

ITEM: 6.17	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A302/22 69 Thornbank Road, Thornhill
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>		Recommend Approval no/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A302/22
69 Thornbank Road, Thornhill**

ITEM NUMBER: 6.17	CITY WARD #: 5
APPLICANT:	Arnold & Shelly Averbuch
AGENT:	Marin Zabzuni
PROPERTY:	69 Thornbank Road, Thornhill
ZONING DESIGNATION:	see below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed single-family dwelling, cabana and retaining wall.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard setback of 2.5 m is required. [Exception 14.403.2.2]	To permit a minimum interior side yard setback of 2.09 m.
2	A maximum permitted building height is 8.5 m. [Section 4.5.1]	To permit a maximum height of 10.46 m.
3	A maximum permitted height of any residential accessory structure is 3.0 m. [Section 4.1.4.1]	To permit a residential accessory structure (cabana) of a maximum height of 3.45 m.
4	A minimum setback of 2.3m is required for the 2.3m high retaining wall. [Table 4.1]	To permit a minimum of 1.5m setback for the 2.3m high retaining wall at the front yard.
5	A minimum setback of 2.3m is required for the 2.3m high retaining wall. [Table 4.1]	To permit a minimum interior yard setback of 1.31m for the 2.3m high retaining wall.

HEARING INFORMATION

DATE OF MEETING: Thursday, March 2, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION

That the general intent and purpose of the by-law will be maintained.
 That the general intent and purpose of the official plan will be maintained.
 That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
 That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	February 17, 2023
Date Applicant Confirmed Posting of Sign:	February 16, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The homeowners require more space to accommodate their growing family.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the pool permit link provided above to learn how to apply for the pool permit.

A grading permit condition will not be required for the proposed Dwelling, as The Applicant has already obtained approval from The Development Engineering Department in June of 2022.

The owner/applicant shall apply and obtain the necessary curb cut/ reinstating permit through the Transportation and Fleet Management Services. Please visit the curb cut permit link provided above to learn how to apply for the curb cut/ reinstating permit.

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

The owner/applicant shall contact Transportation and Fleet Management Services (Joint Operations Centre) if there is any work required related to the driveway culvert. Please visit the culvert work link provided above for more information.

The Development Engineering (DE) Department does not object to the variance application A302/22

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Tree removal permit was issued on 10/28/2022 to facilitate the proposed works. Forestry is satisfied with the current plans and no further action is required at this time.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credit will expire on Nov 14, 2026.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No Comments Received to Date

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No Comments Received to Date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No Comments Received to Date

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

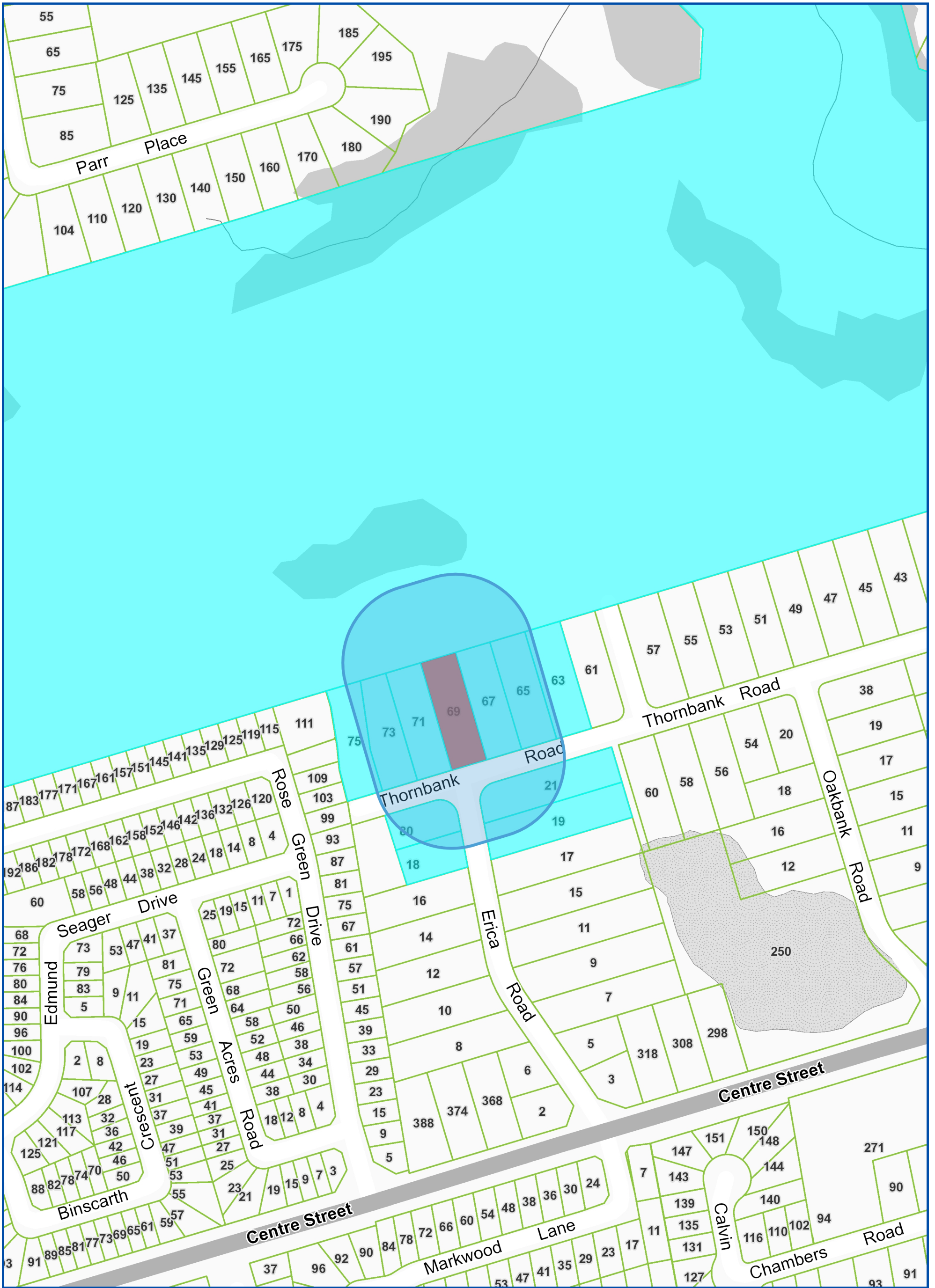
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

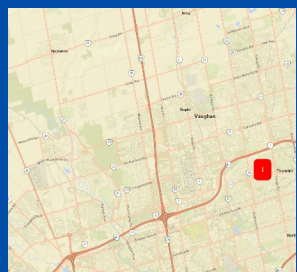
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “ if required ”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
	None	

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

NOTIFICATION MAP - A302/22

69 Thornbank Road, Thornhill

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:4,073

0 0.06 km



Created By:

Infrastructure Delivery
Department
January 6, 2023 4:10 PM

Projection:
NAD 83
UTM Zone
17N

YONGE STREET

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A302/22

This drawing, as an instrument of service, is provided by and is the property of Contempo Studio. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Contempo Studio of any variations from the supplied information.

This drawing is not to be scaled. The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from this work.

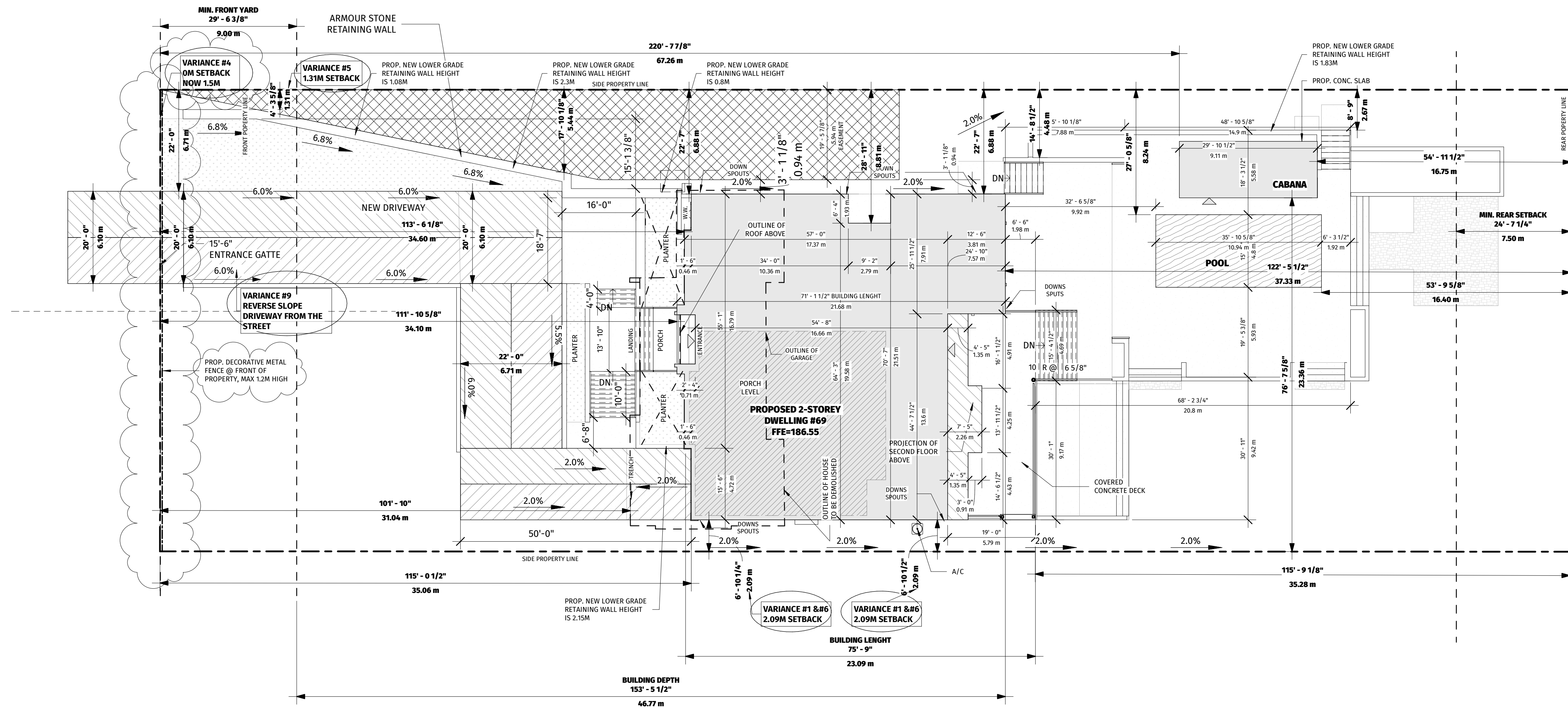
The copyright of this drawing is vested in Contempo Studio and it may not be reproduced in whole or part or used for the manufacture of any article without the express written permission.

ZONING BY-LAW 01-2021 VARIANCE REQUESTED:

- #1: TO PERMIT A MINIMUM INTERIOR SIDE YARD SETBACK OF 2.09m
- #4: TO PERMIT A MINIMUM OF 0.0m SETBACK FOR THE 2.3m HIGH RETAINING WALL AT FRONT OF LOT LINE
- #5: TO PERMIT A MINIMUM OF 1.31m SETBACK FOR THE 2.3m HIGH RETAINING WALL

ZONING BY-LAW 1-88 VARIANCE REQUESTED:

- #6: TO PERMIT A MINIMUM INTERIOR SIDE YARD SETBACK OF 2.09M
- #9: TO PERMIT A REVERSE SLOPE DRIVEWAY SLOPE DRIVEWAY FROM THE STREET



1 SITE PLAN V
1: 175

ZONING AND SITE STATISTICS R1V

ITEM	ZONING BYLAW ALLOWANCE	PROPOSED
LOT AREA	30,550.06ft ² [2,839.19m ²]	
LOT FRONTAGE	30.47m	
LOT COVERAGE	20%Max: 6,110.01ft ² [567.64m ²]	HOUSE FOOT PRINT: 4,464.50ft ² [414.76m ² CABANA: 358.07ft ² [33.27m ² COVERED AREA OF FRONT PORCH: 34.22ft ² [3.18m ² COVERED REAR PORCH: 612.69ft ² [56.92m ² TOTAL COVERAGE 5,469.49ft² [508.13m² 17.90%
FRONT (SOUTH) YARD SETBACK	29'-6 1/2" [9.0m]	113'-6 1/8" [34.60m]
REAR (NORTH) YARD SETBACK	24'-7 1/2" [7.5m]	122'-5 1/2" [37.33m]
RIGHT SIDE (EAST) YARD SETBACK	4'-11" [1.50m]	6'-10 3/8" [2.09m]
LEFT SIDE (WEST) YARD SETBACK	4'-11" [1.50m]	22'-7" [6.88m]
AVERAGE GRADE	(183.50+186.19) ÷ 2 = 184.84m	184.84m
BUILDING HEIGHT	29'-6 1/2" [9.00m]	35'-8-1/4" [10.9m]

PROPOSED VARIANCE BY ZONING BY-LAW 001-2021

SURVEY INFORMATION

SURVEYOR'S REAL PROPERTY REPORT -PART 1
PLAN OF LOT 20
REGISTERED PLAN 3977
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

INFORMATION TAKEN FROM :
ERTL SURVEYORS 2022
ONTARIO LAND SURVEYORS

ITEM	AREA
LOT AREA	30,550.06ft ² [2,839.19m ²]
FIRST FLOOR	4,229.66ft ² [392.95m ²]
SECOND FLOOR	3,605.54ft ² [334.97m ²]
GROSS AREA	7,835.20ft² [727.92m² 25.63%

contempostudio

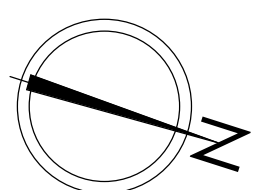
1140 The Queensway, Toronto, Ontario M8Z 1P7
info@contempostudio.ca w. contempostudio.ca
t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION		
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.		
MARIN ZABZUNI	SIGNATURE	45250
NAME		BCIN
REGISTRATION INFORMATION		
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.		
CONTEMPO STUDIO		46972
FIRM NAME		BCIN

NEW 2 STOREY DWELLING
AT
69 Thornbank Rd
VAUGHAN, ON

SITE PLAN V



Project number:	2021-2022
Rev. no.:	1
Scale:	1: 175
Date:	2023-02-03
Drawn by:	Author
Approved by:	M.Z.

