

ITEM: 6.7	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A005/23 10 & 20 GATINEAU DRIVE, BLDG A THORNHILL
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Cityzen		01/04/2023	Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
B037/17	12/07/2017	Approved; COA

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A005/23
10 & 20 GATINEAU DRIVE, BLDG A
THORNHILL**

ITEM NUMBER: 6.7	CITY WARD #: 5
APPLICANT:	D'Or Developments Inc.
AGENT:	Kristine Zwicker
PROPERTY:	10 & 20 Gatineau Drive, Bldg A Thornhill ON
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "High-Rise Residential" and "Area A" by Volume 2, Section 12.11 Bathurst and Centre: Thornhill Town Centre with a maximum permitted height of 22-storeys and a maximum permitted density of 2.7 (FSI)
RELATED DEVELOPMENT APPLICATIONS:	B037/17, 19CDM-22V002.
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit reduced parking requirements to facilitate the construction of a proposed condominium as applied for through condominium application 19CDM-22V002.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned RM2, Multiple Unit Residential Zone and subject to the provisions of Exception 14.1068 under Zoning By-law 001-2021

#	Zoning By-law 001-2021	Variance requested
1	A parking space with a 90-degree angle shall have minimum length of 5.7 m. [6.3.1, Table 6-1]	To permit a minimum parking space length of 5.58 m for parking Units 117, 118 & 119 on Level A, parking Units 127, 128 & 129 on Level B, and parking Units 128, 129 & 130 on Level C for an underground parking space.
2	A parking space with a 90-degree angle shall have minimum width of 2.7 m. [6.3.1, Table 6-1]	To permit a minimum parking space width of 2.63 m for parking Unit 82 on Level A, parking Units 17, 38, 43 & 47 on Level B, and parking Units 19, 45, 50, 97 & 122 on Level C for an underground parking space.

The subject lands are zoned RA5, Apartment Residential Zone and subject to the provisions of Exception 9(1443) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	The minimum length of an underground parking space shall be 5.7m. [9(1443) aii]	To permit a minimum parking space length of 5.58 m for parking Units 117, 118 & 119 on Level A, parking Units 127, 128 & 129 on Level B, and parking Units 128, 129 & 130 on Level C for an underground parking space.
4	An underground parking space width shall measure a minimum of 2.7m in width. [Section 2.0 Definition of a Parking Space]	To permit a minimum parking space width of 2.63 m for parking Unit 82 on Level A, parking Units 17, 38, 43 & 47 on Level B, and parking Units 19, 45, 50, 97 & 122 on Level C for an underground parking space.

HEARING INFORMATION

DATE OF MEETING: Thursday, March 2, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	February 9, 2023	
Date Applicant Confirmed Posting of Sign:	February 14, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The parking spaces have walls and or columns that have been constructed that encroach in part(s) of the parking spaces that cannot be modified for structural reasons.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

BUILDING STANDARDS (ZONING) COMMENTS

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	<p>The Owner shall enter into a Condominium Agreement with the City of Vaughan and the agreement shall require the following warning clause be included in all offers of purchase and sale:</p> <p>“Purchasers and/or tenants are hereby advised that the following parking space units are to be solely used as Compact Motor Vehicle Parking Spaces:</p> <p>a. parking units 117, 118 and 119 on Level A, parking units 127, 128 and 129 on Level B, and parking units 128, 129 and 130 on Level C, which provide a minimum parking space length of 5.58 m; and</p> <p>b. parking unit 82 on Level A, parking units 17, 38, 43 and 47 on Level B, and parking units 19, 45, 50, 97 and 122 on Level C, which provide a minimum parking space width of 2.63 m.</p> <p>Purchasers and and/or tenants acknowledge and agree that any vehicle parked within the Compact Motor Vehicle Parking Space(s) shall be fully contained within the dimensions of the space.</p>
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The proposed variance to demarcate the 19 parking spaces as “Compact Spaces” is generally acceptable to Development Engineering (DE) Department, as it is consistent with the dimensions of Compact Motor Vehicle Parking Spaces in By-Law 001-2021 (Section 6.3.4). The Applicant is to ensure all current and future residents are made aware of their compact parking space and that the designated parking spaces are used exclusively for compact motor vehicles. Residents should be made aware of the compact parking space constraints on vehicle size through their purchase agreements and agree that their personal vehicles will not exceed the length of the parking space.

The Development Engineering (DE) Department does not object to variance application A005/23.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

BUILDING INSPECTION (SEPTIC) COMMENTS

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning roberto.simbana@vaughan.ca	<p>The Owner shall enter into a Condominium Agreement with the City of Vaughan and the agreement shall require the following warning clause be included in all offers of purchase and sale:</p> <p>“Purchasers and/or tenants are hereby advised that the following parking space units are to be solely used as Compact Motor Vehicle Parking Spaces:</p> <p style="margin-left: 20px;">a. parking units 117, 118 and 119 on Level A, parking units 127, 128 and 129 on Level B, and parking units 128, 129 and 130 on Level C, which provide a minimum parking space length of 5.58 m; and</p> <p style="margin-left: 20px;">b. parking unit 82 on Level A, parking units 17, 38, 43 and 47 on Level B, and parking units 19, 45, 50, 97 and 122 on Level C, which provide a minimum parking space width of 2.63 m.</p> <p>Purchasers and and/or tenants acknowledge and agree that any vehicle parked within the Compact Motor Vehicle Parking Space(s) shall be fully contained within the dimensions of the space.</p>

