

<b>ITEM: 6.9</b>	<b>COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A258/22 12 PARKWAY AVE, THORNHILL</b>
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**PUBLIC & APPLICANT CORRESPONDENCE**

\*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome

**PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

\*Please see **Schedule D** for a copy of the Decisions listed below

None		
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**ADJOURNMENT HISTORY**

\* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A258/22  
12 PARKWAY AVE, THORNHILL**

<b>ITEM NUMBER:</b>	<b>CITY WARD #: 5</b>
<b>APPLICANT:</b>	Joey & Melissa Uncao
<b>AGENT:</b>	Napa Design Group Inc.
<b>PROPERTY:</b>	12 Parkway Ave Thornhill ON
<b>ZONING DESIGNATION:</b>	See Below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling and increased maximum driveway width.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1E(EN) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard setback of 2.5 metres is required. [14.403]	To permit a minimum interior side yard setback of 2.0 metres to the north interior lot line.
2	A minimum interior side yard setback of 2.5 metres is required. [14.403]	To permit a minimum interior side yard setback of 1.8 metres to the south interior lot line.
3	The total of both side yards shall be not less than 6.0 metres. [14.403]	To permit the total of both side yards to be a minimum of 3.8 metres.
4	A maximum lot coverage of 20% is permitted. [Section 7.2.2]	To permit a maximum lot coverage of 26.4%
5	A maximum building height of 8.5 metres is permitted. [Section 4.5]	To permit a maximum building height of 10.25 metres.
6	A maximum driveway width of 9.0 metres is permitted. [Section 6.7]	To permit a maximum driveway width of 10.9 metres.

**The subject lands are zoned R1V and subject to the provisions of Exception 9(662) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
7	A minimum interior side yard setback of 2.5 metres is required. 9(662)]	To permit a minimum interior side yard setback of 2.0 metres to the north interior lot line.
8	A minimum interior side yard setback of 2.5 metres is required. 9(662)]	To permit a minimum interior side yard setback of 1.8 metres to the south interior lot line.
9	The total of both side yards shall be not less than 6.0 metres. [9(662)]	To permit the total of both side yards to be a minimum of 3.8 metres.
10	A maximum lot coverage of 20% is permitted. [Schedule A]	To permit a maximum lot coverage of 26.4%
11	A maximum building height of 9.5 metres is permitted. [Schedule A]	To permit a maximum building height of 10.25 metres.
12	A maximum driveway width of 9.0 metres is permitted. [Section 4.1.4]	To permit a maximum driveway width of 10.9 metres.
13	A maximum driveway width of 6.0 metres between the street line and the street curb is permitted. [Section 4.1.4]	To permit a maximum driveway width of 6.4 metres between the street line and the street curb.

## HEARING INFORMATION

**DATE OF MEETING:** Thursday, March 2, 2023

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](http://Vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

## INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

## COMMITTEE OF ADJUSTMENT COMMENTS

<b>Date Public Notice Mailed:</b>	February 9, 2023	
<b>Date Applicant Confirmed Posting of Sign:</b>	January 16, 2023 & February 17, 2023	
<b>Applicant Justification for Variances:</b> <small>*As provided by Applicant in Application Form</small>	Cannot comply to zoning by-laws due to homeowner requirements to meet growing family needs and nature of the desired design.	
<b>Adjournment Requests (from staff):</b> <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
<b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b>  <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
<b>Committee of Adjustment Comments:</b>	None	
<b>Committee of Adjustment Recommended Conditions of Approval:</b>	None	

## BUILDING STANDARDS (ZONING) COMMENTS

**\*\*See Schedule B for Building Standards (Zoning) Comments**

### BUILDING STANDARDS (ZONING) COMMENTS

<b>Building Standards Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT PLANNING COMMENTS

\*\*See Schedule B for Development Planning Comments.

<b>Development Planning Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The owner/applicant shall contact Transportation and Fleet Management Services (Joint Operations Centre) if there is any work required related to the driveway culvert. Please visit the culvert work link provided above for more information.

As the proposed Dwelling in the subject property is 271.59m<sup>2</sup>, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m<sup>2</sup> requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to the variance application A258/22 subject to the following condition:

<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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### PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Applicant has obtained a tree removal permit.

