

<b>ITEM:6.16</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A293/22 254 GLENFOREST DRIVE, THORNHILL</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>		<input type="checkbox"/>	No comments Received to Date
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

<b>File Number</b>	<b>Date of Decision</b> MM/DD/YYYY	<b>Decision Outcome</b>
None		

**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A293/22  
254 GLENFOREST DRIVE, THORNHILL**

<b>ITEM NUMBER: 6.16</b>	<b>CITY WARD #: 5</b>
<b>APPLICANT:</b>	Ron and Elise Barzakay
<b>AGENT:</b>	Square Design Group
<b>PROPERTY:</b>	254 Glenforest Dr Thornhill ON
<b>ZONING DESIGNATION:</b>	See below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit a proposed cabana.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1A(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.649 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.b]	To permit a residential accessory structure (Cabana) with a height greater than 2.8m to be located at a minimum of 1.0m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.b]	To permit a residential accessory structure (Cabana) with a height greater than 2.8m to be located at a minimum of 1.0m from the interior lot line.
3	Maximum height of a residential accessory structure shall be 3.0 m. [Section 4.1.4. 1]	To permit a maximum height of 3.35m of a residential accessory structure (Cabana).
4	Maximum permitted lot coverage is 35%. [Exception 14.649, Schedule T-104]	To permit a maximum lot coverage of 38.3%.
5	Any portion of a yard in excess of 135.0 m <sup>2</sup> shall be comprised of a minimum 60% soft landscape. [Section 4.19.1.1]	To permit the portion or rear yard in excess of 135.0 m <sup>2</sup> to be comprised of a minimum of 57% soft landscape.

**The subject lands are zoned R1 – R1 Residential Zone and subject to the provisions of Exception 9(972) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
6	Minimum rear yard setback of 7.5m is required to an accessory structure. [Section 4.1.1. c) and Exception 9(972) Schedule T-104]	To permit a minimum rear yard setback of 1.0m to the accessory building (Cabana).
7	Minimum interior side yard setback of 1.5m is required to an accessory structure. [Section 4.1.1. c) and Exception 9(972) Schedule T-104]	To permit a minimum interior side yard setback of 1.0m to the accessory building (Cabana).
8	Maximum permitted lot coverage is 35%. [Exception 9 (972), Schedule T-104]	To permit a maximum lot coverage of 38.3%.
9	Where the area of a rear yard of a lot is greater than 135 sq. m., a minimum of sixty percent (60%) of that portion of the rear yard in excess of 135 sq. m shall be composed of soft landscaping. [Section 4.1.2.b)]	To permit a minimum soft landscaping of 57% of the portion of rear yard in excess of 135. Sq. m.

## HEARING INFORMATION

**DATE OF MEETING:** Thursday, March 2, 2023

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	February 16, 2023	
<b>Date Applicant Confirmed Posting of Sign:</b>	February 7, 2023	
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Cannot comply with the by law setbacks, lot coverage and softscape %, height of cabana.	
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
<b>Committee of Adjustment Comments:</b>	None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None	

## BUILDING STANDARDS (ZONING) COMMENTS

**\*\*See Schedule B for Building Standards (Zoning) Comments**

<b>Building Standards Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed Dwelling in the subject property is 44.2m<sup>2</sup>, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m<sup>2</sup> requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the pool permit link provided above to learn how to apply for the pool permit.

The proposed work by the owner/ applicant is increasing the lot coverage area from 35% to 38.3% in the subject property. The added hardscape may have impact on City's Storm Water management system. Staff suggests the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts.

The Development Engineering Department does not object to the Minor Variance application A293/22, Subject to the following Condition:

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comment no concerns

<b>PFH Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT FINANCE COMMENTS

No comment no concerns

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No Comments Received to Date

<b>BCLPS Recommended Conditions of Approval:</b>	None
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### BUILDING INSPECTION (SEPTIC) COMMENTS

No Comments Received to Date

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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### FIRE DEPARTMENT COMMENTS

No Comments Received to Date

<b>Fire Department Recommended Conditions of Approval:</b>	None
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## SCHEDULES TO STAFF REPORT

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

### SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:lan.reynolds@vaughan.ca">lan.reynolds@vaughan.ca</a>	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

