

ITEM: 6.18	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A305/22 351 New Enterprise Way, Woodbridge
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A305/22
351 New Enterprise Way Woodbridge ON**

ITEM NUMBER: 6.18	CITY WARD #: 2
APPLICANT:	Caplink Limited
AGENT:	Humphries Planning Group Inc
PROPERTY:	351 New Enterprise Way, Woodbridge ON
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a food manufacturing building.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EM1, Prestige Employment Zone and subject to the provisions of Exception 14.897, and U, Utility Zone, under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum landscape strip width of 6 m is required abutting Zenway Blvd. [14.897]	To permit a minimum landscape strip width of 3 m abutting Zenway Blvd.
2	A minimum setback of 7.0 m from the nearest portion of a TransCanada pipeline easement shall apply to any minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway. [4.23 c]	To permit a minimum setback of 0 m from the nearest portion of a TransCanada pipeline easement to any minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway.
3	A minimum distance of 14.0 m from any lot line abutting a highway corridor for any part of a minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway is required. [4.8.2]	To permit a minimum distance of 3.0 m from a lot line abutting a highway corridor for any part of a minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway.
4	A minimum of 1 change and shower facility is required where long term bicycle parking spaces are required. [6.5.6 and Table 6-9]	To provide a total of 0 change and shower facilities where long term bicycle parking spaces are required.
5	Outside storage (trailer parking spaces) are not permitted in the portion of the subject lands zoned U, Utility Zone. [Table 13-2]	To permit outside storage (trailer parking spaces) within the portion of the subject lands zoned U, Utility Zone.
6	Outside storage (trailer parking spaces) are not permitted in the portion of the subject lands zoned EM1, Prestige Employment Zone. [Table 11-2]	To permit outside storage (trailer parking spaces) within the portion of the subject lands zoned EM1, Prestige Employment Zone.

The subject lands are zoned EM1, Prestige Employment Area and EM1, Prestige Employment Area (H), subject to a holding provision, and further subject to the provisions of Exception 9(1255) under Zoning By-law 1-88, as amended. **Removed as per zoning comments**

****Variances under 1-88 are no longer required**

#	Zoning By-law 1-88	Variance requested
7	A minimum landscape strip width of 6 m is required abutting Zenway Blvd. [9(1255)]	To permit a minimum landscape strip width of 3 m abutting Zenway Blvd.

Zoning By-law 1-88		Variance requested
8	A minimum of 295 parking spaces are required for an Employment Use with Accessory Office Use. [3.8a]	To permit a minimum of 220 parking spaces for an Employment Use with Accessory Office Use.
9	A minimum landscape strip width of 9 m is required abutting a provincial highway. (Highway 427) [6.16. b]	To permit a minimum landscape strip width of 3 m abutting a provincial highway. (Highway 427)
10	Outside Storage (trailer parking spaces) are not permitted in the portion of the subject lands zoned EM1, Prestige Employment Area (H) [6.1.1, 6.2.1, 9(1255)]	To permit Outside Storage (trailer parking spaces) within the portion of the subject lands zoned EM1 (H), Prestige Employment Area (subject to a holding provision).
11	Outside Storage (trailer parking spaces) are not permitted in the portion of the subject lands zoned EM1, Prestige Employment Area. [6.1.1, 6.2.1]	To permit Outside Storage (trailer parking spaces) within the portion of the subject lands zoned EM1, Prestige Employment Area.

HEARING INFORMATION

DATE OF MEETING: Thursday, March 2, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	February 17, 2023
Date Applicant Confirmed Posting of Sign:	February 16, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The subject site has been designed to accommodate the size of the building necessary for the proposal, which requires variances to comply with the Zoning By-laws.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process.</small>	No

COMMITTEE OF ADJUSTMENT COMMENTS

*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.

Adjournment Fees:

In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

Committee of Adjustment Comments:	None
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Committee of Adjustment Recommended Conditions of Approval:	None
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BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	That all comments on Site Development Application DA.22.064 be addressed to the satisfaction of the Development Planning Department.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Transportation Engineering has reviewed this application and do not have any objections to the proposed parking supply.

The Development Engineering (DE) Department does not object to the variance application A305/22 subject to the following condition:

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall obtain approval for the related Site Development Application (DA.22.064) from the Development Engineering (DE) Department.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry is working with Development Planning on this file. No comment at this time for CofA purposes.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

Owner to ensure (OBC) Ontario building Code requirements. Amendments to the plan shall not affect the fire hydrant supply, fire route or fire department connections.

Owner/applicant: shall consult with Trans Canada regarding Federal Regulations and approved Guidelines.

Any building constriction or site plans submitting shall insure all appropriate setbacks from the trans-Canada Pipeline are approved by governing Body.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall obtain approval for the related Site Development Application (DA.22.064) from the Development Engineering (DE) Department.
2	Development Planning Joshua.cipolletta@vaughan.ca	That all comments on Site Development Application DA.22.064 be addressed to the satisfaction of the Development Planning Department.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

IMPORTANT INFORMATION – PLEASE READ

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

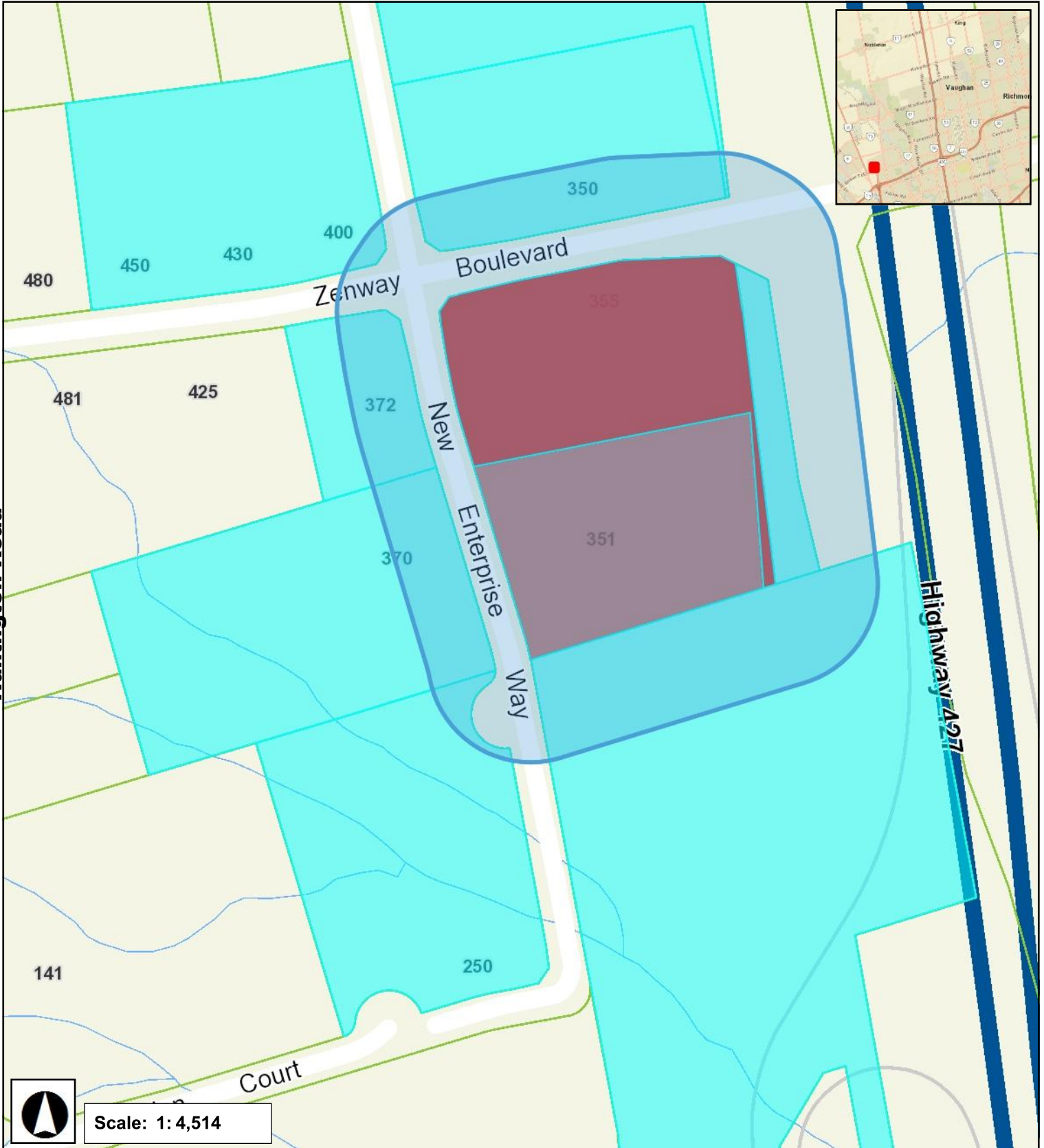
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A305/22