<b>PFH Recommended Conditions of Approval:</b>	None
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### DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

<b>Development Finance Recommended Conditions of Approval:</b>	None
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### BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

**BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS**

<b>BCLPS Recommended Conditions of Approval:</b>	None
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**BUILDING INSPECTION (SEPTIC) COMMENTS**

No comments received to date.

<b>Building Inspection Recommended Conditions of Approval:</b>	None
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**FIRE DEPARTMENT COMMENTS**

No comments received to date.

<b>Fire Department Recommended Conditions of Approval:</b>	None
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**SCHEDULES TO STAFF REPORT**

\*See Schedule for list of correspondence

<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

**SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL**

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering <a href="mailto:Rex.bondad@vaughan.ca">Rex.bondad@vaughan.ca</a>	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at <a href="mailto:DEPermits@vaughan.ca">DEPermits@vaughan.ca</a> or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

**IMPORTANT INFORMATION – PLEASE READ**

**CONDITIONS:** It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## IMPORTANT INFORMATION – PLEASE READ

**APPROVALS:** Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

**DEVELOPMENT CHARGES:** That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

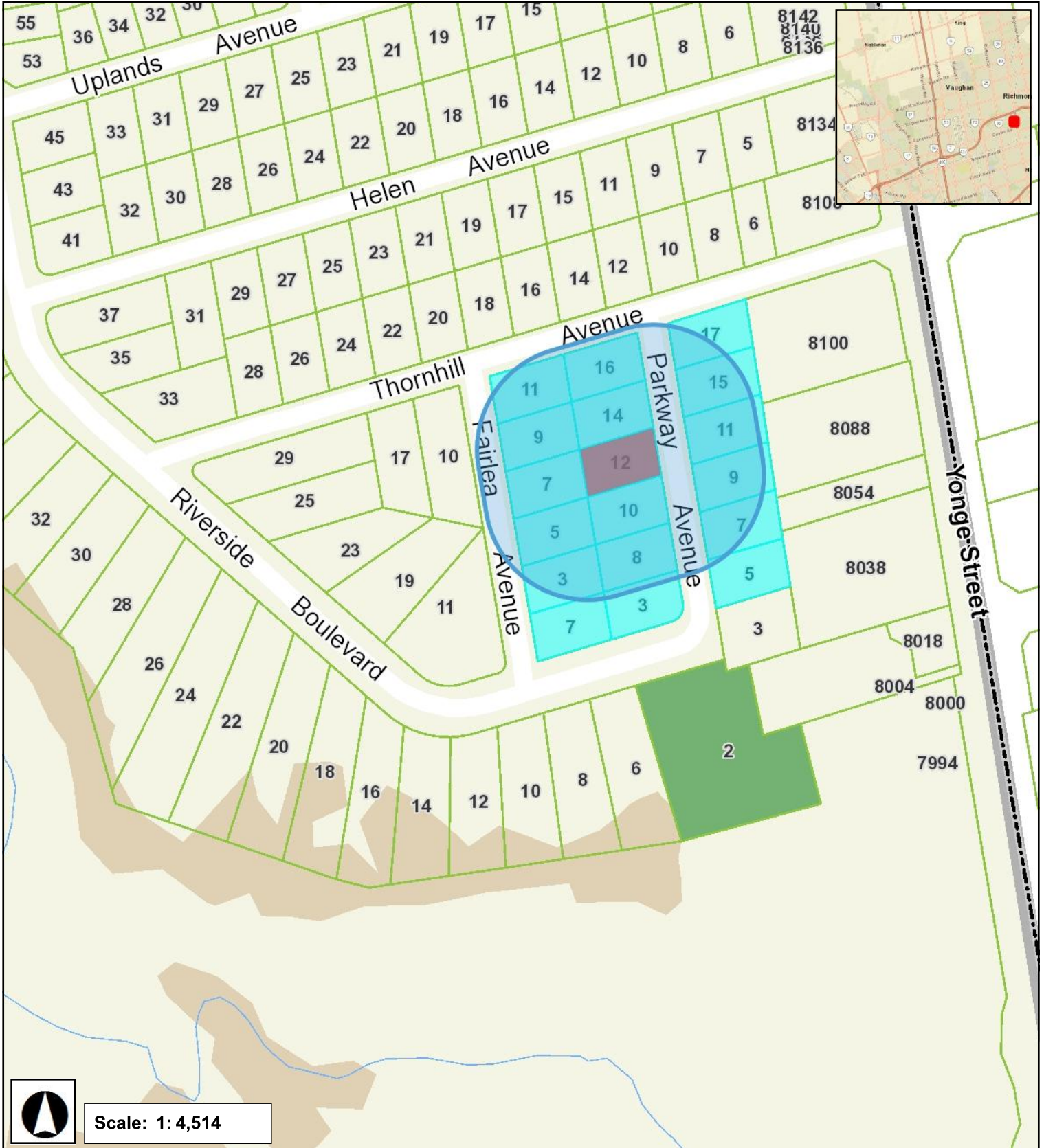