### IMPORTANT INFORMATION – PLEASE READ

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit

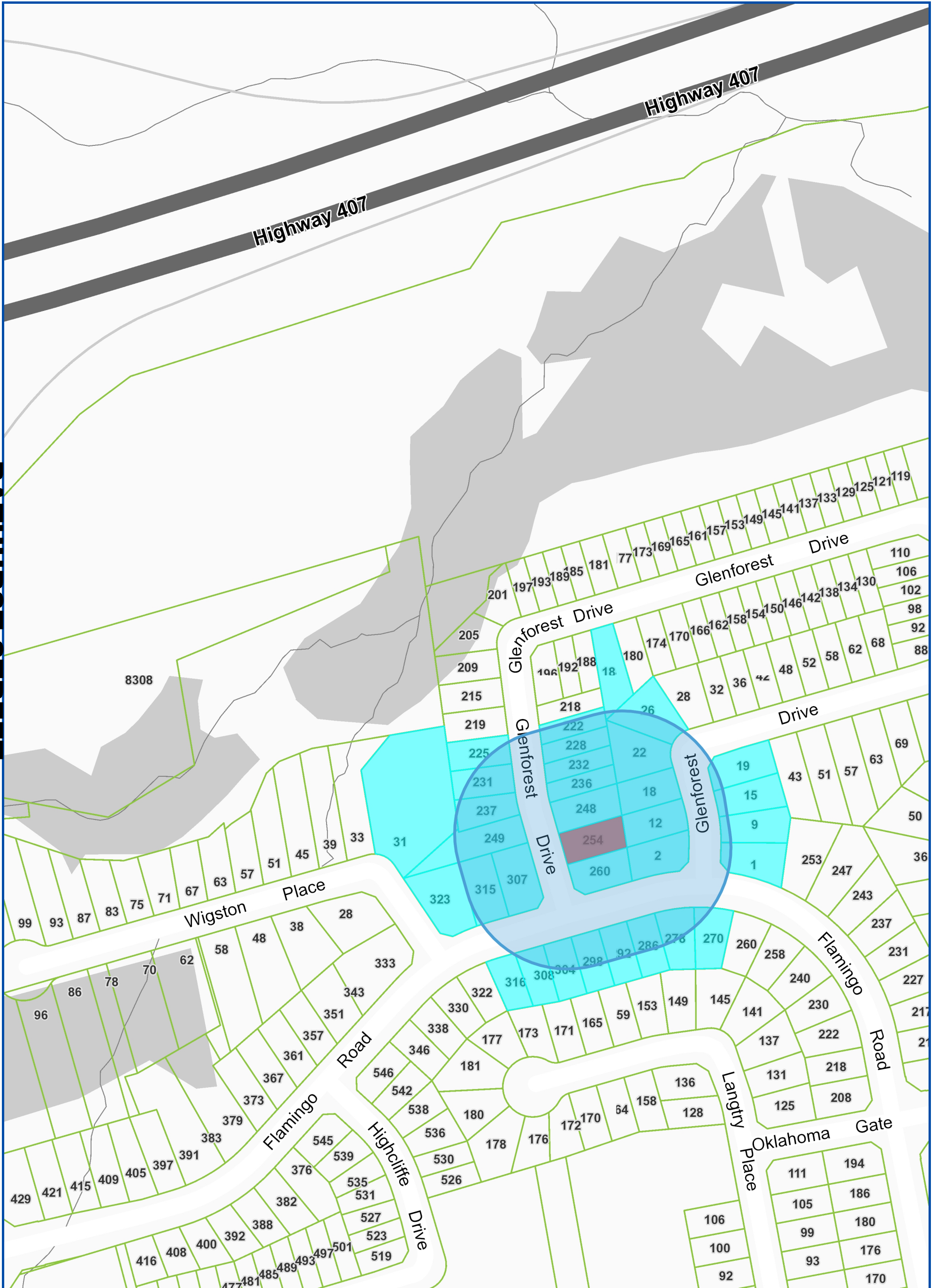
**IMPORTANT INFORMATION – PLEASE READ**

to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

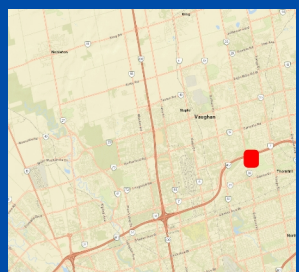
**SCHEDULE A: DRAWINGS & PLANS**



BATHURST STREET



Map Information:



Title:

# NOTIFICATION MAP - A293/22

254 Glenforest Drive, Thornhill

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 3,051

0 0.05 km



Created By:

Infrastructure Delivery  
Department  
January 3, 2023 12:09 PM

Projection:  
NAD 83  
UTM Zone  
17N



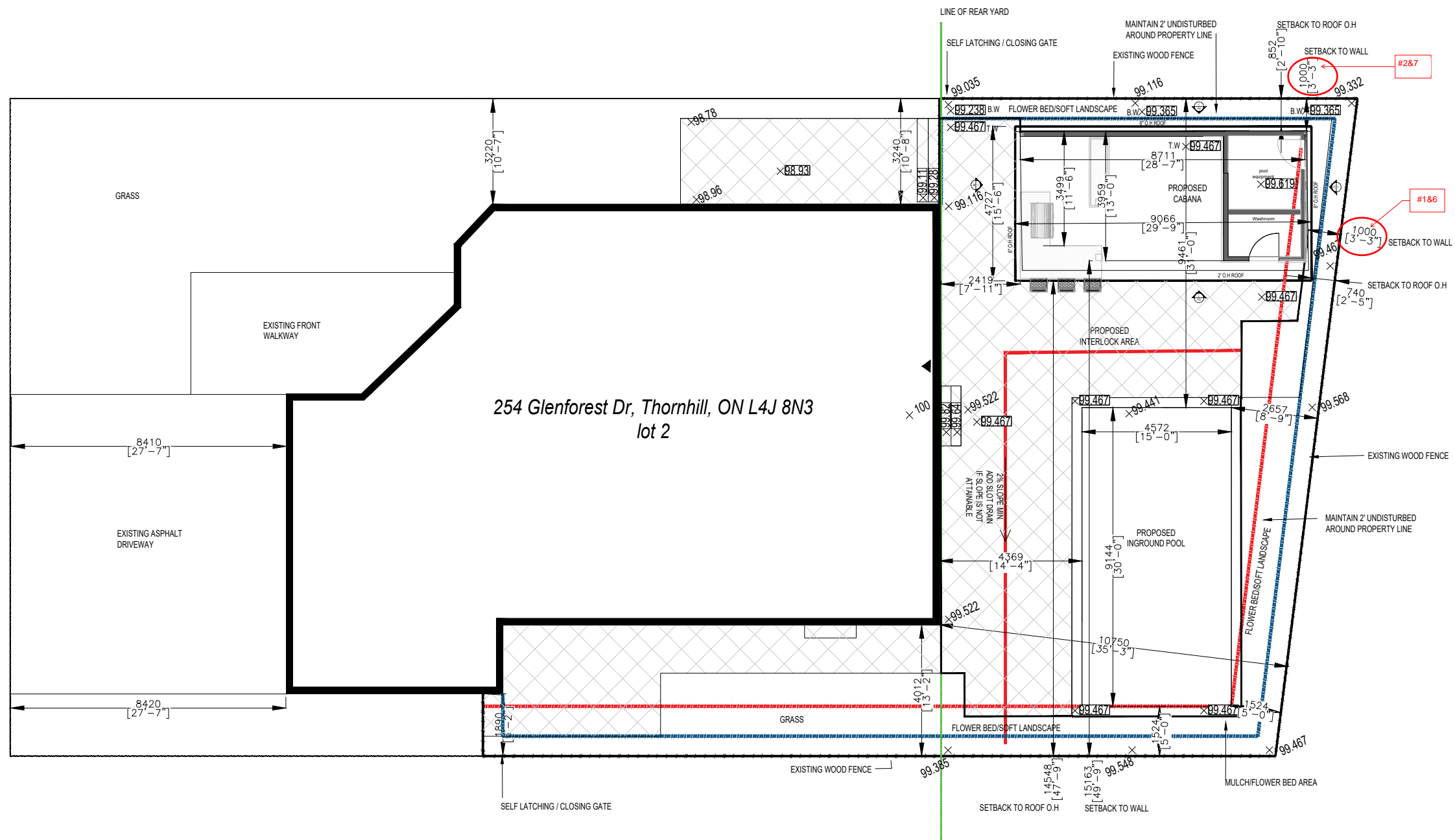
PROPOSED CABANA  
254 Glenforest Dr, Thornhill, ON L4J 8N3



- A00-COVER PAGE
- A1-SITE PLAN
- A2-FLOOR PLAN
- A5-ELEVATIONS
- A6-ELEVATIONS
- A7-ELEVATIONS
- A8-ELEVATIONS



Glenforest Dr



COVERAGE INCL. EAVES (BY-LAW 01-2021)	
ZONING	RESIDENTIAL
LOT AREA	M2
TOTAL LOT AREA	804.5 m2
HOUSE AREA	M2
HOUSE FOOTPRINT (INCL. EAVES)	265.7sq.m
PROPOSED CABANA FOOTPRINT	42.8sq.m
LOT COVERAGE	PROVIDED
EXISTING HOUSE	33.0%
PROPOSED CABANA	5.32%
TOTAL COVERAGE	38.3%

SITE DEVELOPMENT	
LOT AREA	M2
TOTAL LOT AREA	804.5 m2
HOUSE AREA	M2
HOUSE FOOTPRINT	244.7 m2
PROPOSED CABANA FOOTPRINT	37.3 m2
LOT COVERAGE	PROVIDED
EXISTING HOUSE	30.4%
PROPOSED CABANA	4.63%
TOTAL COVERAGE	35.03%
LANDSCAPE AREA (REAR LOT)	PROVIDED
TOTAL REAR AREA	211.1 m2 (26%) (27' x 77')
SOFT LANDSCAPE AREA	55.5m2 (57%)
HARD LANDSCAPE AREA	175.6 m2

LEGEND			
× [0.00]	-Proposed Grades	T.W	-Top Of Wall
× [0.00]	-Existing Grades	B.W	-Bottom Of Wall
▲	-Entrance Door	—	5' Setback to pool
		—	2' of undisturbed area around lot line

**1 SITE PLAN**  
A1 1:150

**GENERAL NOTES**  
CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
  
THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:  
254 Glenforest Dr, Thornhill, ON L4J 8N3