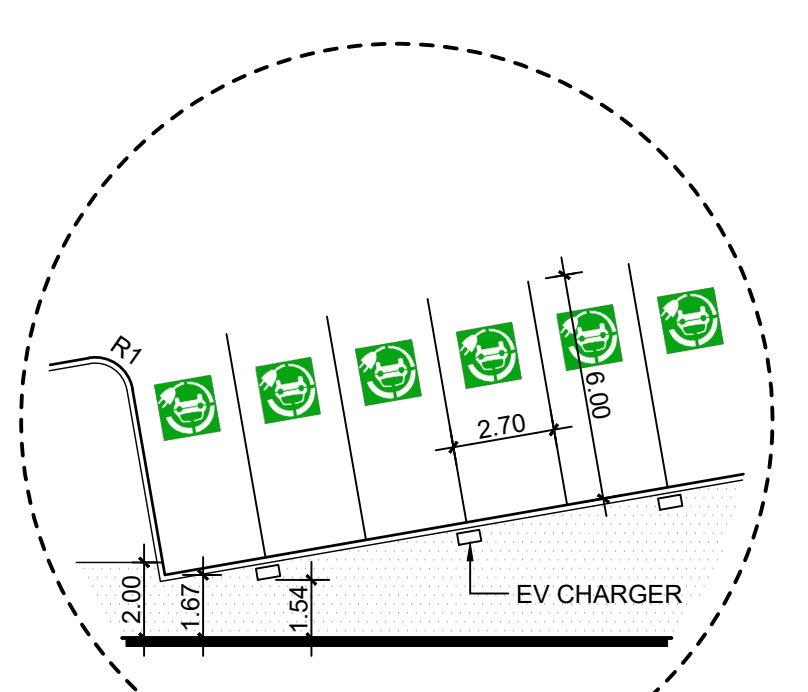
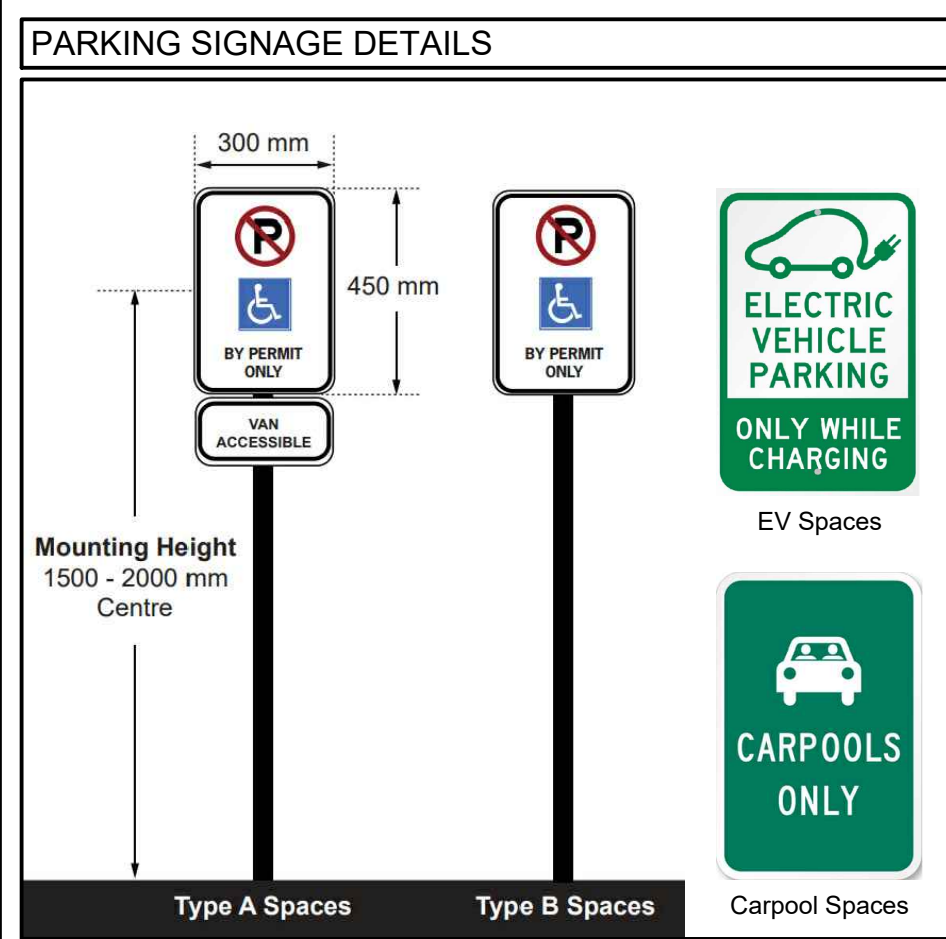
351,355 NEW ENTERPRISE WAY, WOODBRIDGE

Rutherford Road



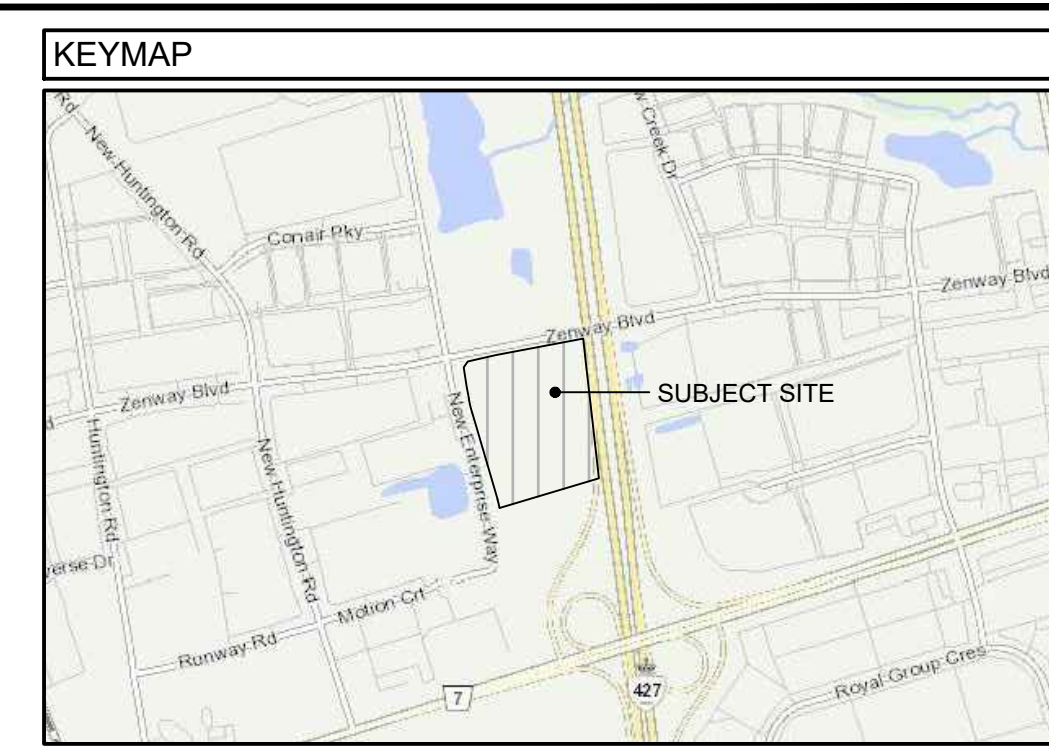
Langstaff Road

January 26, 2023 10:53 AM



PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

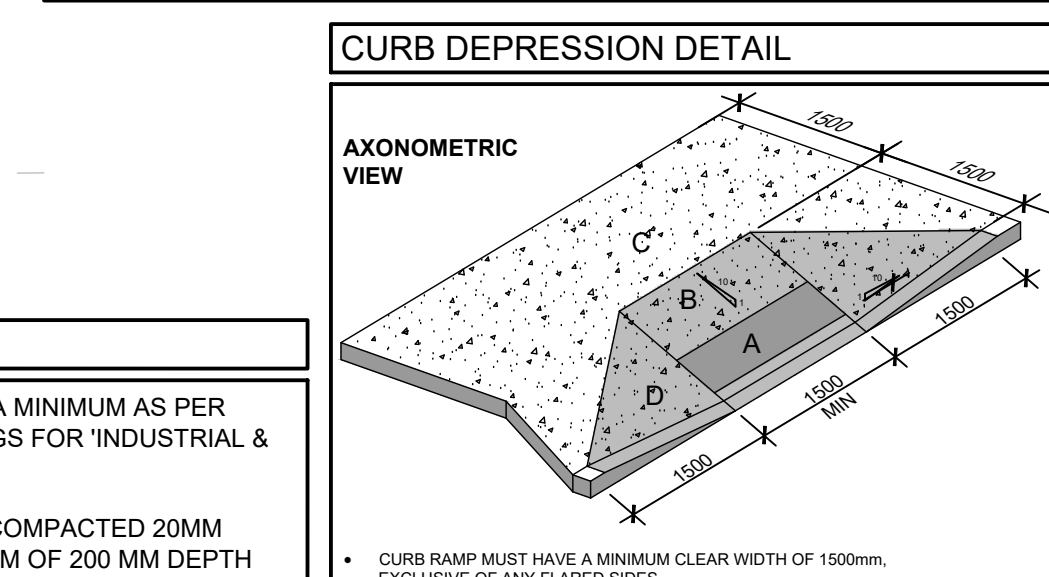
A305/22



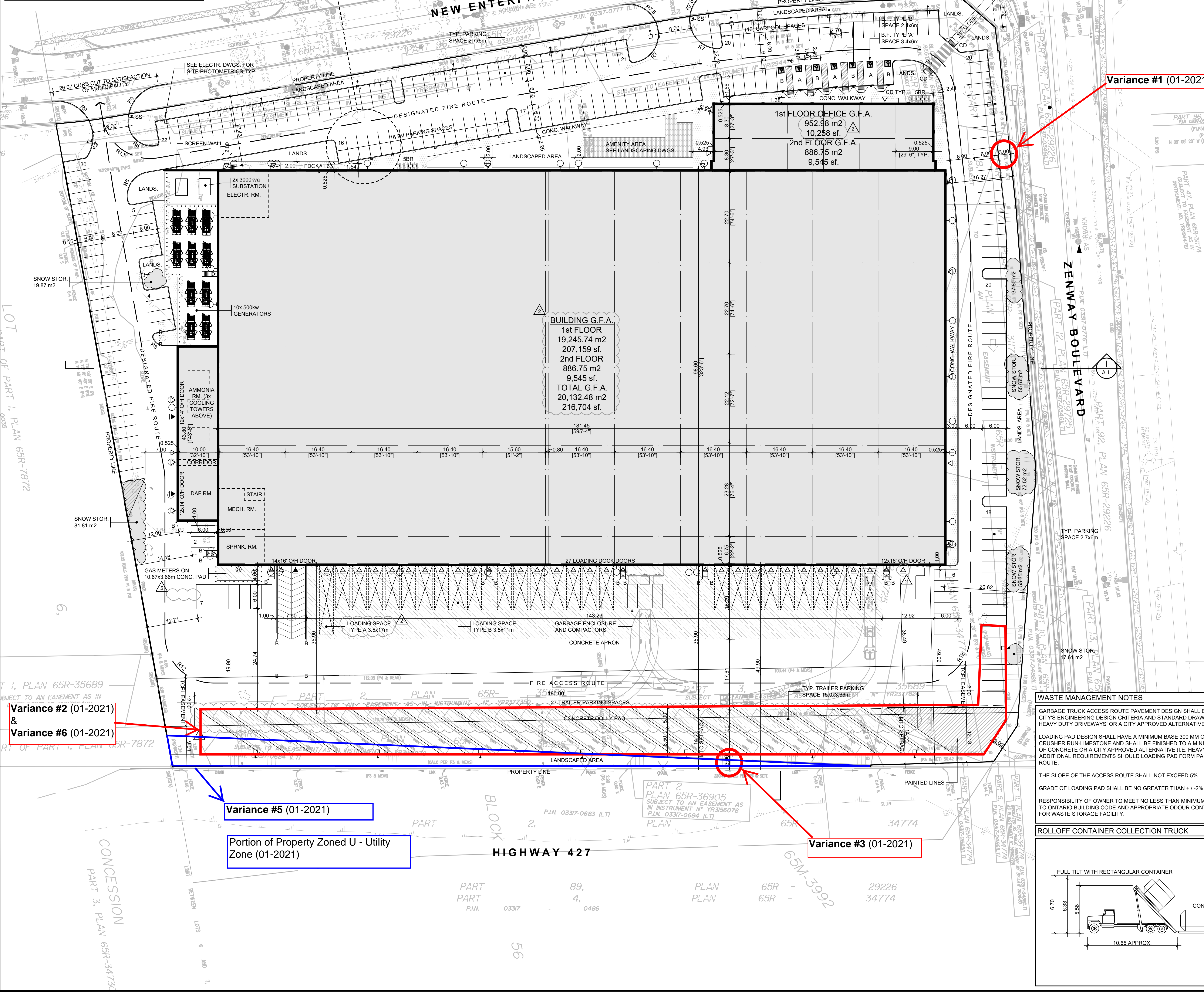
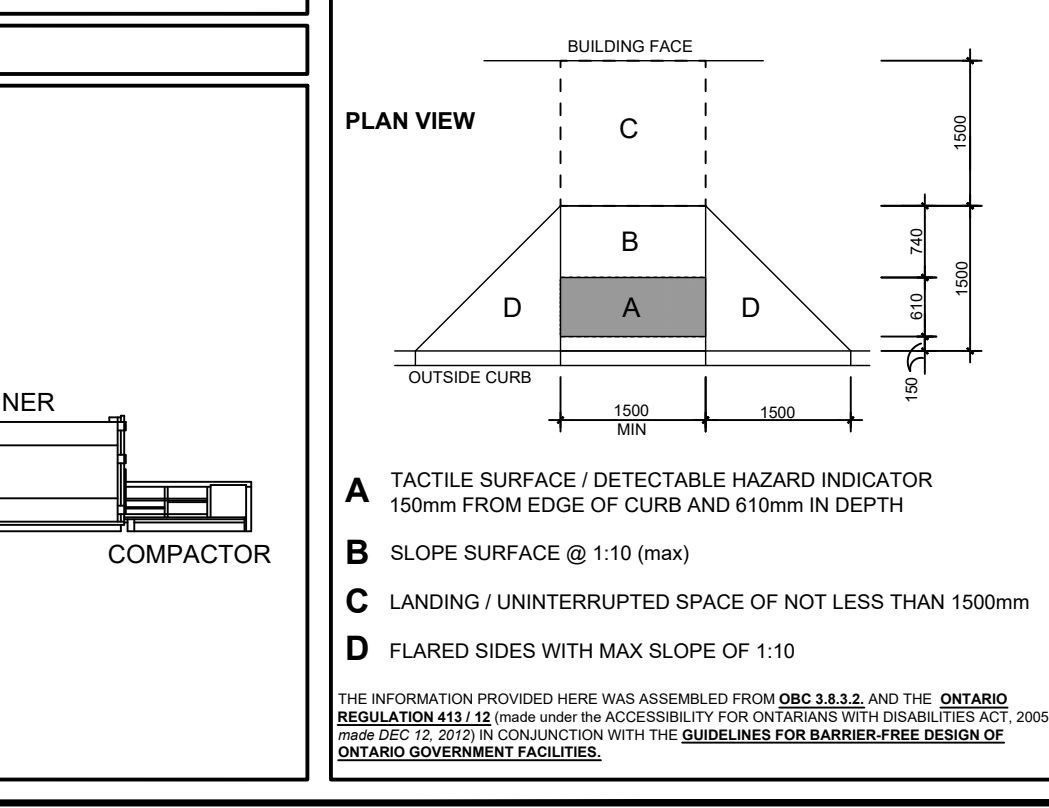
LEGAL DESCRIPTION	PROJECT NORTH
BLOCK 51 AND PART OF BLOCKS 52 & 56 REGISTERED PLAN 65M-3992	
CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK	TRUE NORTH
AS PREPARED BY: GENESIS LAND SURVEYING INC. ONTARIO LAND SURVEYORS	

