

<b>ITEM: 6.21</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A317/22 125 Parr Place, Thornhill</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Alectra	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

A104/21	06/30/2021	COFA APPROVED
A017/18	04/05/2018	COFA APPROVED

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

Hearing Date (01/26/2023)	To accommodate statutory public notice.
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A317/22  
125 Parr Place, Thornhill**

<b>ITEM NUMBER: 6.21</b>	<b>CITY WARD #: 5</b>
<b>APPLICANT:</b>	Irina Bromberg
<b>AGENT:</b>	Georgio Lolos
<b>PROPERTY:</b>	125 Parr Place, Thornhill
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling and loggia.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1D(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.496 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 01-2021	Variance requested
1	A maximum lot coverage of 20% is permitted for the dwelling and covered loggia. Exc. 14.496	To permit a maximum lot coverage of 22.93% for the dwelling and covered loggia.
2	A maximum building height of 9.5 metres is permitted. Exc. 14.496	To permit a maximum building height of 10.97 metres.

**The subject lands are zoned R1 – Residential Zone One and subject to the provisions of Exception 9(797) under Zoning By-law 1-88, as amended.**

#	Zoning By-law 1-88	Variance requested
3	A maximum lot coverage of 20% is permitted for the dwelling and covered loggia. Exc. 9(797)	To permit a maximum lot coverage of 22.93% for the dwelling and covered loggia.
4	A maximum building height of 9.5 metres is permitted. Exc. 9(797)	To permit a maximum building height of 10.97 metres.

**HEARING INFORMATION**

**DATE OF MEETING:** Thursday, March 2, 2023  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

**PUBLIC PARTICIPATION**

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)  
 If you would like to submit written comments, please quote file number above and submit by mail or email to:  
**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

**INTRODUCTION**

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

## INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	February 17, 2023	
<b>Date Applicant Confirmed Posting of Sign:</b>	February 16, 2023	
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Family size requirements, pushes the lot coverage over what is permitted.	
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>		No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
<b>Committee of Adjustment Comments:</b>	None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None	

## BUILDING STANDARDS (ZONING) COMMENTS

<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
<b>Building Standards Recommended Conditions of Approval:</b>	None

## DEVELOPMENT PLANNING COMMENTS

<b>**See Schedule B for Development Planning Comments.</b>	
<b>Development Planning Recommended Conditions of Approval:</b>	None

## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)   [Link to Pool Permit](#)   [Link to Curb Curt Permit](#)   [Link Culvert Installation](#)

As the proposed dwelling in the subject property is 512 m<sup>2</sup>, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m<sup>2</sup> requires a grading permit. Please contact the COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Owner/applicant shall apply for a Pool Grading Permit with the Development Engineering (DE) Department. Please visit the grading permits page at City of Vaughan website to learn how to apply for the Pool Permit. If you have any question about Pool Grading Permit, please contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca).

## DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The proposed work by the owner/ applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Staff strongly encourage the owner/applicant introduce Low-impact Development (LID) measures (e.g., Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts. Should further information be required, please contact the Development Engineering COA reviewer.

The Development Engineering Department does not object to the Minor Variance application A317/22, subject to the following condition:

### Development Engineering Recommended Conditions of Approval:

The Owner/Applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City of Vaughan's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at [DEPermits@vaughan.ca](mailto:DEPermits@vaughan.ca) or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

## PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry has no comments at this time

### PFH Recommended Conditions of Approval:

None

## DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

### Development Finance Recommended Conditions of Approval:

None

## BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No Comments Received to Date

### BCLPS Recommended Conditions of Approval:

None

## BUILDING INSPECTION (SEPTIC) COMMENTS

No Comments Received to Date

### Building Inspection Recommended Conditions of Approval:

None

## FIRE DEPARTMENT COMMENTS

No Comments Received to Date

### Fire Department Recommended Conditions of Approval:

None

## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

### SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/Applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading Division of the City of Vaughan’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
2	York Region <a href="mailto:developmentervices@york.ca">developmentervices@york.ca</a>	Prior to the approval of the application, the City of Vaughan shall confirm that adequate water supply and sewage capacity has been allocated for the proposed new dwelling.

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s

### IMPORTANT INFORMATION – PLEASE READ

Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**SCHEDULE A: DRAWINGS & PLANS**



**SCHEDULE B: STAFF & AGENCY COMMENTS**

<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X	X	Recommend Approval w/Conditions
Alectra *Schedule B	X			No Comments Received to Date
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** January 23, 2023  
**Name of Owner:** Irina Bromberg  
**Location:** 125 Parr Place, PLAN 65M3163 Lot 30  
**File No.(s):** A317/22

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**Proposed Variance(s) (By-law 01-2021):**

1. To permit a maximum lot coverage of 22.93% for the dwelling and covered loggia.
2. To permit a maximum building height of 10.97 m.

**By-Law Requirement(s) (By-law 01-2021):**

1. A maximum lot coverage of 20% is permitted for the dwelling and covered loggia. [Exc. 14.496]
2. A maximum building height of 9.5 m is permitted. [Exc. 14.496]

**Proposed Variance(s) (By-law 1-88):**

3. To permit a maximum lot coverage of 22.93% for the dwelling and covered loggia.
4. To permit a maximum building height of 10.97 m.

**By-law Requirement(s) (By-law 1-88):**

3. A maximum lot coverage of 20% is permitted for the dwelling and covered loggia. [exc. 9(797)]
4. A maximum building height of 9.5 m is permitted. [Exc. 9(797)]

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is requesting permission to construct a 2-storey single detached dwelling and covered rear loggia with the above noted variances.