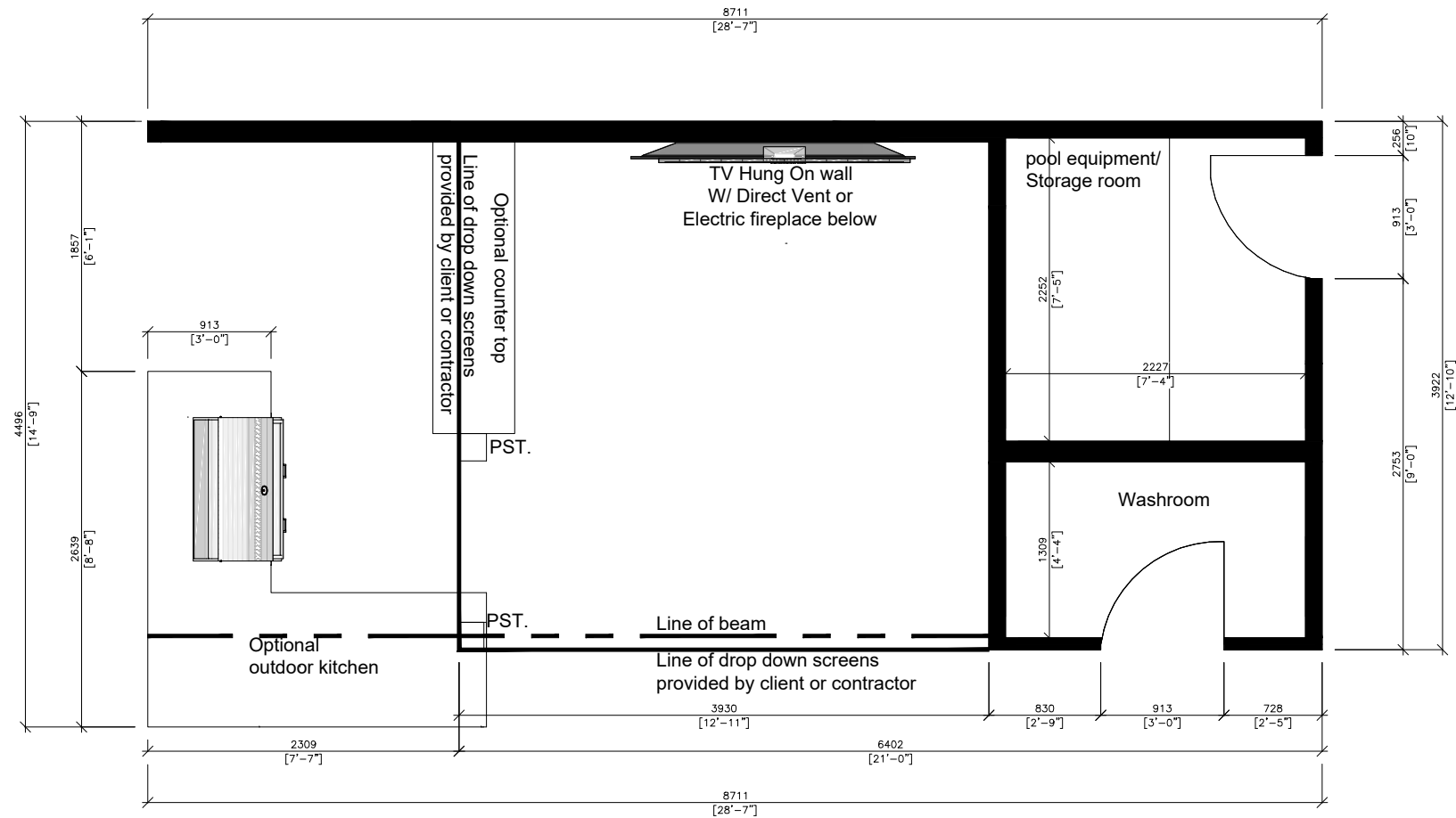
DRAWING TITLE:  
Site Plan

DRAWN BY:      CHECKED BY:      APPROVED BY:      DATE:

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:



SHEET NO:  
**A1**



**1 FLOOR PLAN**

A2 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

**GENERAL NOTES**  
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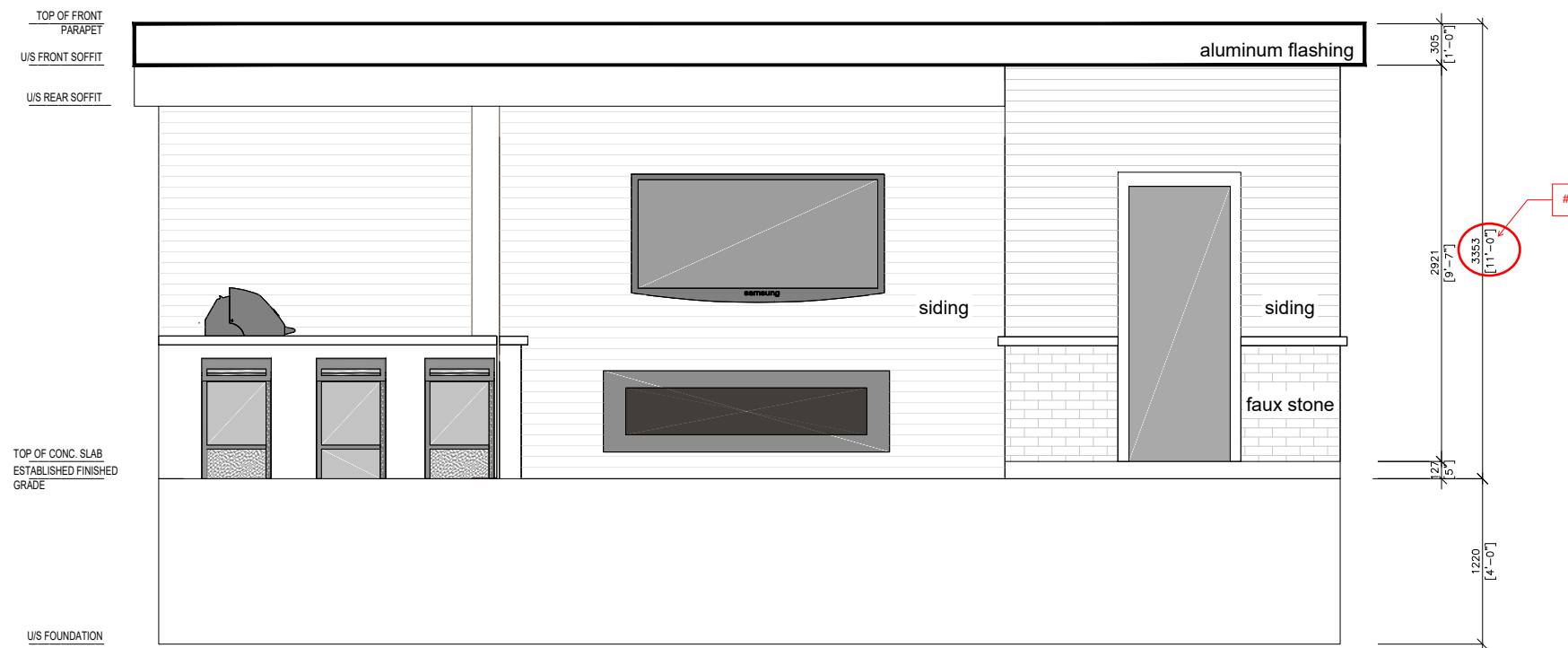
PROJECT NAME:  
 254 Glenforest Dr, Thornhill, ON L4J 8N3

