

ITEM: 6.20	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A310/22 67 Cipriano Court, Woodbridge
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A310/22
67 Cipriano Court, Woodbridge**

ITEM NUMBER:6.10	CITY WARD #: 2
APPLICANT:	Thomas & Athanais Karanikolas
AGENT:	Square Design Group
PROPERTY:	67 Cipriano Court, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN) – First density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.406 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	Any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. [Section 4.19.1.1]	To permit a minimum soft landscaping of 54.9% of the portion of rear yard in excess of 135.0 m ² .
2	Minimum rear yard setback of 2.4m is required to a residential accessory structure. [Section 4.1.2. b)]	To permit a minimum rear yard setback of 1.52m to the residential accessory structure (Cabana).
3	Minimum interior side yard setback of 2.4m is required to a residential accessory structure. [Section 4.1.2. b)]	To permit a minimum interior yard setback of 0.61m to the residential accessory structure (Cabana).

HEARING INFORMATION

DATE OF MEETING: Thursday, March 2, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:
Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION

That the general intent and purpose of the by-law will be maintained.
 That the general intent and purpose of the official plan will be maintained.
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	February 17, 2022
Date Applicant Confirmed Posting of Sign:	February 16, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Can not comply with the bylaw setbacks, softscape %, lot coverage.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the existing cabana in the subject property is 19.20m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to the variance application A310/22 subject to the following condition:

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018. - Applicant has acknowledged protection will be installed.

PFH Recommended Conditions of Approval: None

DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval: None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comment no concerns

BCLPS Recommended Conditions of Approval: None

BUILDING INSPECTION (SEPTIC) COMMENTS

No Comments Received to Date

Building Inspection Recommended Conditions of Approval: None

FIRE DEPARTMENT COMMENTS

No Comments Received to Date

Fire Department Recommended Conditions of Approval: None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for**

IMPORTANT INFORMATION – PLEASE READ

contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

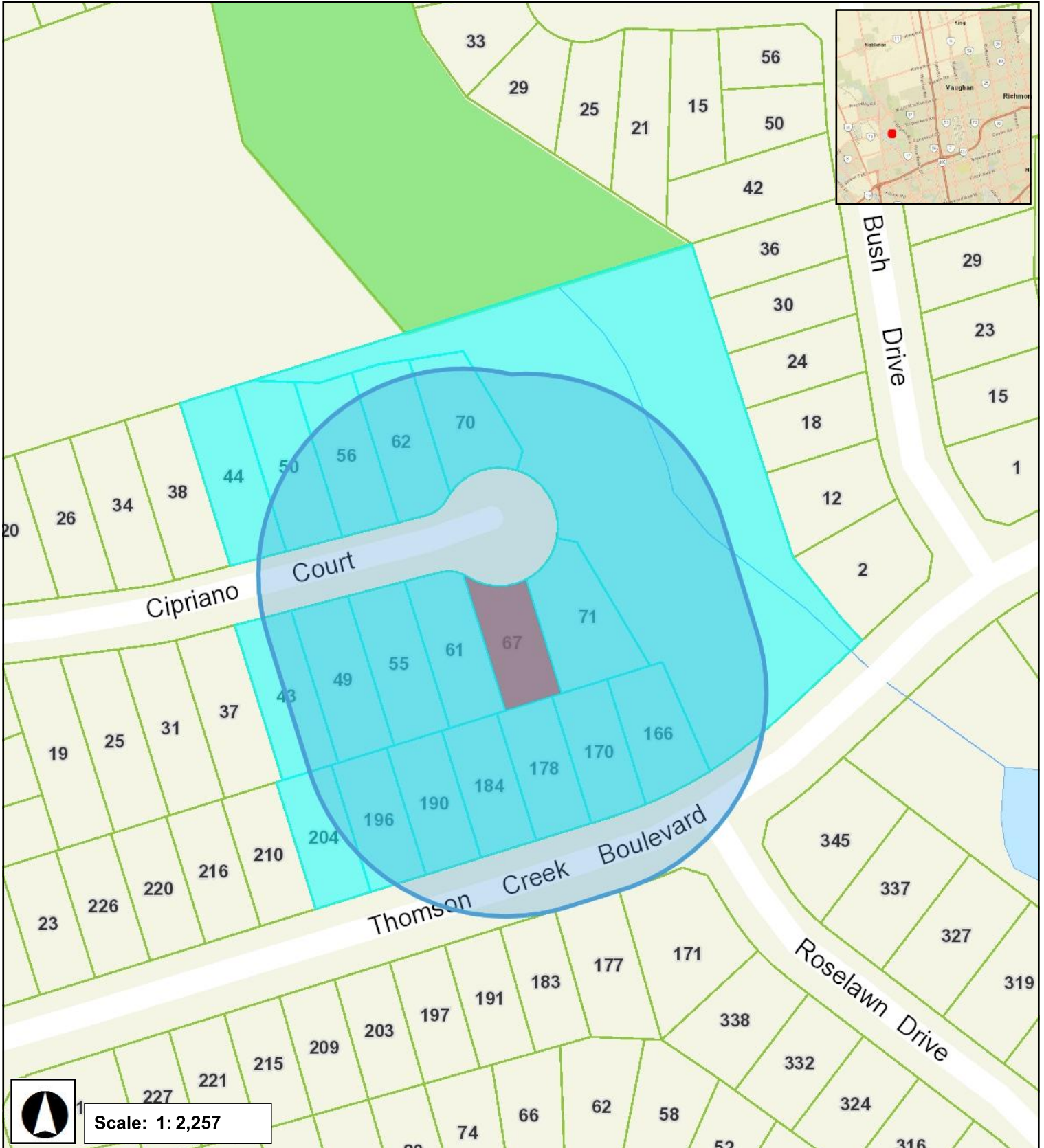
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP A310/22

67 CIPRIANO COURT, WOODBRIDGE

Rutherford Road



Langstaff Road

January 27, 2023 9:03 AM



PROPOSED PAVILION/STORAGE & WASHROOM
67 Cipriano Ct, Vaughan, ON L4H 1K6

- A00-COVER PAGE
- A1-SITE PLAN
- A2-FLOOR PLAN
- A3-FOUNDATION PLAN
- A4-ROOF PLAN
- A5-ELEVATIONS
- A6-ELEVATIONS
- A7-ELEVATIONS
- A8-ELEVATIONS
- A9-DETAIL 1
- A10-FLOOR PLAN
- A11-FOUNDATION PLAN
- A12-ROOF PLAN
- A13-ELEVATIONS
- A14-ELEVATIONS
- A15-ELEVATIONS
- A16-ELEVATIONS



STRUCTURAL NOTES:

1. Workmanship and materials shall be in accordance with part 9 of the Ontario Building Code and local regulations.
2. See Architectural drawings for dimensions, elevations and finishes.
3. All structural components shall be interconnected to resist code mandated live, dead and environmental loads.
4. DESIGN LIVE LOADS ARE:
 ROOF : SS = 1.3 KPA, Sr =0.4 KPA
 FLOORS : 40 PSF
 WIND 1/50 : 0.44 KPA BASIC
 EARTHQUAKE : Sa(0.2) = 0.19
5. Contractor is responsible for safe execution of work, as per osha and other applicable safety codes. a temporary shoring plan and construction sequence duly signed by an Ontario licensed professional engineer to be submitted for approval before start of any relevant work. Approved shop drawings along with approve permit drawings shall be always available at site for reference.

Foundations

1. Footings shall be placed on undisturbed soil capable of supporting 2000 psf.
2. Footings excavations shall be inspected by soils engineer before concrete is placed.
3. Footings exposed to freezing shall be placed at least 4'-0" below finished grade.
4. Protect footings exposed to frost action during construction by 4'-0" minimum of soil or its equivalent.
5. The line of slope between adjacent footings or excavations or along stepped footings shall not exceed a rise of 7 in a run of 10. maximum step shall be 2'-0".
6. Where a foundation wall retains soil on each side, place backfill on both sides simultaneously.
7. Foundation walls retaining earth between slabs at different levels shall be shored until the slab at higher level is in place and has reached its required strength.

Concrete specification

1. The ultimate 28 days compressive strength of concrete shall be 20.0 MPA unless noted otherwise.
2. The ultimate 28 days compressive strength of concrete exposed to freezing and thawing (exterior slabs, garage floor slab, side walks, curbs, retaining walls, etc.) shall be 32 MPA with minimum air entrainment content of 5%-8% and maximum water/cement ratio by mass of 0.45.
3. Do not use calcium chloride or other salts in concrete.
4. Reinforcing steel shall be deformed bars to CSA G30.18 with a minimum yield strength of 400 MPA.
5. Welded wire mesh shall conform to CSA G30.5, welded steel wire fabric for concrete reinforcement.
6. Detail reinforcing in accordance with reinforcing steel manual of standard practice prepared by RSIO.
7. Only ready mix concrete is permitted on this job. the concrete supplier shall be responsible for concrete mix design.
8. Supply and install concrete, reinforcing steel and formwork including placing, finishing and curing as shown on the drawings in accordance with CSA A23 and CSA G 30.
9. Non-shrink, non-metallic grout shall be used by Sika Canada inc. or an approved equal.