SITE STATISTICS	
SITE AREA	40,491.01 m ² or 10.01 acres
ZONING	EM1 - PRESTIGE EMPLOYMENT
FRONT YARD (NORTH)	4.5 m 16.27 m
REAR YARD (SOUTH)	7.5 m 12.00 m
EXTERIOR SIDE YARD (WEST)	4.5 m 17.43 m
INTERIOR SIDE YARD (EAST)	4.5 m 49.09 m
1st Floor Office (excluding stairs/elev.)	764.03 m ² or 8,224 sf
1st Floor Manufacturing	17,457.65 m ² or 187,913 sf
2nd Floor Office	886.75 m ² or 9,545 sf
Mech./Electr./Sprmk./Ammonia/Stairs/Elev.	1,024.05 m ² or 11,023 sf
TOTAL	20,132.48 m ² or 216,704 sf
SITE COVERAGE (60% max.)	19,245.74 m ² or 47.53%
LANDSCAPED AREA	4,788.70 m ² or 11.82%
PAVED AREA	16,458.57 m ² or 40.65%
SNOW STORAGE (2% paved area min.)	333.42 m ² or 2.01%
	REQUIRED PROVIDED
BUILDING HEIGHT (MAXIMUM)	15.0 m 13.81 m
	REQUIRED PROVIDED
Office	50 spaces
Manufacturing	175 spaces
Total	225 spaces
Carpool space reduction (max. -5)	220 spaces
Office	33 spaces
Industrial (other than warehousing)	262 spaces
Total	295 spaces
BARRIER-FREE SPACES	7 spaces 7 spaces
CARPOOL SPACES	- 10 spaces
TOTAL PARKING (including barrier-free and carpool spaces)	220 spaces
BICYCLE SPACES (SHORT-TERM)	20 spaces
BICYCLE SPACES (LONG-TERM)	10 spaces
LOADING SPACES PROVIDED	27 spaces
TRAILER PARKING PROVIDED	27 spaces

SYMBOL LEGEND	
	MAN DOOR
	LOADING DOCK DOOR
	DRIVE-IN / OVERHEAD DOOR
	HYDRANT + VALVE
	FDC FIRE DEPARTMENT CONNECTION / SIAMESE
	CATCH BASIN
	DOUBLE CATCH BASIN
	SANMH SANITARY MAN HOLE
	CB/MH CATCH BASIN / MAN HOLE
	SMH STORM MAN HOLE
	HP HYDRO POLE STANDARD / UTILITY POLE
	BR BIKE RACK (CLEAR SPACE 2.45m x 1.4m x 1.9m HIGH)
	ACCESSIBLE PARKING SPACE
	ACCESSIBLE PARKING SPACE SIGNAGE
	GAS METERS
	SS STOP SIGN



- WASTE MANAGEMENT NOTES**
- GARBAGE TRUCK ACCESS ROUTE PAVEMENT DESIGN SHALL BE A MINIMUM AS PER CITY'S ENGINEERING DESIGN CRITERIA AND STANDARD DRAWINGS FOR INDUSTRIAL & HEAVY DUTY DRIVEWAYS OR A CITY APPROVED ALTERNATIVE.
 - LOADING PAD DESIGN SHALL HAVE A MINIMUM BASE 300 MM OF COMPACTED 20MM CRUSHER RUN LIMESTONE AND SHALL BE FINISHED TO A MINIMUM OF 200 MM DEPTH OF CONCRETE OR A CITY APPROVED ALTERNATIVE (I.E. HEAVY DUTY PAVERS). SEE ADDITIONAL REQUIREMENTS SHOULD LOADING PAD FORM PART OF THE ACCESS ROUTE.
 - THE SLOPE OF THE ACCESS ROUTE SHALL NOT EXCEED 5%.
 - GRADE OF LOADING PAD SHALL BE NO GREATER THAN + / - 2% (GRADE OF CROSS FALL).
 - RESPONSIBILITY OF OWNER TO MEET NO LESS THAN MINIMUM STANDARDS PURSUANT TO ONTARIO BUILDING CODE AND APPROPRIATE ODOUR CONTROLS REQUIREMENTS FOR WASTE STORAGE FACILITY.



No.	ISSUED	DATE
1	ISSUED FOR PAC	MAR. 10, 2022
2	ISSUED FOR COORDINATION	SEPT. 12, 2022
3	RE-ISSUED FOR COORDINATION	OCT. 31, 2022
4	ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 1, 2022
5	ISSUED FOR SPA	NOV. 14, 2022
6	RE-ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 30, 2022
7	ISSUED FOR REVIEW	DEC. 2, 2022
8	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 20, 2022
9	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 23, 2022
10	ISSUED FOR PERMIT & TENDER	JAN. 5, 2023
11	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023

3	REVISED AS NOTED	DEC. 16, 2022
2	REVISED AS NOTED	NOV. 29, 2022
1	REVISED AS SHOWN	OCT. 26, 2022

BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca



OWNERS INFORMATION:

CAP LINK
LIMITED

351-355 New Enterprise Way
Vaughan, ON

SITE PLAN

DATE	DRAWN BY	CHECKED	SCALE
MAR. 2022	MM/LY	TB	1:400
PROJECT No.	DRAWING No.		

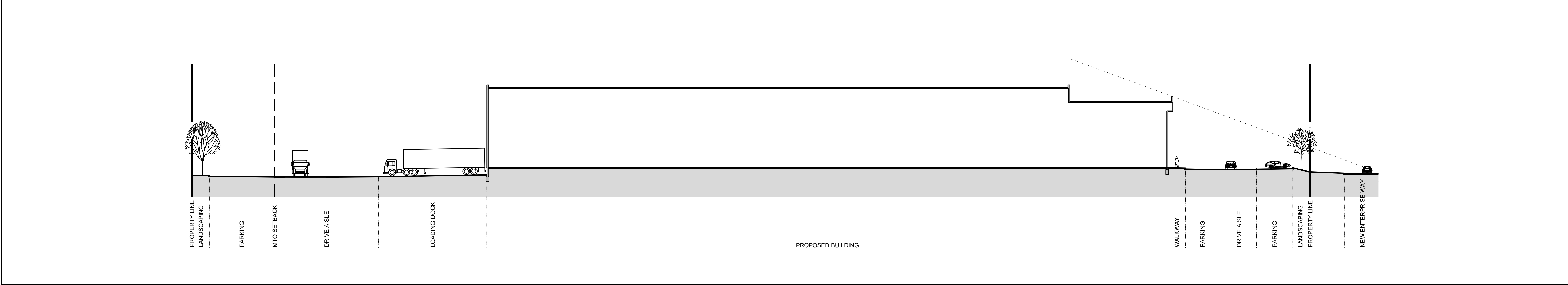
22-24 **A-1.0**

O:\2024_Zenway_Zenway - CapLink\Drawings\01 Current Drawings\2224-A-1.dwg, 2023-01-09 12:15:56 PM, Layout, AutoCAD PDF (General Documentation).pc3

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

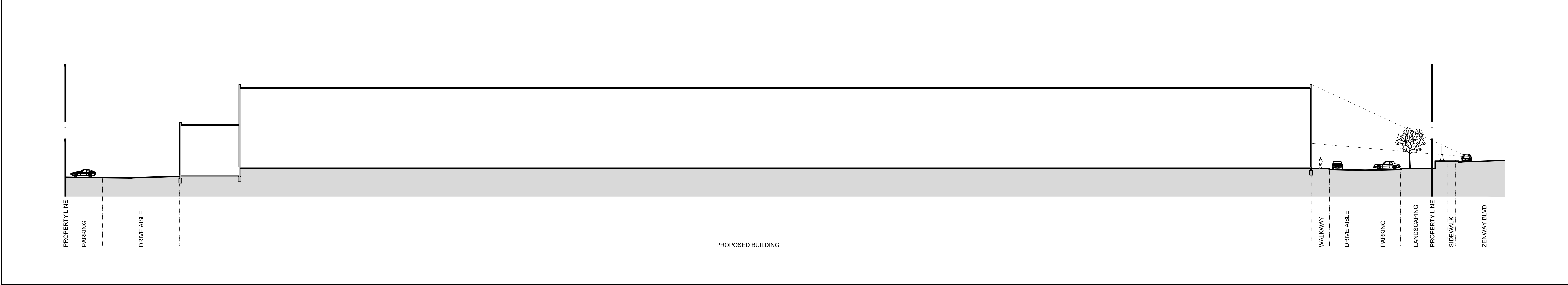
A305/22

No.	ISSUED	DATE
1	ISSUED FOR SPA	NOV. 14, 2022
2	RE-ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 30, 2022
3	ISSUED FOR REVIEW	DEC. 2, 2022
4	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 20, 2022
5	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 23, 2022
6	ISSUED FOR PERMIT & TENDER	JAN. 5, 2023
7	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023



2 Site Cross-Section - East-West

Scale = 1:300



1 Site Cross-Section - North-South

Scale = 1:300

No.	REVISION	DATE
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BALDASSARRA
Architects Inc.