DRAWING TITLE:  
 FLOOR PLAN

DRAWN BY:      CHECKED BY:      APPROVED BY:      DATE:

**SHEET NO:**  
**A2**

**Square Design Group**



**1** ELEVATION A  
A5.0 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

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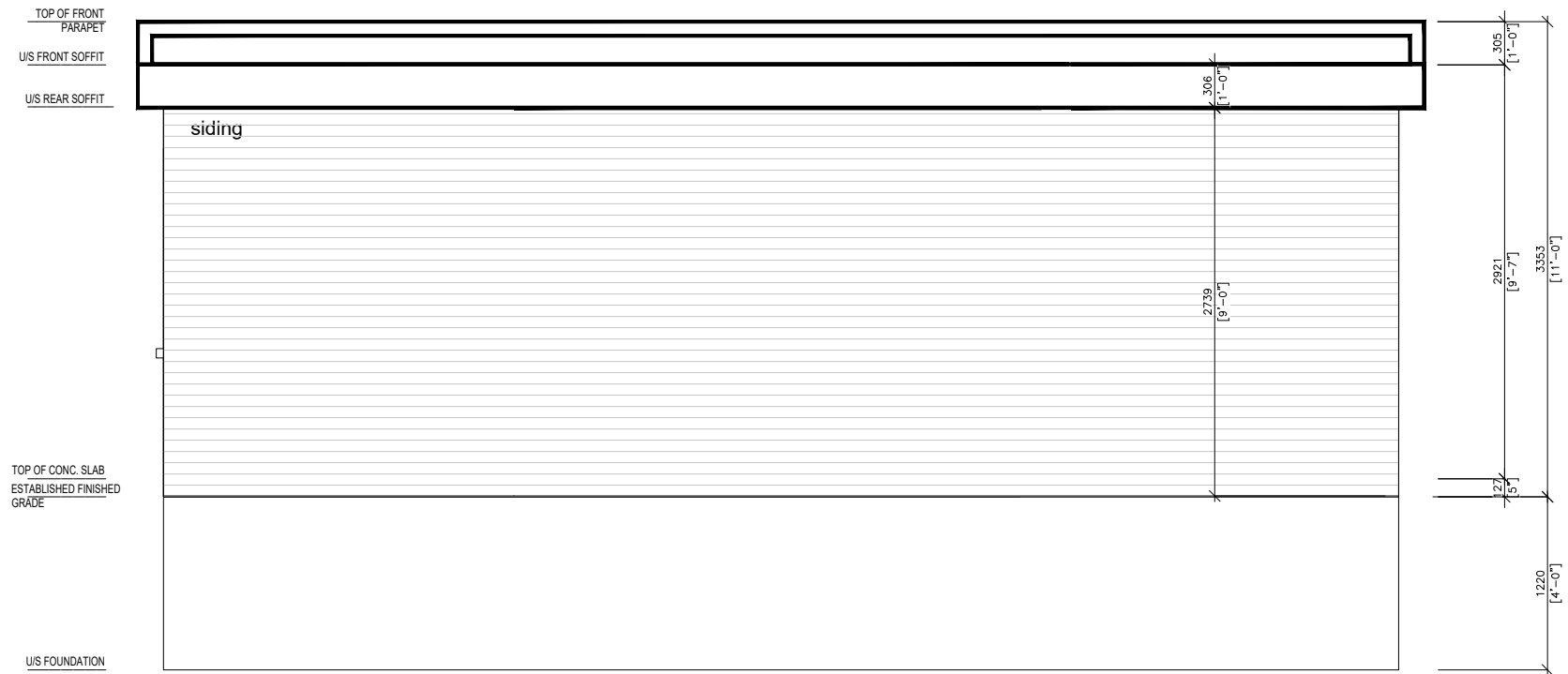
PROJECT NAME:  
254 Glenforest Dr, Thornhill, ON L4J 8N3

DRAWING TITLE:  
ELEVATION

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
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SHEET NO:  
A5.0