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

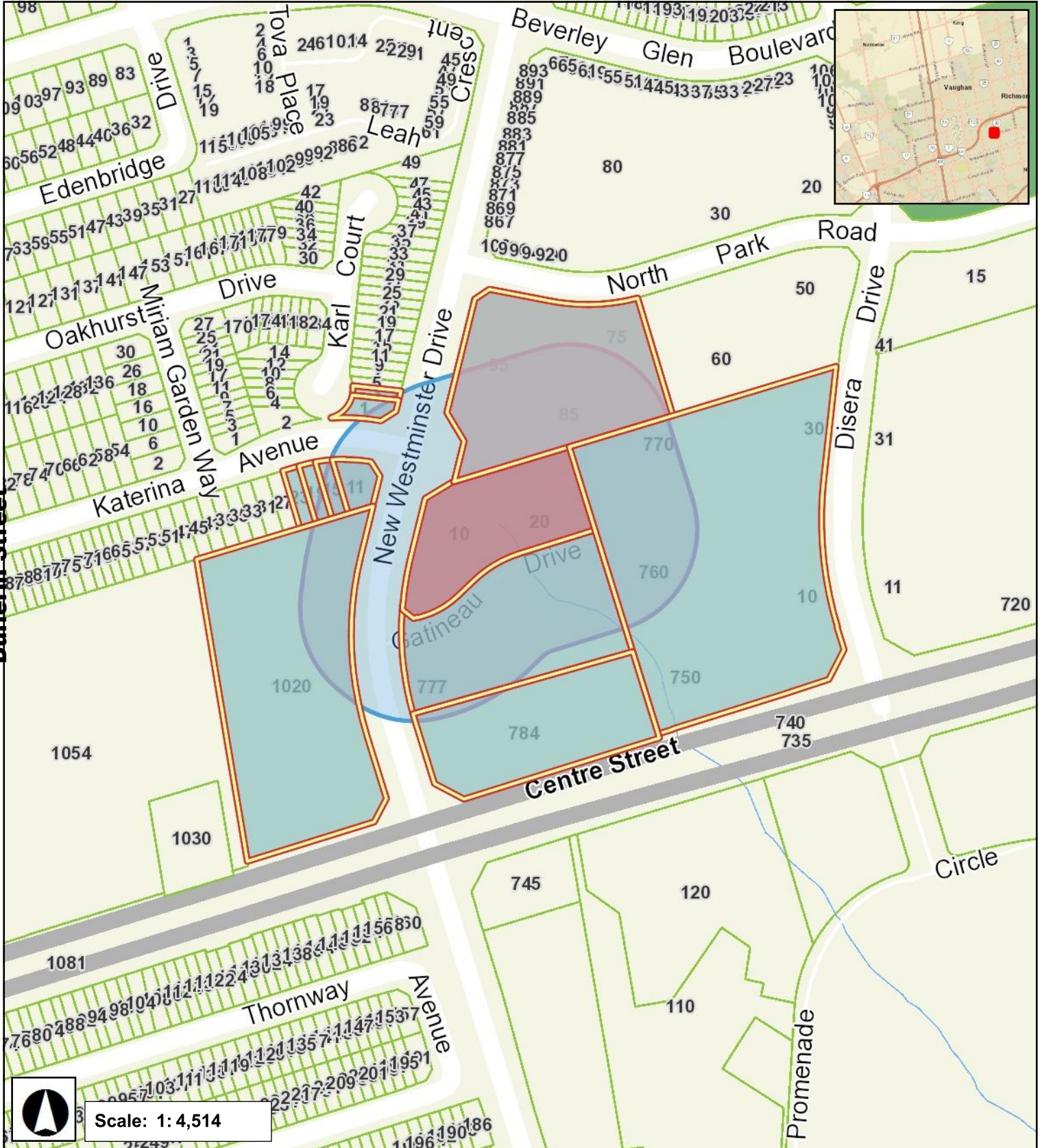
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A005/23