30 Great Gulf Drive, Unit 20 | Concord ON | L4K 0K7
T. 905.660.0722 | www.baldassarra.ca



OWNERS INFORMATION:
CAP LINK
LIMITED

351-355 New
Enterprise Way

Vaughan, ON

SITE CROSS-SECTIONS

DATE:	DRAWN BY:	CHECKED:	SCALE:
NOV. 2022	LY		AS NOTED

PROJECT No. 22-24 DRAWING No. **A-1.1**

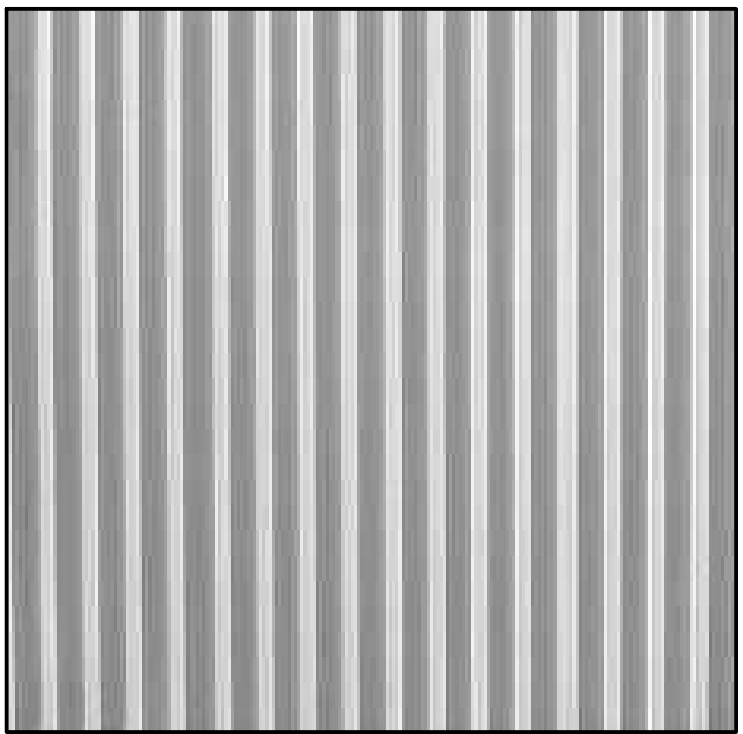
PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A305/22

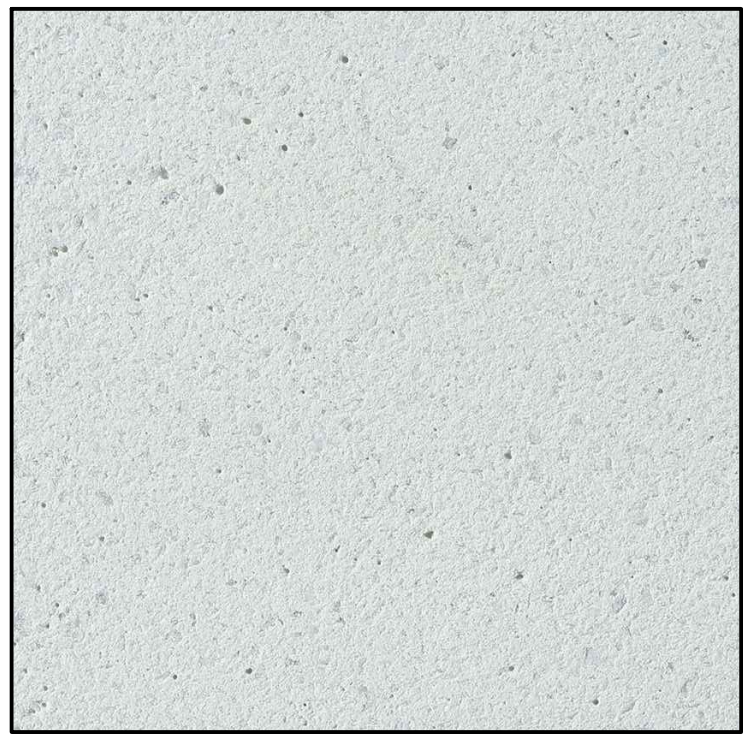
No.	ISSUED	DATE
1	ISSUED FOR SPA	NOV. 14, 2022
2	RE-ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 30, 2022
3	ISSUED FOR REVIEW	DEC. 2, 2022
4	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 20, 2022
5	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 23, 2022
6	ISSUED FOR PERMIT & TENDER	JAN. 5, 2023
7	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023



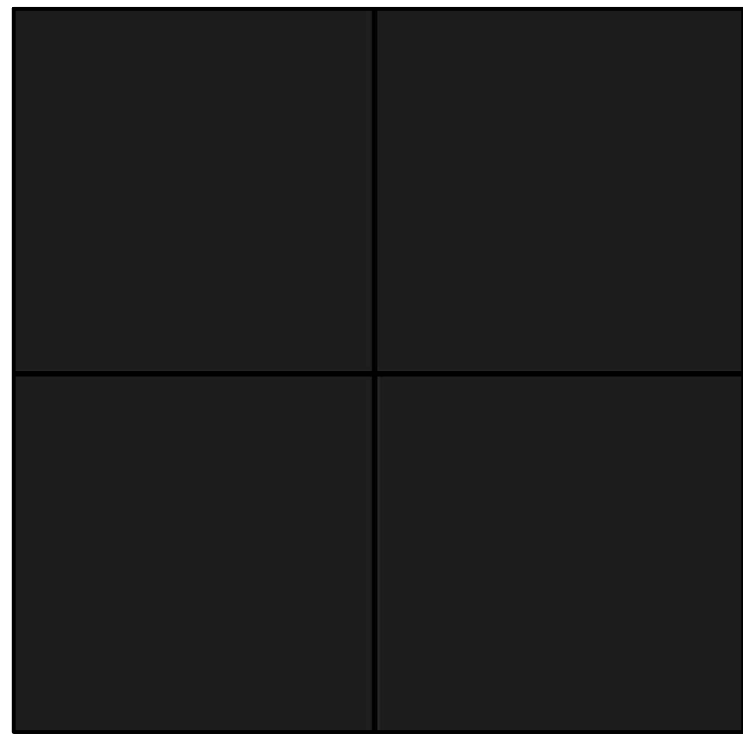
BUILDING "A"