Drawing number:

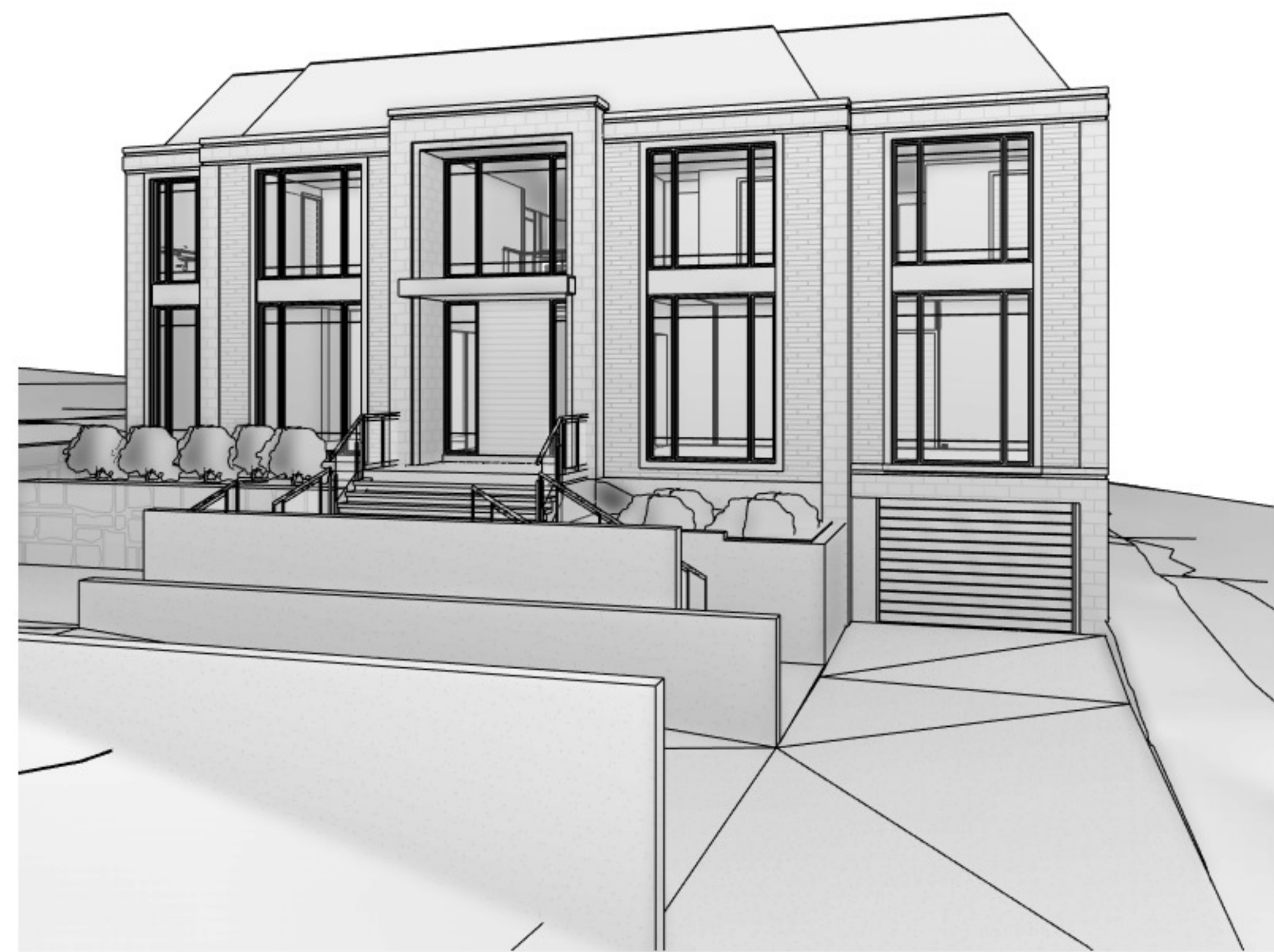
A1.4

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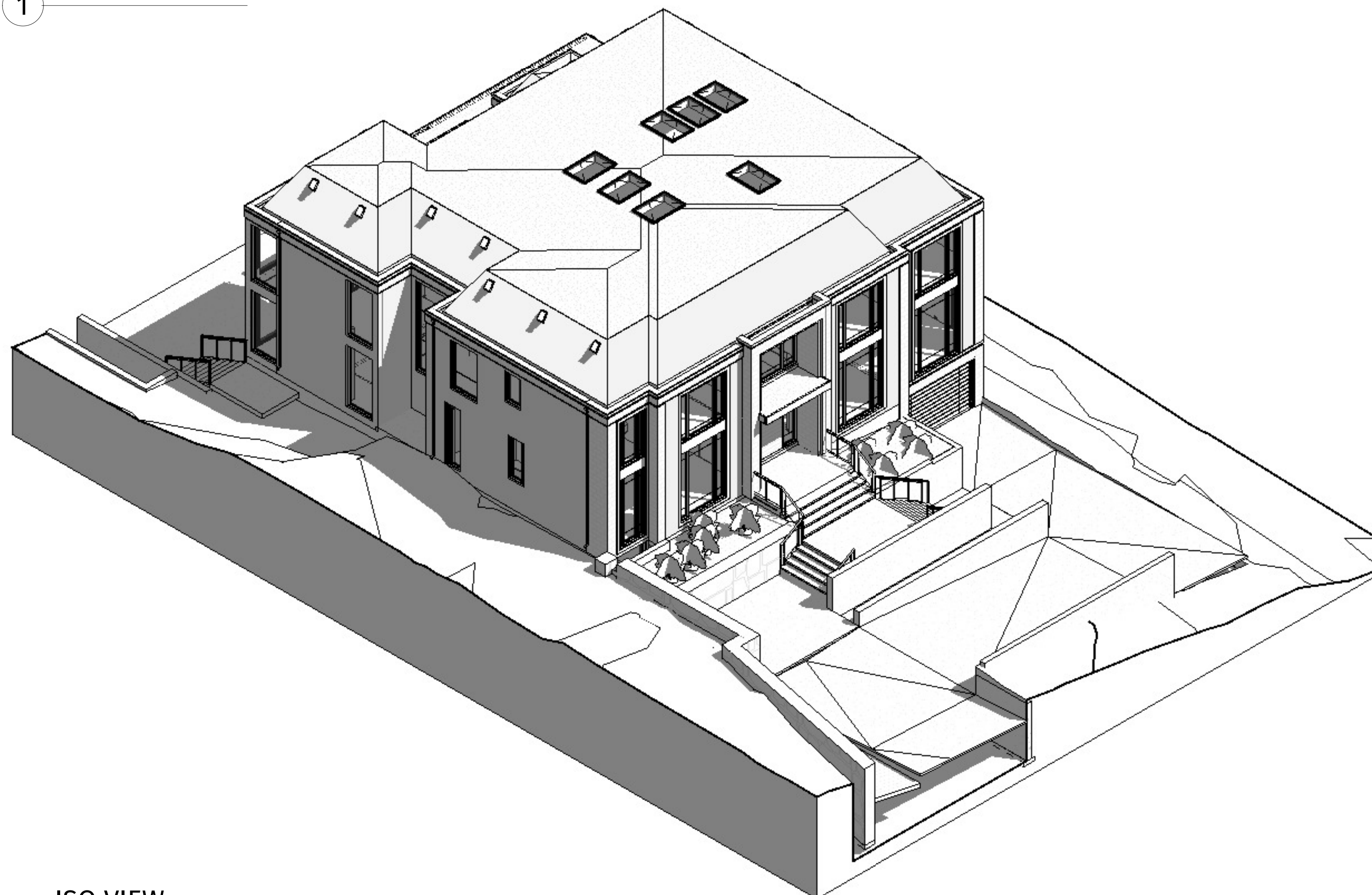
This drawing is not to be scaled.

The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor working from drawings not specifically marked for construction must assume full responsibility and bear costs for any corrections or damages resulting from his work.

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1 PERSPECTIVE



2 ISO VIEW

Sheet Number	Sheet Name	Sheet Number	Sheet Name
A0	COVER PAGE	A10	LEFT ELEVATION
A1.3	CONSTRUCTION ASSEMBLIES	A11	SECTIONS
A1.4	SITE PLAN V	A12	SECTIONS
A1.5	Unnamed	A13	SECTIONS
A2.1	SITE PLAN	A14	SECTIONS
A2.2	DRIVEWAY SECTION	A15	SECTIONS
A2.3	FRONT YARD	A16	SECTIONS
A2.4	REAR YARD	A17	WALL SECTIONS
A2.5	FLOOR PLANS AREA	A18	CABANA PLANS
A3	BASEMENT	A19	CABANA SECTIONS & ELEVATIONS
A4	FIRST FLOOR PLAN	A20	WINDOW & DOOR SCHEDULES
A5	SECOND FLOOR PLAN	A21	WINDOW & DOOR SCHEDULES
A6	ROOF PLAN	A22	WINDOW & DOOR SCHEDULES
A7	FRONT ELEVATION	A23	DETAILS
A8	RIGHT ELEVATION	A24	DETAILS
A9	REAR ELEVATION	S1	FOUNDATIONS
		S2	BASEMENT
		S3	FIRST FLOOR PLAN
		S4	SECOND FLOOR PLAN



PROJECT:
69 Thornbank Rd
VAUGHAN, ON

Project number: 2021-2022
 Date: 15AUGUST2022
 ISSUED FOR: Client Review

ARCHITECTURAL DESIGN
CONTEMPO STUDIO
 1140 THE QUEENSWAY
 Toronto, Ontario M8Z 1P7
 info@contempostudio.ca
 w. contempostudio.ca
 t. 416 770 0071
 f. 416 642 1691

STRUCTURAL ENGINEERS
HONEYCOMB GROUP INC.
 98 NORTHCOTE AVE, TORONTO, ON, M6J 3K3.
 info@honeycombgroup.ca
 www.honeycombgroup.ca

HVAC CONSULTANT
MCCALLUM HVAC DESIGN INC
 2 DEWSIDE DRIVE UNIT 208 BRAMPTON,
 ONTARIO, L6R 3Y5
 info@mccallumhvac.COM
 T.905-840-8166

No.	Issued for:	Date
1.		
2.		

SEAL

contempostudio
 1140 The Queensway, Toronto, Ontario M8Z 1P7
 info@contempostudio.ca w. contempostudio.ca
 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI SIGNATURE 45250
 NAME BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972
 FIRM NAME BCIN

NEW 2 STOREY DWELLING
 AT
69 Thornbank Rd
VAUGHAN, ON

COVER PAGE

Project number:	2021-2022
Rev. no.:	
Scale:	
Date:	2022-AUGUST-15
Drawn by:	BM
Approved by:	M.Z.

Drawing number:

A0

PLAN OF
LOT 20
REGISTERED PLAN 3977
CITY OF VAUGHAN

REGIONAL MUNICIPALITY OF YORK

SCALE 1: 300



© COPYRIGHT

ertl surveyors 2022

Ontario Land Surveyors

Legend

■	DENOTES	SURVEY MONUMENT FOUND
□	DENOTES	SURVEY MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
IB	DENOTES	IRON BAR
IT	DENOTES	IRON TUBE
OU	DENOTES	ORIGIN UNKNOWN
RP	DENOTES	REGISTERED PLAN 3977
P	DENOTES	SURVEY BY ERTL SURVEYORS, O.L.S. DATED DECEMBER 15, 2015
P1	DENOTES	SURVEY BY C. A. SEXTON LTD., O.L.S. DATED SEPTEMBER 18, 1981
P2	DENOTES	SURVEY BY JOHN McSKIMMING, O.L.S. DATED SEPTEMBER 22, 2005
1188	DENOTES	C. A. SEXTON LIMITED, O.L.S.
1215	DENOTES	ERTL SURVEYORS, O.L.S.
1370	DENOTES	VLADIMIR KRCHMAR LTD., O.L.S.
D	DENOTES	INST. No. R281119
SRW	DENOTES	STONE RETAINING WALL
WRW	DENOTES	WOOD RETAINING WALL
CLF	DENOTES	CHAIN LINK FENCE
DSE	DENOTES	DOOR SILL ELEVATION
SP	DENOTES	STUCCO PILLAR
UP	DENOTES	UTILITY POLE
MH	DENOTES	MAINTENANCE HOLE
OH	DENOTES	OVERHEAD WIRES
CB	DENOTES	CATCH BASIN
CBOX	DENOTES	CABLE BOX
LP	DENOTES	LAMP POST
WK	DENOTES	WATER KEY / VALVE
WIF	DENOTES	WROUGHT IRON FENCE
M	DENOTES	MEASURED
STU	DENOTES	TIE SHOWN TO STUCCO
FDN	DENOTES	TIE SHOWN TO FOUNDATION
○	DENOTES	DECIDUOUS TREE WITH TRUNK DIAMETER
★	DENOTES	CONIFEROUS TREE WITH TRUNK DIAMETER
N,S,E,W	DENOTES	NORTH, SOUTH, EAST, WEST

LOT 32, CONCESSION 1

P.I.N. 03259 - 1848

Subject To Easements

As in Inst. Nos. VA78543 & VA85036

N72°27'35"E(P1)

N72°26'40"E(M)

30.49 (P1&M)

30.48 (RP)

Metric

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Part 2

SUBJECT TO A RIGHT-OF-WAY IN INSTRUMENT No. R281119 SURVEY PREPARED FOR CONTEMPO STUDIO

Bearing Reference

BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF THORNBANK ROAD AS SHOWN ON REGISTERED PLAN 3977 HAVING A BEARING OF N72°19'00"E

REGISTERED

LOT 21

P.I.N. 03259-0683

PLAN

LOT 20

P.I.N. 03259-0684

3977

LOT 19

P.I.N. 03259-0685

Tree Note

ALL EXISTING TREES, IN THE BOULEVARD ARE SHOWN. TREES LOCATED ON THE PROPERTY AND ITS PROXIMITY, ARE SHOWN IF THEY HAVE A TRUNK DIAMETER LARGER THAN 0.15m.

Benchmark

ELEVATIONS ARE GEODETIC AND DERIVED FROM CITY OF VAUGHAN BM No. M-01-005, ELEVATION = 174.950 m

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2184058



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR. In accordance with Regulation 1026, Section 29(3).