At the request of the Development Planning Department the Owner has reduced the maximum building height to mitigate massing impacts on the right-of-way and propose a built form that is compatible with the other properties in the immediate neighbourhood. The proposed 22.93% lot coverage of consists of 20.93% for the dwelling's enclosed areas while the remaining 2% is for the loggia in the rear with a second-floor balcony on its roof. Given the loggia will be unenclosed, Development Planning does not consider the additional 2% of lot coverage to form part of the main dwelling.

The Urban Design Division of the Development Planning Department provided advisory comments to verify the distance in width at the curb and consider planting trees, as well as other landscaping in the front yard in a manner that adds aesthetic value to the existing neighbourhood. The Owner's Agent has reviewed the comments provided by Urban Design and has confirmed the proposed curb cuts do not require relief.

The lot is sufficiently sized to accommodate the scale of development proposed. The enhanced front yard setback of about 15.5 m to the closest part of the main wall of the dwelling also assists in mitigating any adverse massing impacts the added height may have on the streetscape. The Development Planning Department has no objection to the variances as the total lot coverage and increased maximum building height produce a footprint and scale of development that fits harmoniously within the context of this community.

The Development Planning Department has reviewed the application and is of the opinion that it is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

None

**Comments Prepared by:**

Roberto Simbana, Planner I  
David Harding, Senior Planner

**To:** Committee of Adjustment  
**From:** Pia Basilone, Building Standards Department  
**Date:** January 18, 2023  
**Applicant:** Irina Bromberg  
**Location:** PLAN 65M3163 Lot 30 municipally known as 125 Parr Place  
**File No.(s):** A317/22

**Zoning Classification:**

The subject lands are zoned R1D(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.496 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum lot coverage of 20% is permitted for the dwelling and covered loggia. Exc. 14.496	To permit a maximum lot coverage of 22.93% for the dwelling and covered loggia.
2	A maximum building height of 9.5 metres is permitted. Exc. 14.496	To permit a maximum building height of 10.97 metres.

The subject lands are zoned R1 – Residential Zone One and subject to the provisions of Exception 9(797) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
3	A maximum lot coverage of 20% is permitted for the dwelling and covered loggia. Exc. 9(797)	To permit a maximum lot coverage of 22.93% for the dwelling and covered loggia.
4	A maximum building height of 9.5 metres is permitted. Exc. 9(797)	To permit a maximum building height of 10.97 metres.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file.

**Building Permit(s) Issued:**

Building Permit No. 21-134623 for Single Detached Dwelling - (Not Yet Issued)

**Conditions of Approval:**

None

\* Comments are based on the review of documentation supplied with this application.

**From:** [Development Services](#)  
**To:** [Christine Vigneault](#); [Committee of Adjustment](#)  
**Subject:** [External] RE: A317/22 (125 Parr Place) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Thursday, December 22, 2022 3:27:22 PM  
**Attachments:** [image001.png](#)  
[image003.png](#)

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Hi Christine,

The Regional Municipality of York has completed its review of the above minor variances (A317/22) and has the following condition:

1. Prior to the approval of the application, the City of Vaughan shall confirm that adequate water supply and sewage capacity has been allocated for the proposed new dwelling.

Thank you,  
Niranjan

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None

<b>SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND</b>		
<b>File Number</b>	<b>Date of Decision MM/DD/YYYY</b>	<b>Decision Outcome</b>
A104/21	06/30/2021	Approved by COA
A017/18	04/05/2018	Approved by COA

**NOTICE OF DECISION**  
**Minor Variance Application A104/21**  
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

**Date of Hearing:** Wednesday, June 30, 2021  
**Applicant:** Irina Bromberg  
**Agent:** Victor Guitberg  
**Property:** **125 Parr Pl Thornhill ON**  
**Zoning:** The subject lands are zoned R1 Residential Zone One, and subject to the provisions of Exception No. 9(797) under By-law 1-88 as amended.  
**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"  
**Related Files:** None  
**Purpose:** Relief from By-law 1-88, as amended, is being requested to permit the construction of a proposed single family dwelling (including covered porches) and accessory building (cabana).

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum lot coverage of 20% is permitted. (Exc. 9(797))	1. To permit a maximum lot coverage of 22.77% (Dwelling –19.46%, Covered Porches – 2.11%, Cabana – 1.20%).
2. A maximum building height of 9.5 metres is permitted. Exc. 9(797)	2. To permit a maximum building height of 11.0 metres for the dwelling.
3. A minimum setback of 20 metres is required from the rear lot line to the accessory building. Exc. 9(797).	3. To permit a minimum setback of 17.77 metres from the rear lot line to the accessory building.

**Sketch:** A sketch illustrating the request has been attached to the decision.

**Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:**

THAT Application No. A104/21 on behalf of Irina Bromberg be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

Department/Agency	Condition
1 Development Engineering Farzana Khan  905-832-8585 x 3608 <a href="mailto:Farzana.Khan@Vaughan.ca">Farzana.Khan@Vaughan.ca</a>	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit <a href="https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx">https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx</a> to learn how to apply for lot grading and/or servicing approval.