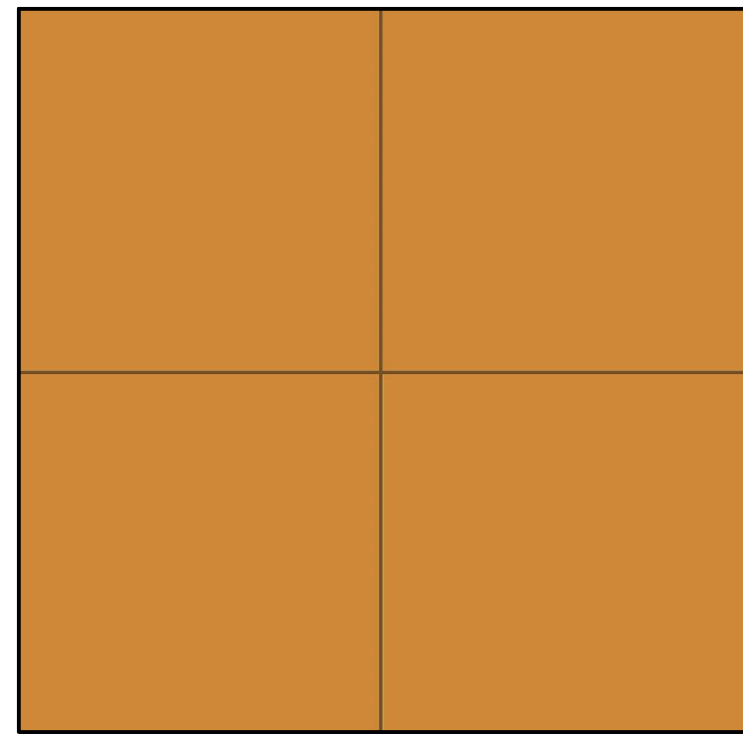
1 **CONC. PRECAST PANELS**
COLOUR: WHITE - RIBBED
FLEXWALL WITH SMOOTH BANDS



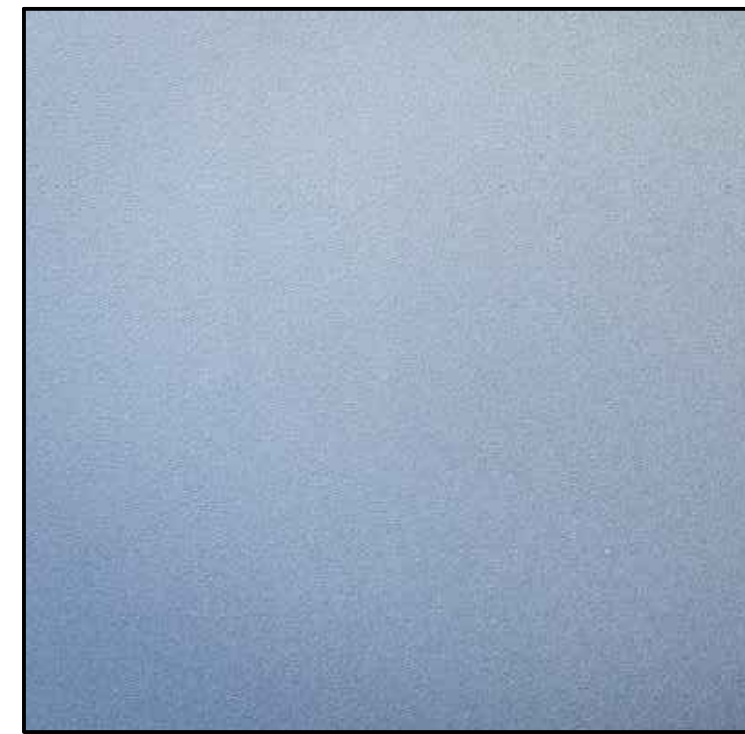
2 **CONC. PRECAST PANELS**
COLOUR: WHITE WITH LIGHT
SANDBLAST FINISH



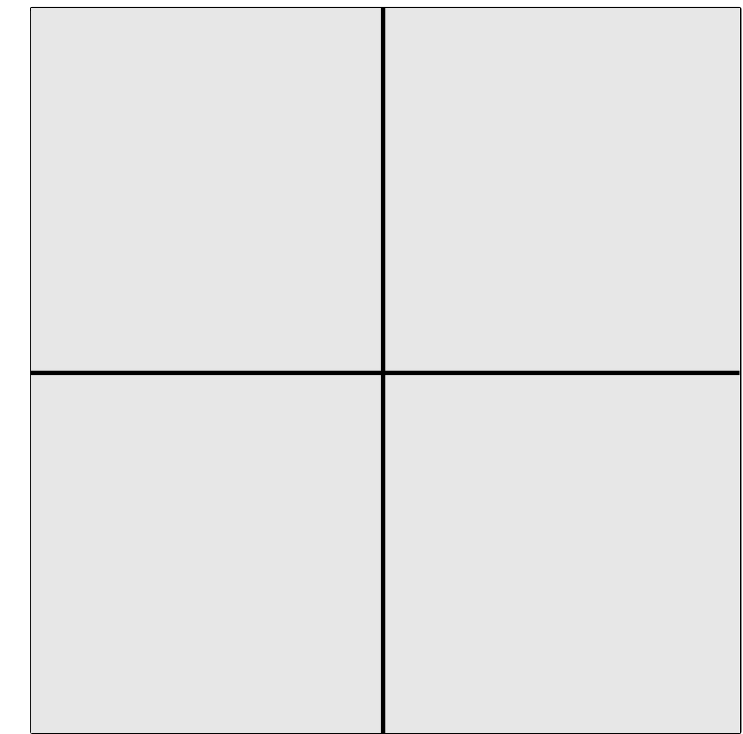
3 **ACM PANEL**
COLOUR: CNC CHARCOAL
MFR: ALPOLIC



4 **ACM PANELS**
COLOUR: COPPER
MFR: ALPOLIC



5 **ARCHITECTURAL GLAZING / SPANDEL PANELS**



6 **ACM PANEL**
COLOUR: WHITE
MFR: ALPOLIC

No.	REVISION	DATE
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Architects Inc.

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T. 905.660.0722 | www.baldassarra.ca



OWNERS INFORMATION:
CAP LINK
LIMITED

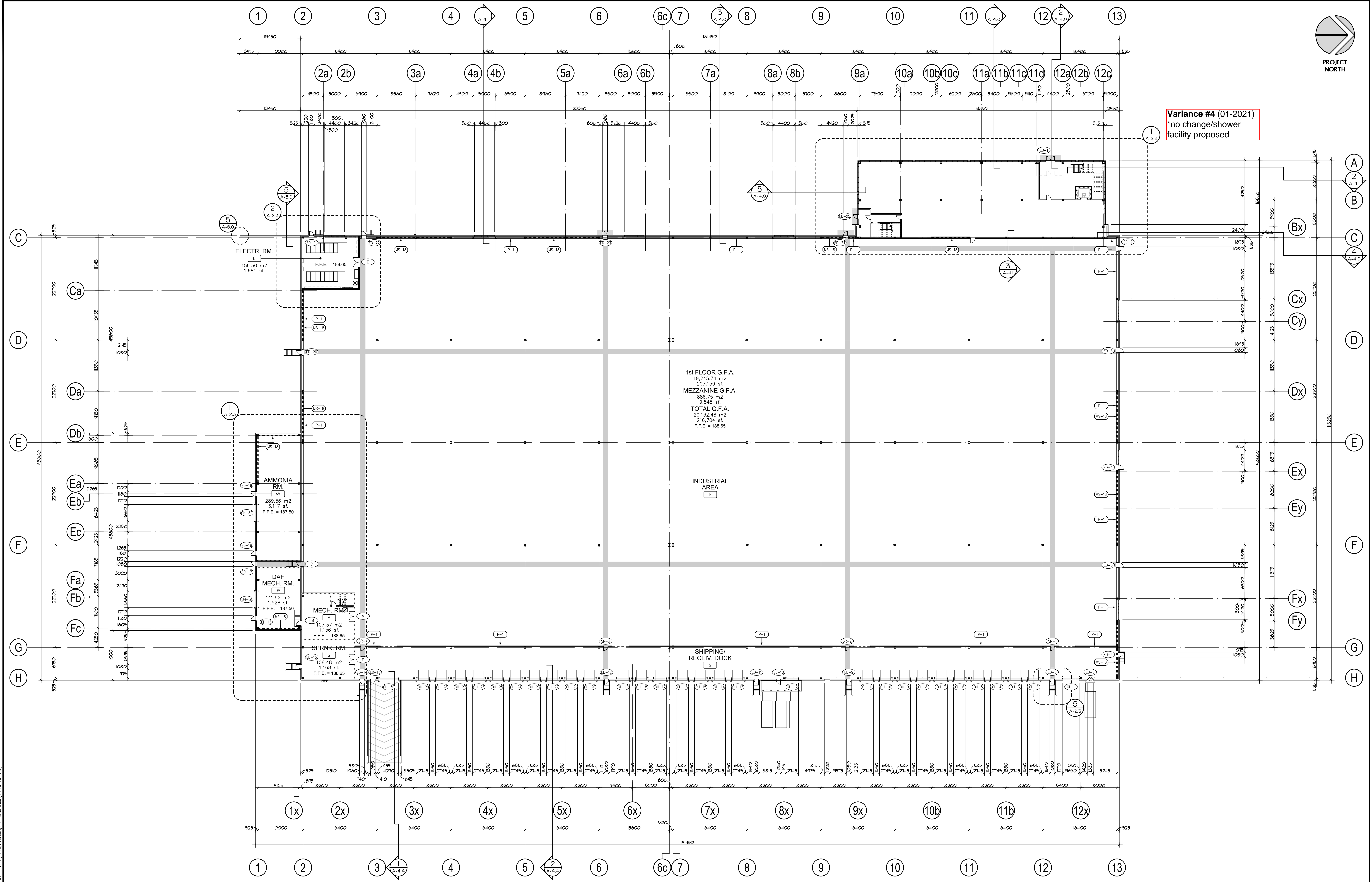
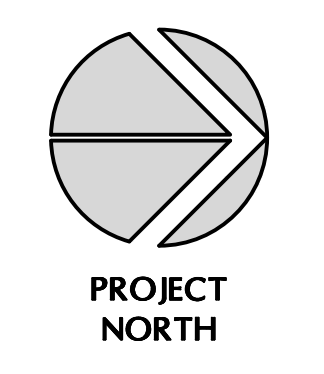
351-355 New
Enterprise Way

Vaughan, Ontario

PERSPECTIVES & MATERIAL BOARD

DATE	DRAWN BY	CHECKED	SCALE
Nov. / 2022	LY/MP		N.T.S.

PROJECT No.	DRAWING No.
22-24	A-1.2



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No.	ISSUED	DATE
1	ISSUED FOR COORDINATION	SEPT. 12, 2022
2	ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 1, 2022
3	ISSUED FOR SPA	NOV. 14, 2022
4	RE-ISSUED FOR MINOR VARIANCE APPLICATION	NOV. 30, 2022
5	ISSUED FOR REVIEW	DEC. 2, 2022

6	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 20, 2022
7	RE-ISSUED FOR MINOR VARIANCE APPLICATION	DEC. 23, 2022
8	ISSUED FOR PERMIT & TENDER	JAN. 5, 2023
9	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023

No.	REVISION	DATE

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Architects Inc.

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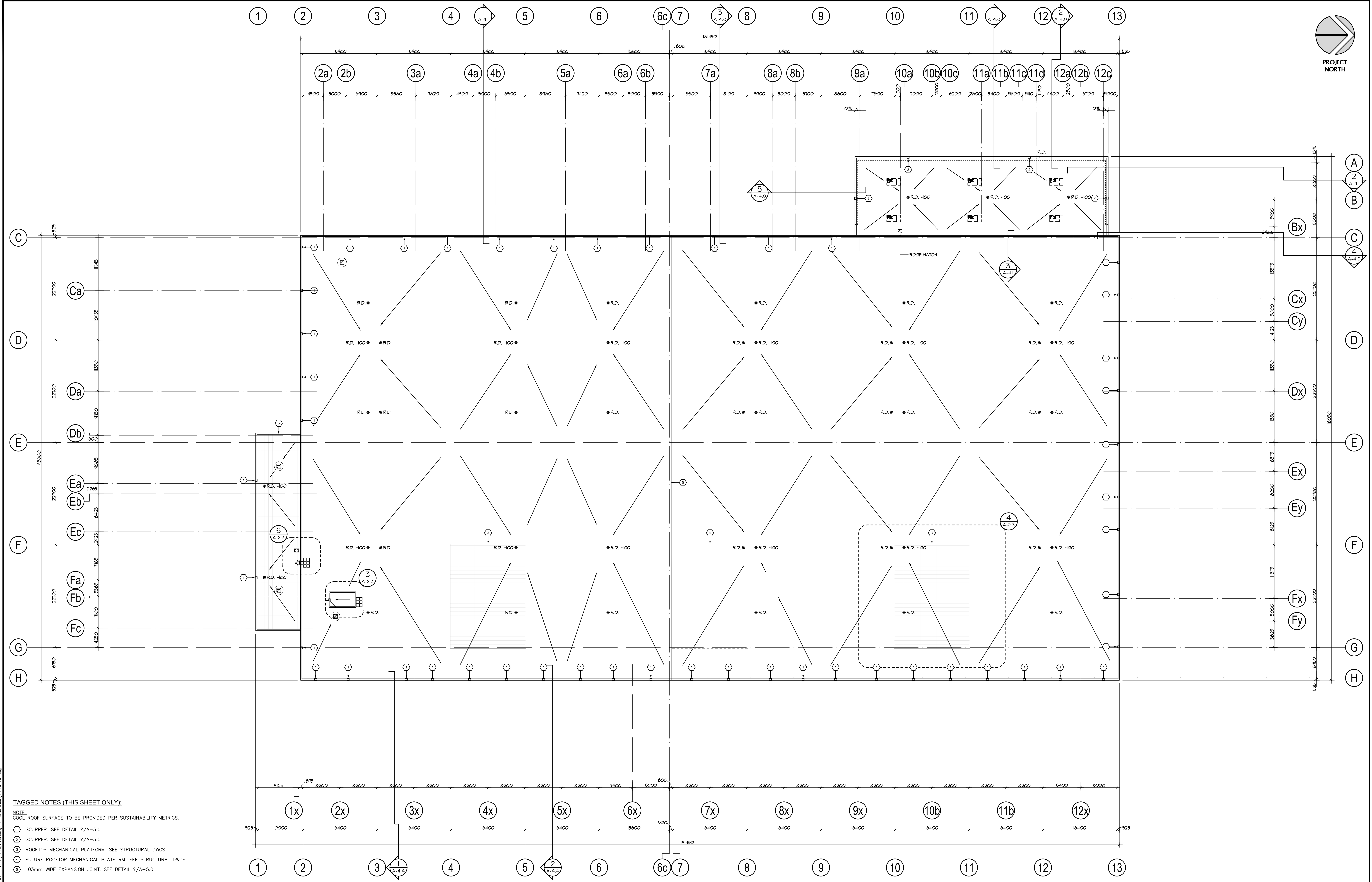
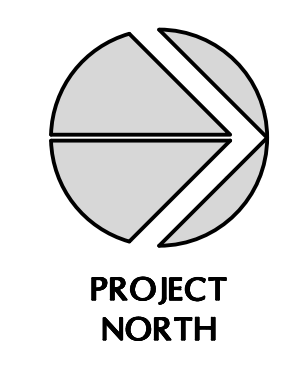


351-355 New Enterprise Way

Vaughan, ON

GROUND FLOOR PLAN

DATE:	DRAWN BY:	CHECKED:	SCALE:
APR. 2022	LY		1:300
PROJECT No.:	DRAWING No.:		
	22-24		A-2.0



TAGGED NOTES (THIS SHEET ONLY):

NOTE:
COOL ROOF SURFACE TO BE PROVIDED PER SUSTAINABILITY METRICS.