**SCHEDULE A: DRAWINGS & PLANS**





# LOCATION MAP - A258/22

12 PARKWAY AVENUE, THORNHILL



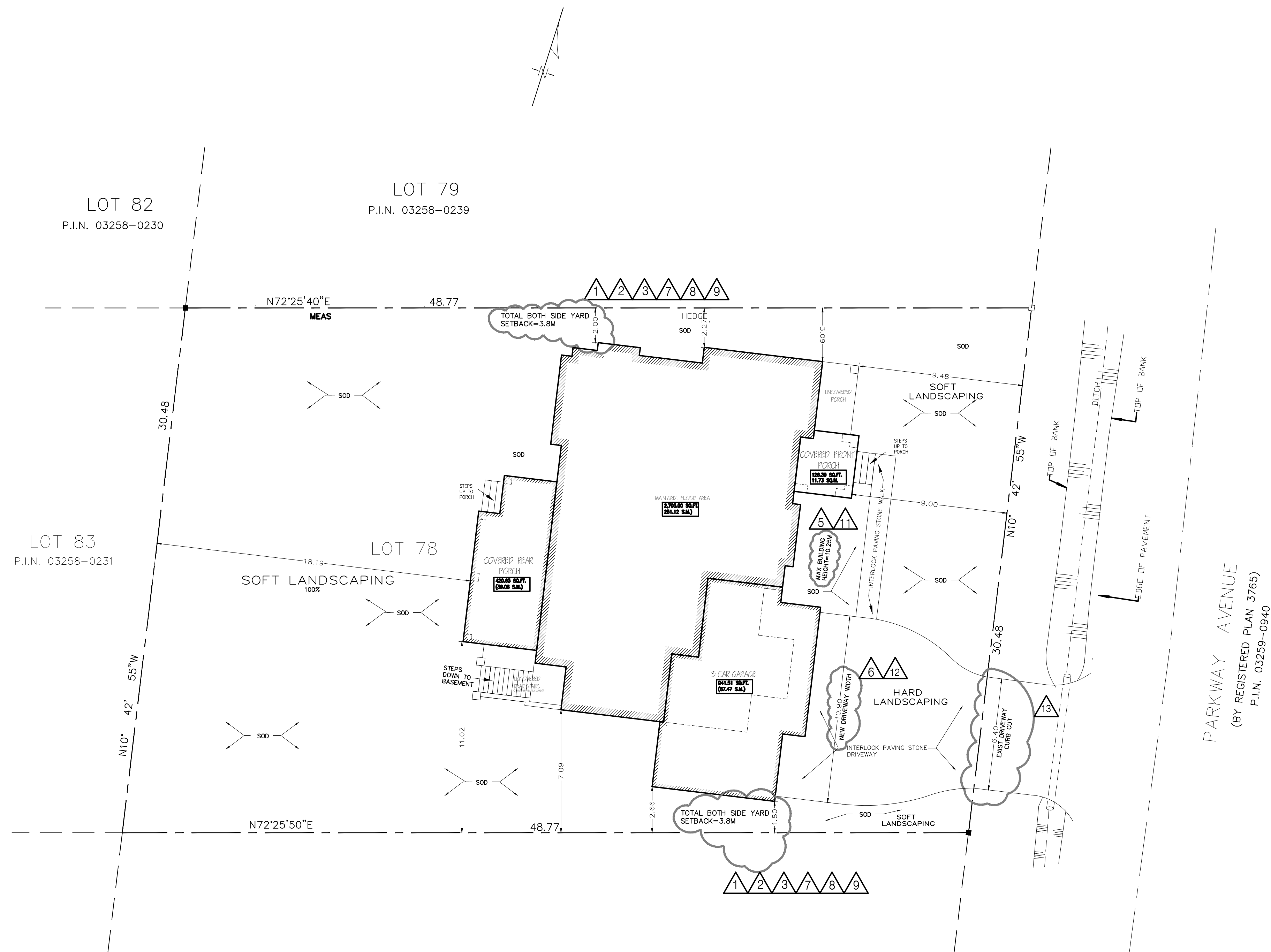
HWY 7

October 6, 2022 11:34 AM

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard setback of 2.5 metres is required. [14.403]	To permit a minimum interior side yard setback of 2.0 metres to the north interior lot line.
2	A minimum interior side yard setback of 2.5 metres is required. [14.403]	To permit a minimum interior side yard setback of 1.8 metres to the south interior lot line.
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4	A maximum lot coverage of 20% is permitted. [Section 7.2.2]	To permit a maximum lot coverage of 26.4%
5	A maximum building height of 8.5 metres is permitted. [Section 4.5]	To permit a maximum building height of 10.25 metres.
6	A maximum driveway width of 9.0 metres is permitted. [Section 6.7]	To permit a maximum driveway width of 10.9 metres.

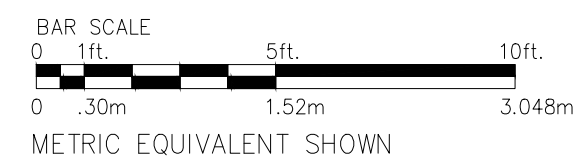
The subject lands are zoned R1V and subject to the provisions of Exception 9(662) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
7	A minimum interior side yard setback of 2.5 metres is required. 9(662)	To permit a minimum interior side yard setback of 2.0 metres to the north interior lot line.
8	A minimum interior side yard setback of 2.5 metres is required. 9(662)	To permit a minimum interior side yard setback of 1.8 metres to the south interior lot line.