**For the following reasons:**

1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

**Please Note:**

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City's Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City's Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

**Written & oral submissions considered in the making of this decision were received from the following:**


<b>Public Written Submissions</b>	<b>Public Oral Submissions</b>
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Wednesday, June 30, 2021 meeting for submission details.
None	None

**Late Written Public Submissions: N/A**

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

**MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

<i>Hao Zheng</i>	<i>Assunta Perrella</i>	<i>Robert Buckler</i>
H. Zheng Member	A. Perrella Chair	R. Buckler Member
<i>Steve Kerwin</i>		<i>Adolfo Antinucci</i>
S. Kerwin Vice Chair		A. Antinucci Member

<b>DATE OF HEARING:</b>	<b>June 30, 2021</b>
<b>DATE OF NOTICE:</b>	<b>June 8 2021</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>July 20, 2021 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan’s Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.   <hr/> Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

\*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

**Appealing to The Local Planning Appeal Tribunal**  
 The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment  
 2141 Major Mackenzie Drive  
 Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Appeal Fees & Forms**

**Local Planning Appeal Tribunal:** The LPAT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the “Minister of Finance”. Appeal forms (A1 Appeal Form – Minor Variance) can be obtained at [www.elto.gov.on.ca](http://www.elto.gov.on.ca) or by contacting our office at 905-832-8585 Ext. 8332 or [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

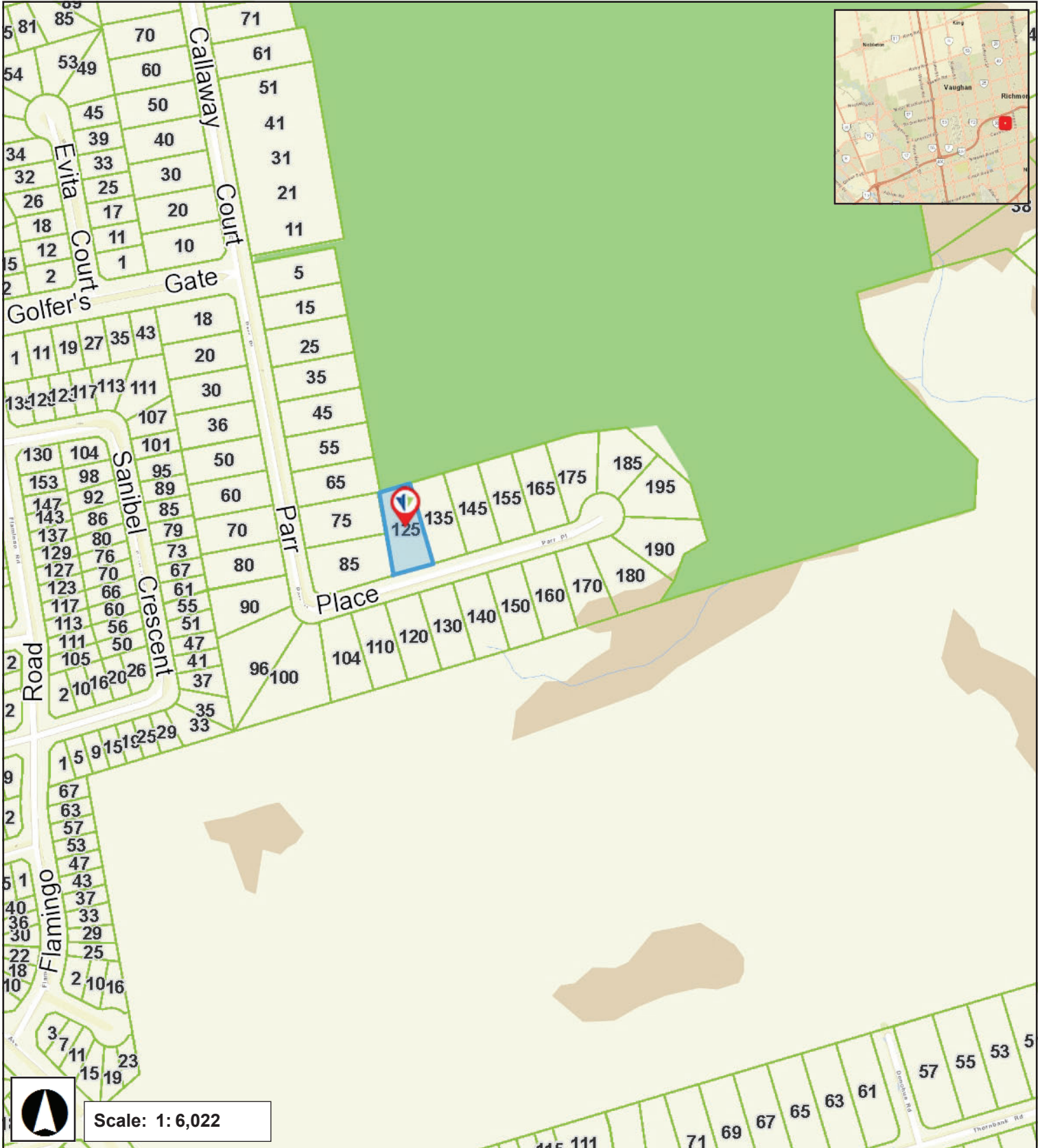
**City of Vaughan LPAT Processing Fee:** \$866.00 per application

\*Please note that all fees are subject to change.