STEEL LINTEL SCHEDULE

L1	Up to 4'-6" Opening	L 3 1/2" x 3 1/2" x 5/16"
L2	Up to 5'-6" Opening	L 4" x 3 1/2" x 5/16"
L3	Up to 6'-6" Opening	L 5" x 3 1/2" x 5/16"
L4	Up to 7'-6" Opening	L 5" x 3 1/2" x 3/8"
L5	Up to 9'-10" Opening	L 6" x 4" x 3/8"
L6	Up to 11'-0" Opening	L 7" x 4" x 3/8"
L7	Up to 19'-0" Opening	(I-BEAM) W8x15 BEARING ON BRICK

Structural Steel

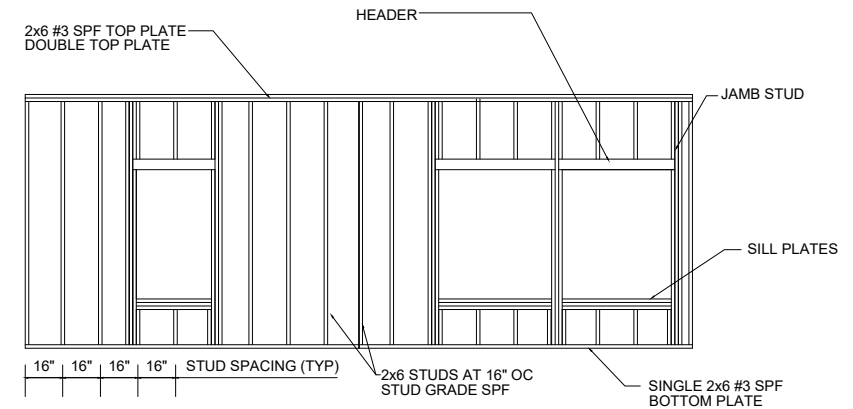
1. Structural steel shall be as follows
 W, S, HP, WWF SHAPES CAN/CSA G40.21-350W.
 HSS CAN/CSA G40.21-350W. CLASS C
 L, PL. CAN/CSA G40.21-300W
2. Obtain field measurements as required.
3. Provide holes where required for attachment of other work to steel. place holes so as not to cause any appreciable reduction in strength of the member.
4. Fabricate, supply and erect structural steel work in accordance with the following standards:
 Design, fabrication and erection CSA-S16.1
 Welding CSA-W47
 Cleaning SSPC-SP3-63
 Bolts 3/4" Ø U.N.O ASTM-325-80A
 Paint (1 shop coat + field touch up) CGSB-1.40-M89
5. Design connections for the reactions produced by the loading conditions.
6. No splices in new beams and columns shall be allowed unless approved by the engineer.
7. All steel lintels bearing on masonry to have minimum 6" bearing

Wood

1. All wood construction to be in accordance with CSA standard CAN3-086-01.
2. All lumber to be grade stamped and shall be dry spruce #1 or #2 conforming to CSA-086-01 u/n otherwise.
3. Lumber for stud walls shall be spruce stud grade u/n otherwise.
4. Trus joists, LSL and PSL beams shall be as manufactured by Trus Joist Canada ltd. or an approved equal. the supplier shall be responsible for design of all connections and shall submit shop drawings bearing a stamp of P. Eng. responsible for the design.
5. All connections, unless noted otherwise, to be in accordance with O.B.C. 2012
6. All load bearing stud walls shall have one row of solid blocking at mid height unless noted otherwise.
7. Bridging for trus joists shall be as recommended by the manufacturer. however, spacing of bridging shall not exceed 12 feet.
8. Metal hangers shall be made from light gauge galvanized metal and shall have allowable load capacity (as per manufacturer's data) greater than reactions produced by loading conditions. Use Simpson Strong-tie or equal.
9. Protect lumber in direct contact with concrete or mortar with 10 mil. polyethylene sheet.
10. Provide adequate temporary bracing for all stud walls during construction.
11. Double up studs at each end of an opening unless noted otherwise.
12. Plywood as per CSA O 86.1

WOOD LINTEL SCHEDULE

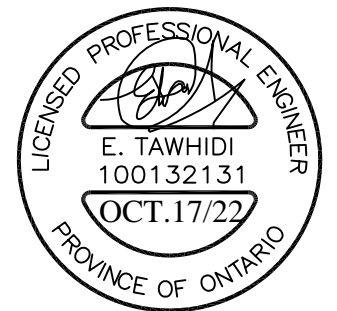
WB1	Up to 3'-6" Opening	3 - 2" x 6"
WB2	Up to 5'-6" Opening	3 - 2" x 8"
WB3	Up to 6'-6" Opening	3 - 2" x 10"
WB4	Up to 7'-6" Opening	3 - 2" x 12"



TYP. WALL

NOTES:

1. TOP AND BOTTOM PLATE TO STUD WITH (3) .131x3" P.D. NAILS.
2. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS
3. WALL TO WALL AND CEILING #8x3" SREW 16" O.C.



1 NOTES

A0.9 NTS

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:

67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:

CONSTRUCTION NOTES

DRAWN BY:

CHECKED BY:

APPROVED BY:

DATE:

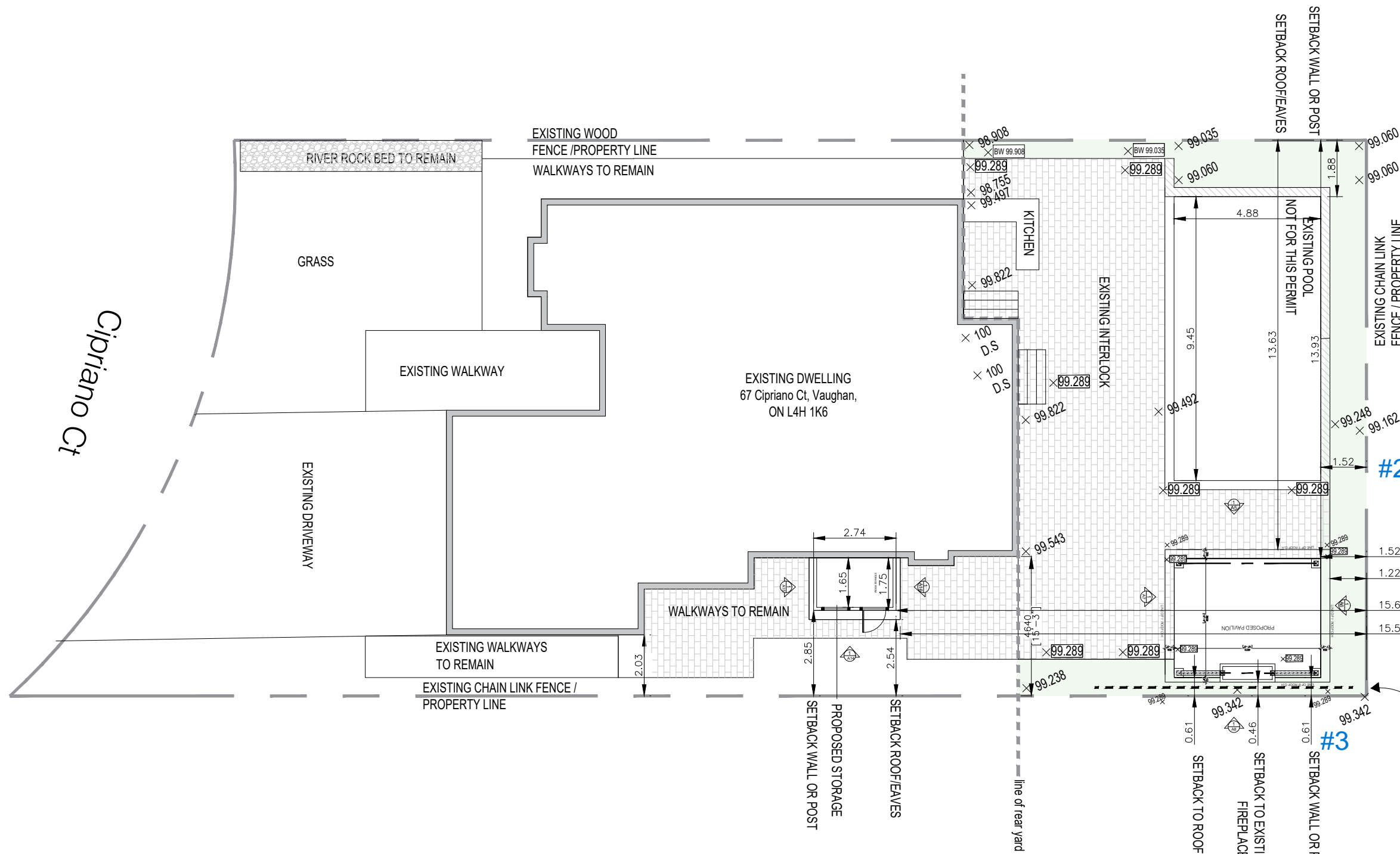
rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:



SHEET NO:

A0.9





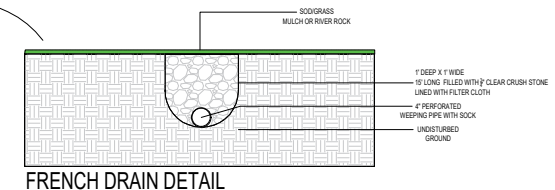
SITE DEVELOPMENT	
ZONING	RESIDENTIAL
LOT AREA	M2
TOTAL LOT AREA	736.9m2
HOUSE AREA	M2
HOUSE FOOTPRINT	219.7m2
PROPOSED CABANA FOOTPRINT	19.2m2
PROPOSED STRG FOOTPRINT	4.8m2
LOT COVERAGE	PROVIDED
EXISTING HOUSE	29.81%
PROPOSED CABANA	2.60%
PROPOSED STRG. FOOTPRINT	0.65%
TOTAL COVERAGE	33.06%
LANDSCAPE AREAS	PROVIDED
REAR LOT AREA	225.225m2
SOFT LANDSCAPE AREA REQ (REAR)	44.975m2

COVERAGE INCL. EAVES	
ZONING	RESIDENTIAL
LOT AREA	M2
TOTAL LOT AREA	736.9m2
HOUSE AREA	M2
HOUSE FOOTPRINT (INCL. EAVES)	241.4m2
PROPOSED CABANA FOOTPRINT (INCL. EAVES)	25.1m2
PROPOSED STRG. FOOTPRINT (INCL. EAVES)	6.24m2
LOT COVERAGE	PROVIDED
EXISTING HOUSE	32.75%
PROPOSED CABANA	3.40%
PROPOSED STRG FOOTPRINT	0.84%
TOTAL COVERAGE	36.99%

- × [-0.00] -Proposed Grades
- × 0.00 -Existing Grades
- ▲ -Entrance Door
- T.W -Top Of Wall
- B.W -Bottom Of wall
- Soft landscape
- Hard-scape

#2

#3



1 SITE PLAN
A1 1:150

GENERAL NOTES
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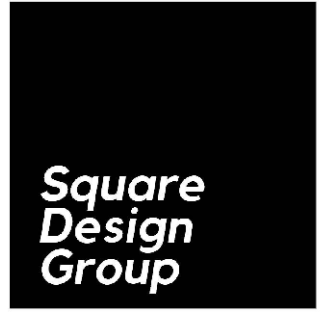
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PROJECT NAME:
67 Cipriano Ct, Vaughan, ON L4H 1K6

