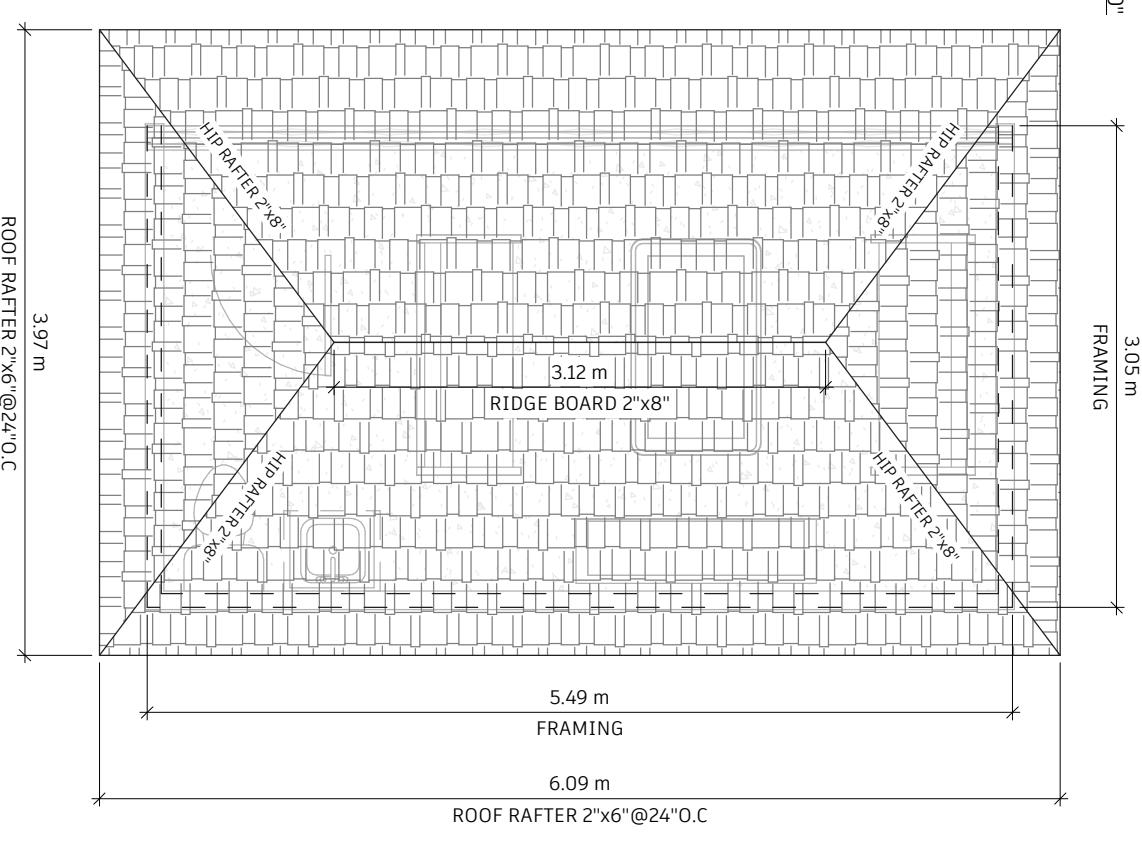
NO.	DESCRIPTION	DATE
4.	REVISED SUBMISSION	JAN 2023
3.	REVISED SUBMISSION	DEC 2022
2.	REVISED SUBMISSION	DEC 2022
1.	PERMIT SUBMISSION	NOV 2022

**DRAWING** ELEVATIONS  
DATE: JAN 20, 2023  
SCALE: 1/4" = 1'-0"  
DWG. NO.: 22-080  
PAGE: 2

FLOOR PLAN 1/4" = 1'-0"



ROOF PLAN 1/4" = 1'-0"



SECTION CUT 1/4" = 1'-0"

HIP ROOF SHINGLES, OWNER TO SELECT  
 7/16" EXTERIOR GRADE SHEATHING  
 2"x6" ROOF RAFTER @ 24" O.C.  
 2"x8" RIDGE BOARD & HIP RAFTERS  
 2"x6" CEILING JOIST @ 24" O.C.  
 5/8" CEDAR CLADDING