1 SCUPPER. SEE DETAIL 1/A-5.0
 2 SCUPPER. SEE DETAIL 1/A-5.0
 3 ROOFTOP MECHANICAL PLATFORM. SEE STRUCTURAL DWGS.
 4 FUTURE ROOFTOP MECHANICAL PLATFORM. SEE STRUCTURAL DWGS.
 5 103mm WIDE EXPANSION JOINT. SEE DETAIL 1/A-5.0

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7	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023

No.	REVISION	DATE

BALDASSARRA
Architects Inc.

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OWNERS INFORMATION:
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351-355 New Enterprise Way

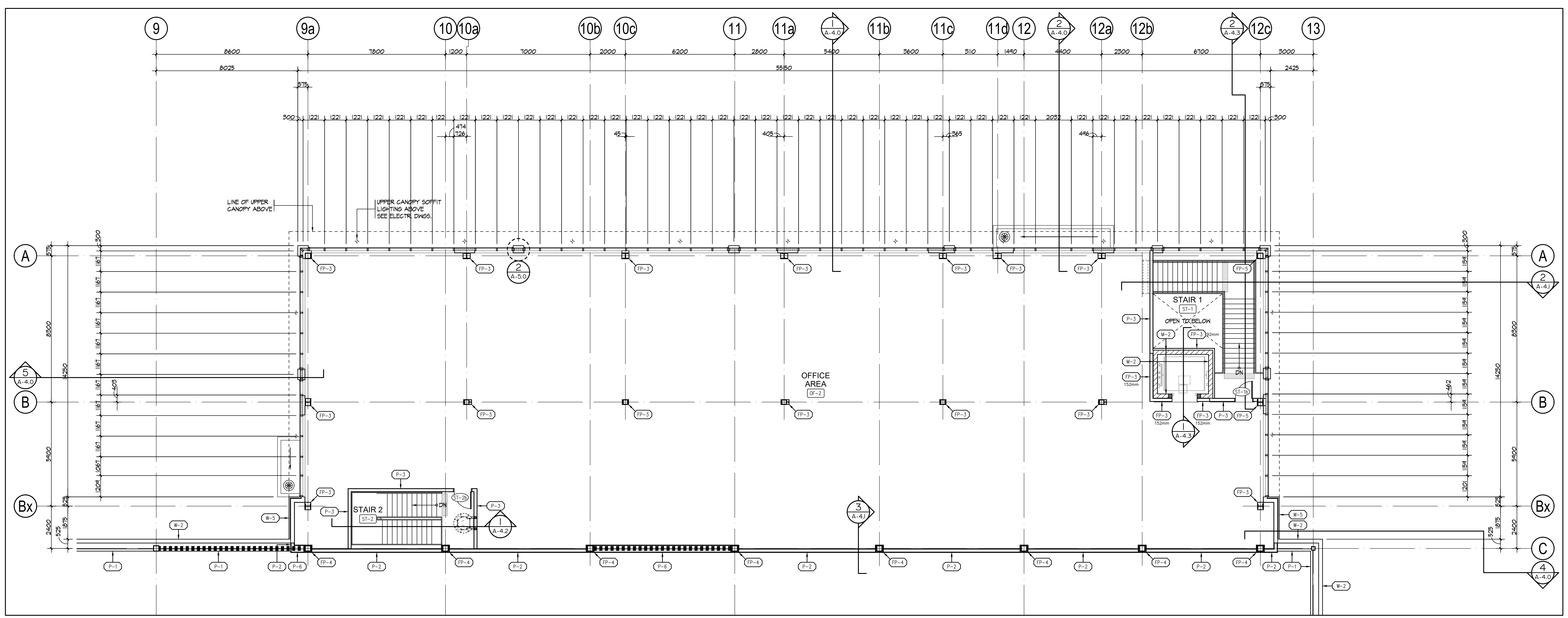
Vaughan, ON

ROOF PLAN

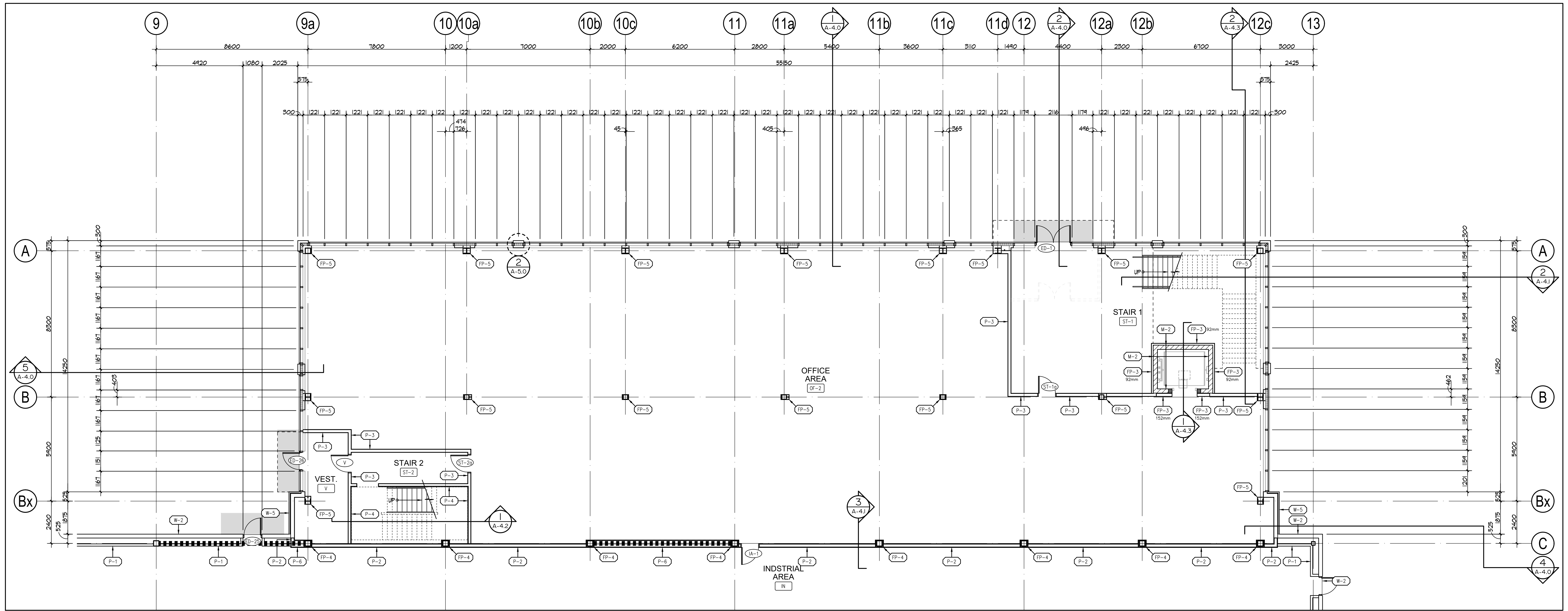
DATE: SEPT. 2022	DRAWN BY: LY	CHECKED:	SCALE: 1:300
PROJECT No.:	DRAWING No.:	22-24	A-2.1

O:\2224_Zenway - CapLink\Drawings\01 Current Drawings\2224_A-2.1.dwg, 2023-01-09 12:16:13 PM, Louis, AutoCAD PDF (General Documentation).pc3

No.	ISSUED	DATE
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5	RE-ISSUED FOR MINOR VARIANCE APPLICATION	JAN. 9, 2023



2 Mezzanine Plan
A-22 Scale = 1:100



1 Enlarged Plan - Ground Floor Office
A-20 Scale = 1:100

No.	REVISION	DATE
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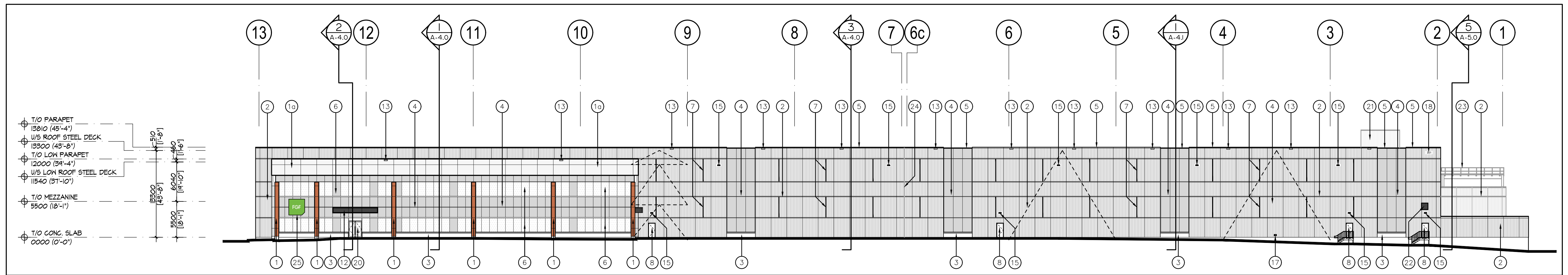
351-355 New Enterprise Way
Vaughan, ON

ENLARGED PLANS

DATE	DRAWN BY	CHECKED	SCALE
DEC. 2022	LY		AS NOTED

PROJECT No. DRAWING No.
22-24 A-2.2

O:\2224_Zimway - Caplink\Drawings\01 Current Drawings\2224 A-2.dwg, 2023-01-09 12:16:16 PM, Louis, AutoCAD PDF (General Documentation).pc3