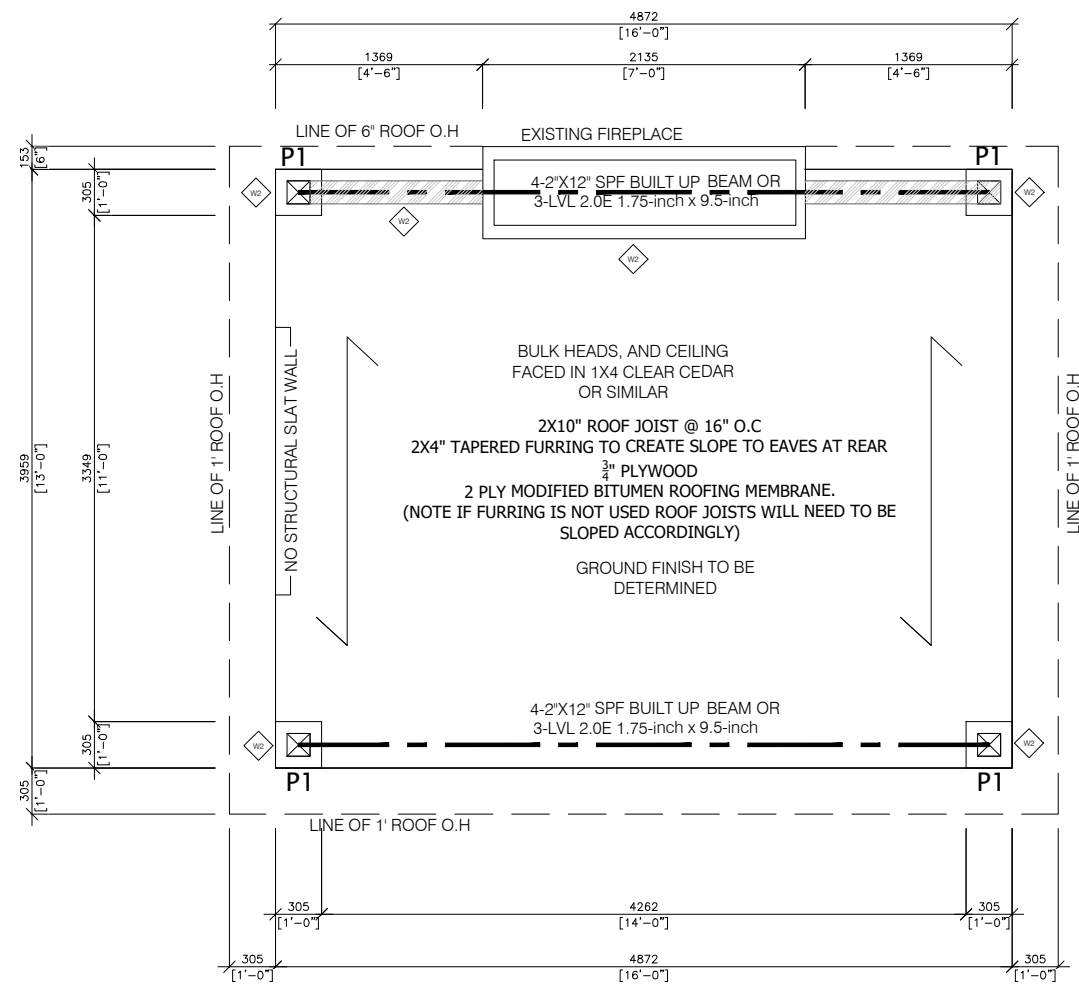
DRAWING TITLE:
Site Plan

DRAWN BY: CHECKED BY: APPROVED BY: DATE:

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:



SHEET NO:
A1



- FEATURE WALL**
- W1 1X4" CLEAR CEDAR
 - 2X4" (38X89) SPF WOOD STUDS @ 16" O.C.
 - DBL. TOP PLATE
 - 1X4" CLEAR CEDAR
- EXTERIOR WALL**
- STONE AS PER CLIENT CHOICE
 - ³/₄" EXTERIOR PLYWOOD SHEATHING
 - OR CONCRETE BOARD
 - 2X4" (38X89) SPF WOOD STUDS DOUBLE
 - TOP PLATE @ 16" O.C.
- ALL POSTS TO BE ON STEEL POST SHOE
 - ANY FRAMING TO BE ON SIL GASKET
 - ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS
 - ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE WEATHER TREATED
 - ANY CONNECTION TO BE DONE WITH PROPER SIMPSON STRONG TIE OR COMPLY WITH OBC

- POST SCHEDULE**
- P1 3- (2"X6") BUILT UP PST. (OR SOLID PST)
 - P2 3- (2"X4") BUILT UP PST. (OR SOLID PST)

- ALL POSTS TO BE ON STEEL POST SHOE
- ANY FRAMING TO BE ON SIL GASKET
- ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS
- ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE WEATHER TREATED
- ANY CONNECTION TO BE DONE WITH PROPER SIMPSON STRONG TIE OR COMPLY WITH OBC



1 FLOOR PLAN
A2 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES

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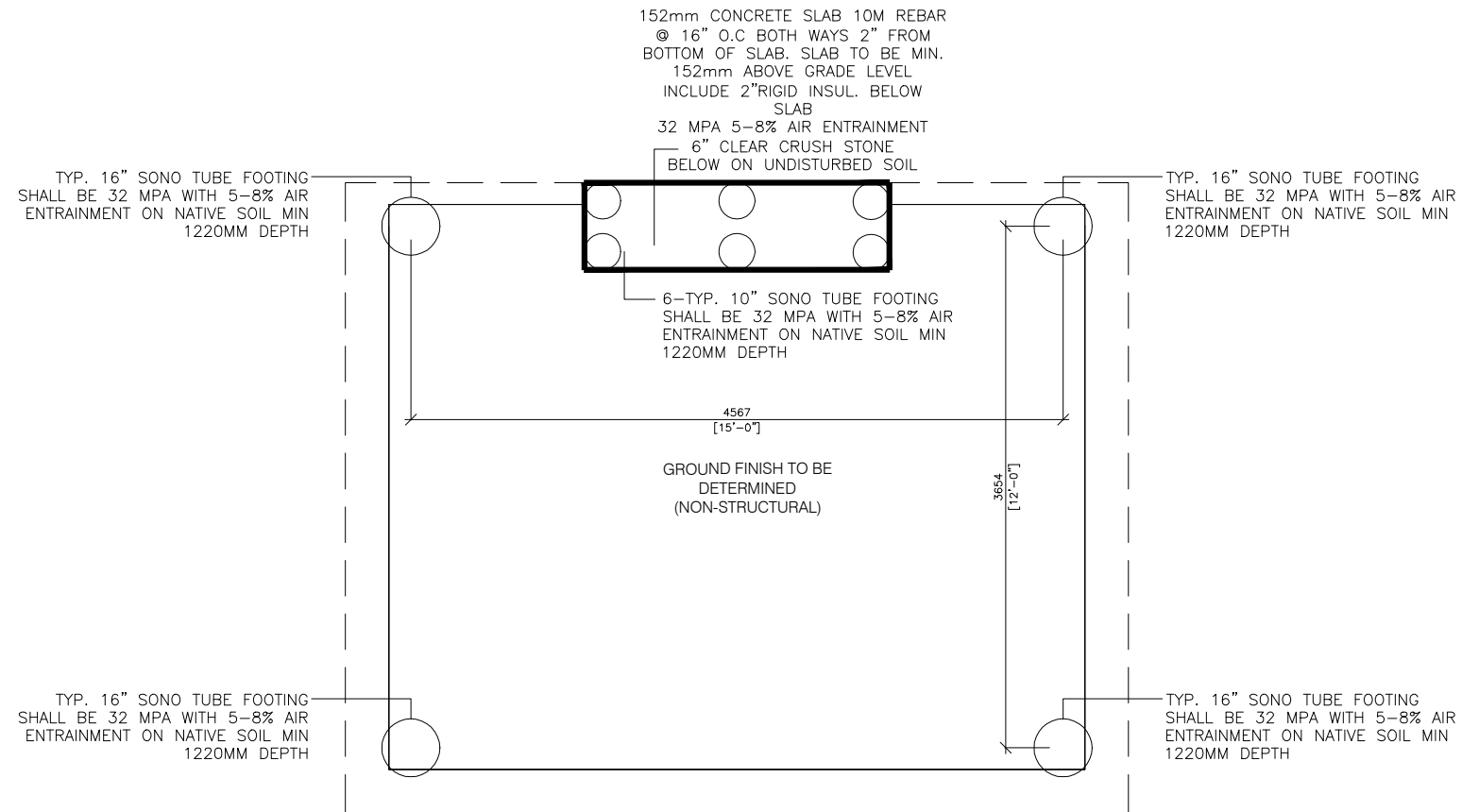
PROJECT NAME:
67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
FLOOR PLAN

DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____ DATE: _____



SHEET NO:
A2



- ALL POSTS TO BE ON STEEL POST SHOE
- ANY FRAMING TO BE ON SIL GASKET
- ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS
- ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE WEATHER TREATED
- ANY CONNECTION TO BE DONE WITH PROPER SIMPSON STRONG TIE OR COMPLY WITH OBC

FEATURE WALL
 1X4' CLEAR CEDAR
 2X4' (38X89) SPF WOOD STUDS @ 16" O.C.
 DBL. TOP PLATE
 1X4' CLEAR CEDAR

EXTERIOR WALL
 STONE AS PER CLIENT CHOICE
 1/2" EXTERIOR PLYWOOD SHEATHING
 OR CONCRETE BOARD
 2X4' (38X89) SPF WOOD STUDS DOUBLE
 TOP PLATE @ 16" O.C

-ALL POSTS TO BE ON STEEL POST SHOE
 -ANY FRAMING TO BE ON SIL GASKET
 -ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS
 -ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE WEATHER TREATED
 -ANY CONNECTION TO BE DONE WITH PROPER SIMPSON STRONG TIE OR COMPLY WITH OBC

POST SCHEDULE

P1	3- (2"X6") BUILT UP PST. (OR SOLID PST)
P2	3- (2"X4") BUILT UP PST. (OR SOLID PST)



1 FOUNDATION PLAN
 A3.0 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES
 CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