# A104/21 - Location Map

125 Parr Place, Thornhill



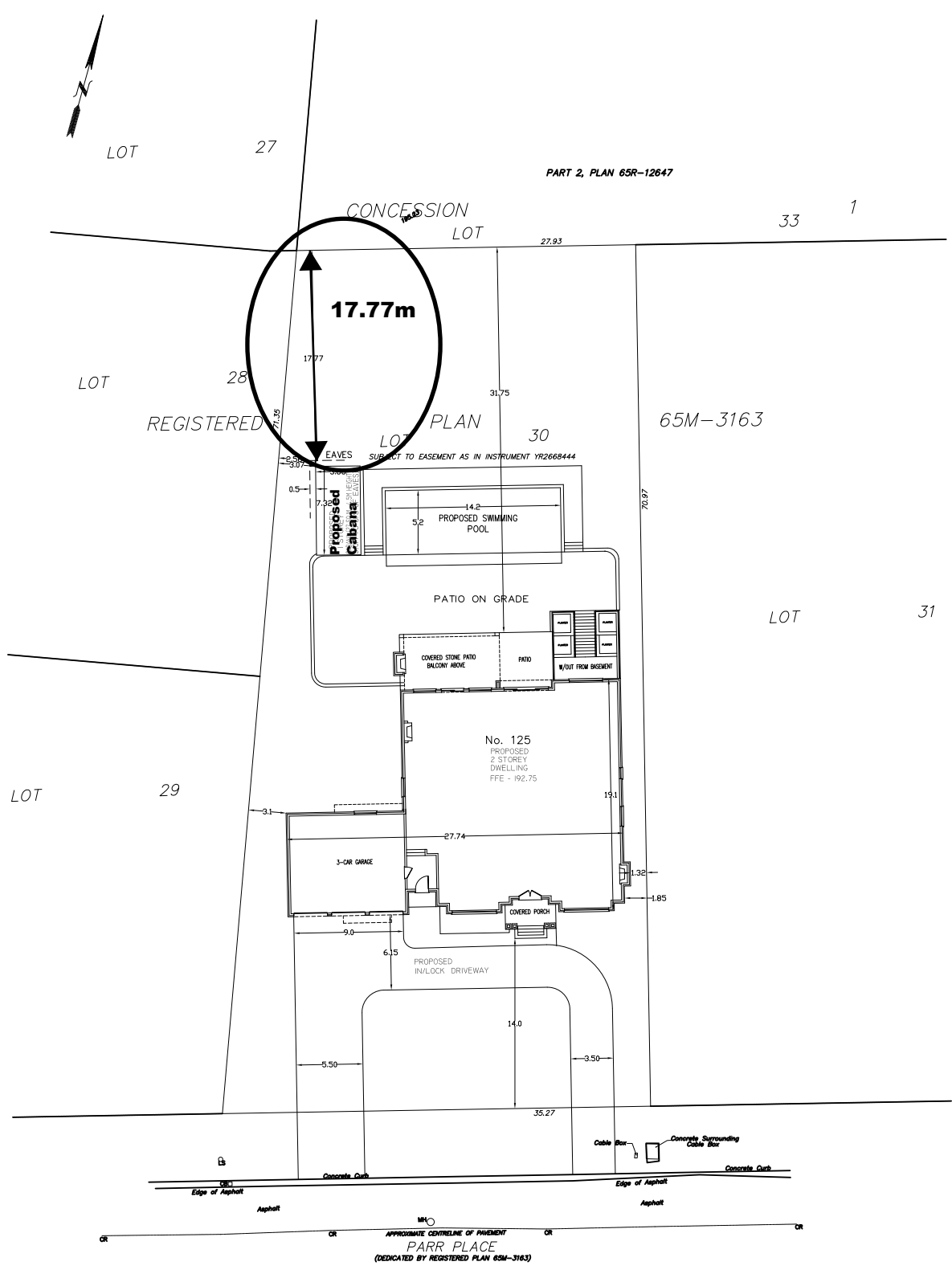
**Centre Street**

June 14, 2021 9:55 AM

**Proposal:**

1. To permit a maximum lot coverage of 22.77% for the dwelling, covered porches and accessory building.
2. To permit a maximum building height of 11.0 metres for the dwelling.
3. To permit a minimum setback of 17.77 metres from the rear lot line to the accessory building.

**A104/21**



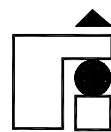
**SITE PLAN**

SCALE 1: 500

DERIVED FROM  
TOPOGRAPHIC SURVEY  
LOT 30  
REGISTERED PLAN 65M-3163  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK  
ALEX MARTON LIMITED  
ONTARIO LAND SURVEYORS  
JANUARY 13, 2021

CAUTION  
THIS IS NOT A PLAN OF SURVEY AND SHOULD NOT BE  
USED FOR ANY REALESTATE TRANSACTIONS.