9	The total of both side yards shall be not less than 6.0 metres. 9(662)	To permit the total of both side yards to be a minimum of 3.8 metres.
10	A maximum lot coverage of 20% is permitted. [Schedule A]	To permit a maximum lot coverage of 26.4%
11	A maximum building height of 9.5 metres is permitted. [Schedule A]	To permit a maximum building height of 10.25 metres.
12	A maximum driveway width of 9.0 metres is permitted. [Section 4.1.4]	To permit a maximum driveway width of 10.9 metres.
13	A maximum driveway width of 6.0 metres between the street line and the street curb is permitted. [Section 4.1.4]	To permit a maximum driveway width of 6.4 metres between the street line and the street curb.



TOTAL FRONT YARD AREA (LANDSCAPING)	278.28 SQ.M.
HARD LANDSCAPING	36.43 % 101.37 SQ.M.
SOFT LANDSCAPING	63.57 % 176.91 SQ.M.
TOTAL REAR YARD AREA (LANDSCAPING)	554.20 SQ.M.
HARD LANDSCAPING	0.00 % 000.00 SQ.M.
SOFT LANDSCAPING	100.00 % 554.20 SQ.M.

LOT AREA	1,475.58 SQ.M.
MAIN GROUND FLOOR AREA	251.16 SQ.M. 17.02% COVERAGE
3 CAR GARAGE	87.47 SQ.M. 5.93% COVERAGE
FRONT COVERED PORCH	11.73 SQ.M.
REAR COVERED PORCH	39.08 SQ.M.
TOTAL MAIN GRD. FLOOR & 3CAR GARAGE	338.63 SQ.M. 22.95% COVERAGE
TOTAL FRONT & REAR COVERED PORCH	50.81 SQ.M. 3.44 % COVERAGE
TOTAL FOOTPRINT COVERAGE	389.44 SQ.M. 26.39 % COVERAGE



PROPOSED  
Site Plan  
SCALE 1:150 metric

**GENERAL NOTES**

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

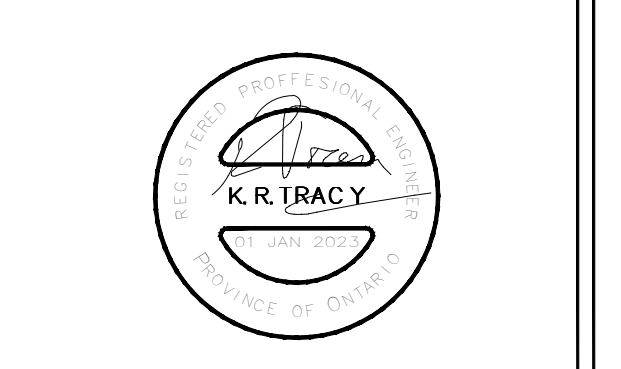
DO NOT SCALE DRAWINGS.