Surveyor's Certificate

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 5th DAY OF JANUARY 2022

February 24th., 2022

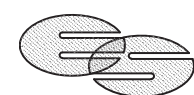
Date

Lawrence O. Ertl
Lawrence O. Ertl
Ontario Land Surveyor

THORNBANK ROAD

(DEDICATED BY REGISTERED PLAN 3977)

P.I.N. 03259 - 1483

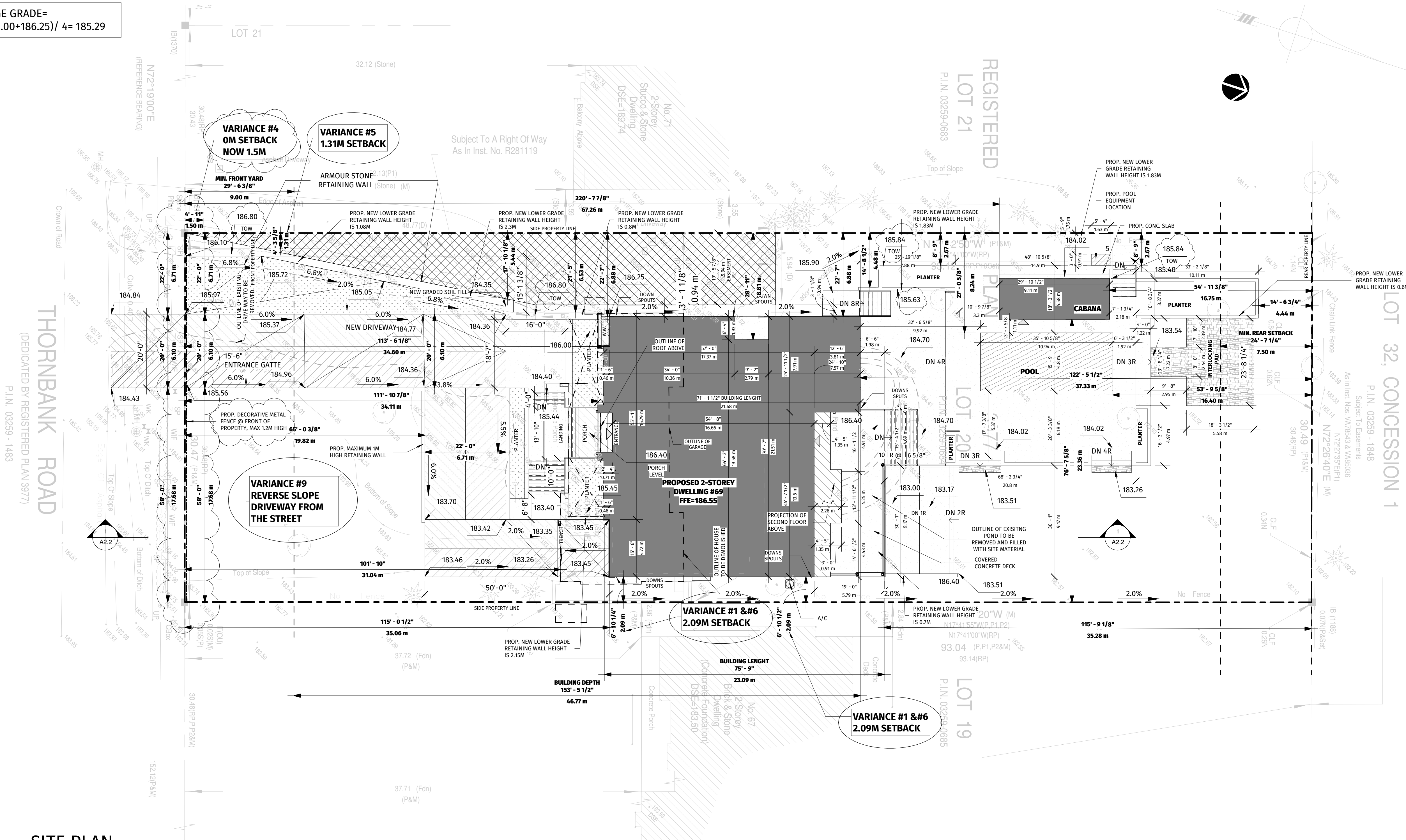


ertl surveyors
Ontario Land Surveyors

www.es-ols.com

1234 REID STREET, UNIT 10, RICHMOND HILL L4B 1C1
TELEPHONE (905) 731-7834 FAX (905) 731-7852 EMAIL info@es-ols.com
DRAWING : 21678-TB. DWG PROJECT : 21678
CALC. BY AL, DRAWN BY REZA, CHECKED BY CL

PROPOSED AVERAGE GRADE=
 $(183.45+185.45+186.00+186.25)/4 = 185.29$



1 SITE PLAN
 1:175

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard setback of 2.5 m is required. [Exception 14.403.2.2]	To permit a minimum interior side yard setback of 2.09 m.
2	A maximum permitted building height is 8.5 m. [Section 4.5.1]	To permit a maximum height of 10.46 m.
3	A maximum permitted height of any residential accessory structure is 3.0 m. [Section 4.1.4.1]	To permit a residential accessory structure (cabana) of a maximum height of 3.45 m.
4	A minimum setback of 2.3m is required for the 2.3m high retaining wall. [Table 4.1]	To permit a minimum of 0.0m setback for the 2.3m high retaining wall at the front lot line.
5	A minimum setback of 2.3m is required for the 2.3m high retaining wall. [Table 4.1]	To permit a minimum of 1.31m setback for the 2.3m high retaining wall.

The subject lands are zoned R1V – Old Village Residential and subject to the provisions of Exception 9(662) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
6	A minimum interior side yard setback of 2.5 m is required. [Exception 662. b. ii]	To permit a minimum interior side yard setback of 2.09 metres.
7	A maximum permitted building height is 9.5 m. [Schedule A]	To permit a maximum height of 10.46 m.
8	The nearest part of the roof of an accessory building shall not be more than three (3) metres above finished grade. [Section 4.1.1.b)]	To permit the nearest part of the roof of accessory building be a maximum of 3.07 m from the finished grade.
9	All driveways shall have a positive slope away from all parts of the building to the street for all single family detached dwellings. [Section 4.1.4.g.)]	To permit a reverse slope driveway from the street.

ZONING AND SITE STATISTICS R1V

ITEM	ZONING BYLAW ALLOWANCE	PROPOSED
LOT AREA	30,550.06ft ² [2,839.19m ²]	
LOT FRONTAGE	30.47m	
LOT COVERAGE	20%Max: 6,110.01ft ² [567.64m ²]	HOUSE FOOT PRINT: 4,464.50ft ² [414.76m ²] CABANA: 358.07ft ² [33.27m ²] COVERED AREA OF FRONT PORCH: 34.22ft ² [3.18m ²] COVERED REAR PORCH: 612.69ft ² [56.92m ²] TOTAL COVERAGE 5,469.49ft² [508.13m²] 17.90%
FRONT (SOUTH) YARD SETBACK	29'-6 1/2" [9.0m]	113'-6 1/8" [34.60m]
REAR (NORTH) YARD SETBACK	24'-7 1/2" [7.5m]	122'-5 1/2" [37.33m]
RIGHT SIDE (EAST) YARD SETBACK	4'-11" [1.50m]	6'-10 3/8" [2.09m]
LEFT SIDE (WEST) YARD SETBACK	4'-11" [1.50m]	22'- 7" [6.88m]
AVERAGE GRADE	(183.50+186.19) ÷ 2 = 184.84m	184.84m
BUILDING HEIGHT	29'-6 1/2" [9.00m]	35'-8 1/4" [10.9m]

SURVEY INFORMATION

SURVEYOR'S REAL PROPERTY REPORT -PART 1
 PLAN OF LOT 20
 REGISTERED PLAN 3977
CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK

INFORMATION TAKEN FROM :
ERTL SURVEYORS 2022
 ONTARIO LAND SURVEYORS

LOT AREA	AREA
LOT AREA	30,550.06ft ² [2,839.19m ²]
FIRST FLOOR	4,229.66ft ² [392.95m ²]
SECOND FLOOR	3,605.54ft ² [334.97m ²]
GROSS AREA	7,835.20ft² [727.92m²] 25.63%

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- # ZONING BY-LAW 01-2021 VARIANCE REQUESTED:**
- #1: TO PERMIT A MINIMUM INTERIOR SIDE YARD SETBACK OF 2.09m
 - #2: TO PERMIT A MINIMUM OF 0.0m SETBACK FOR THE 2.3m HIGH RETAINING WALL AT FRONT OF LOT LINE
 - #3: TO PERMIT A MINIMUM OF 1.31m SETBACK FOR THE 2.3M HIGH RETAINING WALL
- # ZONING BY-LAW 1-88 VARIANCE REQUESTED:**
- #4: TO PERMIT A MINIMUM INTERIOR SIDE YARD SETBACK OF 2.09M
 - #5: TO PERMIT A REVERSE SLOPE DRIVEWAY SLOPE DRIVEWAY FROM THE STREET

No.	Issued for:	Date
1.		
2.		

SEAL

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 1140 The Queensway, Toronto, Ontario M8Z 1P7
 info@contempostudio.ca w. contempostudio.ca
 t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

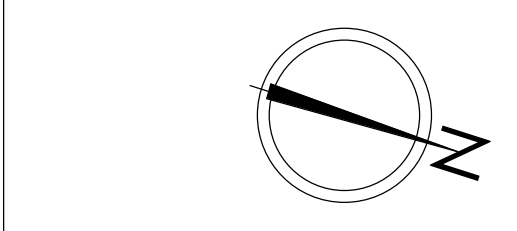
MARIN ZABZUNI	SIGNATURE	45250
NAME		BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO	46972
FIRM NAME	BCIN

NEW 2 STOREY DWELLING
 AT
69 Thornbank Rd
VAUGHAN, ON

SITE PLAN



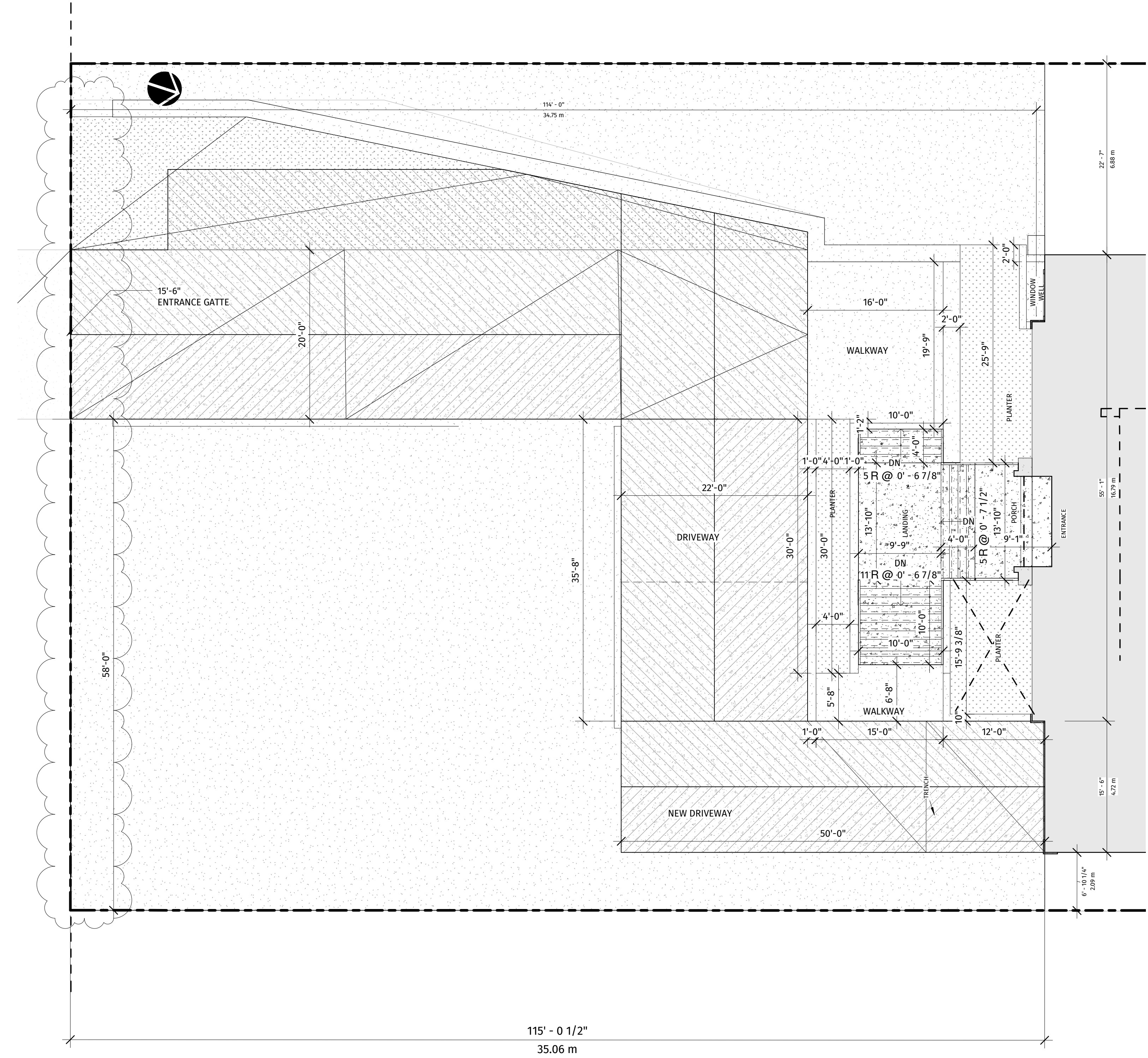
Project number: 2021-2022
 Rev. no.: 1 : 175
 Scale: 2023-02-03
 Date: BM
 Drawn by: MZ
 Approved by:

Drawing number: **A2.1**

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1 FRONT YARD
 1/8" = 1'-0"

REAR YARD STATISTICS

ITEM	AREA	PERCENTAGE
FRONT YARD	11,430.94ft ² [1,061.94m ²]	100%
FRONT YARD	11,430.94ft ² [1,061.94m ²]	100%
FRONT CONC. PORCH & STAIRS	- 427.00ft ² [39.67m ²]	
ACTUAL LANDSCAPE AREA	11,003.61ft ² [1,022.27m ²]	96.26%
ACTUAL LANDSCAPE AREA	11,003.61ft ² [1,022.27m ²]	
DRIVEWAY	- 3,882.28ft ² [360.68m ²]	
LANDSCAPING AREA	7,121.33ft ² [661.594m ²]	64.72%

No.	Issued for:	Date
1.		
2.		