**GUITBERG GROUP INC.**



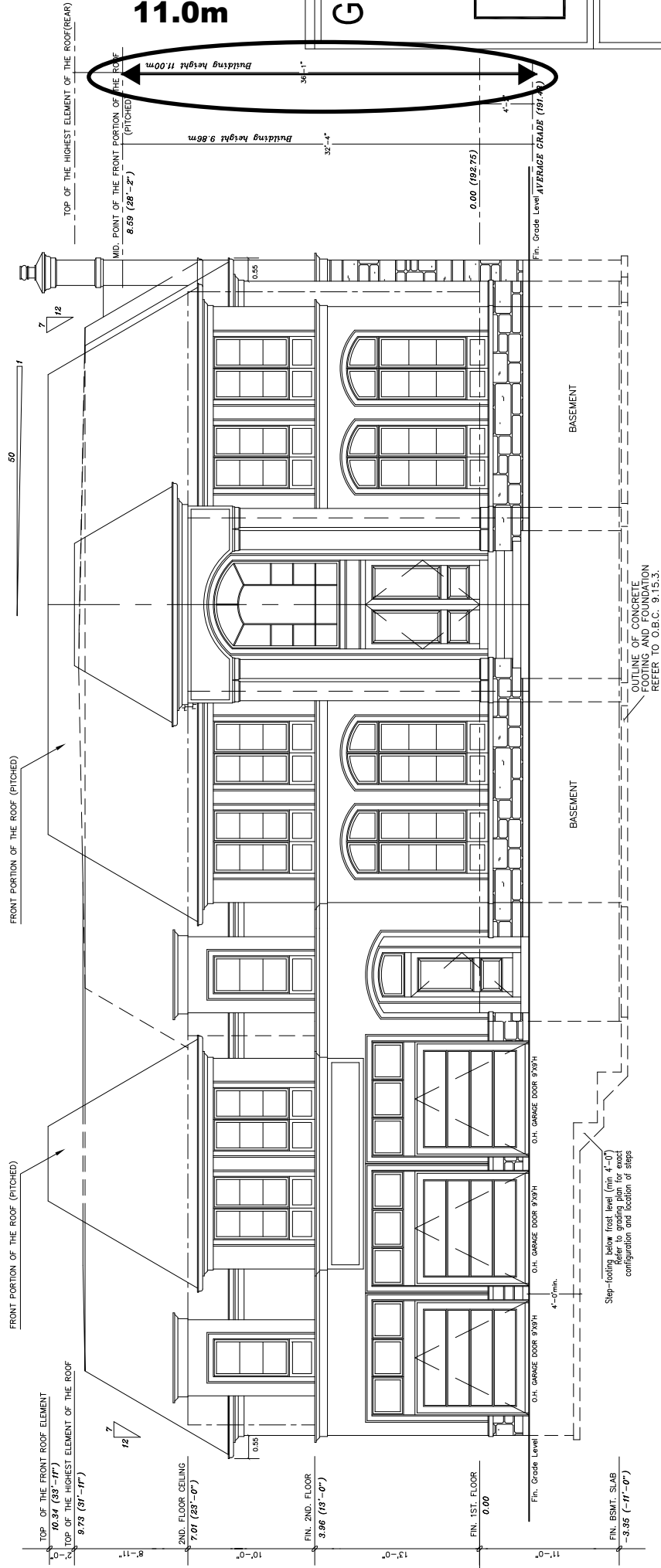
33 BELVEDERE CRES.  
RICHMOND HILL  
ONTARIO, L4C 8W1  
TEL. (905) 508-7436  
EMAIL: VICGUITBERG@ROGERS.COM

PRIVATE RESIDENCE  
AT 125 PARR PLACE  
CITY OF VAUGHAN, ON

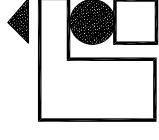
SITE COVERAGE CALCULATION		
SITE COVERAGE(REQ.20%)	436.44 M <sup>2</sup> 4698.00 SQFT (19.46%)	HOUSE ONLY
SITE COVERAGE(REQ.20%)	47.38 M <sup>2</sup> 510.00 sq.ft. (2.11%)	COVERED PORCHES
SITE COVERAGE(REQ.20%)	27.00 M <sup>2</sup> 291.00 sq.ft. (1.20%)	POOL CABANA
	22.77%	TOTAL

SITE PLAN

# SOUTH ELEVATION



**GUITBERG GROUP INC.**



33 BELVEDERE CRES.  
 RICHMOND HILL  
 ONTARIO, L4C 8W1  
 TEL. (905) 508-7436  
 FAX. (905) 508-7453

PRIVATE RESIDENCE  
 AT 125 PARR PLACE  
 CITY OF VAUGHAN, ON

**SOUTH ELEVATION**

**NOTICE OF DECISION**  
**Minor Variance Application A017/18**  
 Section 45 of the Planning Act, R.S.O, 1990, c.P.13

**Date of Hearing:** Thursday, April 5, 2018  
**Applicant:** Jain Fang Jiang  
**Agent:** Stefano Di Giulio  
**Property:** **125 Parr Place, Thornhill**  
**Zoning:** The subject lands are zoned R1 Residential Zone One and subject to the provisions of Exception 9(797) under By-law 1-88 as amended.  
**OP Designation:** VOP 2010: 'Low-Rise Residential'  
**Related Files:** None  
**Purpose:** Relief from the By-law is being requested to permit construction of a proposed single family detached dwelling.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum lot coverage of 20% is permitted.	1. To permit a maximum total for lot coverage of 22.88%.
2. A maximum building height of 9.5 metres is permitted.	2. To permit a maximum building height of 11.21 metres for the dwelling.
3. A maximum total curb cut of 9.0 metres is permitted.	3. To permit a maximum total curb cut of 11.8 metres.

**Sketch:** A sketch illustrating the request has been attached to the decision.

**Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:**

THAT Application No. A017/18 on behalf of Jain Fang Jiang be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96).


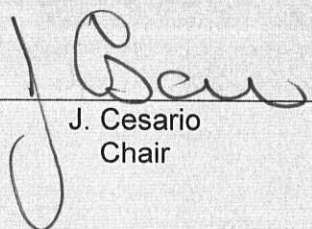
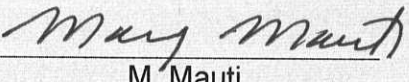
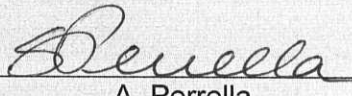
**For the following reasons:**


1. The general intent and purpose of the by-law will be maintained.
2. The general intent and purpose of the official plan will be maintained.
3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
4. The requested variance(s) is/are minor in nature.