**1** ELEVATION B  
A6.0 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

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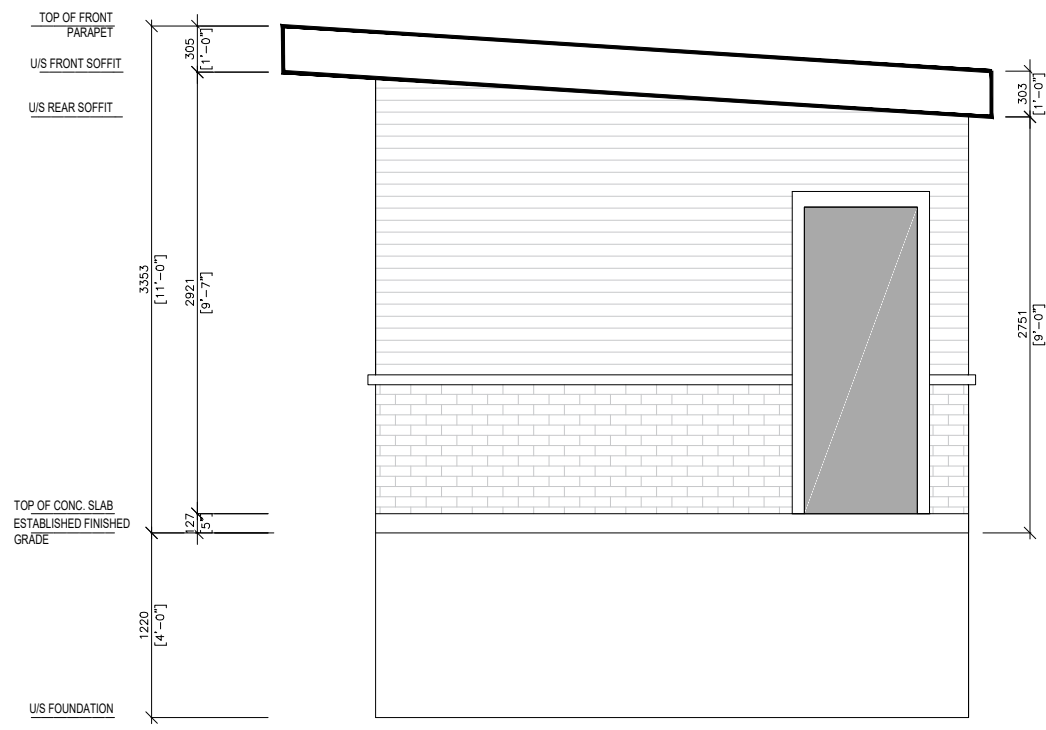
PROJECT NAME:  
254 Glenforest Dr, Thornhill, ON L4J 8N3

DRAWING TITLE:  
ELEVATION

DRAWN BY:	CHECKED BY:	APPROVED BY:	DATE:
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SHEET NO:  
A6.0



**1** ELEVATION C  
A7.0 1:50

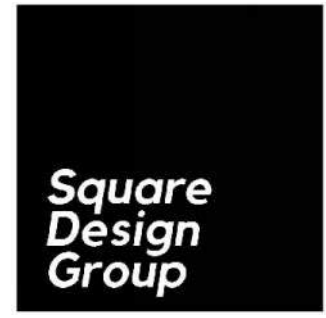
rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

**GENERAL NOTES**  
 CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.  
  
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PROJECT NAME:  
254 Glenforest Dr, Thornhill, ON L4J 8N3

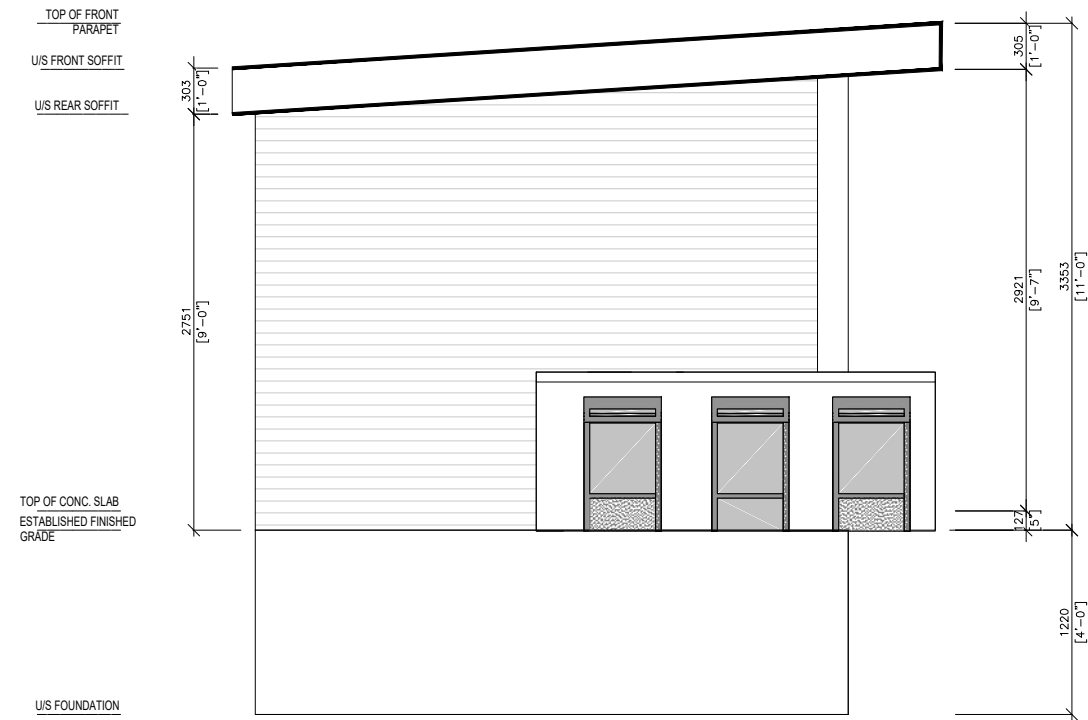
DRAWING TITLE:  
ELEVATION

DRAWN BY:      CHECKED BY:      APPROVED BY:      DATE:



SHEET NO:  
A7.0





**1** ELEVATION D  
A8.0 1:50

rev	description	by	date
REV:	DESCRIPTION:	BY:	DATE:

**GENERAL NOTES**  
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PROJECT NAME:  
254 Glenforest Dr, Thornhill, ON L4J 8N3

DRAWING TITLE:  
ELEVATION

DRAWN BY:      CHECKED BY:      APPROVED BY:      DATE:

**Square Design Group**

SHEET NO:  
**A8.0**



**SCHEDULE B: STAFF & AGENCY COMMENTS**

<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X			No comments Received to Date
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

**Date:** January 13<sup>th</sup> 2023

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A293-22**

**Related Files:**

**Applicant** Ron and Elise Barzakay

**Location** 254 Glenforest Drive



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

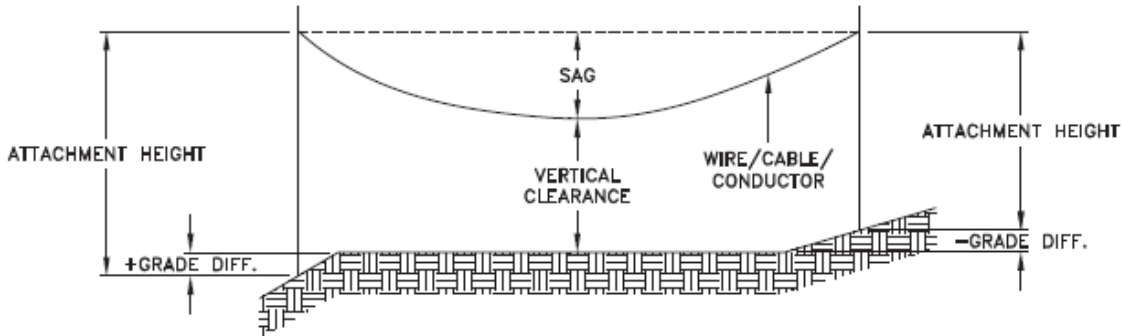
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

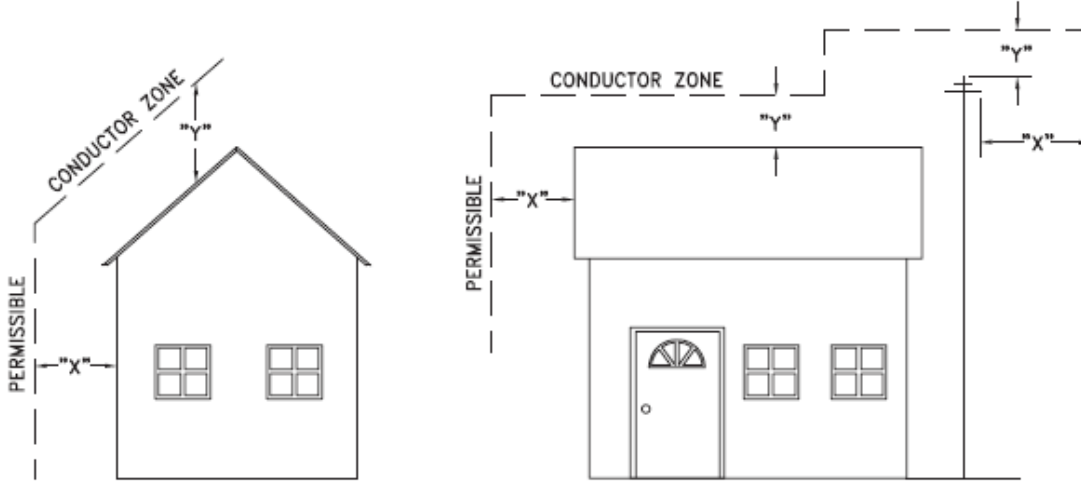
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

**To:** Committee of Adjustment

**From:** Punya Marahatta, Building Standards Department

**Date:** January 3, 2023

**Applicant:** Ron and Elise Barzakay

**Location:** 254 Glenforest Drive  
PLAN 65M-3195, Lot 2

**File No.(s):** A293/22

**Zoning Classification:**

The subject lands are zoned R1A(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.649 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.b]	To permit a residential accessory structure (Cabana) with a height greater than 2.8m to be located at a minimum of 1.0m from the rear lot line.
2	A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.b]	To permit a residential accessory structure (Cabana) with a height greater than 2.8m to be located at a minimum of 1.0m from the interior lot line.
3	Maximum height of a residential accessory structure shall be 3.0 m. [Section 4.1.4. 1]	To permit a maximum height of 3.35m of a residential accessory structure (Cabana).
4	Maximum permitted lot coverage is 35%. [Exception 14.649, Schedule T-104]	To permit a maximum lot coverage of 38.3%.
5	Any portion of a yard in excess of 135.0 m <sup>2</sup> shall be comprised of a minimum 60% soft landscape. [Section 4.19.1.1]	To permit the portion or rear yard in excess of 135.0 m <sup>2</sup> to be comprised of a minimum of 57% soft landscape.