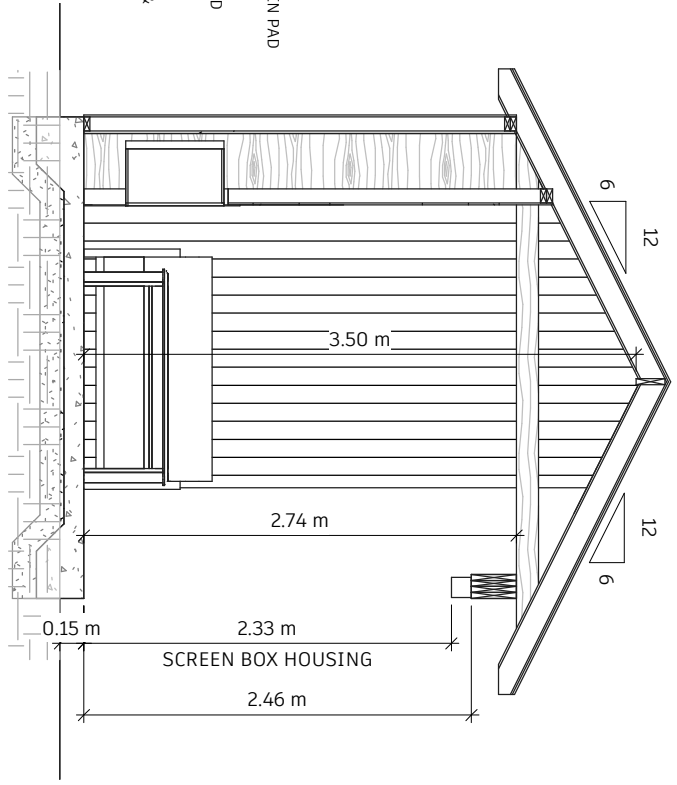
4-2"x12 BEAM

WALL 1/2" SIDING, OWNER TO SELECT  
 2"x4"@16"O.C., SINGLE BOTTOM & DOUBLE TOP PLATE  
 5/8" CEDAR INTERIOR CLADDING

10M REBAR @15" OC EACH DIRECTION IN PAD

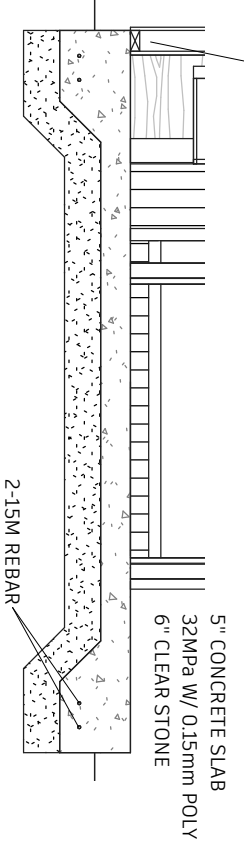
WOOD SILL PLATE ON GASKET FASTENED TO FOUNDATION WALL W/ MIN. 1/2" DIAMETER ANCHOR BOLTS EMBEDDED MIN. 4" IN CONCRETE @ 48" O.C MAX. & PROVIDED CONTINUOUS AIR BARRIER BETWEEN PLATE & FOUNDATION WALL

GRADE TO SLOPE AWAY BY 2%



SLAB DETAIL 3/8" = 1'-0"

WOOD SILL PLATE ON GASKET FASTENED TO FOUNDATION WALL W/ MIN. 1/2" DIAMETER ANCHOR BOLTS EMBEDDED MIN. 4" IN CONCRETE @ 48" O.C. MAX. & PROVIDED CONTINUOUS AIR BARRIER BETWEEN PLATE & FOUNDATION WALL



THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO DESIGN THE WORK SHOWN ON THE ATTACHED DOCUMENTS

**QUALIFICATION INFORMATION**  
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 32.5.1 OF THE BUILDING CODE  
 DANA EVANS

NAME: DANA EVANS  
 SIGNATURE: [Signature]  
 ID#0332  
 BCIN: [Blank]

**REGISTRATION INFORMATION**  
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C - 32.4.1 OF THE BUILDING CODE  
 209 DESIGN

FIRM NAME: [Blank]  
 BCIN: [Blank]