10 & 20 GATINEAU DRIVE, THORNHILL

Langstaff Road

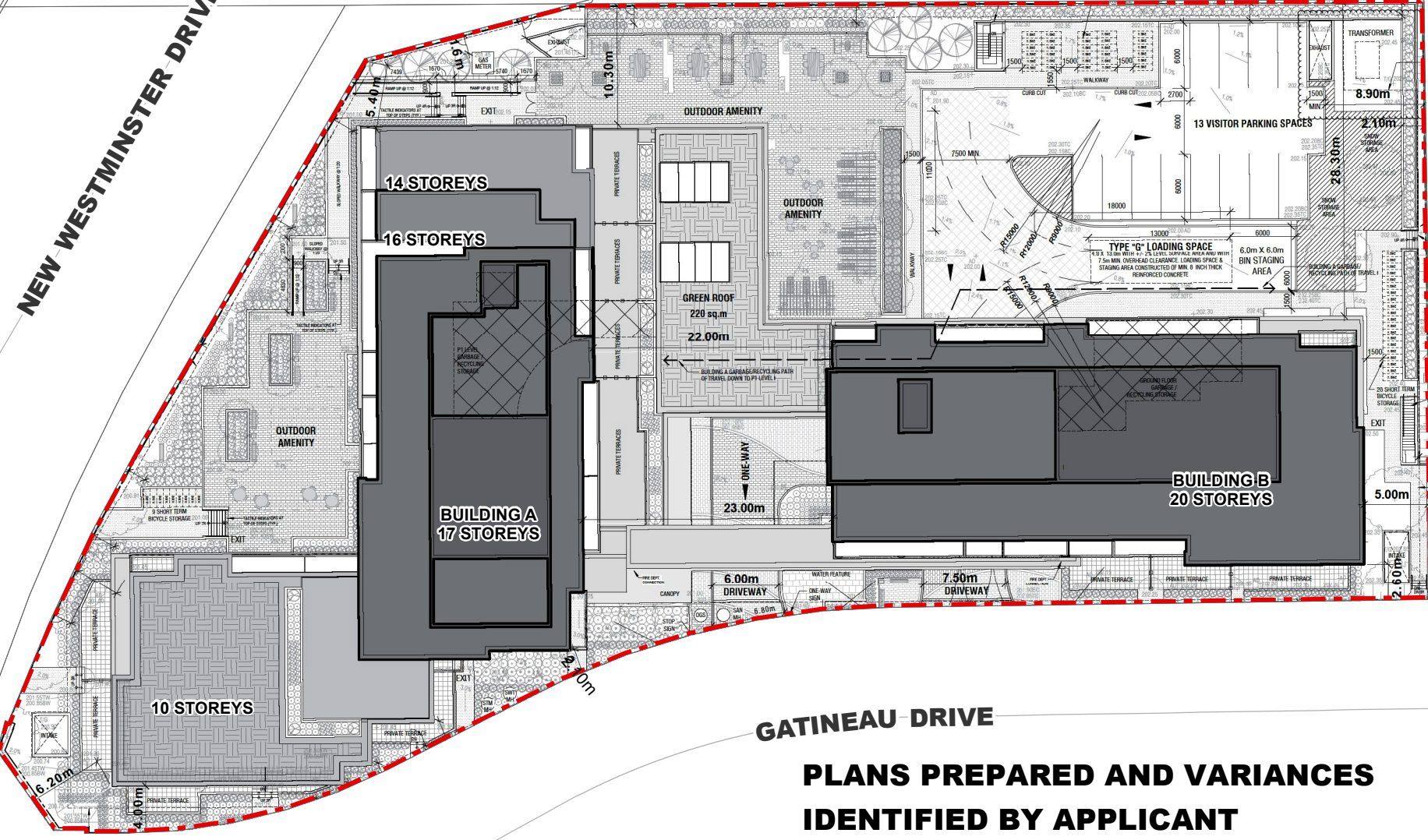