**Written & oral submissions considered in the making of this decision were received from the following:**

<b>Public Written Submissions</b> * Public Correspondence received and considered by the Committee in making this decision	<b>Public Oral Submissions</b> *Please refer to the approved Minutes of the Thursday , April 05, 2018 meeting for submission details.
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:
Name: Address: Nature of Correspondence:	Name: Address:

**SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

		<b>ABSENT</b>
H. Zheng Member	J. Cesario Chair	R. Buckler Vice Chair
		
M. Mauti Member		A. Perrella Member

<b>DATE OF HEARING:</b>	<b>Thursday, April 5, 2018</b>
<b>DATE OF NOTICE:</b>	<b>April 13, 2018</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>April 25, 2018 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.	
 <hr/> Christine Vigneault, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

**Appealing to The Ontario Municipal Board**  
The *Planning Act*, R.S.O. 1990, as amended, Section 45(12)

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Municipal Board against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Municipal Board under the *Ontario Municipal Board Act* as payable on an appeal from a Committee of Adjustment to the Board.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

**Appeal Fees & Forms**

**Ontario Municipal Board:** The OMB appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OMB Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (Appellant Form A1 – Minor Variance) can be obtained at [www.omb.gov.on.ca](http://www.omb.gov.on.ca) or by visiting our office.

**City of Vaughan OMB Processing Fee:** \$793.00 per application

\*Please note that all fees are subject to change.

**Conditions**

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from each respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All applicable conditions must be cleared prior to the issuance of a Building Permit.





# Location Map - A017/18

125 Parr Place, Thornhill



Centre Street

City of Vaughan



The City of Vaughan makes every effort to ensure that this map is free of errors but does not warrant that the map or its features are spatially, tabularly, or temporally accurate or fit for a particular use. This map is provided by the City of Vaughan without warranties of any kind, either expressed or implied.

**RECEIVED MARCH 28, 2018**

- Proposal:**
1. To permit a maximum total for lot coverage of 22.88%.
  2. To permit a maximum building height of 11.21 metres for the dwelling.
  3. To permit a maximum total curb cut of 11.8 metres.

REFER PER BY-LAW 1-88 ZONED R1 EXCEPTION 9(797):

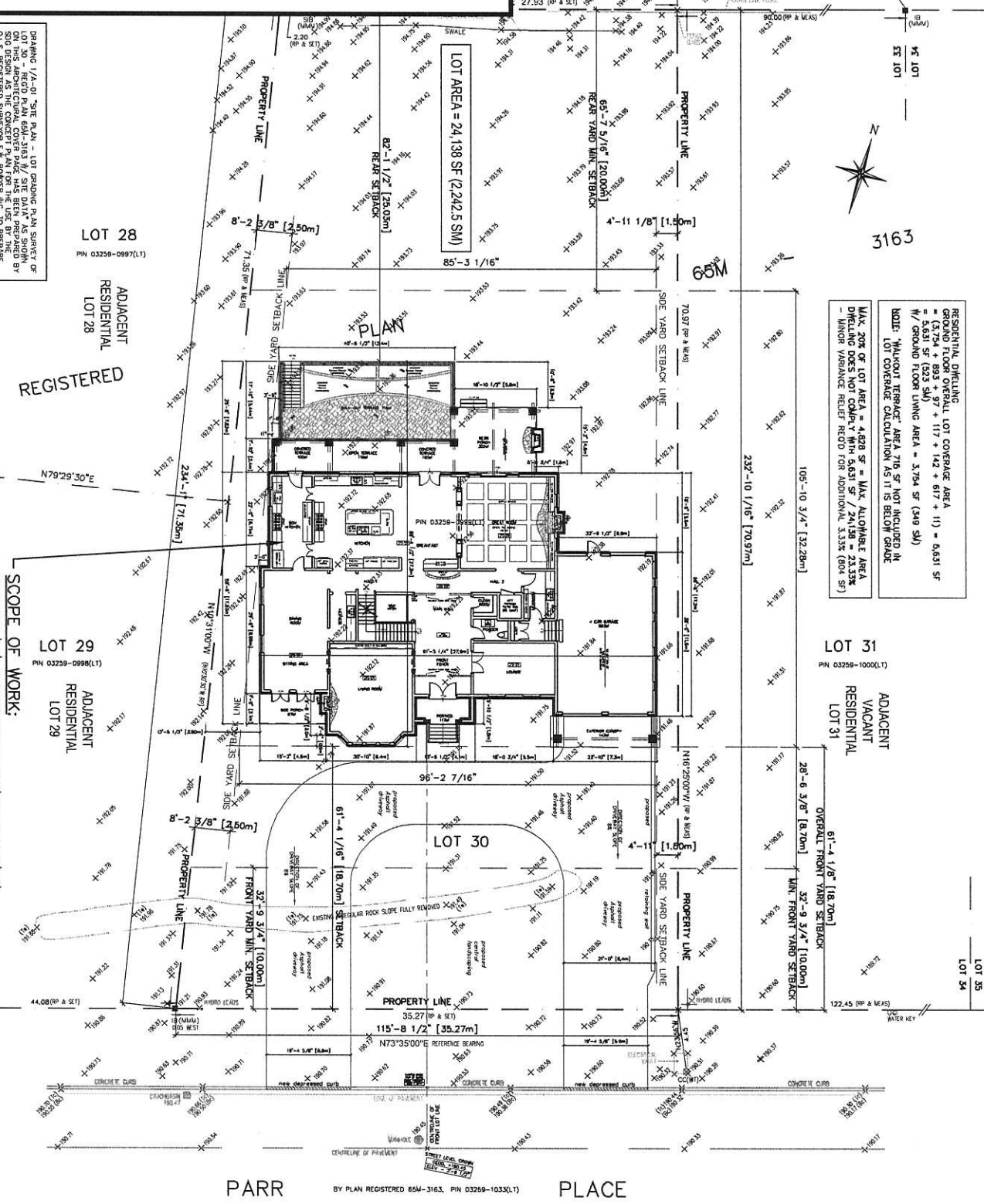
PLAN 65M-3163  
 REGISTERED  
 LOT AREA = 24,138 SF (2,242.5 SM)