**STAMPED & REVIEWED BY**  
 DANA EVANS  
 15905 SIDE ROAD 17  
 SUNDERLAND ONTARIO  
 647-297-8300

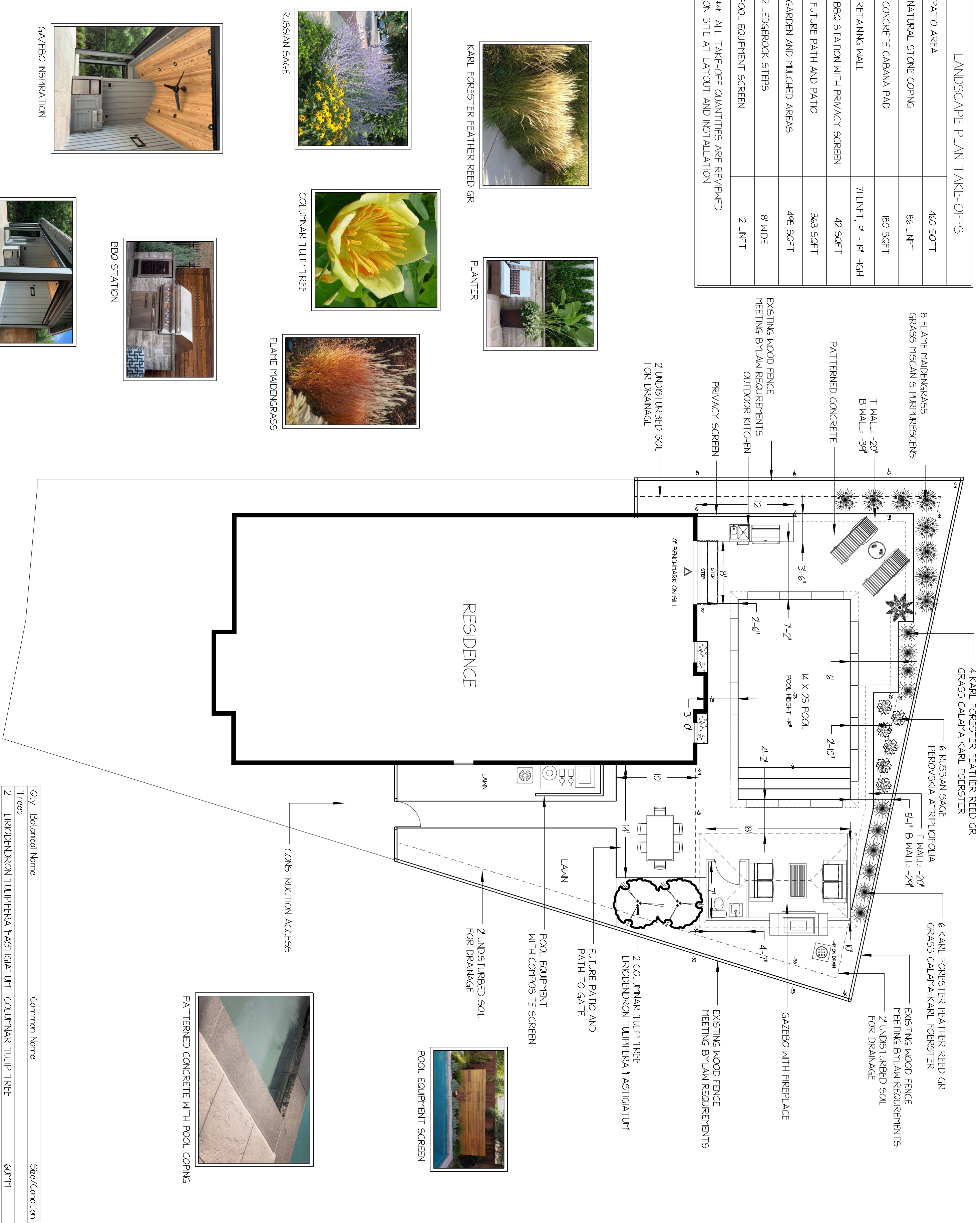
ADDRESS: 97 FONTEVILLE CRESCENT  
 VAUGHAN ON L4H 3X2

DRAWING: PLANS & DETAILS  
 DATE: JAN 20, 2023  
 SCALE: AS NOTED  
 DWG NO.: 22-080  
 PAGE: 3

NO.	DESCRIPTION	DATE
4.	REVISED SUBMISSION	JAN 2023
3.	REVISED SUBMISSION	DEC 2022
2.	REVISED SUBMISSION	DEC 2022
1.	PERMIT SUBMISSION	NOV 2022