Highway 7

February 7, 2023 12:07 PM



NEW WESTMINSTER DRIVE



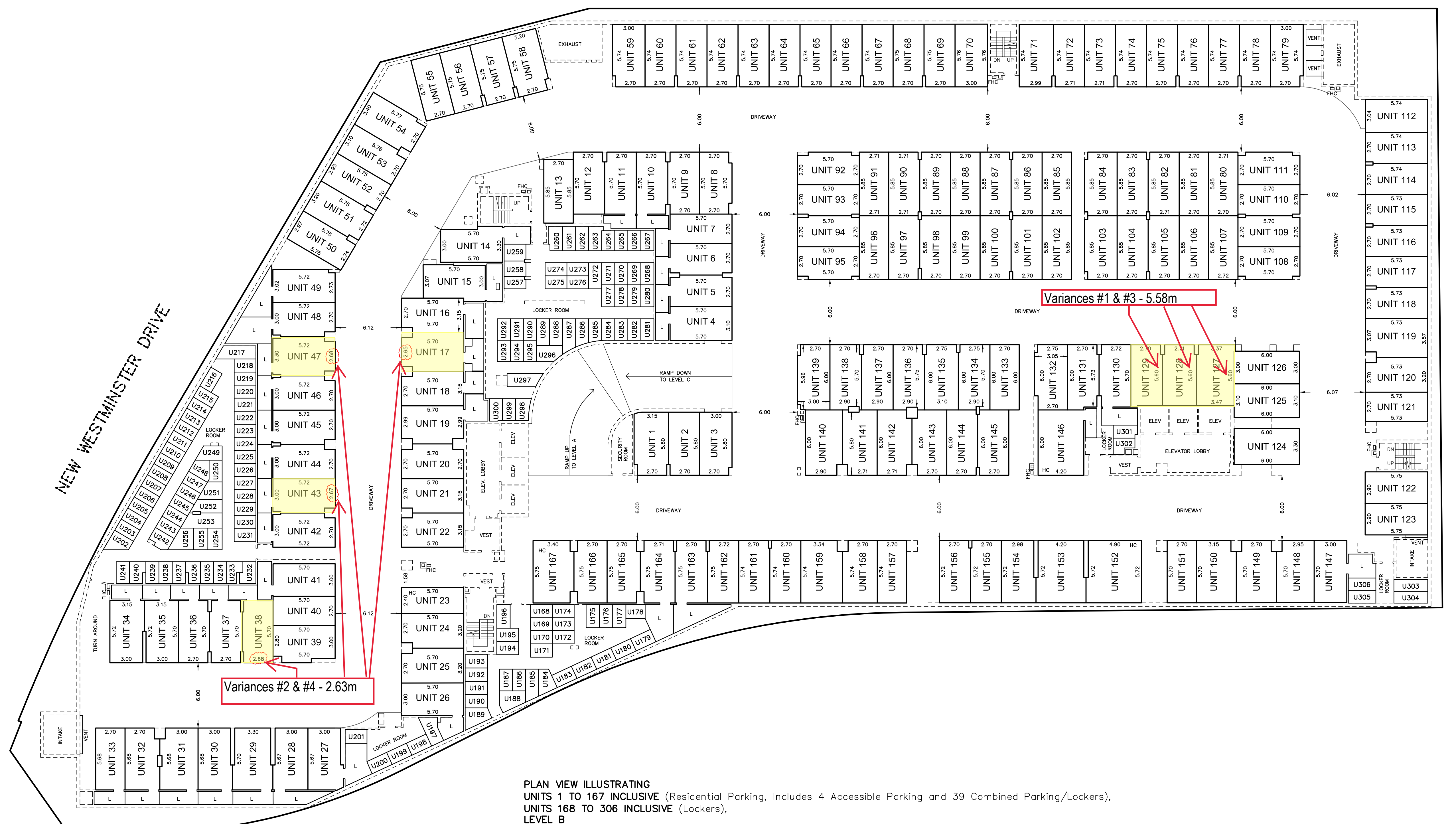