SEAL

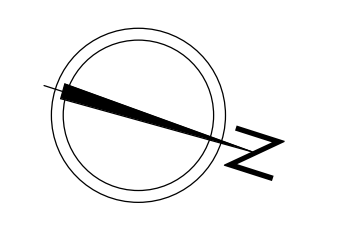
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 1140 The Queensway, Toronto, Ontario M8Z 1P7
 info@contempostudio.ca w. contempostudio.ca
 t. (416) 770-0071 f. (416) 642-1691

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QUALIFICATION INFORMATION
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.
 MARIN ZABZUNI 45250
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
 CONTEMPO STUDIO 46972
 FIRM NAME BCIN

NEW 2 STOREY DWELLING
 AT
 69 Thornbank Rd
 VAUGHAN, ON

FRONT YARD

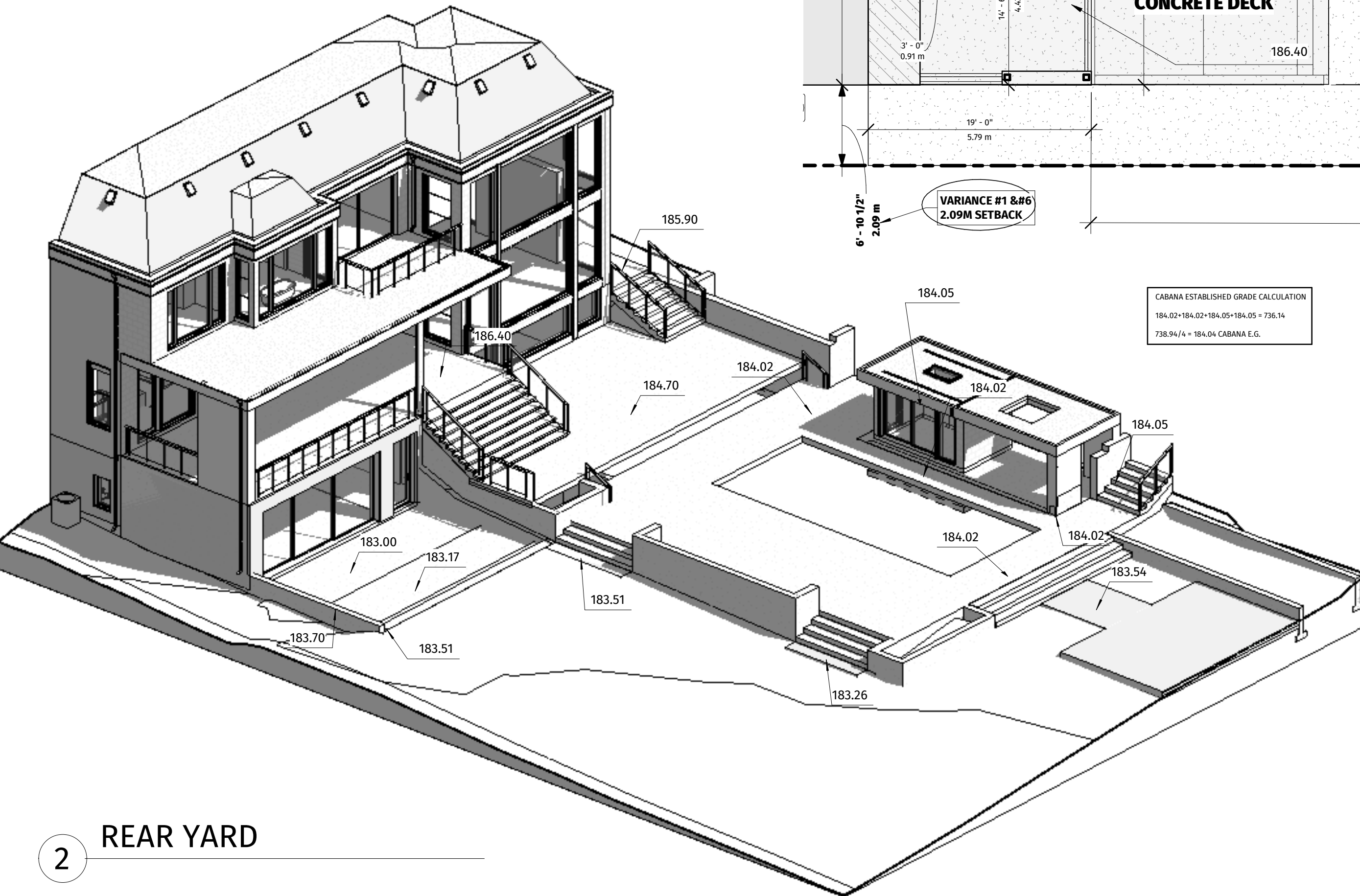
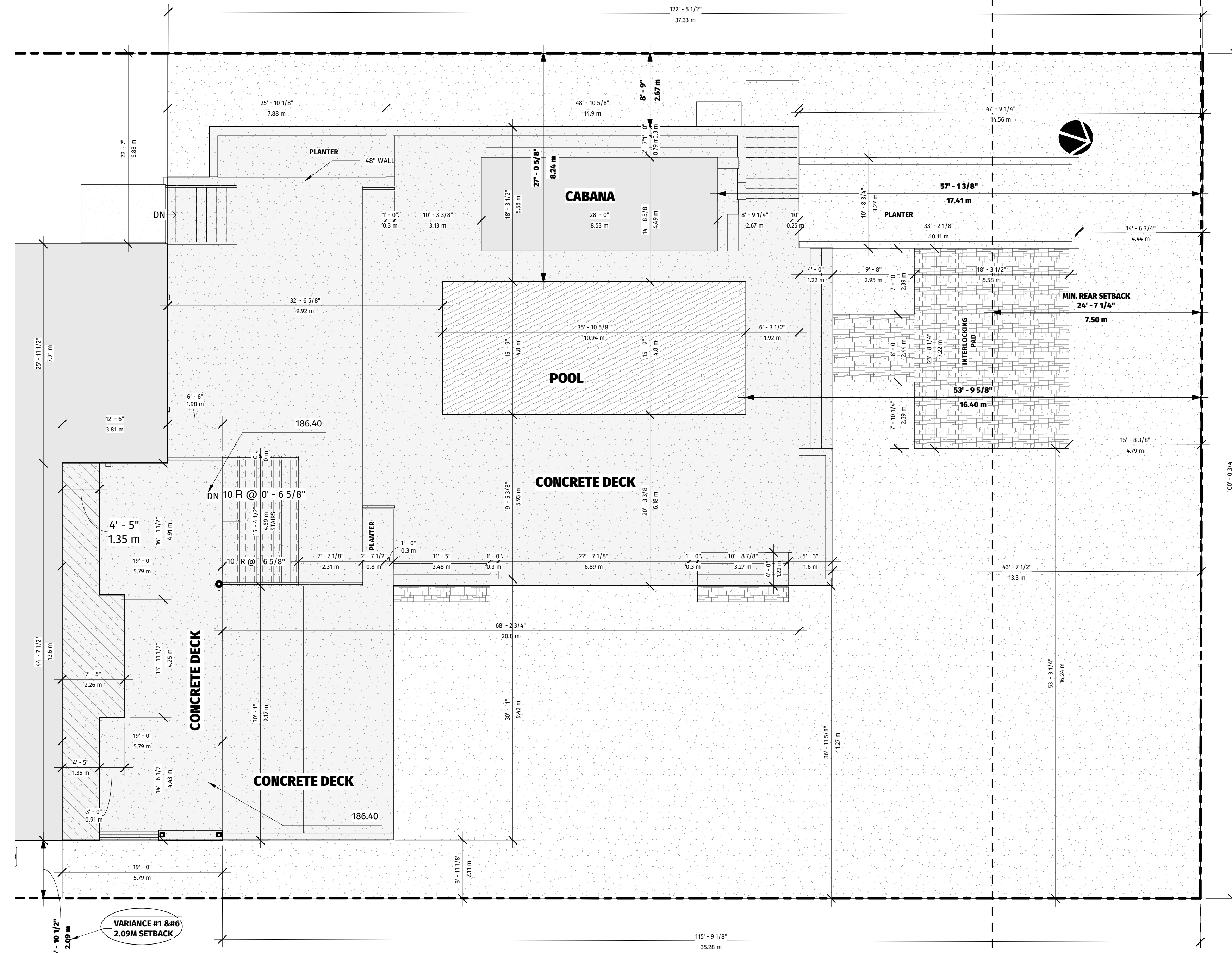


Project number: 2021-2022
 Rev. no.: 1
 Scale: 1/8" = 1'-0"
 Date: 2023-02-03
 Drawn by: BM
 Approved by: M.Z.

Drawing number: **A2.3**

REAR YARD STATISTICS

ITEM	AREA	PERCENTAGE
REAR YARD	12,889.35ft ² [1,197.46m ²]	100%
CONC. DECK, STAIRS & CABANA	- 4,987.55ft ² [463.359m ²]	
ACTUAL LANDSCAPE AREA	7,901.80ft ² [734.101m ²]	61.30%



CABANA ESTABLISHED GRADE CALCULATION
 184.02-184.02+184.05-184.05 = 736.14
 736.94 / 4 = 184.04 CABANA E.G.

ZONING BY-LAW 01-2021
VARIANCE REQUESTED:
 #1: TO PERMIT A MINIMUM INTERIOR SIDE YARD SETBACK OF 2.09m

ZONING BY-LAW 1-88
VARIANCE REQUESTED:
 #6: TO PERMIT A MINIMUM INTERIOR SIDE YARD SETBACK OF 2.09M

1 REAR YARD
 1/8" = 1'-0"

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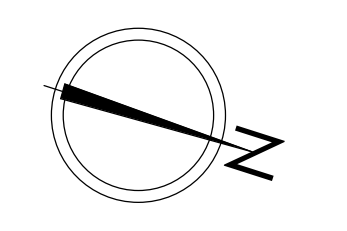
MARIN ZABZUNI 45250
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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CONTEMPO STUDIO 46972
 FIRM NAME BCIN

NEW 2 STOREY DWELLING
 AT
 69 Thornbank Rd
 VAUGHAN, ON

REAR YARD



Project number: 2021-2022
 Rev. no.:
 Scale: 1/8" = 1'-0"
 Date: 2023-02-03
 Drawn by: BM
 Approved by: M.Z.

Drawing number: **A2.4**

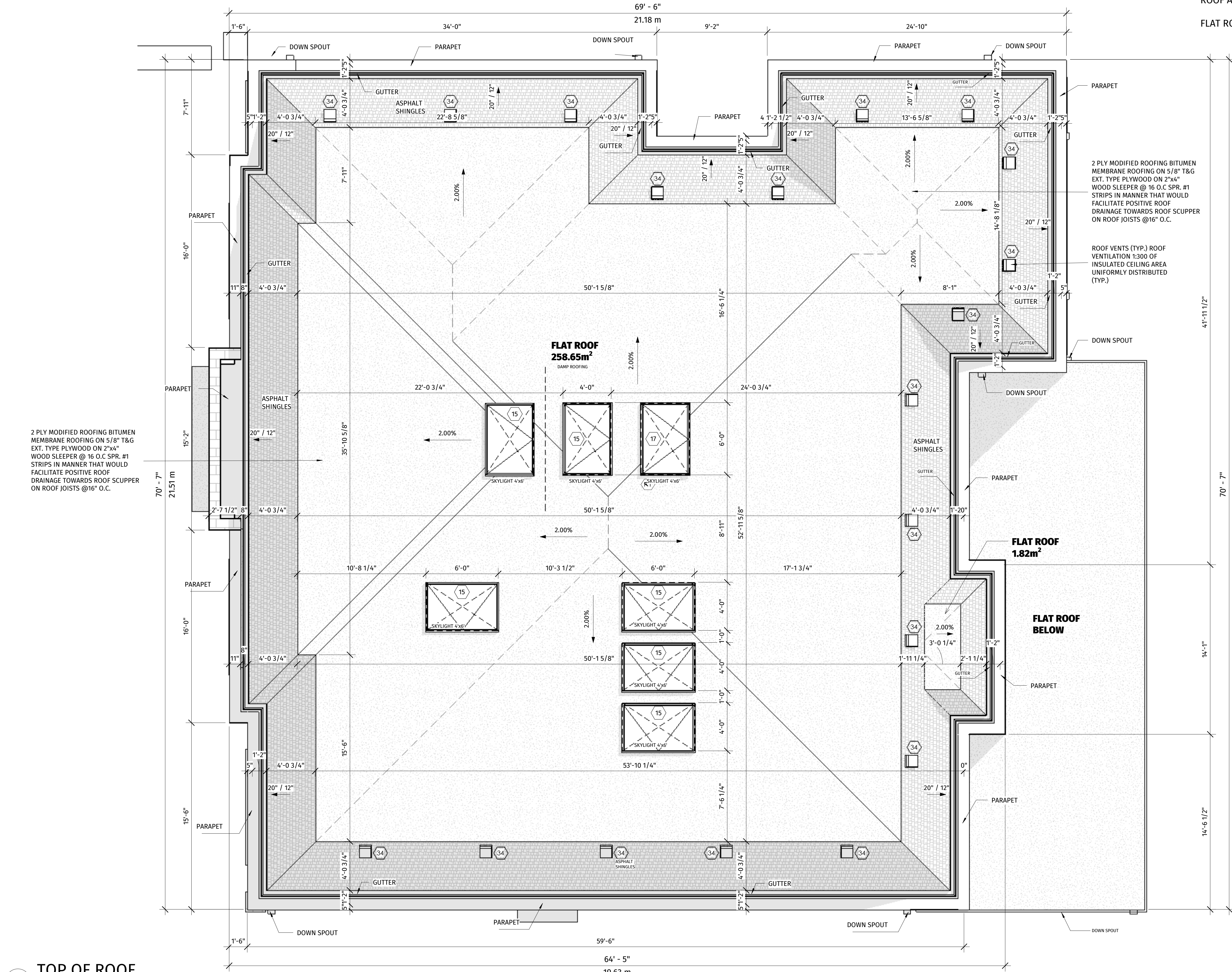
2 REAR YARD

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ROOF STATS	
ITEM	AREA
ROOF AREA	[416.52m ²] 100%
FLAT ROOF AREA	[260.47m ²] 62.53%



2 PLY MODIFIED ROOFING BITUMEN MEMBRANE ROOFING ON 5/8" T&G EXT. TYPE PLYWOOD ON 2"x4" WOOD SLEEPER @ 16 O.C SPR. #1 STRIPS IN MANNER THAT WOULD FACILITATE POSITIVE ROOF DRAINAGE TOWARDS ROOF SCUPPER ON ROOF JOISTS @16" O.C.

2 PLY MODIFIED ROOFING BITUMEN MEMBRANE ROOFING ON 5/8" T&G EXT. TYPE PLYWOOD ON 2"x4" WOOD SLEEPER @ 16 O.C SPR. #1 STRIPS IN MANNER THAT WOULD FACILITATE POSITIVE ROOF DRAINAGE TOWARDS ROOF SCUPPER ON ROOF JOISTS @16" O.C.


ROOF VENTS (TYP.) ROOF VENTILATION 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED (TYP.)

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1.		
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MARIN ZABZUNI  45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972
FIRM NAME BCIN

NEW 2 STOREY DWELLING
AT
69 Thornbank Rd
VAUGHAN, ON

ROOF PLAN



Project number: 2021-2022
Rev. no.:
Scale: 1/4" = 1'-0"
Date: 2023-02-03
Drawn by: BM
Approved by: M.Z.