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 2.17.5.1 of the Building Code.  
Name: IRISLAND TRACY  
Firm: IRISLAND TRACY  
Address: 3080 SHEPPARD AVE. E. UNIT 101, SCARBOROUGH, ONT. M1S 4T8  
Phone: (416) 291-1111  
Fax: (416) 291-1112  
E-mail: irisland@irislandtracy.com

**REGISTRATION INFORMATION**  
Required unless design is exempt under 2.17.4.1 of the Building Code.  
Name: IRISLAND TRACY  
Firm: IRISLAND TRACY  
Address: 3080 SHEPPARD AVE. E. UNIT 101, SCARBOROUGH, ONT. M1S 4T8  
Phone: (416) 291-1111  
Fax: (416) 291-1112  
E-mail: irisland@irislandtracy.com



No.	REVISION / ISSUE	DATE
2	REV PER COA COMMENTS	01 JAN 2023
1	REV PER DEV ENG VAUGHAN	20 NOV 2022

**NAPA design**

Napa Design Group Inc.  
47 Loweswater Ave.  
Unionville, Ontario, L3R7W8  
lou@napadg.com  
905 477 3833 M 416 930 6337

Project  
PROPOSED TWO STOREY RESIDENCE FOR  
**Melissa & Joey Maio - Uncao**  
12 Parkway Avenue  
Vaughan, Ontario  
L4J1Y3

Drawing Name <b>COA SITE PLAN</b>	
Drawing by LP	Project No. 22 - 000
Date SEPT 2021	Drawing No. <b>A-1c</b>
Scale 1:300	
Checked LP	

**SCHEDULE B: STAFF & AGENCY COMMENTS**

<b>DEPT/AGENCY</b>	<b>Circulated</b>	<b>Comments Received</b>	<b>Conditions</b>	<b>Nature of Comments</b>
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

**Date:** October 18<sup>th</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A258-22**

**Related Files:**

**Applicant** Joey & Melissa Uncao

**Location** 12 Parkway Avenue



Discover the possibilities

### COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

### References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

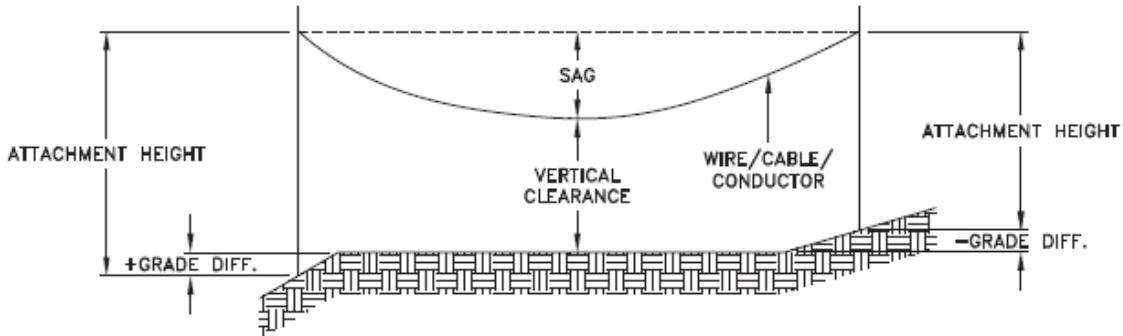
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 ± GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