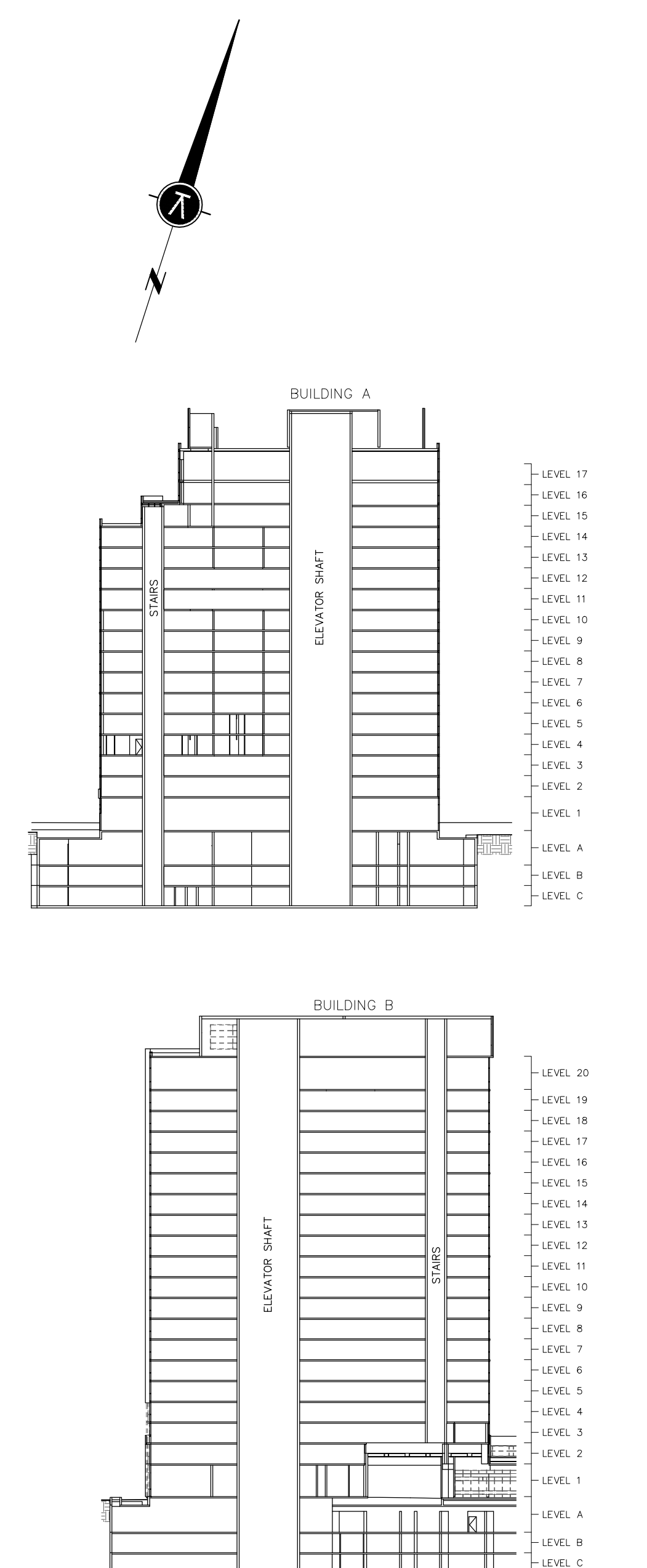
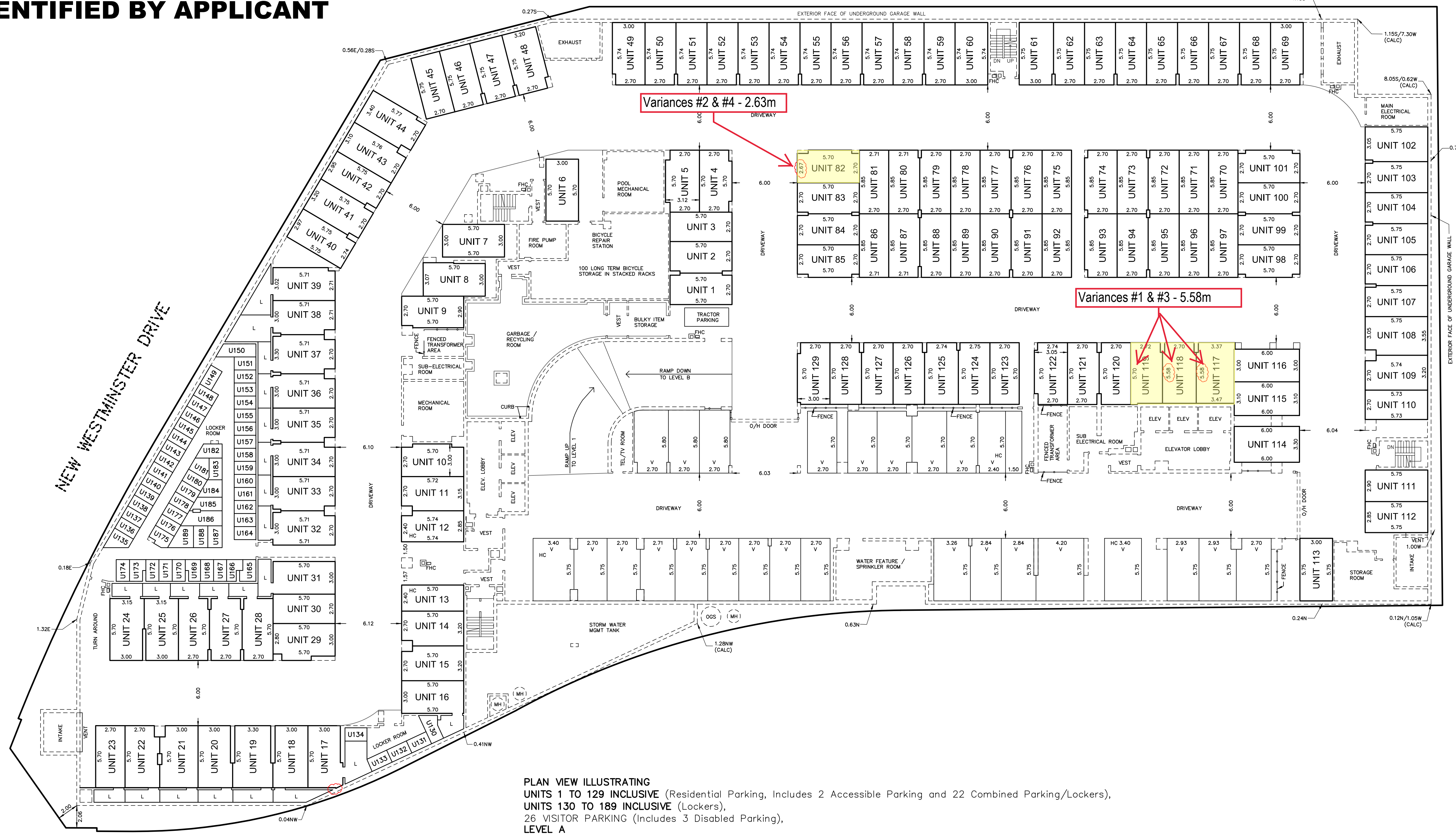
GATINEAU DRIVE