Drawing number: **A6**

1 TOP OF ROOF
1/4" = 1'-0"

TRUSSES TO COMPLY WITH TRUSS DESIGNER'S PLAN STAMPED BY P.ENG OF ONTARIO
TRUSS LAYOUT IS FOR ILLUSTRATION ONLY. TRUSS COMPANY SHALL PROVIDE THE LAYOUT BASED ON THEIR DESIGN AND RESTRICTION ON TRUSS SIZES.
WHEN TRUSS LAYOUT IS DIFFERENT FROM WHAT IS SHOWN ON PERMIT PLANS AND SOLID BEARING OF GIRDER TRUSS IS SITTING ON WINDOW'S LINTEL, LINTEL SHALL BE DESIGNED BY TRUSS MANUFACTURER.

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PROPOSED AVERAGE GRADE = $(183.45 + 185.45 + 186.00 + 186.25) / 4 = 185.29$

**# ZONING BY-LAW 01-2021
VARIANCE REQUESTED:**

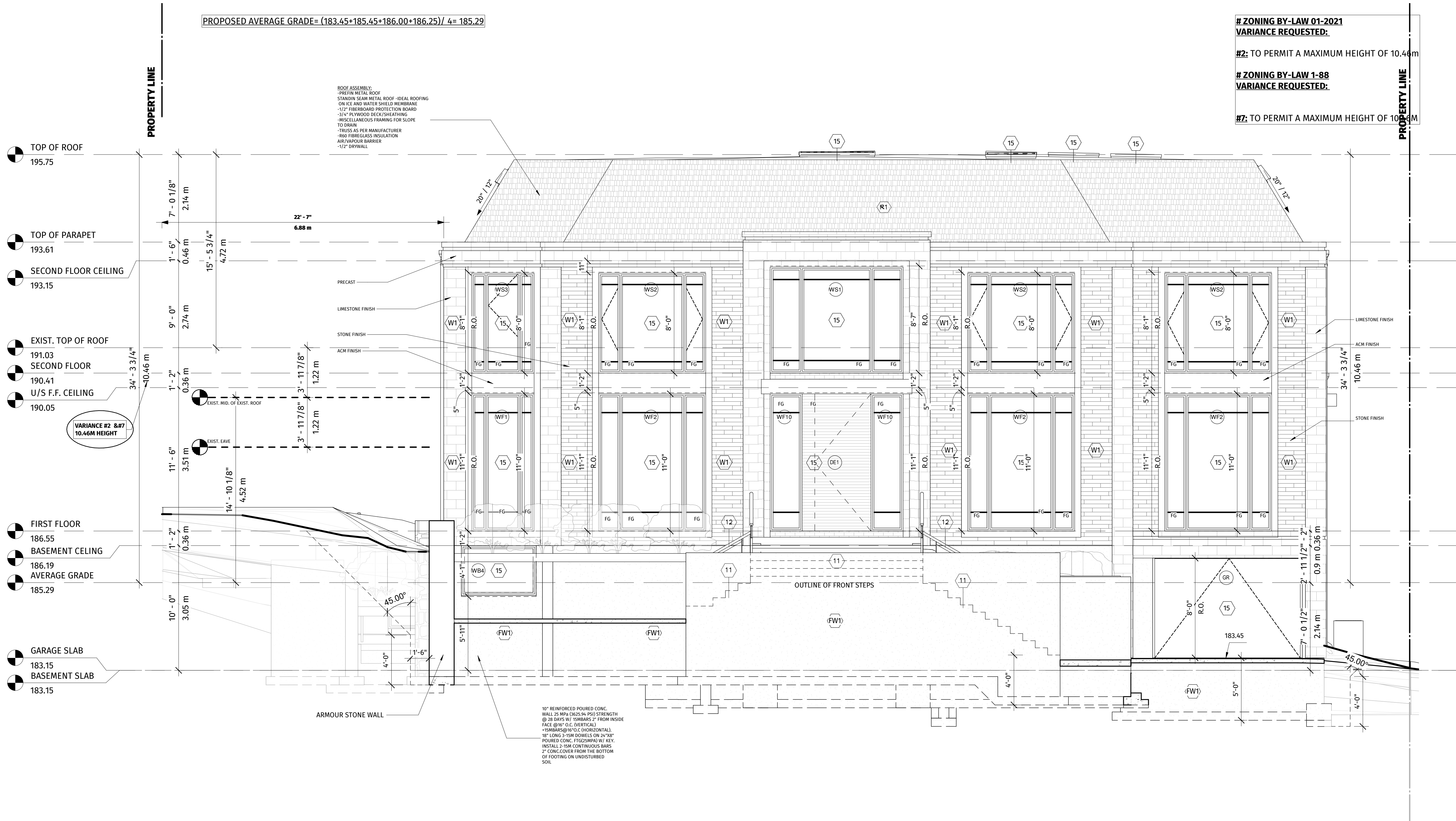
#2: TO PERMIT A MAXIMUM HEIGHT OF 10.46m

**# ZONING BY-LAW 1-88
VARIANCE REQUESTED:**

#7: TO PERMIT A MAXIMUM HEIGHT OF 10.46m

ROOF ASSEMBLY:
 - PREFIN METAL ROOF
 - STANDING SEAM METAL ROOF - IDEAL ROOFING
 - ON ICE AND WATER SHIELD MEMBRANE
 - 1/2" FIBERBOARD PROTECTION BOARD
 - 3/4" PLYWOOD DECK / SHEATHING
 - MISCELLANEOUS FRAMING FOR SLOPE TO DRAIN
 - TRUSS AS PER MANUFACTURER
 - R60 FIBREGLASS INSULATION
 - AIR/VAPOUR BARRIER
 - 1/2" DRYWALL

10" REINFORCED POURED CONC.
 WALL 25 MPa (3625 PA PSI) STRENGTH @ 28 DAYS W/ 15MMx3.2" FROM INSIDE FACE @ 16" O.C. (VERTICAL)
 #5MMx60" @ 16" O.C. (HORIZONTAL)
 18" LONG 3-15M DOWELS ON 24"x8" POURED CONC. FTG (25MPa) W/ KEY. INSTALL 2-15M CONTINUOUS BARS 2" CONC COVER FROM THE BOTTOM OF FOOTING ON UNDISTURBED SOIL.



1 FRONT (SOUTH) ELEVATION
 1/4" = 1'-0"

No.	Issued for:	Date
1.		
2.		

SEAL

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 1140 The Queensway, Toronto, Ontario M8Z 1P7
 info@contempostudio.ca w. contempostudio.ca
 t. (416) 770-0071 f. (416) 642-1691

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QUALIFICATION INFORMATION		
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.		
MARIN ZABZUNI		45250
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.		
CONTEMPO STUDIO		46972
FIRM NAME		BCIN

NEW 2 STOREY DWELLING
 AT
 69 Thornbank Rd
 VAUGHAN, ON
 FRONT ELEVATION

Project number:	2021-2022
Rev. no.:	1/4" = 1'-0"
Scale:	2023-02-03
Date:	BM
Drawn by:	M.Z.
Approved by:	

Drawing number: **A7**

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**# ZONING BY-LAW 01-2021
VARIANCE REQUESTED:**

#2: TO PERMIT A MAXIMUM HEIGHT OF 10.46m

**# ZONING BY-LAW 1-88
VARIANCE REQUESTED:**

#7: TO PERMIT A MAXIMUM HEIGHT OF 10.46M

UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4

EXPOSING BUILDING FACE AREA	201.39m ²
LIMITED DISTANCE	2.09m @ 8%
MAX. ALLOWABLE GLASS OPENING	16.11m ² 8%
TOTAL GLASS OPENING PROVIDED	15.40m ² 7.64%



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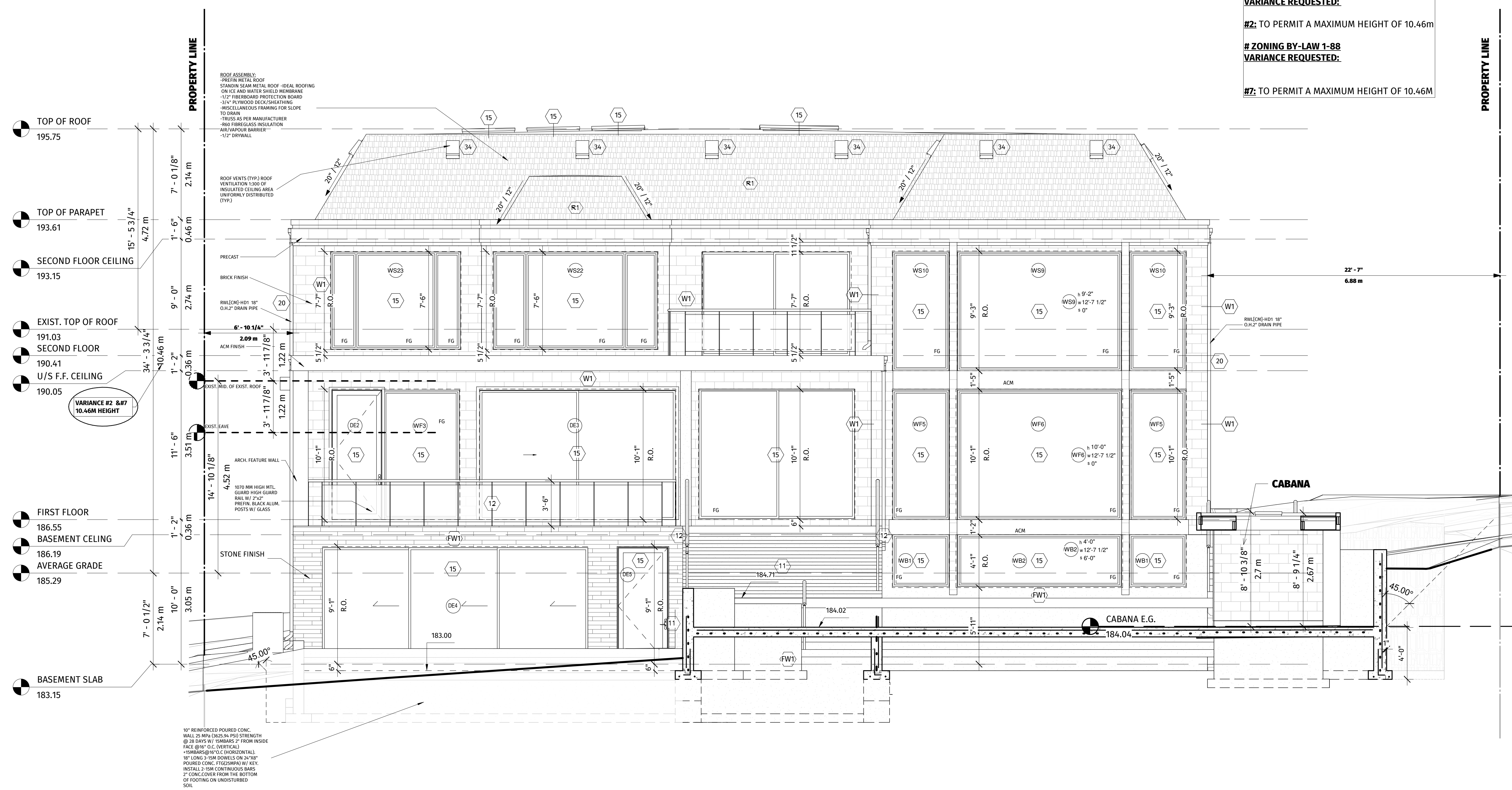
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**# ZONING BY-LAW 01-2021
VARIANCE REQUESTED:**

#2: TO PERMIT A MAXIMUM HEIGHT OF 10.46m

**# ZONING BY-LAW 1-88
VARIANCE REQUESTED:**

#7: TO PERMIT A MAXIMUM HEIGHT OF 10.46M



1 REAR (NORTH) ELEVATION
1/4" = 1'-0"

No.	Issued for:	Date
1.		
2.		

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t. (416) 770-0071 f. (416) 642-1691

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MARIN ZABUNI 45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972
FIRM NAME BCIN

NEW 2 STOREY DWELLING
AT
69 Thornbank Rd
VAUGHAN, ON

REAR ELEVATION

Project number:	2021-2022
Rev. no.:	1/4" = 1'-0"
Scale:	2023-02-03
Date:	BM
Drawn by:	M.Z.
Approved by:	

Drawing number: **A9**

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**# ZONING BY-LAW 01-2021
VARIANCE REQUESTED:**

#2: TO PERMIT A MAXIMUM HEIGHT OF 10.46m

**# ZONING BY-LAW 1-88
VARIANCE REQUESTED:**

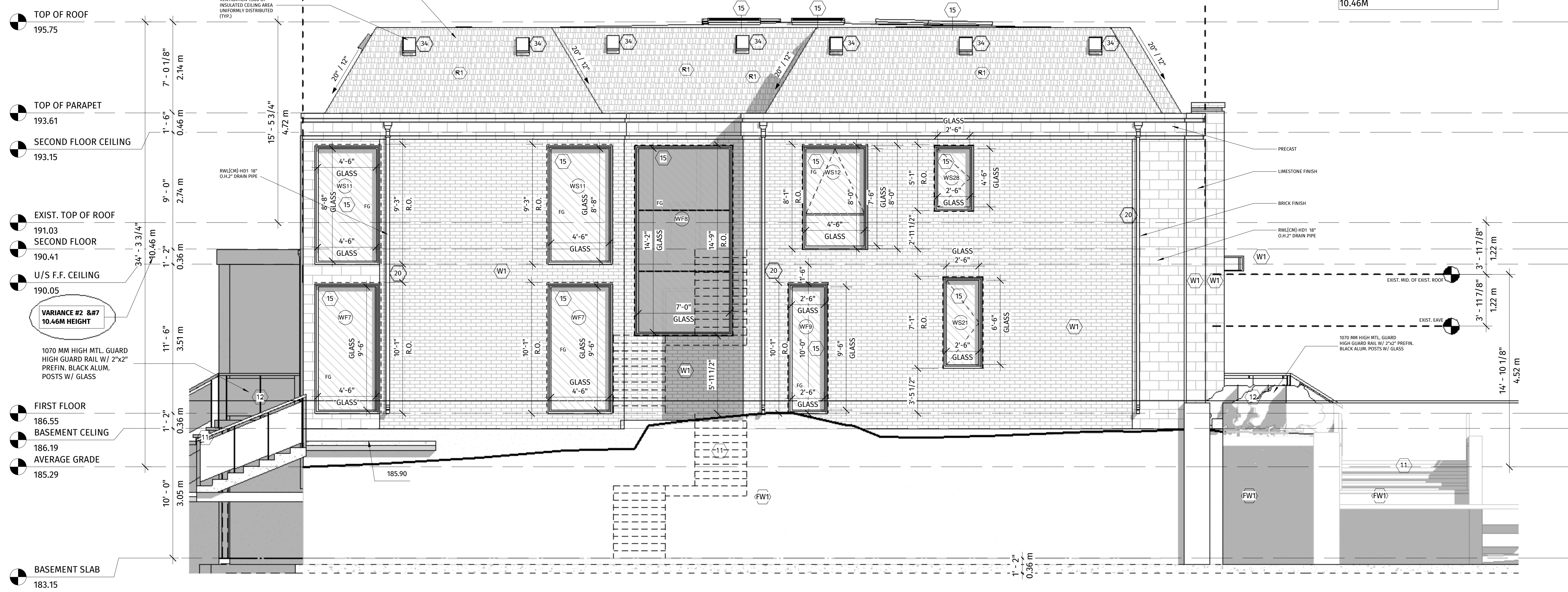
#7: TO PERMIT A MAXIMUM HEIGHT OF 10.46M

UNPROTECTED OPENING CALCULATION AS PER 9.10.15.4

TOTAL EXPOSING BUILDING FACE AREA	152.36m ²
LIMITED DISTANCE	6.88m
MAX. ALLOWABLE WDO. AREA	33.52m ² 22%
PROP. WINDOW AREA	32.23m ² 21.15%

ROOF ASSEMBLY:
-PREFIN METAL ROOF
-STANDING SEAM METAL ROOF -IDEAL ROOFING
-ON ICE AND WATER SHIELD MEMBRANE
-1/2" FIBERBOARD PROTECTION BOARD
-3/4" PLYWOOD DECK/SHEATHING
-MISCELLANEOUS FRAMING FOR SLOPE TO DRAIN
-TRUSS AS PER MANUFACTURER
-R60 FIBREGLASS INSULATION
-AIR/VAPOUR BARRIER
-1/2" DRYWALL

ROOF VENTS (TYP.) ROOF VENTILATION 1300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED (TYP.)