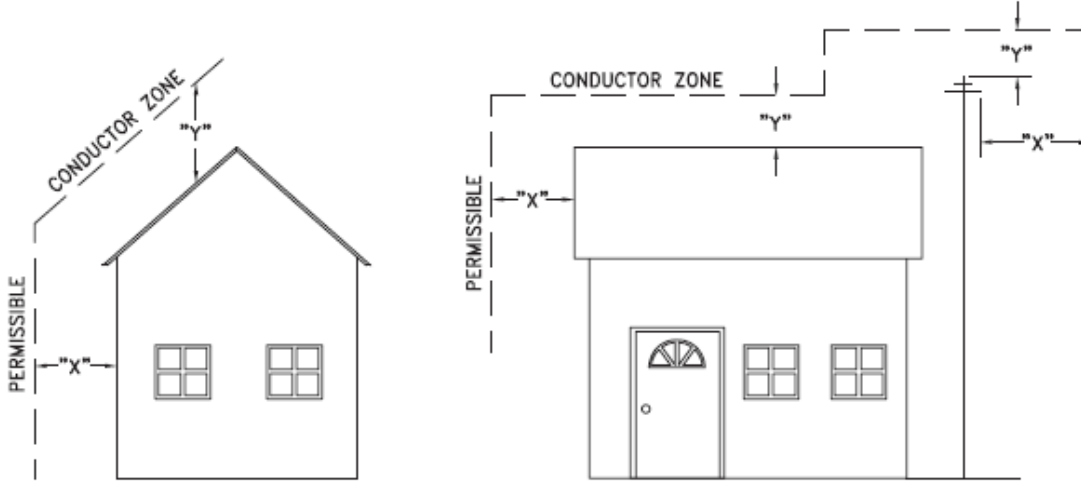
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

**NOTES**

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

**MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)**

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:  
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3.3-6\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:27:02 AM, Adobe PDF

**To:** Committee of Adjustment  
**From:** Sarah Scauzillo, Building Standards Department  
**Date:** December 21, 2022  
**Applicant:** Joey & Melissa Uncao  
**Location:** 12 Parkway Avenue  
 PLAN RP3765 Lot 78  
**File No.(s):** A258/22

**Zoning Classification:**

The subject lands are zoned R1E(EN) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard setback of 2.5 metres is required. [14.403]	To permit a minimum interior side yard setback of 2.0 metres to the north interior lot line.
2	A minimum interior side yard setback of 2.5 metres is required. [14.403]	To permit a minimum interior side yard setback of 1.8 metres to the south interior lot line.
3	The total of both side yards shall be not less than 6.0 metres. [14.403]	To permit the total of both side yards to be a minimum of 3.8 metres.
4	A maximum lot coverage of 20% is permitted. [Section 7.2.2]	To permit a maximum lot coverage of 26.4%
5	A maximum building height of 8.5 metres is permitted. [Section 4.5]	To permit a maximum building height of 10.25 metres.
6	A maximum driveway width of 9.0 metres is permitted. [Section 6.7]	To permit a maximum driveway width of 10.9 metres.

The subject lands are zoned R1V and subject to the provisions of Exception 9(662) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
7	A minimum interior side yard setback of 2.5 metres is required. 9(662)]	To permit a minimum interior side yard setback of 2.0 metres to the north interior lot line.
8	A minimum interior side yard setback of 2.5 metres is required. 9(662)]	To permit a minimum interior side yard setback of 1.8 metres to the south interior lot line.
9	The total of both side yards shall be not less than 6.0 metres. [9(662)]	To permit the total of both side yards to be a minimum of 3.8 metres.
10	A maximum lot coverage of 20% is permitted. [Schedule A]	To permit a maximum lot coverage of 26.4%
11	A maximum building height of 9.5 metres is permitted. [Schedule A]	To permit a maximum building height of 10.25 metres.
12	A maximum driveway width of 9.0 metres is permitted. [Section 4.1.4]	To permit a maximum driveway width of 10.9 metres.
13	A maximum driveway width of 6.0 metres between the street line and the street curb is permitted. [Section 4.1.4]	To permit a maximum driveway width of 6.4 metres between the street line and the street curb.



**Staff Comments:****Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

Building Permit No. 22-130439 for Single Detached Dwelling - New, Issue Date: (Not Yet Issued)

**Other Comments:**

<b>General Comments</b>	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer  
**From:** Nancy Tuckett, Director of Development Planning  
**Date:** February 8, 2023  
**Name of Owners:** Joey and Melissa Uncao  
**Location:** 12 Parkway Avenue  
**File No.(s):** A258/22

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**Proposed Variance(s) (By-law 01-2021):**

1. To permit a minimum interior side yard setback of 2.0 m to the north interior lot line.
2. To permit a minimum interior side yard setback of 1.8 m to the south interior lot line.
3. To permit the total of both side yards to be a minimum of 3.8 m.
4. To permit a lot of coverage of 26.4%.
5. To permit a maximum height of 10.25 m.
6. To permit a maximum driveway width of 10.9 m.