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

Site Plan

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

SCALE 1:200
KRCMAR SURVEYORS LTD. 2022
METRIC: DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



NOTES AND LEGEND

- DENOTES CONDOMINIUM BOUNDARIES
- - - DENOTES BOUNDARIES OF UNITS AND OF THE COMMON ELEMENTS
- DENOTES FACE OF STRUCTURE
- DENOTES STAIRS UP
- DENOTES STAIRS DOWN
- ELEV DENOTES ELEVATOR
- PHC DENOTES FIRE HOSE CABINET
- HC DENOTES ACCESSIBLE PARKING SPACE
- L DENOTES LOCKER
- ME DENOTES MANHOLE
- O/H DENOTES OVERHEAD
- U DENOTES UNIT
- V DENOTES VISITOR PARKING
- VEST DENOTES VESTIBULE
- DENOTES PART OF THE COMMON ELEMENTS NOT INCLUDED IN UNIT

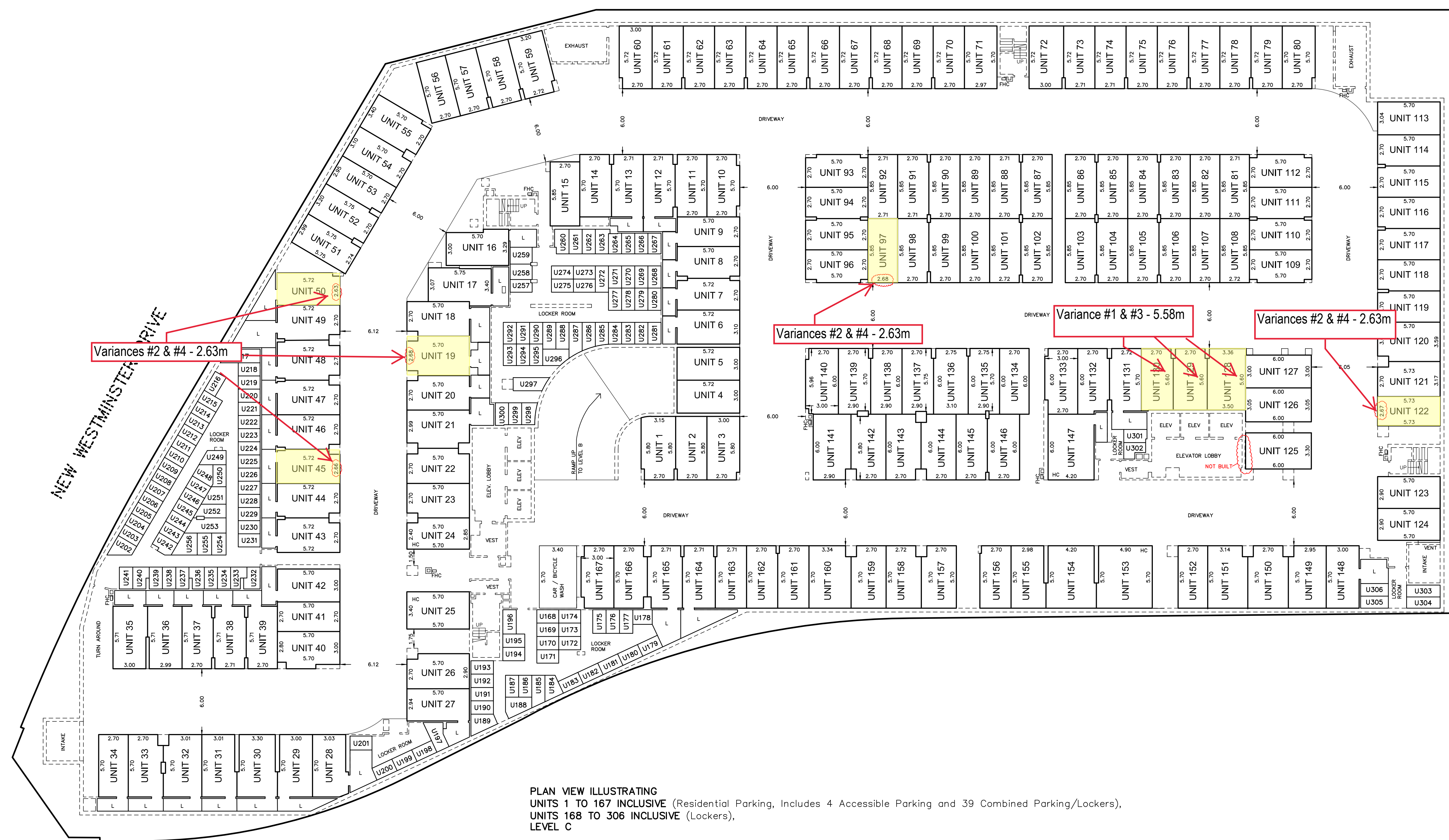
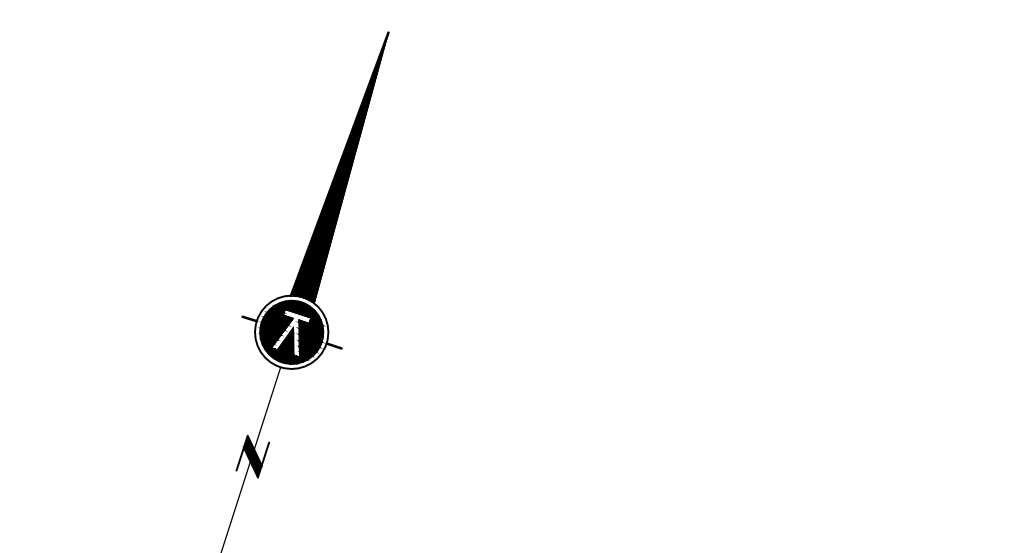
(CALC) = CALCULATED BY KRCMAR CONSTRUCTION DIVISION AND ESTABLISHED ON SITE.