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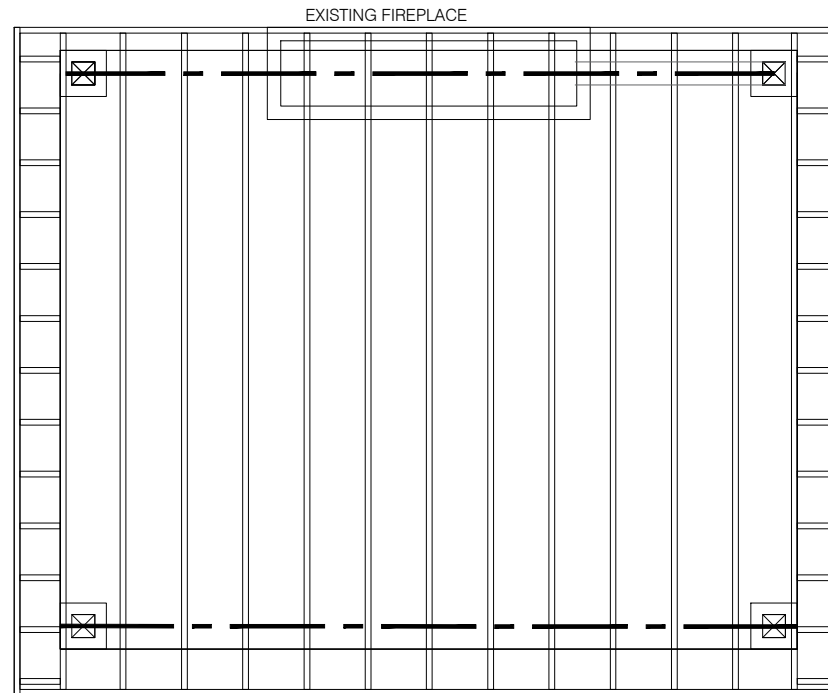
PROJECT NAME:
 67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
 FOUNDATION PLAN

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
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SHEET NO:
A3



- ALL POSTS TO BE ON STEEL POST SHOE
- ANY FRAMING TO BE ON SIL GASKET
- ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS
- ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE WEATHER TREATED
- ANY CONNECTION TO BE DONE WITH PROPER SIMPSON STRONG TIE OR COMPLY WITH OBC

W1 FEATURE WALL
 1X4' CLEAR CEDAR
 2X4' (38X89) SPF WOOD STUDS @ 16" O.C.
 DBL. TOP PLATE
 1X4' CLEAR CEDAR

W2 EXTERIOR WALL
 STONE AS PER CLIENT CHOICE
 1/2" EXTERIOR PLYWOOD SHEATHING
 OR CONCRETE BOARD
 2X4' (38X89) SPF WOOD STUDS DOUBLE
 TOP PLATE @ 16" O.C.

-ALL POSTS TO BE ON STEEL POST SHOE
 -ANY FRAMING TO BE ON SIL GASKET
 -ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS
 -ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE WEATHER TREATED
 -ANY CONNECTION TO BE DONE WITH PROPER SIMPSON STRONG TIE OR COMPLY WITH OBC

POST SCHEDULE

P1 3- (2"X6") BUILT UP PST. (OR SOLID PST)

P2 3- (2"X4") BUILT UP PST. (OR SOLID PST)



1 ROOF FRAMING PLAN
 A4.0 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES
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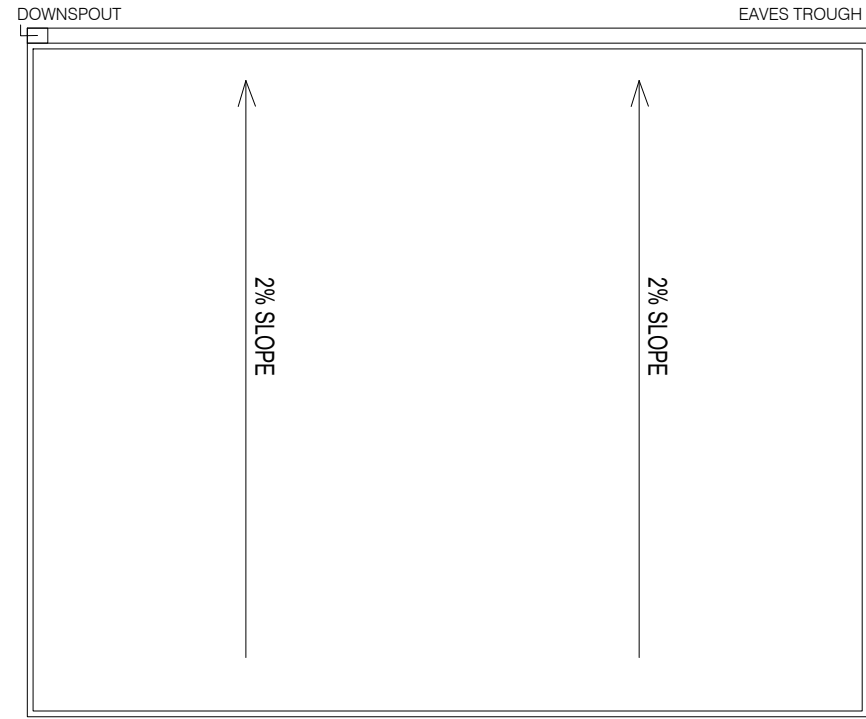
PROJECT NAME:
 67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
 ROOF FRAMING PLAN

DRAWN BY: CHECKED BY: APPROVED BY: DATE:

Square Design Group

SHEET NO:
 A4



-ALL POSTS TO BE ON STEEL POST SHOE
 -ANY FRAMING TO BE ON SIL GASKET
 -ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS
 -ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE WEATHER TREATED
 -ANY CONNECTION TO BE DONE WITH PROPER SIMPSON STRONG TIE OR COMPLY WITH OBC

W1 FEATURE WALL
 1X4" CLEAR CEDAR
 2X4" (38X89) SPF WOOD STUDS @ 16" O.C.
 DBL. TOP PLATE
 1X4" CLEAR CEDAR

W2 EXTERIOR WALL
 STONE AS PER CLIENT CHOICE
 3/4" EXTERIOR PLYWOOD SHEATHING
 OR CONCRETE BOARD
 2X4" (38X89) SPF WOOD STUDS DOUBLE
 TOP PLATE @ 16" O.C

-ALL POSTS TO BE ON STEEL POST SHOE
 -ANY FRAMING TO BE ON SIL GASKET
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POST SCHEDULE

P1	3- (2"X6") BUILT UP PST. (OR SOLID PST)
P2	3- (2"X4") BUILT UP PST. (OR SOLID PST)



1 ROOF DRAINAGE PLAN
 A4.1 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES
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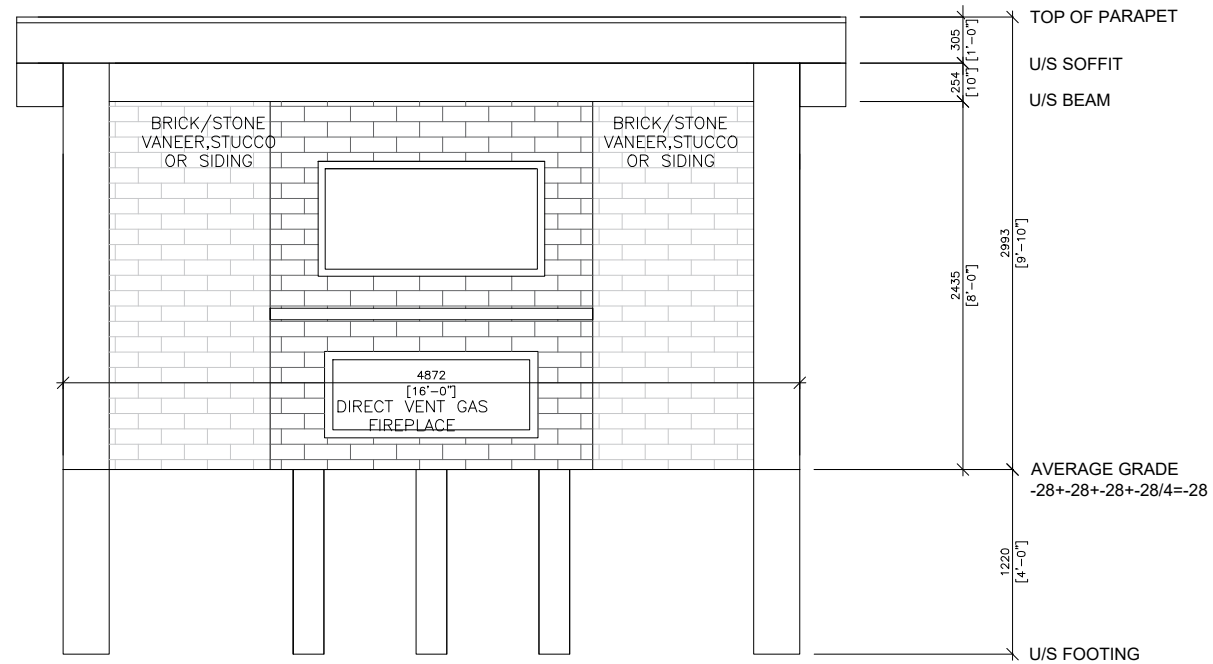
PROJECT NAME:
 67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
 ROOF DRAINAGE PLAN

DRAWN BY: CHECKED BY: APPROVED BY: DATE:

Square Design Group

SHEET NO:
 A4.1



1 ELEVATION A
A5.0 1:50

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

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PROJECT NAME:
67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
ELEVATION

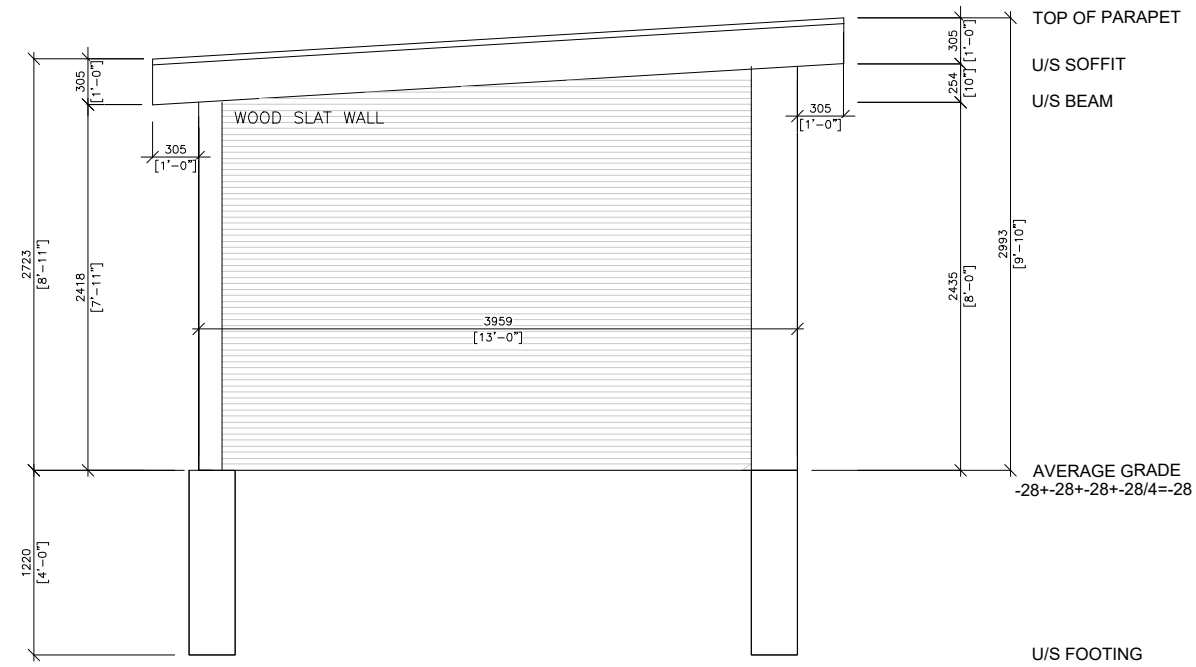
DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:



rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:



SHEET NO:
A5.0



1 ELEVATION B
A6.0 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES
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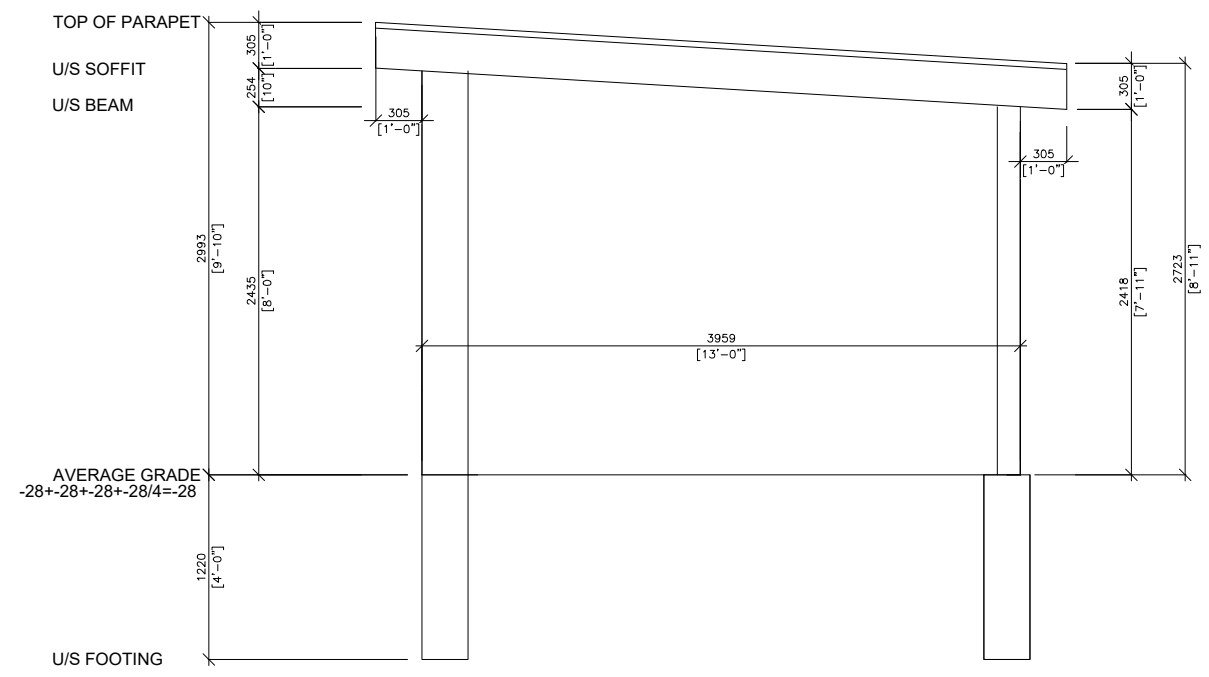
PROJECT NAME:
67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
ELEVATION

DRAWN BY: CHECKED BY: APPROVED BY: DATE:



SHEET NO:
A6.0



1 ELEVATION C
A7.0 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES
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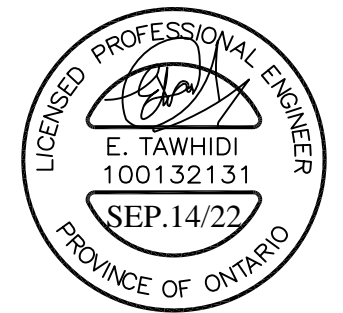
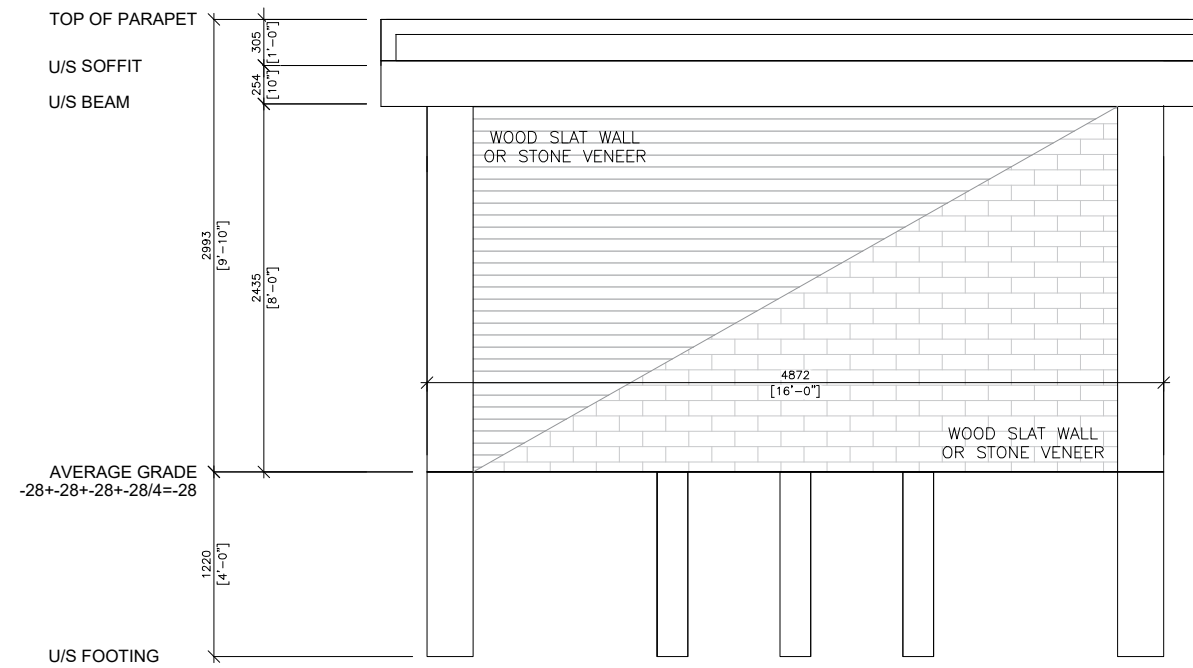
PROJECT NAME:
67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
ELEVATION

DRAWN BY: CHECKED BY: APPROVED BY: DATE:



SHEET NO:
A7.0



1 ELEVATION D
A8.0 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES
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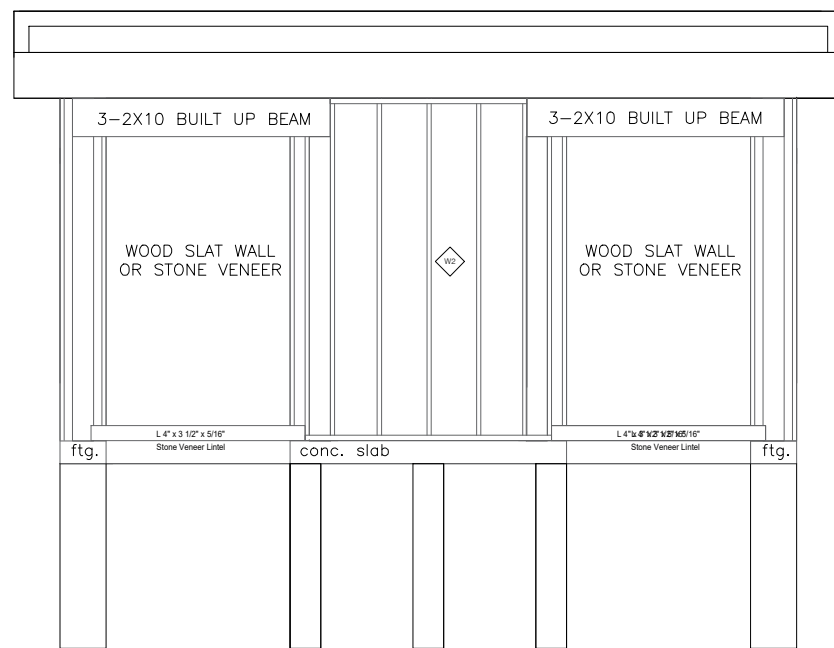
PROJECT NAME:
67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
ELEVATION

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
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SHEET NO:
A8.0