4 West Elevation
 A-3.0 Scale = 1:300

- 1 COMPOSITE ALUMINUM PANELS BY ALPOLIC OR APPROVED EQUAL. COLOUR TO BE DCX METALLIC COPPER.
- 10 COMPOSITE ALUMINUM PANELS BY ALPOLIC OR APPROVED EQUAL. COLOUR TO BE BNT BONE WHITE.
- 2 FLEXWALL INSULATED PRECAST CONCRETE PANEL WITH SMOOTH BANDS. COLOUR TO BE WHITE.
- 3 INSULATED PRECAST CONCRETE PANEL WITH LIGHT SANDBLAST FINISH. COLOUR TO BE WHITE.
- 4 SPANDREL GLAZING IN CLEAR ANODIZED ALUMINUM CURTAIN WALL FRAMES. SEE GLAZING NOTES ON COVER SHEET A-0.0 FOR SPANDREL SPECIFICATION.
- 5 PRE-FINISHED METAL COPING. COLOUR TO MATCH MATERIAL BELOW.
- 6 THERMAL GLAZING IN CLEAR ANODIZED ALUMINUM CURTAIN WALL FRAMES. SEE GLAZING NOTES ON COVER SHEET A-0.0 FOR IGI SPECIFICATION.
- 7 BLACK ANODIZED ALUMINUM CURTAIN WALL EXTENDED VERTICAL CAP ON PRESSURE PLATE AFFIXED TO PRECAST CONCRETE PANEL. SEE MS-38 ON COVER SHEET A-0.0
- 8 INSULATED HOLLOW METAL DOOR IN GALVANIZED PRESSED STEEL FRAMES.
- 9 INSULATED SECTIONAL OVERHEAD DOOR C/W DOCK SEAL, DOCK LEVELLER, DOCK BUMPERS, AND TRUCK RESTRAINT. COLOUR TO BE WHITE. SEE DOOR SCHEDULE A-6.0 FOR DOOR SIZE. PRECAST MANUFACTURER TO PROVIDE MIN. 405mm FLAT SURFACE AT HEAD AND JAMBS OF ROUGH OPENING. 1220mm HIGH DOCK DOOR NUMBER PAINTED IN BLUE.
- 10 INSULATED SECTIONAL OVERHEAD DOOR. COLOUR TO BE WHITE. SEE DOOR SCHEDULE A-6.0 FOR DOOR SIZE. PRECAST MANUFACTURER TO PROVIDE MIN. 100mm FLAT SURFACE AT HEAD AND JAMBS OF ROUGH OPENING. 1220mm HIGH DOCK DOOR NUMBER PAINTED IN BLUE WHERE SHOWN.
- 11 STEEL GRATE EXTERIOR STAIR. HOT DIP GALVANIZED.
- 12 COMPOSITE ALUMINUM PANELS BY ALPOLIC OR APPROVED EQUAL. COLOUR TO BE CNC CHARCOAL.
- 13 SCUPPER.
- 14 GAS METERS.
- 15 WALL MOUNTED LIGHTING. REFER TO ELECTRICAL DRAWINGS. PRECAST MANUFACTURER TO PROVIDE FLAT SURFACE EXTENDING 65mm MINIMUM BEYOND LIGHT FIXTURE IN ALL (4) DIRECTIONS.
- 16 FUTURE MECHANICAL ROOFTOP UNIT.
- 17 FIRE DEPARTMENT CONNECTION. MIN. 300mm AND MAX. 900mm ABOVE GRADE.
- 18 MUNICIPAL ADDRESS NUMBER. 305mm HIGH 38mm THICK PAINTED BLACK FORMED PLASTIC NUMBERS. PRECAST MANUFACTURER TO PROVIDE FLAT SURFACE EXTENDING 65mm MINIMUM BEYOND NUMBERS IN ALL (4) DIRECTIONS.
- 19 DOCK DOOR NUMBER ON GRAVOPLY ULTRA MATERIAL 610x610x1.6mm THICK WITH MATTE FINISH. 2-PLY IN BLUE/WHITE. PRECAST MANUFACTURER TO PROVIDE 800x800mm FLAT SURFACE.
- 20 ALUMINUM AND THERMAL GLASS DOOR(S) IN CURTAIN WALL DOOR FRAMING SYSTEM. COLOUR TO MATCH CURTAIN WALL SYSTEM.
- 21 PRE-FINISHED VERTICAL METAL CLADDING BY VICWEST OR APPROVED EQUAL. COLOUR TO BE WHITE.
- 22 MECHANICAL LOUVRE. SEE MECHANICAL DWGS.
- 23 ROOFTOP MECHANICAL PLATFORM.
- 24 103mm WIDE EXPANSION JOINT.
- 25 ILLUMINATED TENANT SIGNAGE. ILLUMINATION VALUE TO BE 300 NITS MAX. BETWEEN SUNSET TO SUNRISE AND 5000 NITS MAX. BETWEEN SUNRISE TO SUNSET.

Applicant to include checklist on Elevation Drawing(s) at first site plan submission. Drawing(s) to be stamped and signed by an OAA member.

MANDATORY PRIMARY TREATMENTS FOR ALL DEVELOPMENTS At Grade Condition (check to confirm the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from finished grade.

Roof Landscape Condition (check to confirm one of the below is applied)

- Bird friendly treatment is applied on minimum 85% of contiguous glass panel area, if each panel area is greater than 2m² and within 16m from roof level finished grade.
- Development contains no glass panel within 16m from roof level finished grade.

Patterns (check to confirm one or more of the below are applied)

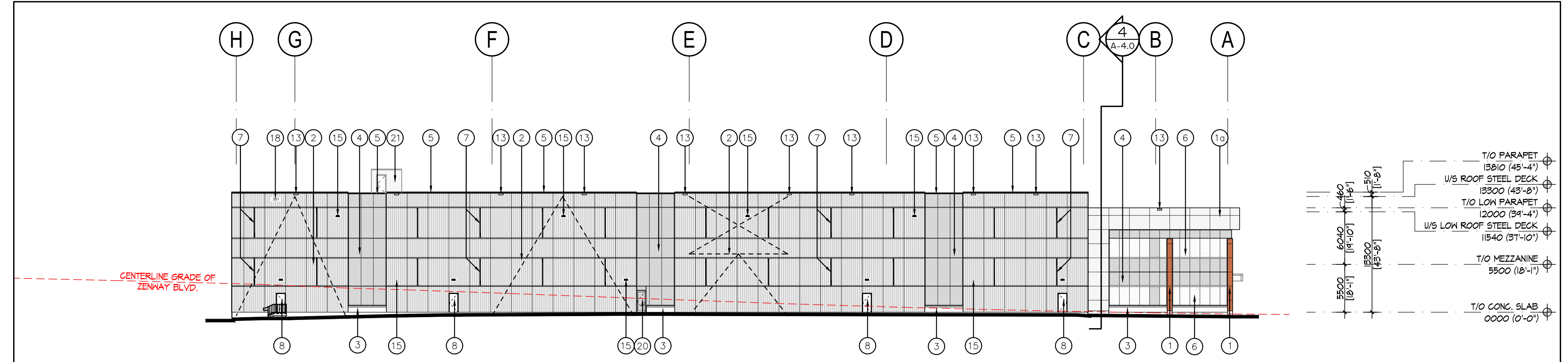
- Stripes
 Horizontal strip spacing is less than 5cm on centre;
 vertical strip spacing is less than 10cm on centre;
 horizontal strips widths are greater than 3.1mm; and
 vertical strips widths are greater than 6.1mm.

- Dots
 Dot size is larger than 5mm;
 horizontal strip spacing is less than 5cm on centre; and
 vertical strip spacing is less than 10cm on centre.

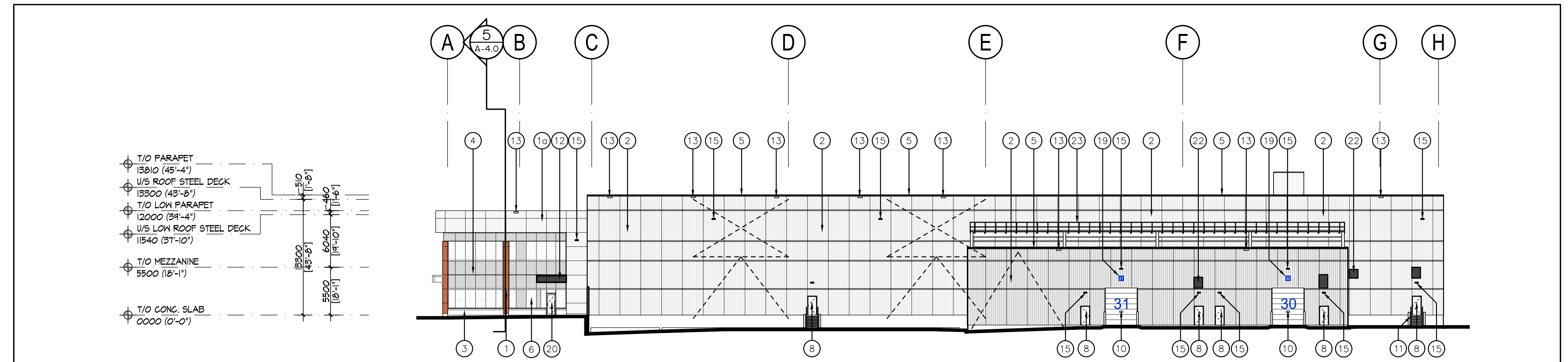
Specifications (check to confirm one or more of the below is applied)

- Pattern is applied as fritting or etching of glass; and pattern colour are high contrast in relation to the background.
- Pattern is applied as film on exterior surface of glass; and pattern colour are high contrast in relation to the background.

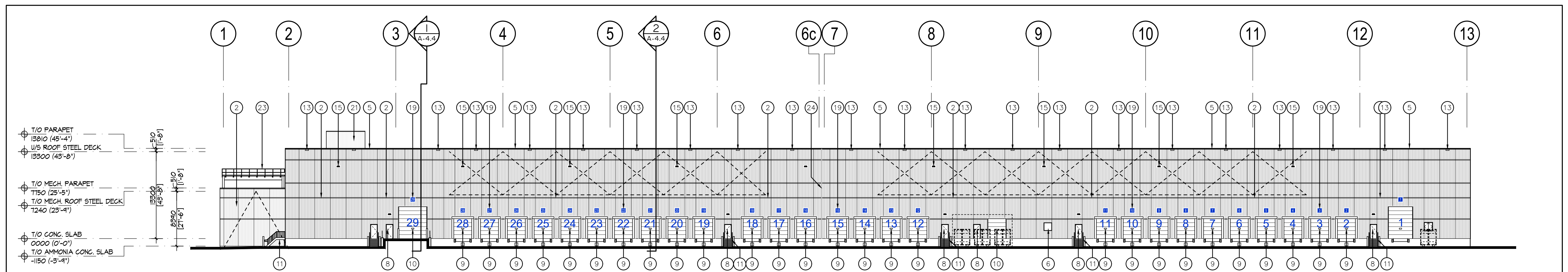
GLAZING TYPE	AREA (m2)
<input type="checkbox"/> CLEAR GLAZING	6.44
<input type="checkbox"/> DOT PATTERN ON CLEAR GLAZING	285.95
<input type="checkbox"/> SPANDREL GLAZING	709.89
TOTAL	1,002.28
DOT PATTERNED GLASS + SPANDREL GLASS = 995.94 m ²	
99.4% OF CONTIGUOUS GLASS PANEL AREA IS BIRD-FRIENDLY	



3 North Elevation
 A-3.0 Scale = 1:300



2 South Elevation
 A-3.0 Scale = 1:300



1 East Elevation
 A-3.0 Scale = 1:300

No.	ISSUED	DATE
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No.	REVISION	DATE

BALDASSARRA
 Architects Inc.