**By-Law Requirement(s) (By-law 01-2021):**

1. A minimum interior side yard setback of 2.5 m is required. [14.403]
2. A minimum interior side yard setback of 2.5 m is required. [14.403]
3. The total of both side yards shall be not less than 6.0 m. [14.403]
4. A maximum lot coverage of 20% is permitted. [Section 7.2.2]
5. A maximum building height of 8.5 m is permitted. [Section 4.5]
6. A maximum driveway width of 9 m is permitted. [Section 6.7]

**Proposed Variance(s) (By-law 1-88):**

7. To permit a minimum interior side yard setback of 2.0 m to the north interior lot line.
8. To permit a minimum interior side yard setback of 1.8 m to the south interior lot line.
9. To permit the total of both side yards to be a minimum of 3.8 m.
10. To permit a maximum lot of coverage of 26.4%.
11. To permit a maximum building height of 10.25 m.
12. To permit a maximum driveway width of 10.9 m.
13. To permit a maximum driveway width of 6.4 m between the street line and the street curb.

**By-law Requirement(s) (By-law 1-88):**

7. A minimum interior side yard setback of 2.5 m is required. [9 (662)]
8. A minimum interior side yard setback of 2.5 m is required. [9 (662)]
9. The total of both side yards shall be not less than 6.0 m. [9 (662)]
10. A maximum lot coverage of 20% is permitted. [Schedule A]
11. The maximum permitted building height is 9.5 m. [Schedule A]
12. A maximum driveway width of 9 m is permitted. [Section 4.1.4]
13. A maximum driveway width of 6 m between the street line and the street curb is permitted [Section 4.1.4]

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owners are requesting permission to demolish the existing single storey dwelling and construct a two-storey single-detached dwelling with the above noted variances.

At the request of the Development Planning Department the Owner has reduced the maximum lot coverage and height to maintain a scale of built form compatible with the established neighbourhood. The proposed total lot coverage of 26.4% (Variances 4 & 10) is divided between 22.95% for the main dwelling (incl. attached garage) and 3.44% for the covered porches (front & rear). Additionally, the maximum building height was reduced to 10.25 m (Variances 5 & 11) to achieve a built form that is in keeping with the overall mass and scale of existing dwellings in the area. The proposed hip and gable roof design in combination with the taller and/or elevated second floor windows, incorporates a portion of the second floor into the roof when viewed from the street, reducing the overall wall height, and mitigating the resulting massing impacts. Development Planning is of the opinion the proposed height and coverage are

consistent with other approvals in the area and maintains the character of the neighbourhood.

For Variances 1, 2, 3, 7, 8, and 9, Development Planning and Urban Design staff are of the opinion the reduced interior side yard setbacks remain compatible with other newly built dwellings and would not cause an adverse impact to neighbourhood character. It should be noted the 2.0 m northerly interior side yard setback and 1.8 m southerly interior side yard setback are measured at pinch points, as the house is at an angle to the side lot lines. Also, the pinch point for the southerly side yard applies to a single storey; the second storey is stepped back. The maximum driveway width of 10.9 m (Variances 6 & 12) is specific to the area in front of the proposed 3-car garage, tapering down to 6.4 m at the City's right-of-way. An increase of 40 cm (Variance 13) over the permitted 6 m is minimal and will not alter the existing curb appeal.

In support of the application, the Owner submitted an Arborist Report and Detailed Site Inventory/Site Replanting Plan, prepared by Noica Consulting Inc., dated June 25, 2022. Urban Design has reviewed the material and have no further concerns.

The Development Planning Department is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

None

**Comments Prepared by:**

Roberto Simbana, Planner I  
David Harding, Senior Planner

## Pravina Attwala

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**Subject:** FW: [External] RE: A258/22 (12 PARKWAY AVENUE) - REQUEST FOR COMMENTS

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**From:** Development Services <developmentsservices@york.ca>

**Sent:** October-24-22 1:28 PM

**To:** Pravina Attwala <Pravina.Attwala@vaughan.ca>; Committee of Adjustment <CofA@vaughan.ca>

**Subject:** [External] RE: A258/22 (12 PARKWAY AVENUE) - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the above minor variance (A258/22) and has no comment.

Thank you,  
Niranjan

**Niranjan Rajevan, M.Pl.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

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**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None