1 DETAIL 1
A9.0 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES

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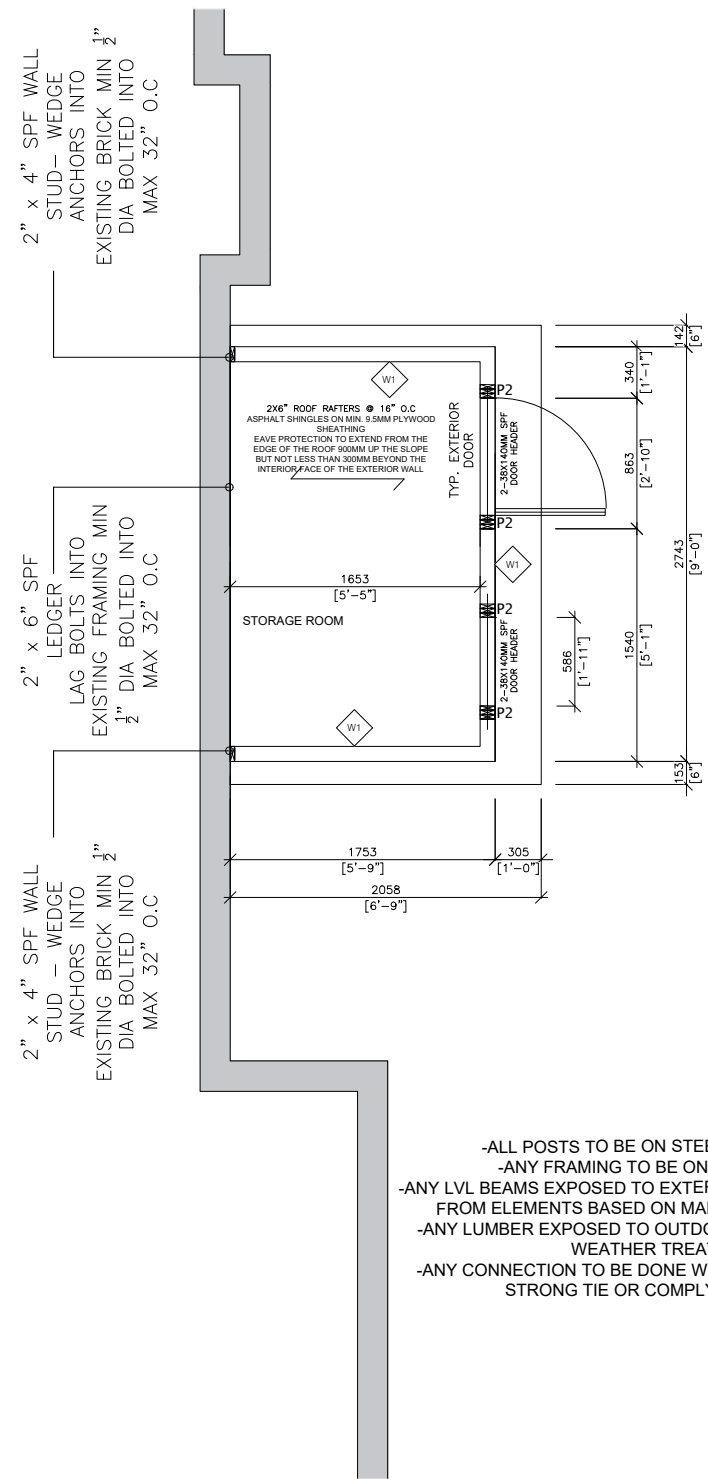
PROJECT NAME:
67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
ELEVATION

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
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SHEET NO:
A9.0



- ALL POSTS TO BE ON STEEL POST SHOE
- ANY FRAMING TO BE ON SIL GASKET
- ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS
- ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE WEATHER TREATED
- ANY CONNECTION TO BE DONE WITH PROPER SIMPSON STRONG TIE OR COMPLY WITH OBC

EXTERIOR WALL
 W1
 2X4 (38X89) SPF WOOD STUDS @ 16" O.C.
 DBL. TOP PLATE

EXTERIOR WALL
 W2
 STONE AS PER CLIENT CHOICE
 1/2" EXTERIOR PLYWOOD SHEATHING
 OR CONCRETE BOARD
 2X4 (38X89) SPF WOOD STUDS DOUBLE
 TOP PLATE @ 16" O.C.

-ALL POSTS TO BE ON STEEL POST SHOE
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POST SCHEDULE

P1	3-(2"x6") BUILT UP PST. (OR SOLID PST)
P2	3-(2"x4") BUILT UP PST. (OR SOLID PST)



1 STORAGE ROOM
 A10 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

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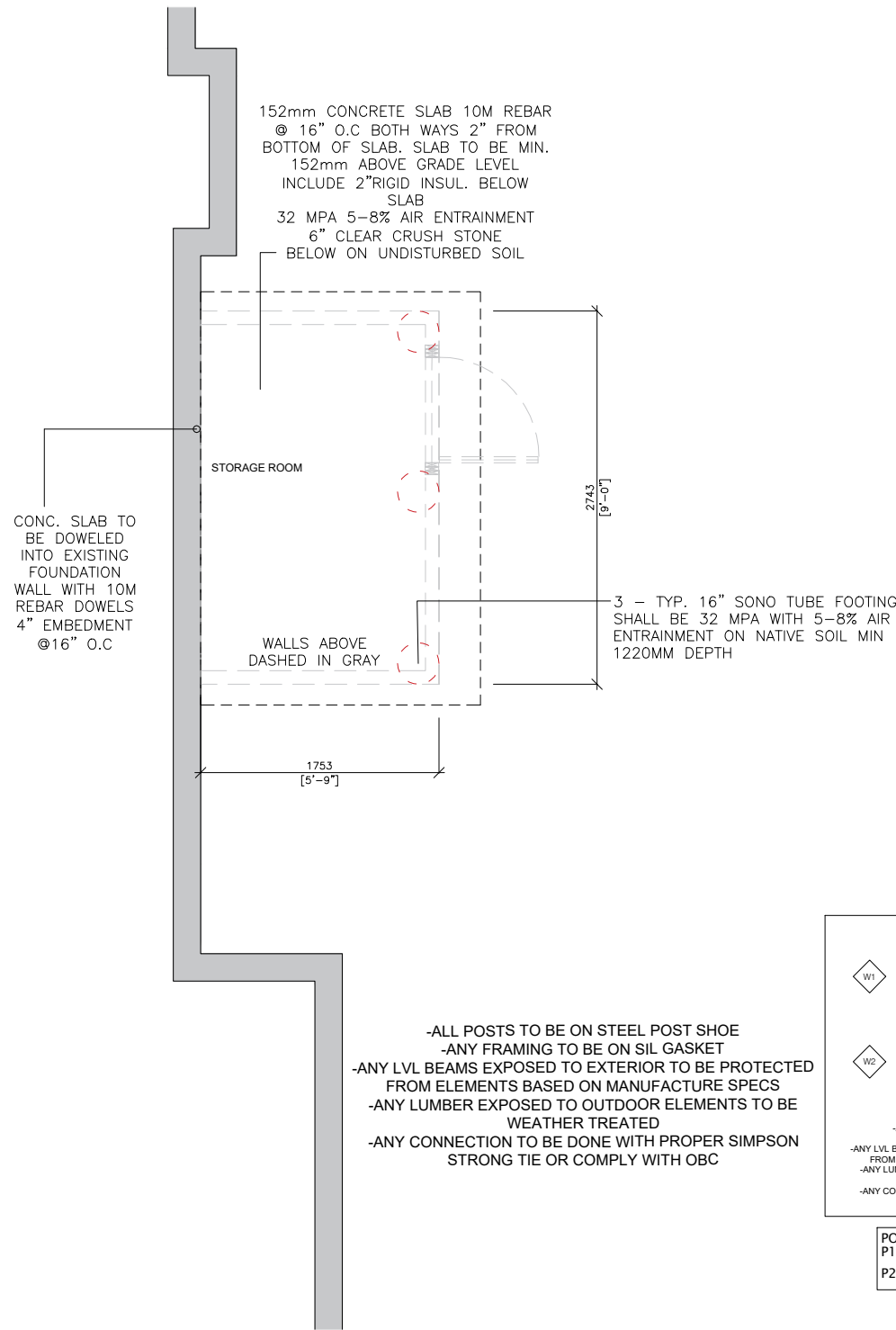
PROJECT NAME:
 67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
 FLOOR PLAN

DRAWN BY: CHECKED BY: APPROVED BY: DATE:



SHEET NO:
A10



FEATURE WALL
 W1 Stucco
 2X4 (38X89) SPF WOOD STUDS @ 16" O.C.
 DBL. TOP PLATE

EXTERIOR WALL
 W2 Stone as per client choice
 1/2" EXTERIOR PLYWOOD SHEATHING
 OR CONCRETE BOARD
 2X4 (38X89) SPF WOOD STUDS DOUBLE
 TOP PLATE @ 16" O.C.

-ALL POSTS TO BE ON STEEL POST SHOE
 -ANY FRAMING TO BE ON SIL GASKET
 -ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED
 FROM ELEMENTS BASED ON MANUFACTURE SPECS
 -ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE
 WEATHER TREATED
 -ANY CONNECTION TO BE DONE WITH PROPER SIMPSON
 STRONG TIE OR COMPLY WITH OBC

POST SCHEDULE

P1	3- (2"X6") BUILT UP PST. (OR SOLID PST)
P2	3- (2"X4") BUILT UP PST. (OR SOLID PST)



1 STORAGE ROOM
 A11 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES
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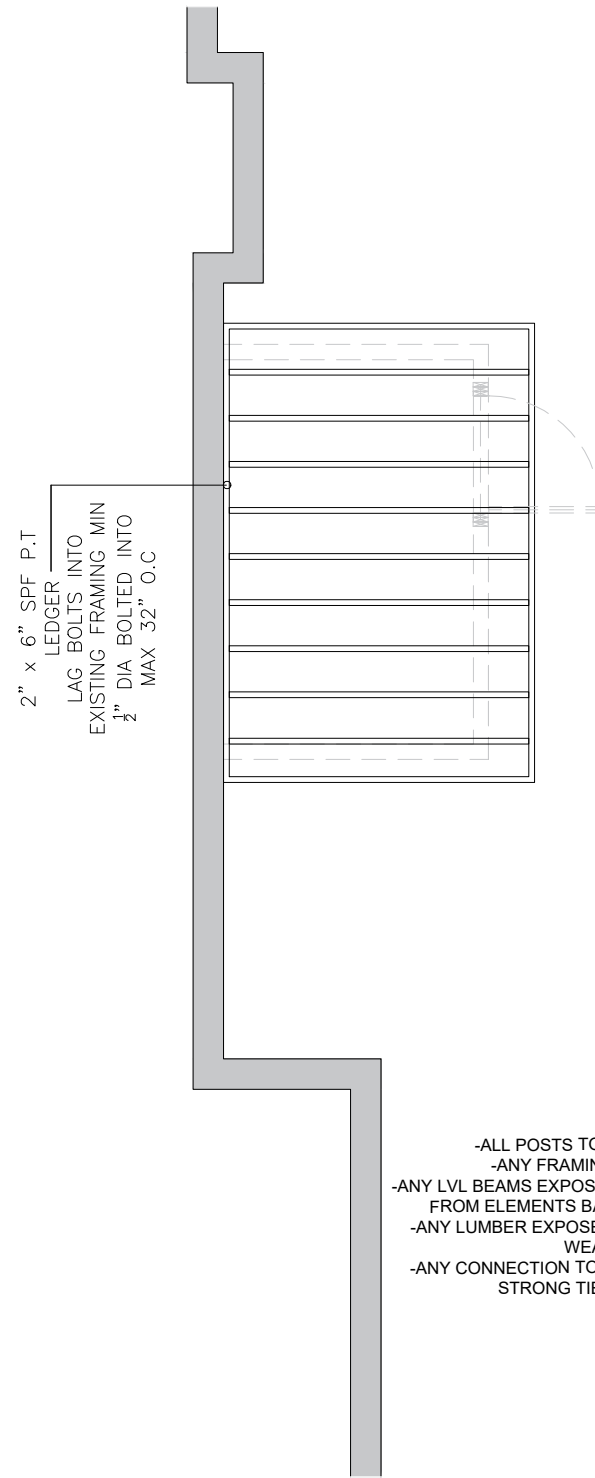
PROJECT NAME:
 67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
 FOUNDATION PLAN