1 LEFT (WEST) ELEVATION
1/4" = 1'-0"

No.	Issued for:	Date
1.		
2.		

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contempostudio
1140 The Queensway, Toronto, Ontario M8Z 1P7
info@contempostudio.ca w. contempostudio.ca
t. (416) 770-0071 f. (416) 642-1691

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI *[Signature]* 45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7, Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972
FIRM NAME BCIN

NEW 2 STOREY DWELLING
AT
69 Thornbank Rd
VAUGHAN, ON

LEFT ELEVATION

Project number: 2021-2022
Rev. no.:
Scale: 1/4" = 1'-0"
Date: 2023-02-03
Drawn by: BM
Approved by: MZ.

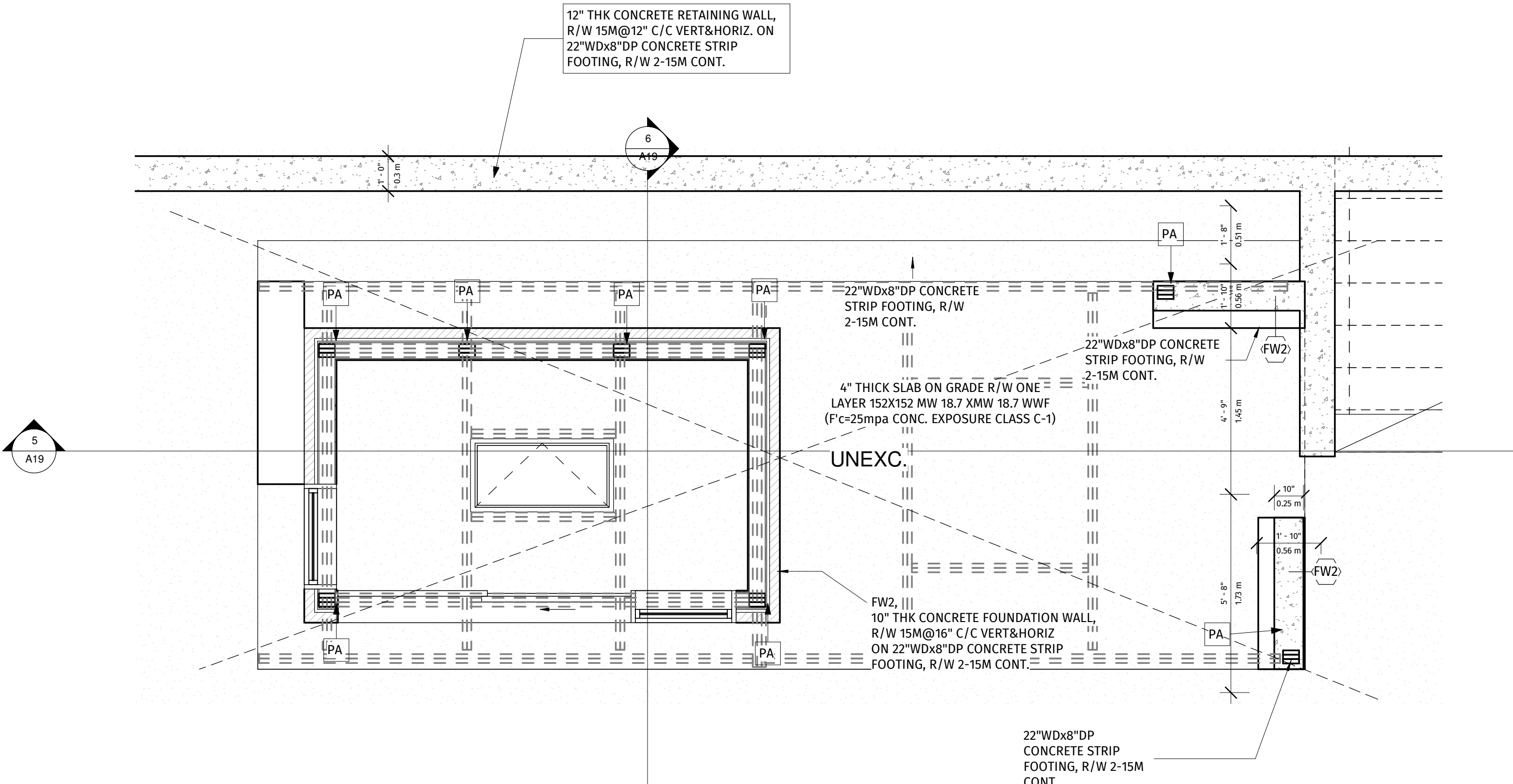
Drawing number: **A10**

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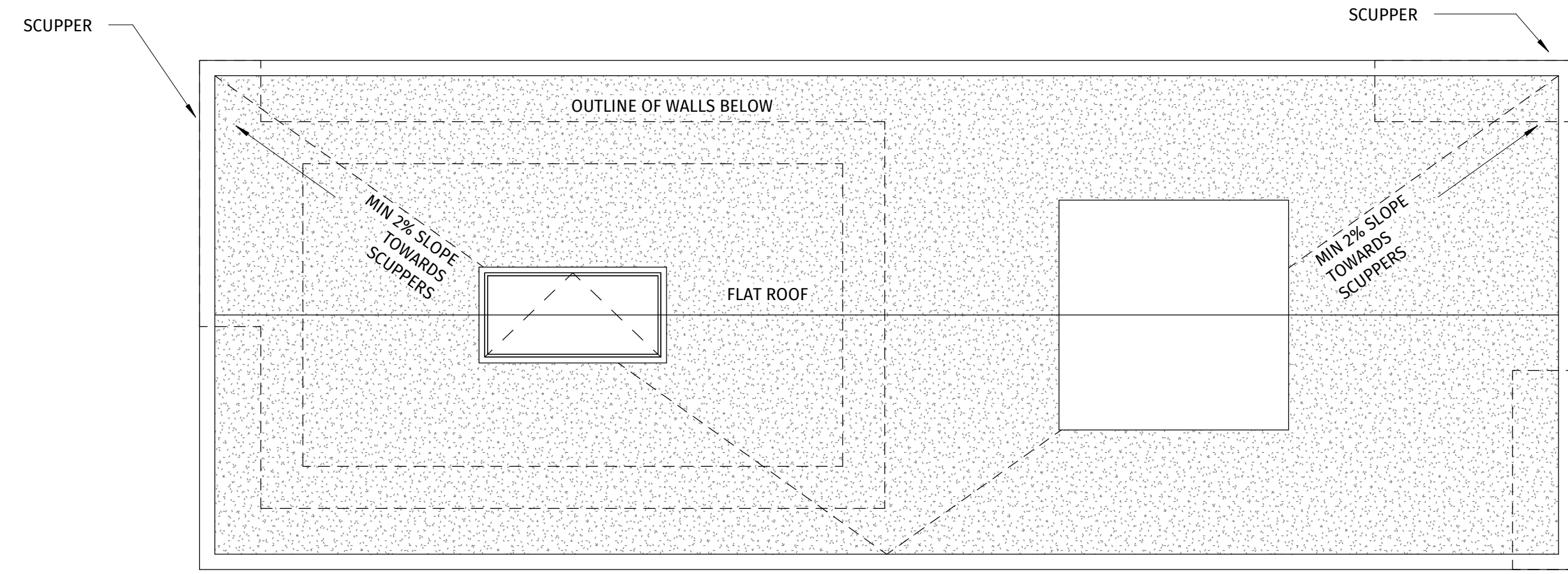
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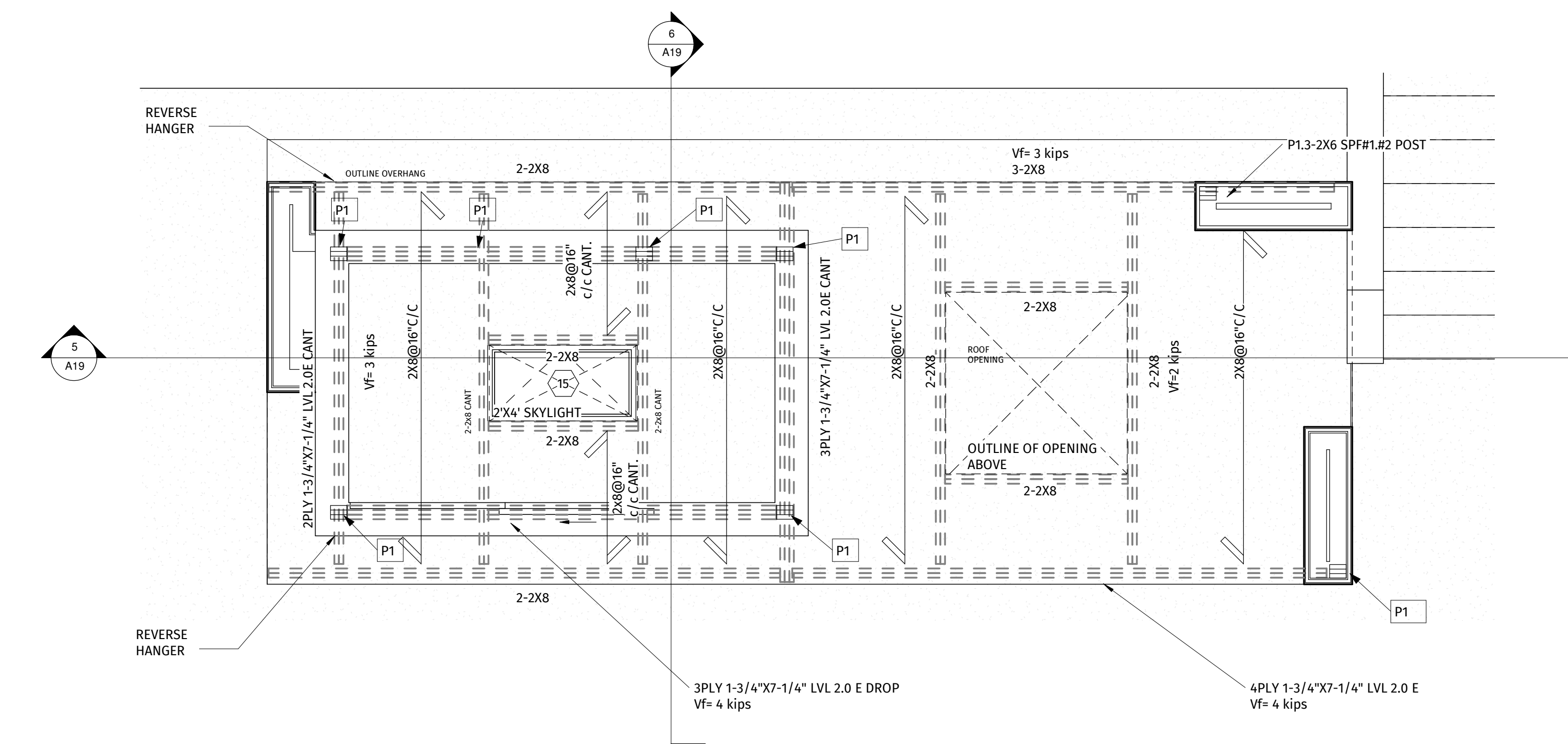
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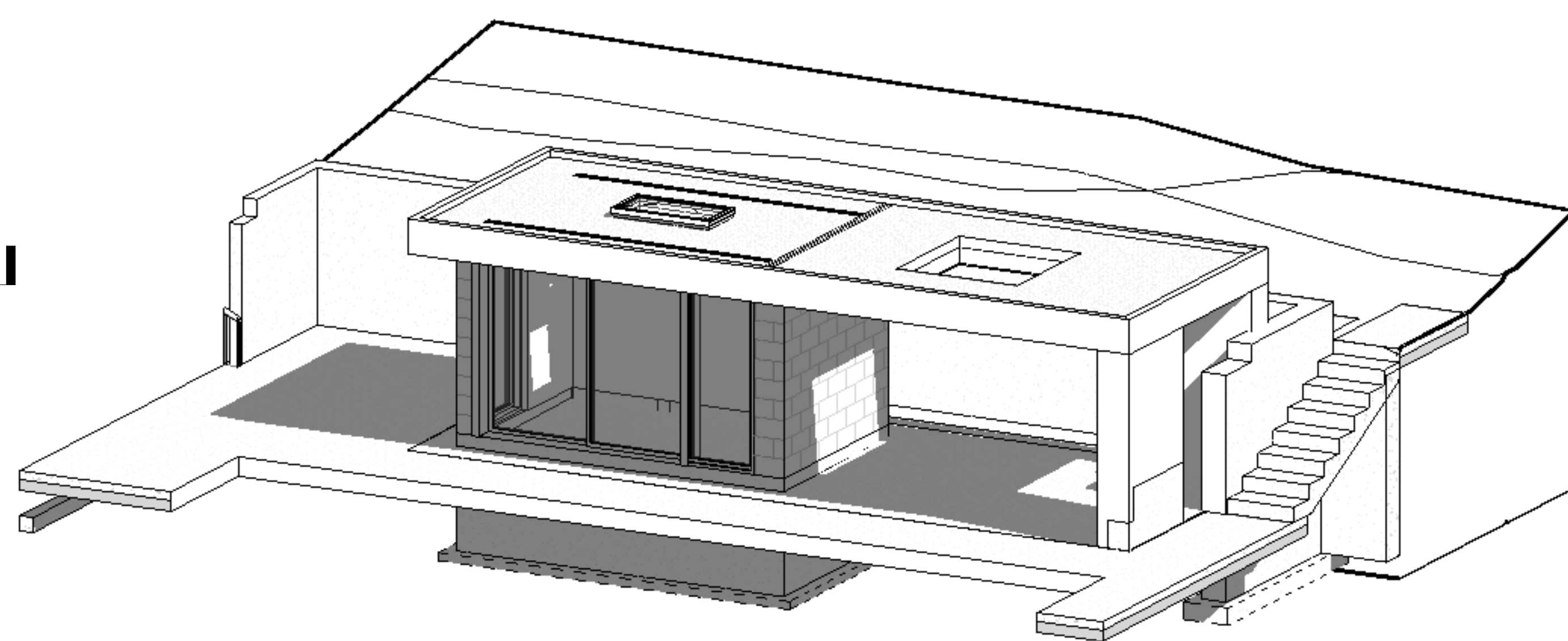
1 CABANA FLOOR FOUNDATION PLAN
3/8" = 1'-0"