MUNICIPAL ADDRESS: New Westminster Dr, Vaughan, Ontario
 FIELD: J.L.S.M. DRAWN: M.Z.A.L.L. CHECKED: E.L. JOB NO: 18-007
 DWG NAME: 18-070001.PLOT INFO: 10-26-2022/2022 WORK ORDER NO: 22171
 1137 Centre Street Thornhill ON L4J 3M6 905.738.0053 F 905.738.9221 www.krcmar.ca
 PLAN AVAILABLE AT www.ProtectYourBoundaries.ca

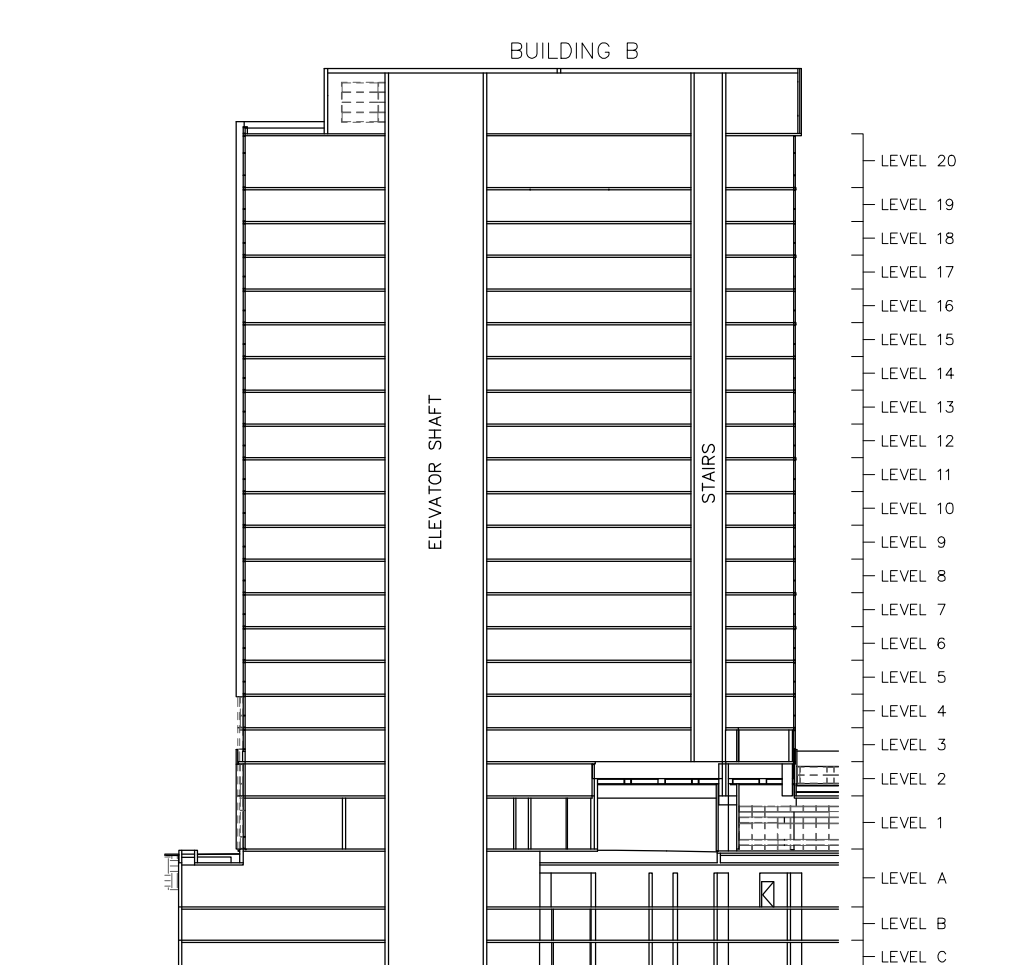
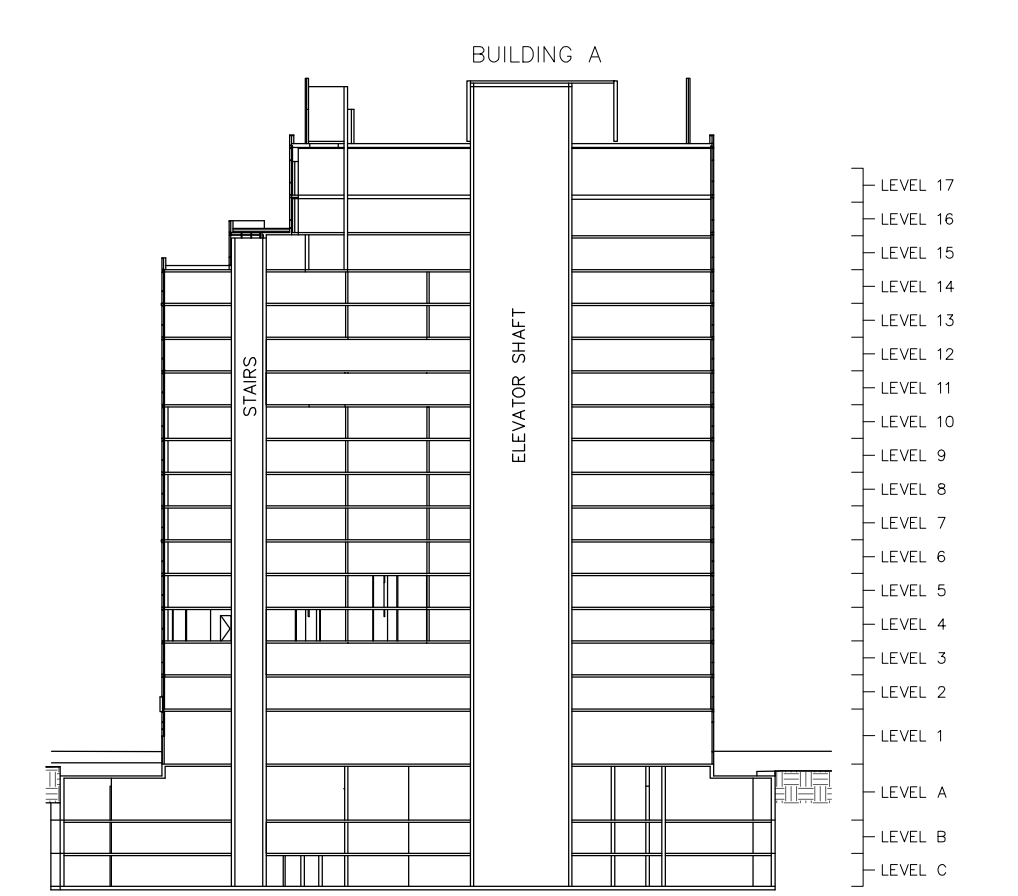


PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

SCALE 1:200
KRCMAR SURVEYORS LTD. 2022
METRIC: DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



PLAN VIEW ILLUSTRATING UNITS 1 TO 167 INCLUSIVE (Residential Parking, Includes 4 Accessible Parking and 39 Combined Parking/Lockers), UNITS 168 TO 306 INCLUSIVE (Lockers), LEVEL C



REPRESENTATIVE SECTION TO ILLUSTRATE RELATIONSHIP OF LEVELS (NOT TO SCALE)

- NOTES AND LEGEND**
- DENOTES CONDOMINIUM BOUNDARIES
 - - - DENOTES BOUNDARIES OF UNITS AND OF THE COMMON ELEMENTS
 - DENOTES FACE OF STRUCTURE
 - UP DENOTES STAIRS UP
 - DN DENOTES STAIRS DOWN
 - ELEV DENOTES ELEVATOR
 - FHC DENOTES FIRE HOSE CABINET
 - HC DENOTES ACCESSIBLE PARKING SPACE
 - L DENOTES LOCKER
 - U DENOTES UNIT
 - VEST DENOTES VESTIBULE
 - ▨ DENOTES PART OF THE COMMON ELEMENTS NOT INCLUDED IN UNIT

MUNICIPAL ADDRESS: New Westminster Dr. Vaughan, Ontario
 FIELD: J.L.S.M. | DRAWN: A.Z.A.L.L. | CHECKED: E.L. | JOB NO.: 18-007
 DWG NAME: 18-070001 | PLOT INFO: 10-36-28/JUL2022 | WORK ORDER NO.: 22171
 1137 Centre Street Thornhill ON L4J 3M6 | 905.738.0053 | F 905.738.9221 | www.krcmar.ca
 PLAN AVAILABLE AT www.ProtectYourBoundaries.ca



The Architect does not retain the consultants and therefore is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with any work.