DRAWN BY: CHECKED BY: APPROVED BY: DATE:



SHEET NO:
A11



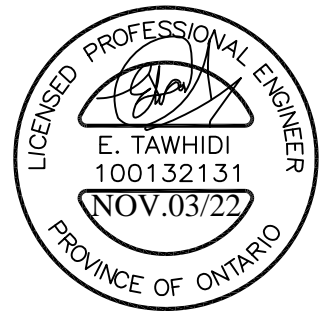
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FEATURE WALL
 W1
 stucco
 2X4" (38X89) SPF WOOD STUDS @ 16" O.C.
 DBL. TOP PLATE

EXTERIOR WALL
 W2
 STONE AS PER CLIENT CHOICE
 2" EXTERIOR PLYWOOD SHEATHING OR CONCRETE BOARD
 2X4" (38X89) SPF WOOD STUDS DOUBLE TOP PLATE @ 16" O.C.

-ALL POSTS TO BE ON STEEL POST SHOE
 -ANY FRAMING TO BE ON SIL GASKET
 -ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS
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POST SCHEDULE
 P1 3- (2"X6") BUILT UP PST. (OR SOLID PST)
 P2 3- (2"X4") BUILT UP PST. (OR SOLID PST)



1 STORAGE ROOM
 A12 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES
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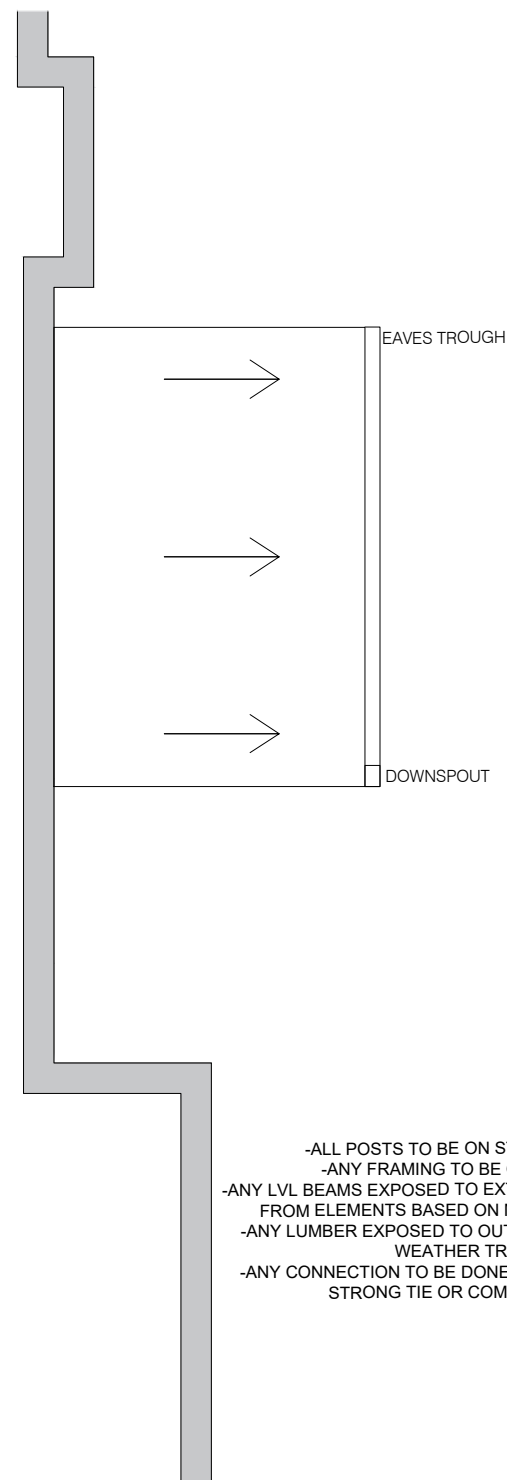
PROJECT NAME:
 67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
 ROOF FRAMING PLAN

DRAWN BY: CHECKED BY: APPROVED BY: DATE:



SHEET NO:
A12



-ALL POSTS TO BE ON STEEL POST SHOE
 -ANY FRAMING TO BE ON SIL GASKET
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FEATURE WALL
 W1 Stucco
 2X4" (38X89) SPF WOOD STUDS @ 16" O.C.
 DBL. TOP PLATE

EXTERIOR WALL
 W2 Stone as per client choice
 3/4" EXTERIOR PLYWOOD SHEATHING OR CONCRETE BOARD
 2X4" (38X89) SPF WOOD STUDS DOUBLE TOP PLATE @ 16" O.C.

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POST SCHEDULE
 P1 3- (2"x6") BUILT UP PST. (OR SOLID PST)
 P2 3- (2"x4") BUILT UP PST. (OR SOLID PST)



rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

1 W/R STORAGE ROOM
 A13 1:50

GENERAL NOTES
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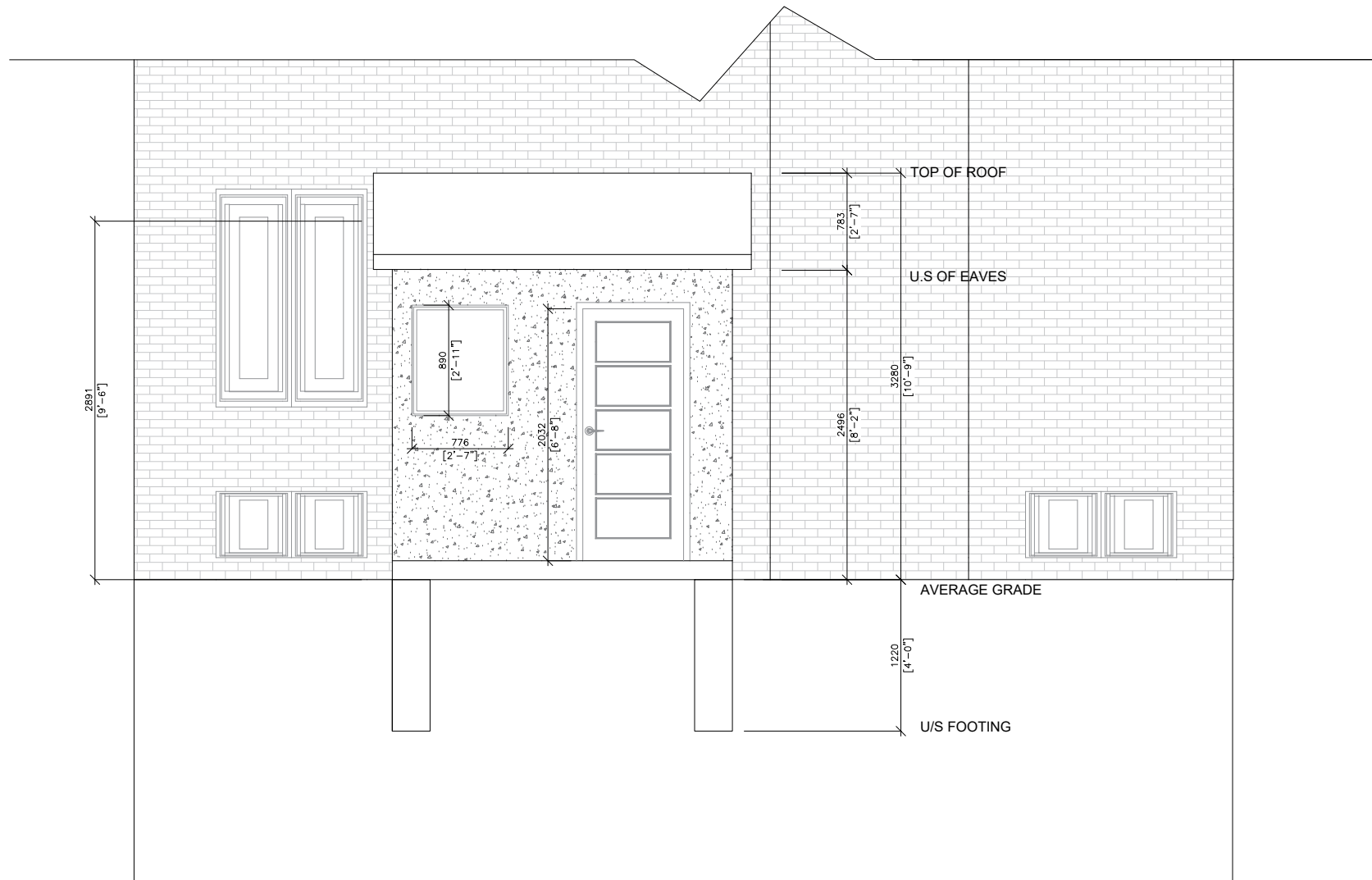
PROJECT NAME:
 67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
 ROOF DRAINAGE PLAN

DRAWN BY: CHECKED BY: APPROVED BY: DATE:



SHEET NO:
A13



1 STORAGE ROOM
A14 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES

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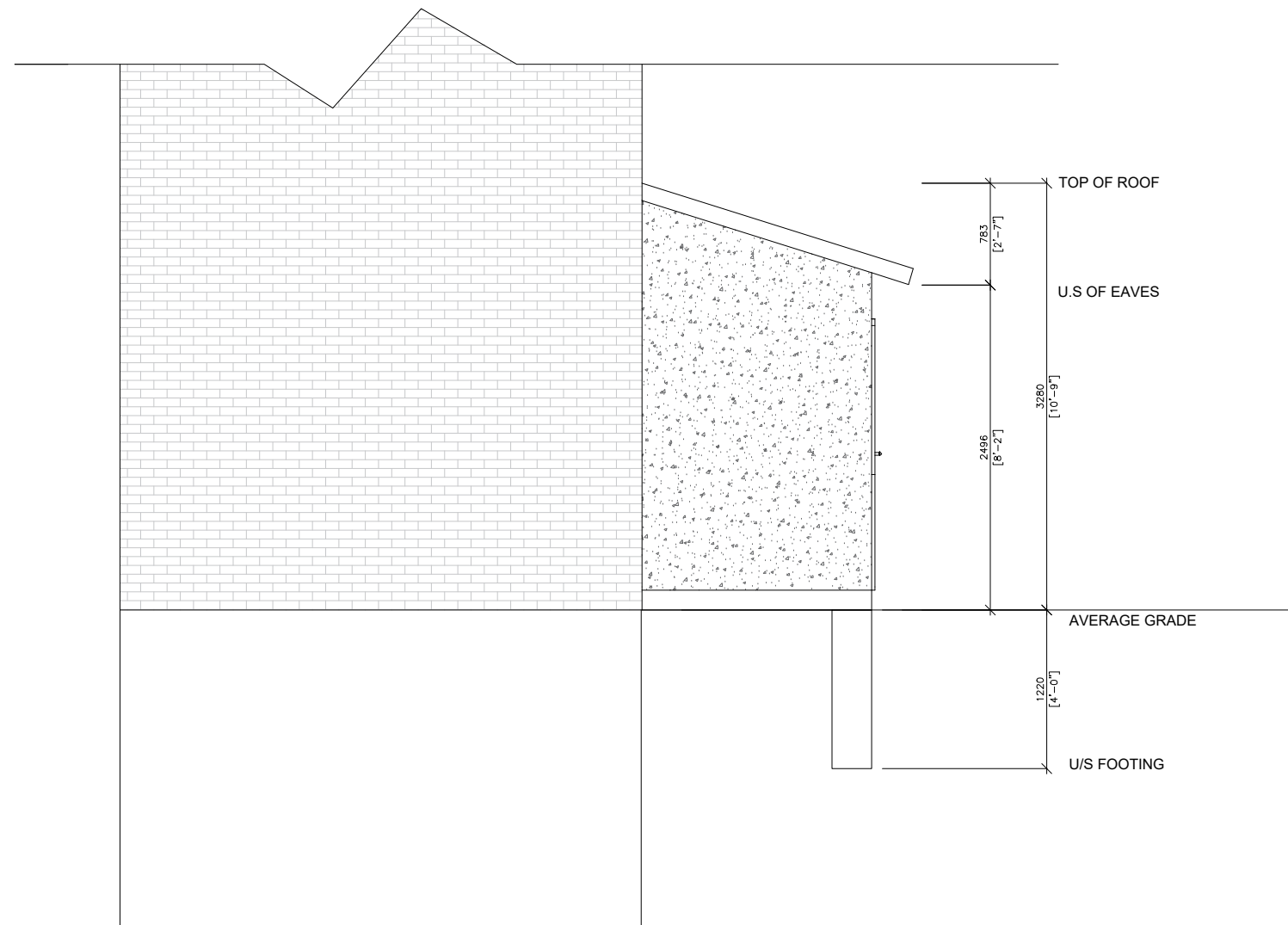
PROJECT NAME:
67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
ELEVATION

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
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SHEET NO:
A14



1 STORAGE ROOM
A15 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES
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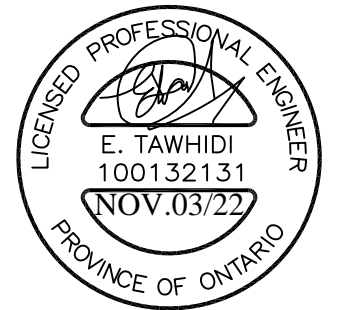
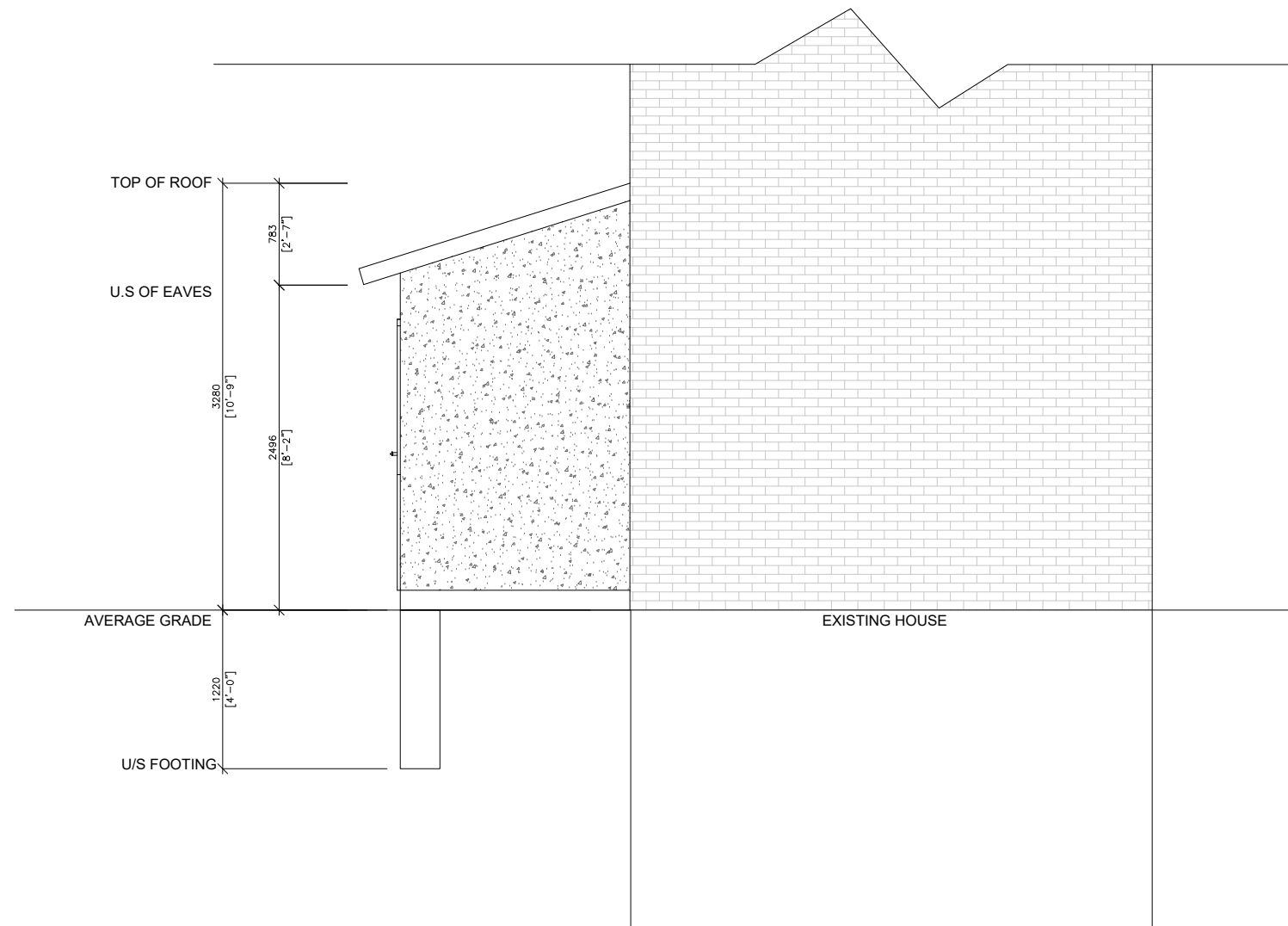
PROJECT NAME:
67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
ELEVATION

DRAWN BY: CHECKED BY: APPROVED BY: DATE:



SHEET NO:
A15



1 STORAGE ROOM
A16 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES
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PROJECT NAME:
67 Cipriano Ct, Vaughan, ON L4H 1K6

DRAWING TITLE:
ELEVATION

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
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SHEET NO:
A16

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

To: Committee of Adjustment
From: Punya Marahatta, Building Standards Department
Date: January 13, 2023
Applicant: Thomas & Athanais Karanikolas
Location: 67 Cipriano Court
 PLAN 65M3282 Lot 14
File No.(s): A310/22

Zoning Classification:

The subject lands are zoned R1B(EN) – First density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.406 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	Any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. [Section 4.19.1.1]	To permit a minimum soft landscaping of 54.9% of the portion of rear yard in excess of 135.0 m ² .
2	Minimum rear yard setback of 2.4m is required to a residential accessory structure. [Section 4.1.2. b)]	To permit a minimum rear yard setback of 1.52m to the residential accessory structure (Cabana).
3	Minimum interior side yard setback of 2.4m is required to a residential accessory structure. [Section 4.1.2. b)]	To permit a minimum interior yard setback of 0.61m to the residential accessory structure (Cabana).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that Comprehensive Zoning By-law 001-2021 has come into full force and effect and therefore any deficiencies identified under Zoning By-law 1-88 are no longer applicable.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: February 15, 2023
Name of Owners: Thomas & Athanais Karanikolas
Location: 67 Cipriano Court
File No.(s): A310/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum soft landscaping of 54.9% of the portion of rear yard in excess of 135.0 m².
2. To permit a minimum rear yard setback of 1.52 m to the residential accessory structure (Cabana).
3. To permit a minimum interior yard setback of 0.61 m to the residential accessory structure (Cabana).

By-Law Requirement(s) (By-law 001-2021):

1. Any portion of a yard in excess of 135.0 m² shall be comprised of a minimum 60% soft landscape.
2. Minimum rear yard setback of 2.4 m is required to a residential accessory structure.
3. Minimum interior side yard setback of 2.4 m is required to a residential accessory structure.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting relief to permit the construction of a cabana and rear yard hard landscaping with the above noted variances.

The Development Planning Department has no objection to Variance 1 for the reduction in rear yard soft landscaping. The reduction in soft landscaping is minor in nature and will maintain an appropriate balance of soft landscaping to facilitate drainage and the establishment of vegetation. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

The Development Planning Department has no objection to Variances 2 and 3 for the proposed cabana. The cabana complies with all height requirements in the Zoning By-law. The reduction to the rear and interior side yard setbacks will not pose adverse visual impacts to the neighbouring properties and an appropriate area for maintenance access is maintained. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

In support of the application, the Owners have submitted an Arborist Report and Tree Protection Plan prepared by Al Miley & Associates, dated January 20, 2023. The report inventoried eight trees, none of which are proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

Date: January 13th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A310-22**

Related Files:

Applicant Thomas Karanikolas, Athanais Karanikolas

Location 67 Cipriano Court



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COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A310/22 (67 Cipriano Court) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, February 2, 2023 5:09:19 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None