LANDSCAPE PLAN TAKE-OFFS	
PATIO AREA	460 SQFT
NATURAL STONE COPING	86 LINFT
CONCRETE CABANA PAD	180 SQFT
RETAINING WALL	71 LINFT, 9" - 19" HIGH
BBQ STATION WITH PRIVACY SCREEN	42 SQFT
FUTURE PATH AND PATIO	363 SQFT
GARDEN AND MULCHED AREAS	495 SQFT
2 LEDGEROCK STEPS	8' WIDE
POOL EQUIPMENT SCREEN	12 LINFT

\*\*\* ALL TAKE-OFF QUANTITIES ARE REVIEWED ON-SITE AT LAYOUT AND INSTALLATION



RUSSIAN SAGE



COLUMNAR TULIP TREE



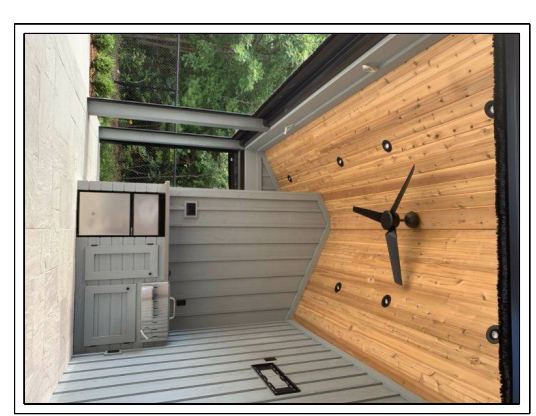
FLAME MAIDENGRASS



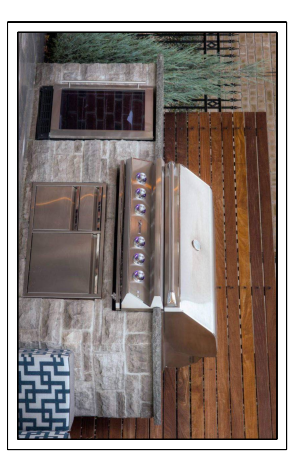
KARL FORESTER FEATHER REED GR



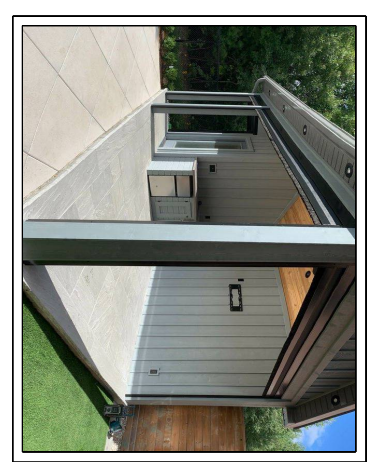
PLANTER



GAZEBO INSPIRATION

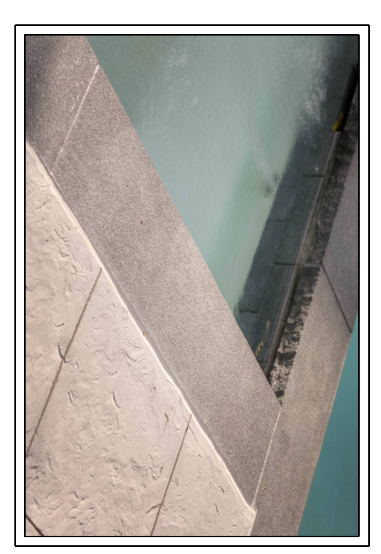


BBQ STATION

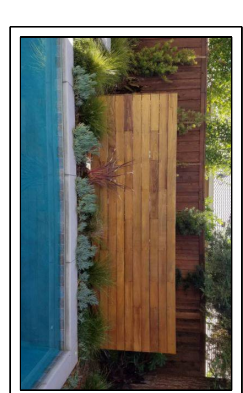


GAZEBO INSPIRATION

Qty	Botanical Name	Common Name	Size/Condition
<b>Trees</b>			
2	LIRIODENDRON TULPIFERA FASTIGIATUM	COLUMNAR TULIP TREE	60" T1
<b>Ornamental Grasses</b>			
8	GRASS MISCAN S PURPURESCENS	FLAME MAIDENGRASS	1 GAL
10	GRASS CALAMIA KARL FORESTER	KARL FORESTER FEATHER REED GR	1 GAL
<b>Perennials and Annuals</b>			
6	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	1 GAL