The subject lands are zoned R1 – R1 Residential Zone and subject to the provisions of Exception 9(972) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	Minimum rear yard setback of 7.5m is required to an accessory structure. [Section 4.1.1. c) and Exception 9(972) Schedule T-104]	To permit a minimum rear yard setback of 1.0m to the accessory building (Cabana).
7	Minimum interior side yard setback of 1.5m is required to an accessory structure. [Section 4.1.1. c) and Exception 9(972) Schedule T-104]	To permit a minimum interior side yard setback of 1.0m to the accessory building (Cabana).
8	Maximum permitted lot coverage is 35%. [Exception 9 (972), Schedule T-104]	To permit a maximum lot coverage of 38.3%.
9	Where the area of a rear yard of a lot is greater than 135 sq. m., a minimum of sixty percent (60%) of that portion of the rear yard in excess of 135 sq. m shall be composed of soft landscaping. [Section 4.1.2.b)]	To permit a minimum soft landscaping of 57% of the portion of rear yard in excess of 135. Sq. m.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

**Other Comments:**

<b>General Comments</b>	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** February 15, 2023

**Name of Owners:** Ron and Elise Barzakay

**Location:** 254 Glenforest Drive

**File No.(s):** A293/22

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**Proposed Variance(s) (By-law 01-2021):**

- 1) To permit a residential accessory structure (cabana) with a height greater than 2.8 m to be located at a minimum of 1.0 m from the rear lot line.
- 2) To permit a residential accessory structure (cabana) with a height greater than 2.8 m to be located at a minimum of 1.0 m from the interior lot line.
- 3) To permit a maximum height of 3.35 m for a residential accessory structure (cabana).
- 4) To permit a maximum lot coverage of 38.3%.
- 5) To permit the portion of a rear yard in excess of 135 m<sup>2</sup> to be comprised of a minimum of 57% soft landscape.

**By-Law Requirement(s) (By-law 01-2021):**

- 1) A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.b]
- 2) A residential accessory structure with a height greater than 2.8 m shall not be located closer than 2.4 m to any lot line. [Section 4.1.2.b]
- 3) Maximum height of a residential accessory structure shall be 3.0m. [Sect 4.1.4.1]
- 4) Maximum permitted lot coverage is 35%. [Exception 14.649, Schedule T-104]
- 5) Any portion of a yard in excess of 135.0 m<sup>2</sup> shall be comprised of a minimum 60% soft landscape. [Section 4.19.1.1]

**Proposed Variance(s) (By-law 1-88):**

- 6) To permit a minimum rear yard setback of 1.0 m to the accessory building (cabana).
- 7) To permit a minimum interior side yard setback of 1.0 m to the accessory building (cabana).
- 8) To permit a maximum lot coverage of 38.3%.
- 9) To permit a minimum soft landscaping of 57% of the portion of rear yard in excess of 135 m<sup>2</sup>.

**By-law Requirement(s) (By-law 1-88):**

- 6) Minimum rear yard setback of 7.5 m is required to an accessory structure. [Section.4.1.1.c) and Exception 9(972) Schedule T-104]
- 7) Minimum interior side yard setback of 1.5 m is required to an accessory structure. [Section.4.1.1.c) and Exception 9(972) Schedule T-104]
- 8) Maximum permitted lot coverage is 35%. [Exception 9(972) Schedule T-104]
- 9) Where the area of a rear yard of a lot is greater than 135 m<sup>2</sup>, a minimum of sixty percent (60%) of that portion of the rear yard in excess of 135m<sup>2</sup> shall be comprised of soft landscaping. [Section.4.1.2.b)]

**Official Plan:**

Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting permission to reduce the minimum amount of rear soft landscape and construct an accessory structure (cabana) with the above noted variances.

The Development Planning Department has no objection to Variances 1, 2, 6, and 7, as the accessory structure provides adequate distance to the rear and interior lot lines to not pose any major massing impacts to the abutting properties. Additionally, the Development Engineering Department has confirmed the accessory structure will not pose any water filtration and drainage issues since it provides close to double the minimum (0.60 m) clearance from any lot line. For Variance 3, the Development



Planning Department is of the opinion a height increase of 35 cm is appropriate in this site context, recognizing the existing trees around the periphery of the cabana will be maintained and provide a degree of visual coverage. With respect to Variances 5 and 9, Development Planning and Urban Design staff have no further concerns as the Owners have increased their rear yard soft landscape area from 49.3% to 57% to improve the permeability of the site, help balance the softscape and hardscape features, and remain compatible with other properties in the area. The remaining Variances (4 and 8) associated with the increase in maximum lot coverage are directly tied to the cabana, which while covered, only proposes to enclose a small area to house a washroom and pool equipment/storage room.

The Development Planning Department is of the opinion that the requested variances are minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By-laws, and are desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Roberto Simbana, Planner I  
David Harding, Senior Planner

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None

**SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

None