**SCOPE OF WORK:**  
 PROPOSED NEW 2-STORY FULLY DETACHED RESIDENTIAL DWELLING W/ FULL HEIGHT STONE & BRICK VENEER ELEVATIONS, ON 10' CONC. FOUNDATION WALLS. PROPOSED BUILDING FOOTPRINT AREA = 5,631 SF (523 SM) LOT COVERAGE AT 23.33% (INCLUDES 893 SF GARAGE, 117 SF PORCH, 97 SF SIDE PORCH, 142 SF FRONT CANOPY, & 617 SF REAR PORCH/TERRACES) (715 SF WALK-OUT TERRACE NOT INCLUDED)  
 NOTE: LOT COVERAGE AT 26.3% IF WALK-OUT TERRACE INCLUDED

RESIDENTIAL DWELLING  
 GROUND FLOOR OVERALL LOT COVERAGE AREA = 5,631 SF (523 SM)  
 W/ GROUND FLOOR LIVING AREA = 3,764 SF (349 SM)  
 NOTE: WALK-OUT TERRACE AREA 715 SF NOT INCLUDED IN LOT COVERAGE CALCULATION AS IT IS BELOW GRADE  
 MAX. GORE OF LOT AREA = 4,898 SF = MAX. ALLOWABLE AREA DWELLING DOES NOT COMPLY WITH 5,631 SF / 24,138 = 23.33% MINOR VARIANCE RELIEF REQ'D FOR ADDITIONAL 3.33% (804 SF)

RESIDENTIAL DWELLING  
 GROUND FLOOR OVERALL LOT COVERAGE AREA = 5,631 SF (523 SM)  
 W/ GROUND FLOOR LIVING AREA = 3,764 SF (349 SM)  
 NOTE: WALK-OUT TERRACE AREA 715 SF NOT INCLUDED IN LOT COVERAGE CALCULATION AS IT IS BELOW GRADE  
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**SURVEYOR'S REAL PROPERTY REPORT**  
 PART 1: PLAN OF  
 LOT 30  
 REGISTERED PLAN 65M-3163  
 CITY OF VAUGHAN  
 REGIONAL MUNICIPALITY OF YORK  
 SCALE 1 : 300

**PART 2: REPORT**  
 1 - THIS REPORT WAS PREPARED FOR JAN FANG JIANG.  
 2 - BOUNDARIES CONFORM SUBSTANTIALLY TO REGISTERED PLAN 65M-3163.  
 3 - NO ENCUMBRANCES ARE RECORDED ON TITLE.  
 4 - FENCES VARY FROM PROPERTY LINES AS SHOWN.  
 5 - NO RESPONSIBILITY FOR USE BY OTHER PARTIES.  
 NOTE: THIS REPORT CAN BE UPDATED BY THIS OFFICE. NO ADDITIONAL PRINTS OF THIS ORIGINAL REPORT WILL BE ISSUED SUBSEQUENT TO THE DATE OF CERTIFICATION.  
 BENCHMARK  
 ELEVATIONS ARE REFERRED TO CITY OF VAUGHAN BM 247-06 (STATION No. 0081668247) ELEVATION = 216.661

**LEGEND**  
 DENOTES SURVEY MONUMENT FOUND  
 DENOTES SURVEY MONUMENT PLANTED  
 DENOTES IRON BAR  
 DENOTES STANDARD IRON BAR  
 DENOTES MEASURED  
 DENOTES SET  
 DENOTES PLAN 65M-3163  
 DENOTES MARSHALL WAGJUN, WOODHACH, O.L.S.  
 DENOTES TOP OF CURB  
 DENOTES BOTTOM OF CURB  
 DENOTES TOP OF WALL  
 DENOTES BOTTOM OF WALL

**ASSOCIATION OF ONTARIO LAND SURVEYORS**  
 Fully Subscribed Firm  
 2023051  
 THIS PLAN IS NOT VALID UNLESS IT IS AN UNREVOKED ORIGINAL COPY ISSUED BY THE SURVEYOR  
 In accordance with Reg 1024, Sec. 29(3)

**SURVEYOR'S CERTIFICATE**  
 I CERTIFY THAT:  
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE SURVEYOR'S ACT AND THE REGULATIONS MADE UNDER THEM.  
 2. THE SURVEY WAS COMPLETED ON 02 AUGUST 2017.  
 DATE: 05 SEPTEMBER 2017  
 E. W. BOWYER O.L.S.

**BEARING NOTE:** BEARINGS ARE AS SHOWN ON PLAN 65M-3163, HAVING AN ANGLE OF 73° 35' 00" E.  
**METRIC / IMPERIAL** DISTANCE PLAN ARE IN METRES AND CAN BE CONVERTED BY DIVIDING BY 0.3048.  
**E. W. BOWYER INC.**  
 ONTARIO LAND SURVEYORS  
 LAND DEVELOPMENT CONSULTANTS  
 8978 MARHAM ROAD, SUITE 201A  
 MARKHAM, ONTARIO L3B 1A3  
 PH 905-924-8081, FAX 905-924-8549  
 PIN 03259-0599(1) DWG No: M-414

**sdg design**  
 CUSTOM HOMES & ADDITIONS  
**416.909.4452**  
 34 ELM STREET  
 MARKHAM, ONT., L3P 2V5  
 CELL 416-909-4452  
 FAX 905-201-2275  
 sdgdesign@rogers.com