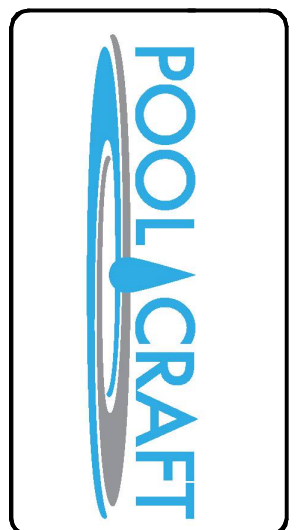
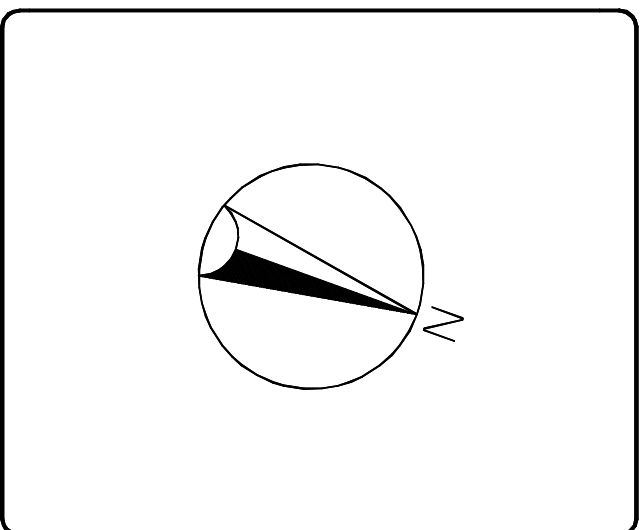
PATTERNED CONCRETE WITH POOL COPING



POOL EQUIPMENT SCREEN

**NOTES**  
 DO NOT SCALE THIS DRAWING. CHECK ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE DESIGNER BEFORE PROCEEDING. ALL DRAWINGS AND RELATED DOCUMENTS ARE THE PROPERTY OF POOLCRAFT. REPRODUCTION OR USE IN WHOLE OR IN PART IS FORBIDDEN WITHOUT PRIOR WRITTEN CONSENT OF POOLCRAFT. THESE DOCUMENTS MAY NOT BE USED FOR ANY OTHER PURPOSES OTHER THAN THE PROJECT FOR WHICH THEY WERE PREPARED. THE CONTRACTOR SHALL BE AWARE OF ALL EXISTING AND PROPOSED UTILITIES. ALL GARDEN BEDS SHALL BE PREPARED WITH SOIL. ADVISORS SUCH AS TOPSOIL, PEAT MOSS, MANURE OR EQUIVALENT COMPOST BEDS SHALL BE DUG OUT TO THE DEPTH OF 6" - 8" MINIMUM. STONE WALLS IN THIS DESIGN ARE REPRESENTATIONAL. ARBOR STONE IS PLACED AT THE DISCRETION OF THE HERD CONTRACTOR. AFTER PLANTING ALL GARDEN BEDS, A 2" - 3" LAYER OF MULCH SHALL BE SPREAD OVER ANY EXPOSED SOIL. IT IS THE RESPONSIBILITY OF THE HERD CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITY LINES, WATER MAINS, AND DRAIN PIPES BEFORE EXCAVATING. THE NUMBER OF STAIRS/STEPS, RETAINING WALL COURSES AND POOL HEIGHT WILL BE DETERMINED ON-SITE BY CONTRACTOR AND HOMEOWNER. RETAINMENT MAY ADJUST UPON LAYOUT/BUILD.