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 T. 905.660.0722 | www.baldassarra.ca

OWNERS INFORMATION:
CAP LINK
 LIMITED



351-355 New Enterprise Way

Vaughan, ON

ELEVATIONS

DATE:	DRAWN BY:	CHECKED:	SCALE:
MAR. 2022	MZ		1:300

PROJECT No. _____ DRAWING No. **A-3.0**

22-24

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X	X		No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval w/Conditions
Building Standards (Zoning)	X	X		General Comments

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: February 15, 2023
Name of Owner: Caplink Limited – Ojus Ajmera
Location: 351 and 355 New Enterprise Way
File No.(s): A305/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum landscape strip width of 3.0 m abutting Zenway Boulevard.
2. To permit a minimum setback of 0 m from the nearest portion of a TransCanada pipeline easement to any minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway.
3. To permit a minimum distance of 3.0 m from a lot line abutting a highway corridor for any part of a minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway.
4. To provide a total of 0 change and shower facilities where long term bicycle parking spaces are required.
5. To permit outside storage (trailer parking spaces) within the portion of the subject lands zoned U, Utility Zone.
6. To permit outside storage (trailer parking spaces) within the portion of the subject lands zoned EM1, Prestige Employment Zone.

By-Law Requirement(s) (By-law 001-2021):

1. A minimum landscape strip width of 6.0 m is required abutting Zenway Boulevard.
2. A minimum setback of 7.0 m from the nearest portion of a TransCanada pipeline easement shall apply to any minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway.
3. A minimum distance of 14.0 m from any lot line abutting a highway corridor for any part of a minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway is required.
4. A minimum of 1 change and shower facility is required where long term bicycle parking spaces are required.
5. Outside storage (trailer parking spaces) are not permitted in the portion of the subject lands zoned U, Utility Zone.
6. Outside storage (trailer parking spaces) are not permitted in the portion of the subject lands zoned EM1, Prestige Employment Zone.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Prestige Employment"

Comments:

The Owner is requesting relief to permit the construction of a food manufacturing building with the above noted variances. The Owner has submitted Site Development Application DA.22.064 to facilitate the development, which is currently under review.

The Development Planning Department has no objection to Variance 1 for the 3.0 m landscape strip abutting Zenway Boulevard as the reduced landscape strip will provide an adequate buffer between the proposed parking area and the adjacent street. The Urban Design Division of the Development Planning Department have also reviewed the minor variance application and have no objection.

The Development Planning Department has no objection to Variance 2 for the 0.0 m setback to the TransCanada pipeline easement. TransCanada PipeLines Limited (TCPL) has reviewed the proposed parking spaces, driveway, and outdoor storage area and has

no objection as the outdoor storage area is for the parking of wheeled trailers, which may be easily relocated in the event access to the pipeline is needed. TCPL has provided written consent to the Owner for this proposal.

The Development Planning Department has no objection to Variance 3 for the proposed parking area and loading area within the required 14.0 m setback. The loading area within the 14.0 m setback is deemed non-essential and the minimum required number of parking spaces are provided outside of the 14 m setback. The Ministry of Transportation has also reviewed the proposed parking and loading area and have no objection.

The Development Planning Department has no objection to Variance 4 for the omission of the required change and shower facility given that the proposal has been reviewed by the Transportation Engineering Division of the Development Engineering Department and they have no concerns.

The Development Planning Department has no objection to Variances 5 and 6 for the location of the outside storage as the storage space will exclusively be used for the accessory parking of trailers on trailer parking spaces and no other materials or equipment will be stored on site. The parking of trailers is necessary for the operations of the proposed business.

In support of the application, the Owner has submitted an Arborist Report and Tree Protection Plan prepared by Canopy Consulting, dated November 2, 2022. The report inventoried two trees, one of which is proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application DA.22.064 be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: February 14, 2023
Applicant: Caplink Limited – Ojus Ajmera
Location: 351 and 355 New Enterprise Way
 PLAN 65M3992 Block 51
 PLAN 65M3992 Block 52
File No.(s): A305/22

Zoning Classification:

The subject lands are zoned EM1, Prestige Employment Zone and subject to the provisions of Exception 14.897, and U, Utility Zone, under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A minimum landscape strip width of 6 m is required abutting Zenway Blvd. [14.897]	To permit a minimum landscape strip width of 3 m abutting Zenway Blvd.
2	A minimum setback of 7.0 m from the nearest portion of a TransCanada pipeline easement shall apply to any minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway. [4.23 c]	To permit a minimum setback of 0 m from the nearest portion of a TransCanada pipeline easement to any minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway.
3	A minimum distance of 14.0 m from any lot line abutting a highway corridor for any part of a minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway is required. [4.8.2]	To permit a minimum distance of 3.0 m from a lot line abutting a highway corridor for any part of a minimum required parking area or loading area, including any minimum required parking space, loading space, stacking space, bicycle parking space, and any associated aisle or driveway.
4	A minimum of 1 change and shower facility is required where long term bicycle parking spaces are required. [6.5.6 and Table 6-9]	To provide a total of 0 change and shower facilities where long term bicycle parking spaces are required.
5	Outside storage (trailer parking spaces) are not permitted in the portion of the subject lands zoned U, Utility Zone. [Table 13-2]	To permit outside storage (trailer parking spaces) within the portion of the subject lands zoned U, Utility Zone.
6	Outside storage (trailer parking spaces) are not permitted in the portion of the subject lands zoned EM1, Prestige Employment Zone. [Table 11-2]	To permit outside storage (trailer parking spaces) within the portion of the subject lands zoned EM1, Prestige Employment Zone.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A building permit is required for the construction of the proposed building.

Other Comments:

General Comments	
1	The applicant shall be advised that Comprehensive Zoning By-law 001-2021 is in effect and therefore any deficiencies previously identified under Zoning By-law 1-88 are no longer applicable.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
3	A concurrent Development Application file has been submitted, and the file is currently being reviewed by this Department. Drawings submitted for minor variance, development application, and building permit application shall match.
4	The 10 long term bicycle parking spaces, as noted on the Site Plan, are not shown on the Ground Floor Plan. The Applicant has advised that this will not be identified on the Ground Floor Plan until the interior fitting design stage at a later date. The Applicant has been advised that compliance with all parts of 6.5 Bicycle Parking Space Requirements is mandatory.
5	The Applicant shall be advised that charging stations for the 16 electric vehicle parking spaces shall not encroach into minimum required parking space dimensions under the zoning bylaw. [Section 3.0 Definition of a Parking Space and Barrier-free Parking Space]
6	A minimum of 225 parking spaces are required based on the calculations for a Manufacturing or Processing Facility with Accessory Office Use. A reduction of 5 required parking spaces in accordance with Subsection 6.9.2 of Zoning Bylaw 001-2021 is permitted where carpooling parking spaces have been provided which results in a minimum requirement of 220 parking spaces. The Applicant is providing sufficient parking under the by-law.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

Date: November 29th 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A305-22**

Related Files:

Applicant Caplink Limited – Ojus Ajmera

Location 351 and 355 New Enterprise Way



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A305/22 (351 & 355 New Enterprise Way) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, February 2, 2023 5:05:44 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Please note regional comments are being sent through the associated Site Plan (SP.22.V.0320 - DA.22.064).

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

February 15, 2023

Christine Vigneault
Manager & Secretary Treasurer to the Committee of Adjustment
Development Services

City of Vaughan
2141 Major Mackenzie Dr.
Vaughan ON
L6A 1T1

Via email: cofa@vaughan.ca

Dear Christine Vigneault:

Re: Minor Variance Application
351 & 355 New Enterprise Way
Caplink Limited c/o Humphries Planning Group Inc.
Your File: A305/22
Our File: PAR 50036

MacNaughton Hermsen Britton Clarkson (MHBC) are the planning consultants for TransCanada PipeLines Limited (TCPL). This letter is in response to notification of the minor variance application outlined above. We understand that one of the variances requested is to eliminate the 7 metre setback from TCPL's right-of-way for parking and loading areas, in order to facilitate the development of a food manufacturing facility on the lands identified as 351 & 355 New Enterprise Way (the "Subject Lands"). TCPL has one (1) high-pressure natural gas pipeline contained within a right-of-way ("easement") crossing the Subject Lands.

TCPL's pipelines and related facilities are subject to the jurisdiction of the Canada Energy Regulator (CER) – formerly the National Energy Board. As such, certain activities must comply with the Canadian Energy Regulator Act (Act) and associated Regulations. The Act and the Regulations noted can be accessed from the CER's website at www.cer-rec.gc.ca.

Due to the design of TCPL's pipeline through the Subject Lands, **TCPL supports the proposed variance to Section 4.23 of the City of Vaughan's Comprehensive Zoning By-law 01-2021** to eliminate the 7.0 metre setback from the edge of the right-of-way, provided that the Applicant:

1. Obtains the location and depths of cover over the pipeline and provides TCPL with a surveyed topographic plan prepared by an Ontario Land Surveyor as part of their application for Written Consent.

2. Provides for TCPL to complete a full engineering assessment at the Applicant's cost to assess the design, constructability/method of construction and stress impacts to the pipeline, along with any other issues from a damage prevention perspective (e.g., the creation of a situation whereby vehicles end up traveling off the paved surface into the easement and over the pipeline).
3. Provides for TCPL to complete any damage preventative measures at the Applicant's cost such as concrete slabbing over the pipeline, installation of fencing, or other preventative measures to prevent traffic and activity over the pipeline.
4. Obtains written consent from TCPL prior to conducting any of the following:
 - a. Constructing or installing a facility across, on, along or under a TCPL pipeline right-of-way. A facility may include, but is not limited to: driveways, roads, access ramps, trails, pathways, utilities, berms, fences/fence posts;
 - b. Conducting ground disturbance (excavation or digging) on TCPL's right-of-way or within 30 metres of the centreline of TCPL's pipeline (the "Prescribed Area");
 - c. Driving a vehicle, mobile equipment or machinery across a TCPL pipeline right-of-way outside the travelled portion of a highway or public road;
 - d. Using any explosives within 300 metres TCPL's right-of-way; and
 - e. Using TCPL's Prescribed Area for storage purposes.

Please note that the Owner has received Written Consent from TC Energy for the parking area on TCPL's right-of-way. This permits only the parking and storing of trailers with wheels in the parking stalls, and does not permit the storage of any other materials or equipment in the parking stalls, or storage or parking anywhere else on TCPL's the right-of-way. In order to ensure TCPL's compliance with their regulations and aerial patrol requirements, only trailers with wheels will be permitted to park in the designated parking stalls on TCPL's right-of-way.

Thank you for the opportunity to comment. Kindly forward a copy of the decision to TCEnergy@mhbcplan.com. If you have any questions, please do not hesitate to contact our office.

Sincerely,



Kaitlin Webber, MA
Planner | MHBC Planning

on behalf of TransCanada PipeLines Limited

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None