3 CABANA ROOF PLAN
3/8" = 1'-0"



2 CABANA FLOOR PLAN
3/8" = 1'-0"



4 {3D} Copy 1

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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

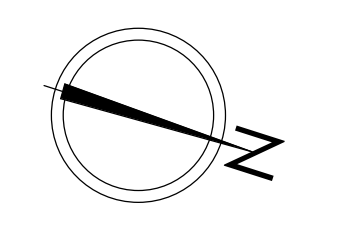
MARIN ZABZUNI 45250
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972
FIRM NAME BCIN

NEW 2 STOREY DWELLING
AT
69 Thornbank Rd
VAUGHAN, ON

CABANA PLANS



Project number: 2021-2022
Rev. no.:
Scale: 3/8" = 1'-0"
Date: 2023-02-03
Drawn by: BM
Approved by: M.Z.

Drawing number:

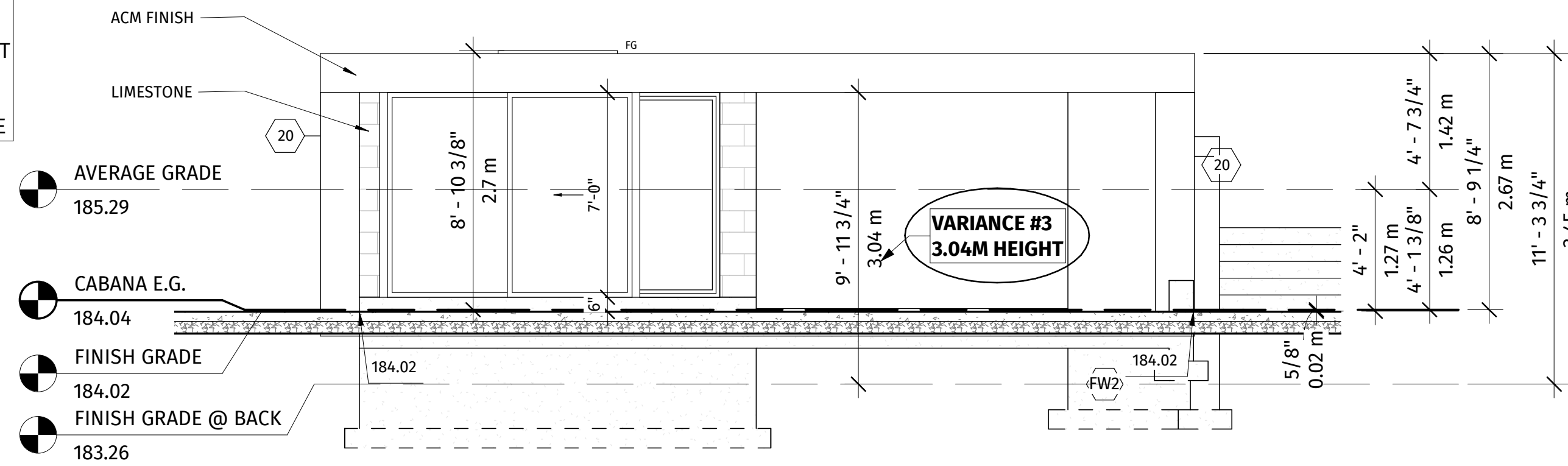
A18

ZONING BY-LAW 01-2021
VARIANCE REQUESTED:

#3: TO PERMIT A RESIDENTIAL
 ACCESSORY STRUCTURE (CABANA)
 OF A MAXIMUM HEIGHT OF 3.45m

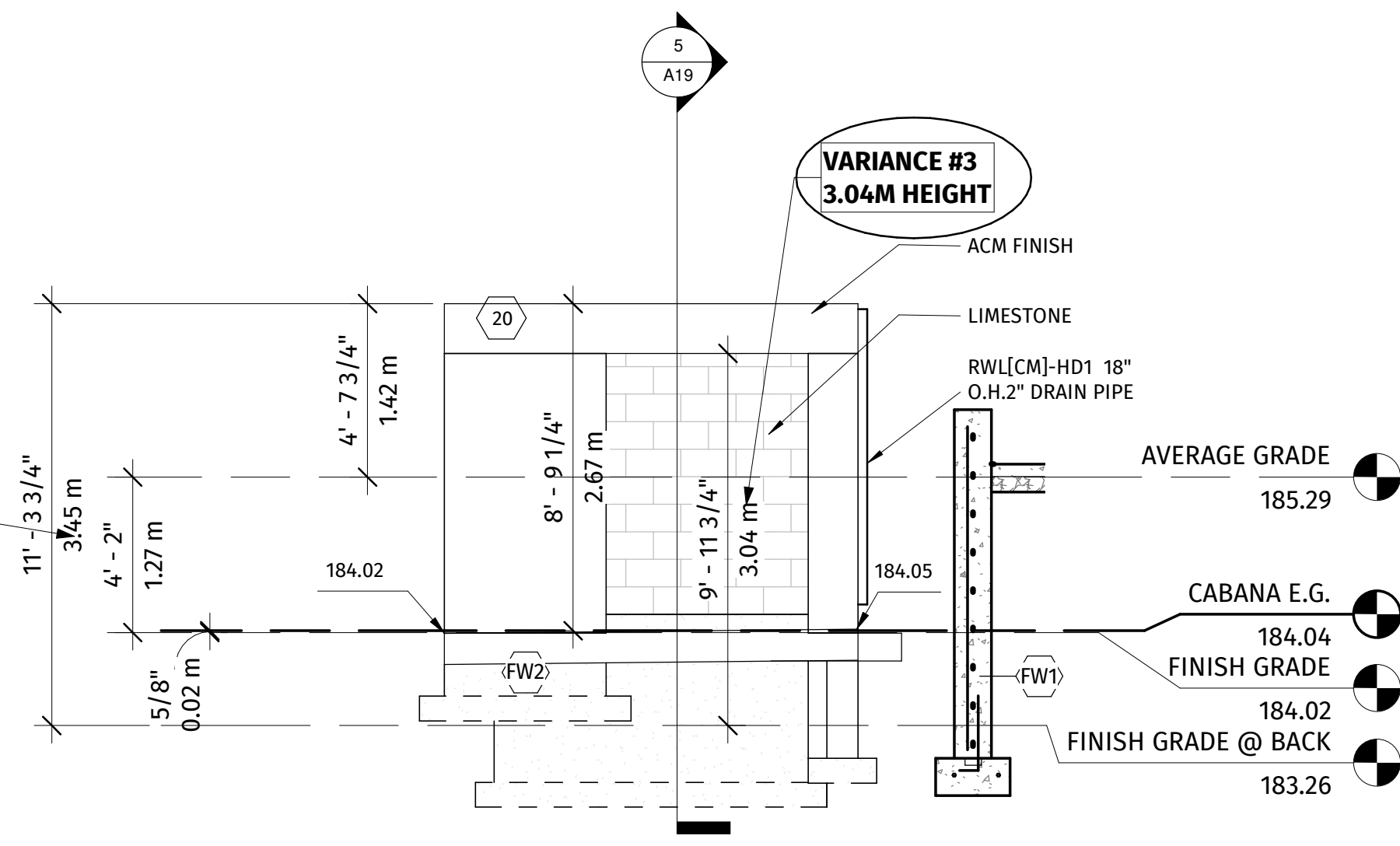
ZONING BY-LAW 1-88
VARIANCE REQUESTED:

#8: TO PERMIT THE NEAREST PART
 OF THE ROOF ACCESSORY
 BUILDING BE A MAXIMUM OF
 3.07M FROM THE FINISHED GRADE

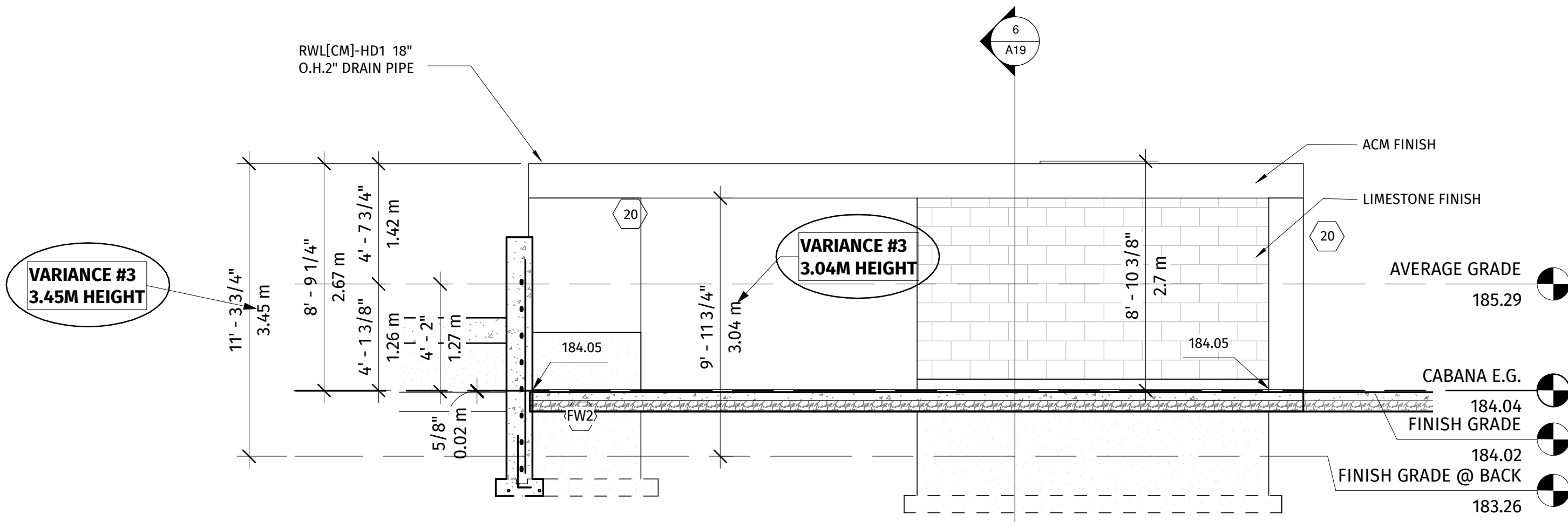


1 CABANA (EAST) ELEVATION
 1/4" = 1'-0"

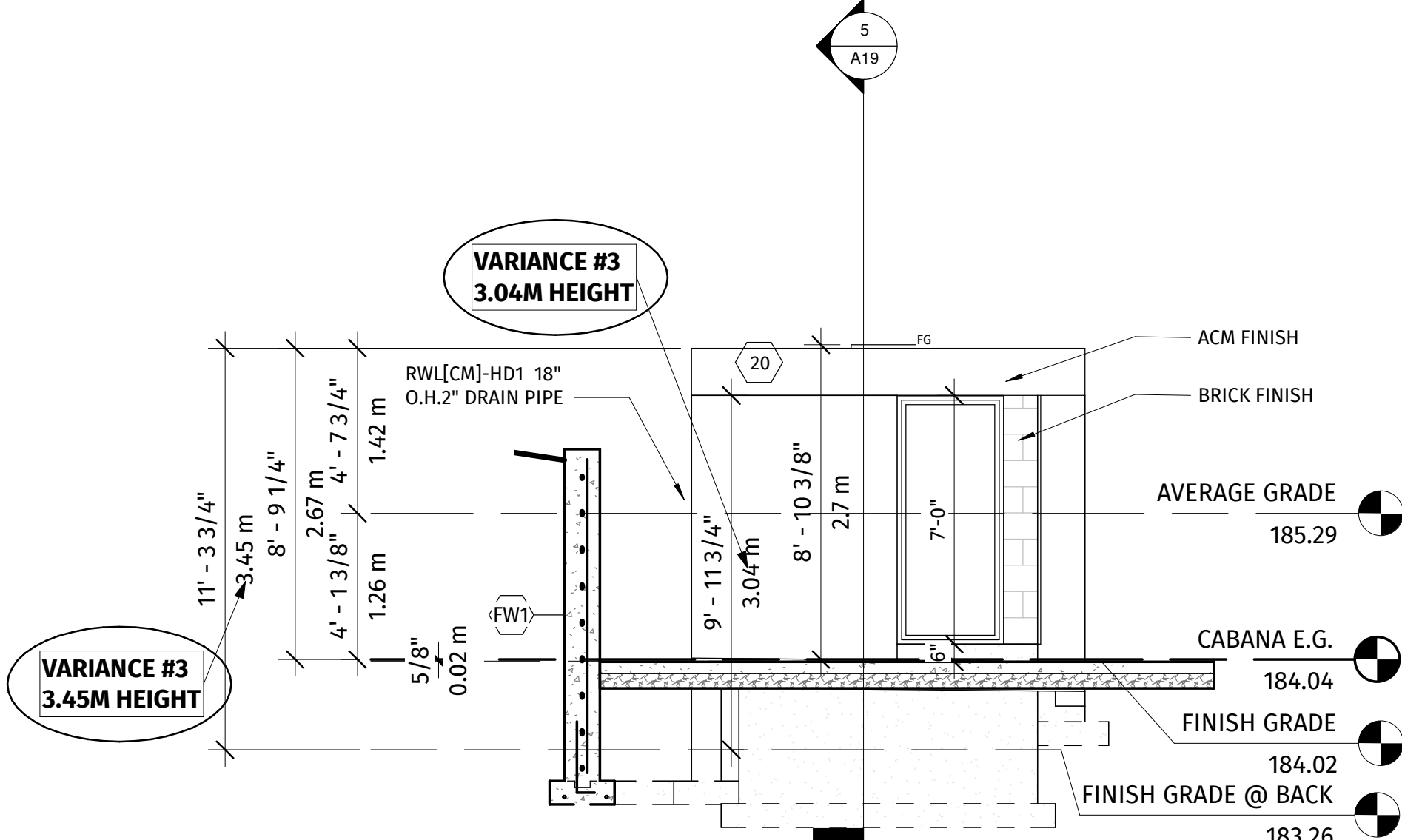
CABANA ESTABLISHED GRADE CALCULATION
 184.02+184.02+184.05+184.05 = 736.14
 736.94/4 = 184.04 CABANA E.G.