**PROJECT** PROPOSED CUSTOM HOME  
 125 PARR PLACE, CITY OF VAUGHAN, ON L4J 8L1

**SUBJECT** 'THE JAIN FANG JIANG RESIDENCE'  
 SITE PLAN-LOT SURVEY W/ SITE DATA ( 1 : 300 )

**DRAWN BY:** SDG **ISSUE DATE:** 26 JAN 2018 **SCALE:** 1 : 300

PREPARED FOR: COMMITTEE OF ADJUSTMENT - APPLICATION FOR MINOR VARIANCE

**PROJECT No.** 17-160

REFER TO ASK-1 to ASK-12

**ISSUED FOR:** C.O.A. HEARING

**DWG. No.** ASK-2

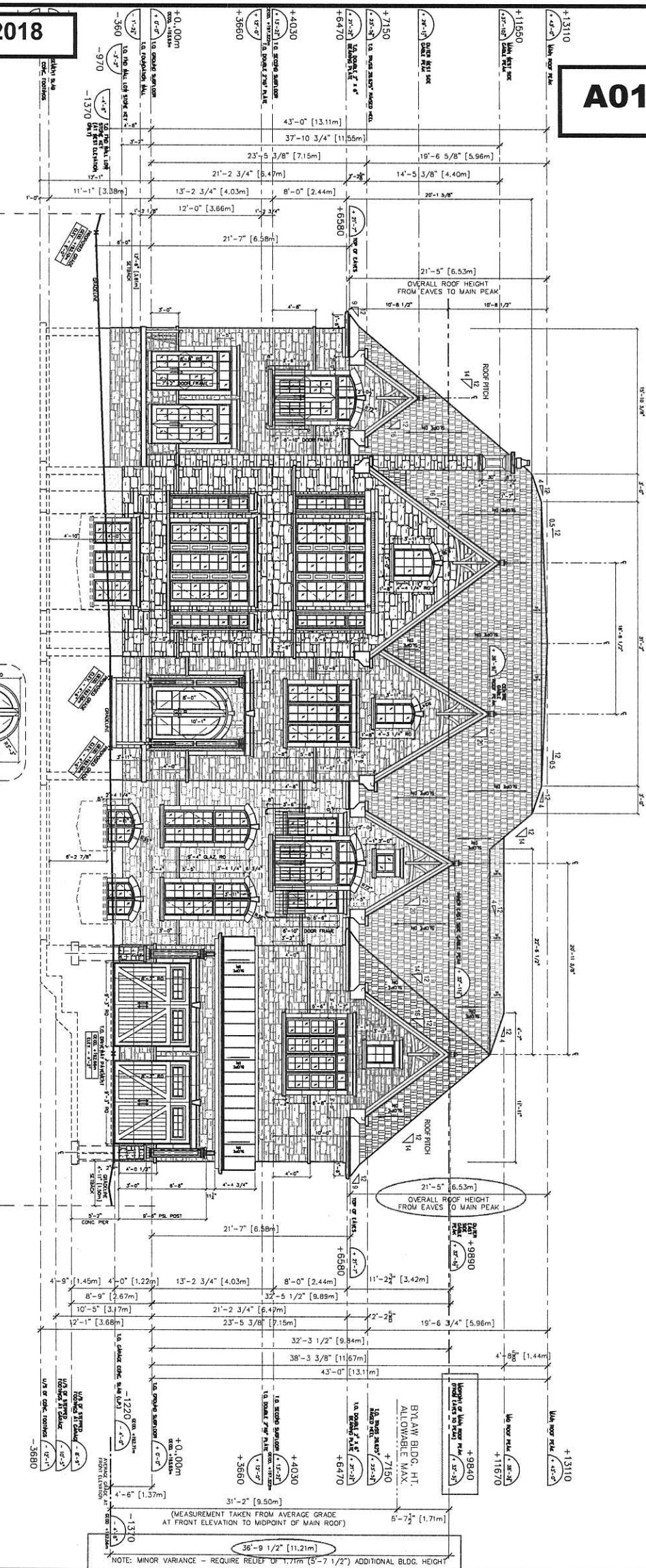
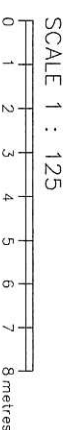
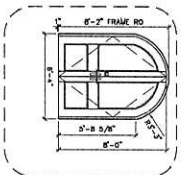
A017/18

REVISED MARCH 28 2018

Minor Variance Application A017/18 - 125 Parr Place  
- REVISIONS PREPARED PER PLANNER COMMENTS RECEIVED FEB. 28, 2018

PROPOSED SOUTH (FRONT) ELEVATION

SCALE 1/4" = 1'-0"



**sdg design**

CUSTOM HOMES & ADDITIONS  
416.909.4452

34 ELM. STREET  
MARKHAM, ONT., L3P 2V5  
CELL 416-909-4462  
FAX 905-201-2275  
sdgdesign@rogers.com

PROJECT PROPOSED CUSTOM HOME  
125 PARR PLACE, CITY OF VAUGHAN, ON L4J 8L1

SUBJECT 'THE JIAN FANG JIANG RESIDENCE'  
SOUTH (FRONT VIEW ALONG PARR PLACE) ELEVATION

DRAWN BY: SDG ISSUE DATE: 06 MAR 2018 SCALE: 1 : 125

PREPARED FOR: COMMITTEE OF ADJUSTMENT - APPLICATION FOR MINOR VARIANCE

PROJECT No. 17-160

REFER TO ASK-1 TO ASK-12

ISSUED FOR: C.O.A. HEARING

DWG. No. ASK-8