**PROPOSED GRADES ARE BOXED IN**



REVISIONS	
2	SEPTEMBER 12, 2022

**CLIENT:**  
 DENNIS & MARIANNE VUKINARIS  
 97 FONTEVILLE CRESCENT  
 WOODBRIDGE ONTARIO  
 L4H 3X2

<b>SCALE:</b> 1/8" = 1'-0"	<b>PROJECT NO:</b> 1
<b>DESIGNER:</b> JULIE HULL	<b>PLAN NO:</b> 1
<b>DATE:</b> JULY 21, 2022	

<b>SCHEDULE B: STAFF &amp; AGENCY COMMENTS</b>				
<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	X	X	X	Recommend Approval w/Conditions
Building Standards (Zoning)	X	X		General Comments

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** February 15, 2023  
**Name of Owners:** Dennis & Marianne Vurinaris  
**Location:** 97 Fontevielle Crescent  
**File No.(s):** A321/22

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a minimum rear yard setback of 1.1 m to the proposed Residential Accessory Structure (Cabana).
2. To permit a minimum interior side yard setback of 1.2 m to the proposed Residential Accessory Structure (Cabana).
3. To permit a maximum height of 3.4 m for the proposed Residential Accessory Structure (Cabana).

**By-Law Requirement(s) (By-law 001-2021):**

1. A minimum rear yard setback of 2.4 m to the proposed Residential Accessory Structure (Cabana) is required.
2. A minimum interior side yard setback of 2.4 m to the proposed Residential Accessory Structure (Cabana) is required.
3. A maximum height of 3.0 m for the proposed Residential Accessory Structure (Cabana) is permitted.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting relief to permit the construction of a cabana with the above noted variances.

The Development Planning Department has no objection to Variances 1 and 2 for the reduction in rear and interior side yard setbacks for the proposed cabana. Both setbacks are measured at pinch points from the corners of the cabana. The reduction to the setbacks is not anticipated to pose adverse visual impacts to the neighbouring properties and an appropriate area for maintenance access is maintained. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

The Development Planning Department has no objection to Variance 3 for the height of the cabana. The 0.4 m increase in height is minor in nature and will not have adverse impacts to the neighbouring properties, provided that the recommended Condition of Approval is implemented to provide tree plantings along the eastern edge of the cabana.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application, subject to the following condition:

**Condition of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Landscape Plan shall be amended to include tree plantings along the eastern edge of the cabana, and shall be approved to the satisfaction of the Development Planning Department.

**Comments Prepared by:**

Joshua Cipolletta, Planner I  
David Harding, Senior Planner

**To:** Committee of Adjustment  
**From:** Sarah Scauzillo, Building Standards Department  
**Date:** January 26, 2023  
**Applicant:** Dennis & Marianne Vurinaris  
**Location:** 97 Fontevielle Crescent  
 PLAN 65M4566 Lot 38  
**File No.(s):** A321/22

**Zoning Classification:**

The subject lands are zoned R3 subject to the provisions of Exception 14.1000 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear yard setback of 2.4 metres to the proposed Residential Accessory Structure (Cabana) is required. [Section 4.1]	To permit a minimum rear yard setback of 1.1 metres to the proposed Residential Accessory Structure (Cabana).
2	A minimum interior side yard setback of 2.4 metres to the proposed Residential Accessory Structure (Cabana) is required. [Section 4.1]	To permit a minimum interior side yard setback of 1.2 metres to the proposed Residential Accessory Structure (Cabana).
3	A maximum height of 3.0 for the proposed Residential Accessory Structure (Cabana) is permitted. [Section 4.1]	To permit a maximum height of 3.4 metres for the proposed Residential Accessory Structure (Cabana).

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	By-law 001-2021 as amended is in effect. By-law 1-88 a.a. is not applicable.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.



**Date:** January 3<sup>rd</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A321-22**

**Related Files:**

**Applicant** Dennis & Marianne Vurinaris

**Location** 97 Fontevielle Crescent

**COMMENTS:**

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream(Construction Standard 03-1, 03-4, 03-9), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Stephen Cranley, C.E.T

Mitchell Penner

Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**E-mail:** [stephen.cranley@alecrautilities.com](mailto:stephen.cranley@alecrautilities.com)

**Email:** [Mitchell.Penner@alecrautilities.com](mailto:Mitchell.Penner@alecrautilities.com)

**From:** [Development Services](#)  
**To:** [Christine Vigneault](#); [Committee of Adjustment](#)  
**Subject:** [External] RE: A321/22 (97 Fontevielle Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Wednesday, January 4, 2023 11:36:43 AM  
**Attachments:** [image001.png](#)  
[image003.png](#)

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Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

*Our Values: Integrity, Commitment, Accountability, Respect, Excellence*



**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

<b>Correspondence Type</b>	<b>Name</b>	<b>Address</b>	<b>Date Received (mm/dd/yyyy)</b>	<b>Summary</b>
None				