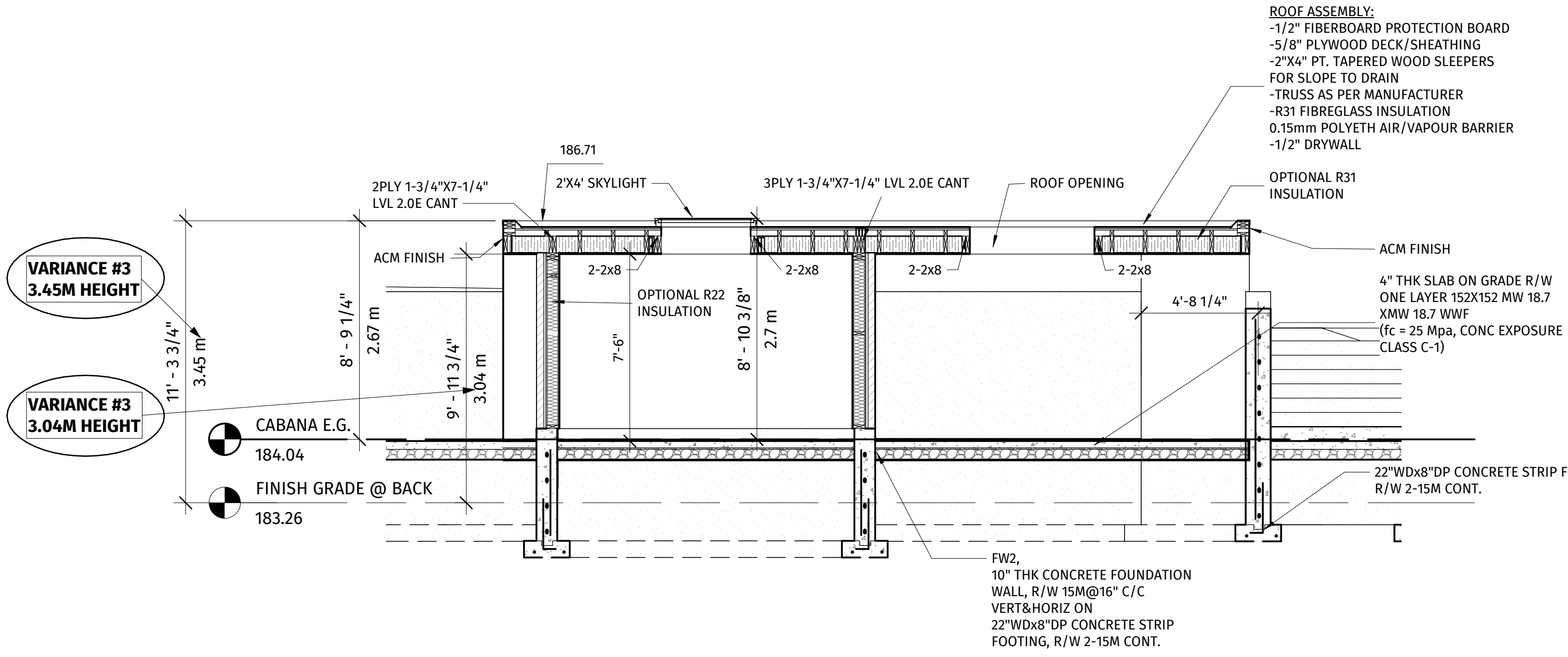
2 CABANA (NORTH) ELEVATION
 1/4" = 1'-0"



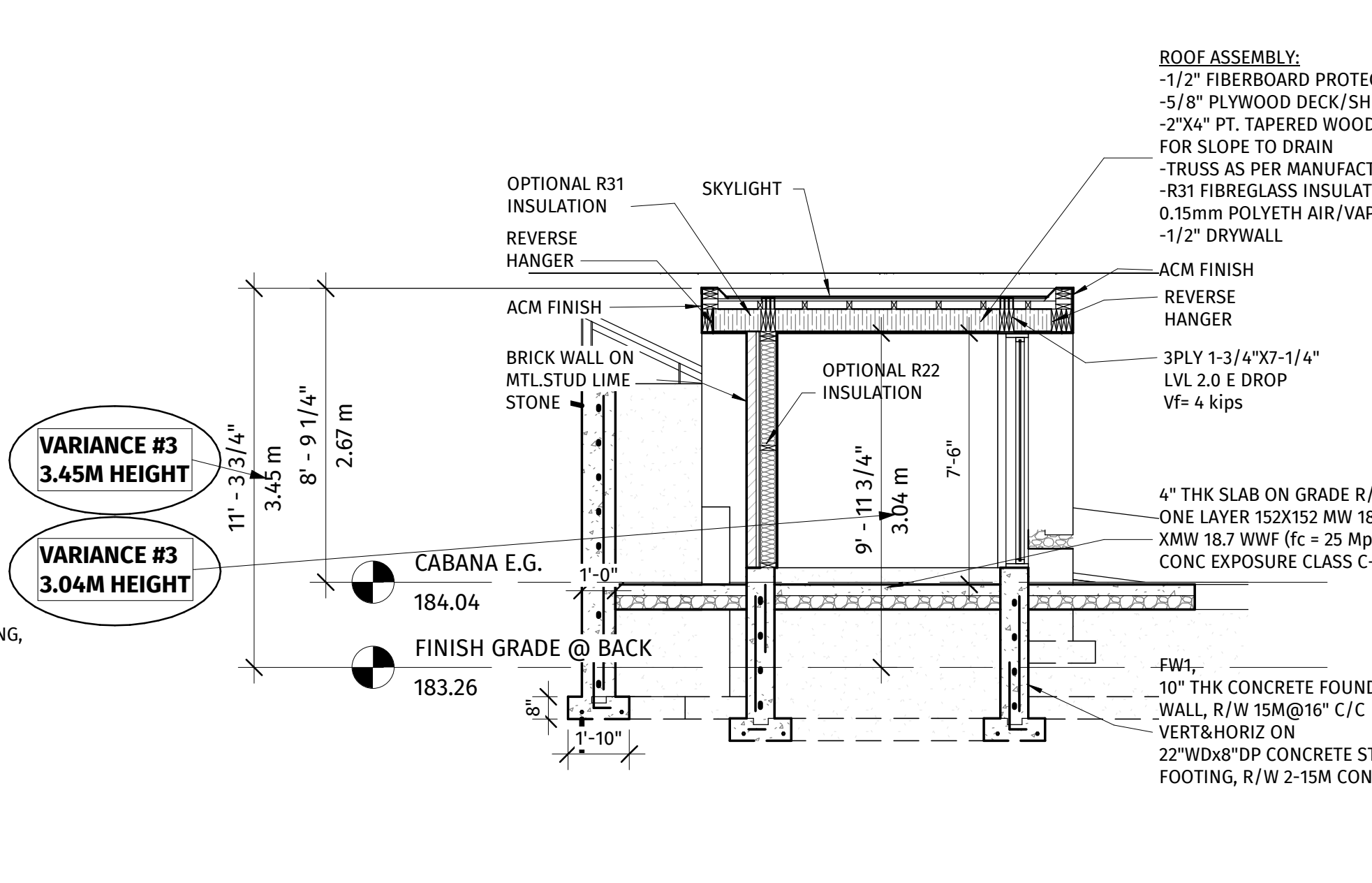
3 CABANA (WEST) ELEVATION
 1/4" = 1'-0"



4 CABANA (SOUTH) ELEVATION
 1/4" = 1'-0"



5 Section 7 CABANA1
 1/4" = 1'-0"



6 Section 8 CABANA 2
 1/4" = 1'-0"

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION	
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.	
MARIN ZABZUNI	45250
NAME	SIGNATURE
REGISTRATION INFORMATION	
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.	
CONTEMPO STUDIO	46972
FIRM NAME	BCIN

NEW 2 STOREY DWELLING
 AT
 69 Thornbank Rd
 VAUGHAN, ON
 CABANA SECTIONS &
 ELEVATIONS

Project number:	2021-2022
Rev. no.:	1/4" = 1'-0"
Scale:	2023-02-03
Date:	BM
Drawn by:	M.Z.
Approved by:	

Drawing number: **A19**

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Senior Manager of Development Planning

Date: February 16, 2023

Name of Owners: Arnold and Shelly Averbuch

Location: 69 Thornbank Road

File No.(s): A302/22

Proposed Variance(s) (By-law 01-2021):

- 1) To permit a minimum interior side yard setback of 2.09 m.
- 2) To permit a maximum building height of 10.46 m.
- 3) To permit a residential accessory structure (cabana) of a maximum height of 3.45 m.
- 4) To permit a minimum setback of 1.5 m for the 2.3 m high retaining wall at the front yard.
- 5) To permit a minimum setback of 1.31 m for the 2.3 m high retaining wall at the interior yard.

By-Law Requirement(s) (By-law 01-2021):

- 1) A minimum interior side yard setback of 2.5 m is required. [Exception 14.403.2.2]
- 2) A maximum permitted building height is 8.5 m. [Section 4.5.1].
- 3) A maximum permitted height of any residential accessory structure is 3.0 m. [Section 4.1.4.1]
- 4) A minimum setback of 2.3 m is required for the 2.3 m high retaining wall. [Table 4.1]
- 5) A minimum setback of 2.3 m is required for the 2.3 m high retaining wall. [Table 4.1]

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owners are requesting permission to construct a two-storey single detached dwelling, retaining wall and accessory structure (cabana) with the above noted variances.

The Urban Design Division of the Development Planning Department worked with the Owner's consultants to improve the location and aesthetic presence of the retaining wall. The setback of the retaining wall has been increased to 1.5 m and incorporates shrubs to assist in screening it, lessening its visual impact on the existing streetscape. In support of this minor variance application the Owners submitted a landscape plan, prepared by Cedar Springs Landscape, dated May 2022, and an Arborist Report/Tree Preservation Plan, prepared by 7 Oaks Tree Care and Urban Forestry Consultants Inc., revised January 11, 2023. In summary, 23 trees are required to be planted for the 17 trees that are being removed on site. Urban Design is generally satisfied and has confirmed that 10 deciduous trees will be planted in the front yard while the remaining 13 trees should be compensated in cash-in-lieu and through the tree permit process by the Forestry Department.

The Development Planning Department does not object to Variances 1 and 2, to the maximum building height. The lots along the north side of the road slope downwards from west to east. Due to the neighbourhood's and subject land's topography, the grade provides for most of the basement wall on the east side of the dwelling to be exposed. This is comparable to the adjoining lot (67 Thornbank Road). To reduce potential massing impacts to the public right-of-way the landscape plan proposes coniferous trees along on the east lot line within the front yard, which in time will grow and provide a vegetative barrier. At Development Planning's request, the Owners agreed to clad the exposed eastern basement wall with the wide brick also proposed to clad the raised foundation of the rear concrete deck. Expanding the use of this cladding material across the exposed basement wall will both soften the visible portions of the dwelling's eastern façade and add visual interest. Additionally, 67 Thornbank Road has planted cedars along its west lot line within the front yard, which will also assist in screening the higher

east wall from the street. Further, a very large catalpa tree (diameter at breast height measured at (0.92 m), is proposed to be retained in the southeastern portion of the front yard. Due to its extensive canopy, the catalpa will also assist in screening the higher, eastern side of the house from the road.

With respect to Variances 4 and 5, the retaining wall's setback and overall presence has been improved upon by adding screening vegetation. The retaining wall's height and location is needed to address the site's topography.

Variance 3 pertaining to the cabana is appropriate in this site context, as a minimal height increase of 45 cm will be mitigated by the proposed vegetative plantings around the periphery of the lot and by the fact the accessory structure complies with the interior and rear yard setback of the By-law.

The Development Planning Department is of the opinion that the requested Variances are minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By-law, and are desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Roberto Simbana, Planner I
David Harding, Senior Planner

To: Committee of Adjustment
From: Punya Marahatta, Building Standards Department
Date: January 12, 2023
Applicant: Arnold & Shelly Averbuch
Location: 69 Thornbank Road
 PLAN RP3977 Lot 20
File No.(s): A302/22

Zoning Classification:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard setback of 2.5 m is required. [Exception 14.403.2.2]	To permit a minimum interior side yard setback of 2.09 m.
2	A maximum permitted building height is 8.5 m. [Section 4.5.1]	To permit a maximum height of 10.46 m.
3	A maximum permitted height of any residential accessory structure is 3.0 m. [Section 4.1.4.1]	To permit a residential accessory structure (cabana) of a maximum height of 3.45 m.
4	A minimum setback of 2.3m is required for the 2.3m high retaining wall. [Table 4.1]	To permit a minimum of 1.5m setback for the 2.3m high retaining wall at the front yard.
5	A minimum setback of 2.3m is required for the 2.3m high retaining wall. [Table 4.1]	To permit a minimum interior yard setback of 1.31m for the 2.3m high retaining wall.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-121542 for Single Detached Dwelling - New, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that Comprehensive Zoning By-law 001-2021 has come into full force and effect and therefore any deficiencies identified under Zoning By-law 1-88 are no longer applicable unless the subject property is under appeal.
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

Date: December 1st 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A302-22**

Related Files:

Applicant Arnold & Shelly Averbuch

Location 69 Thornbank Road



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

From: [Development Services](#)
To: [Christine Vigneault](#); [Committee of Adjustment](#)
Subject: [External] RE: A302/22 (69 Thornbank Road) - Request for Comments (City of Vaughan)
Date: Wednesday, November 30, 2022 11:35:31 AM
Attachments: [image002.png](#)
[image004.png](#)
[image005.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None