Contractor shall verify and check all dimensions and conditions on site prior to starting any of the work and report any discrepancy to the Architect and consultants before proceeding. Construction must conform to all applicable Codes and Requirements of Authorities having jurisdiction pertaining to this application.

No investigation has been undertaken or reported on by this office in regards to the environmental condition or pollution of this site.

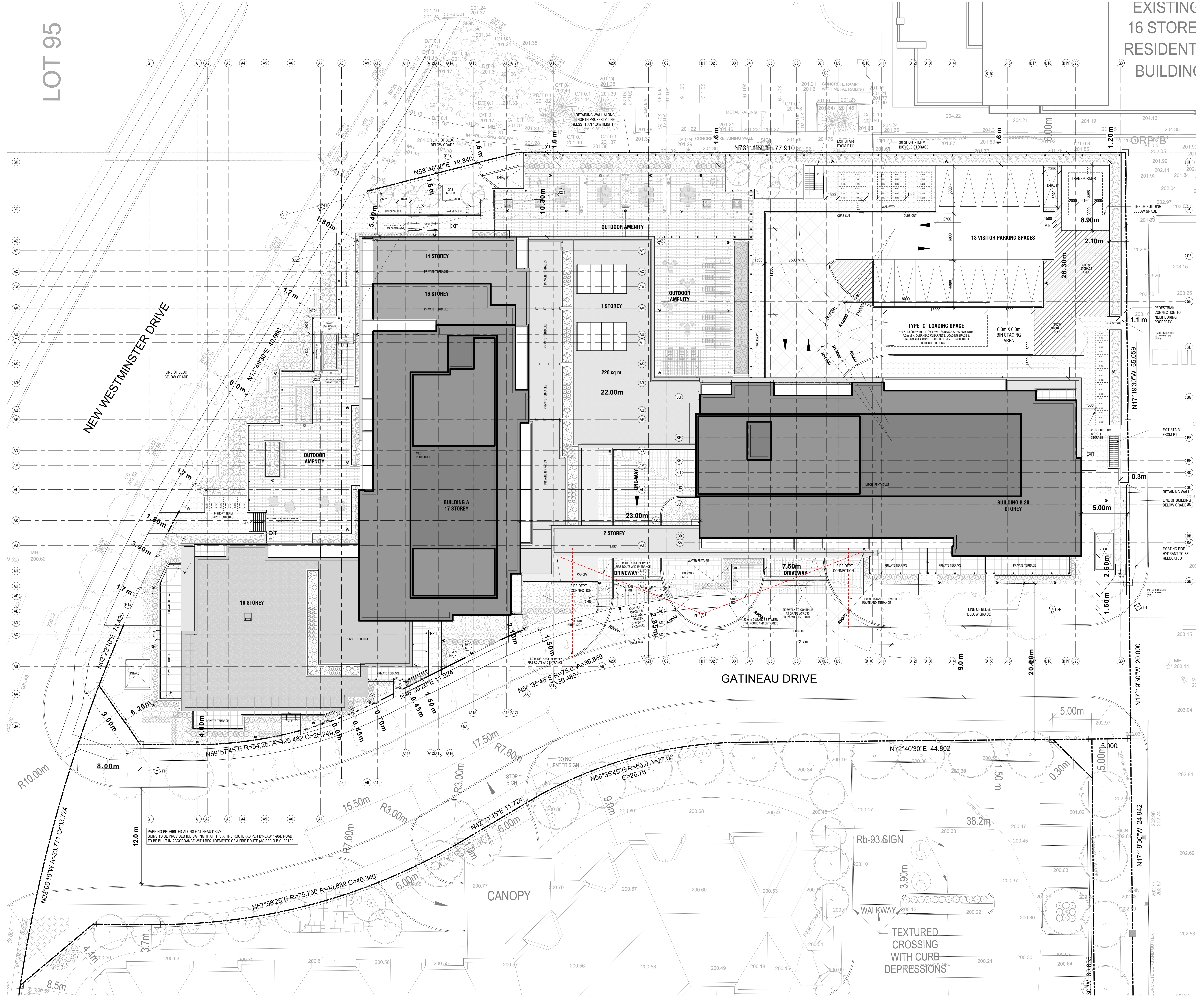
This drawing is not to be scaled.

All dimensions and areas to be confirmed on site by an Ontario Land Surveyor.

COPYRIGHT 2019 RAFAEL + BIGAUSKAS ARCHITECT INC.

EXISTING
16 STORE
RESIDENT
BUILDING

LOT 95



No.	Date	ISSUED	BY
5	05 MAY 21	SITE INSTRUCTION A4	BG
4	06 JAN 20	ISSUED FOR CONSTRUCTION	BG
3	02 AUG 19	ISSUED FOR PRELIM WINDOW & PRECAST TENDER	BG
2	02 APR 19	ISSUED FOR CONC & FORMING TENDER	BG
1	04 JAN 19	ISSUED FOR BUILDING PERMIT	BG



10 & 20 GATINEAU DRIVE
VAUGHAN, ONTARIO

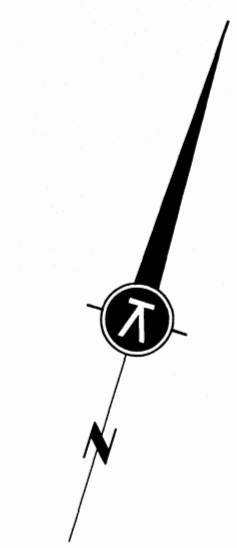
RAFAEL + BIGAUSKAS

1140 SHEPPARD AVE WEST, UNIT 1, TORONTO, ONTARIO, M8K 2A2
416.388.7900

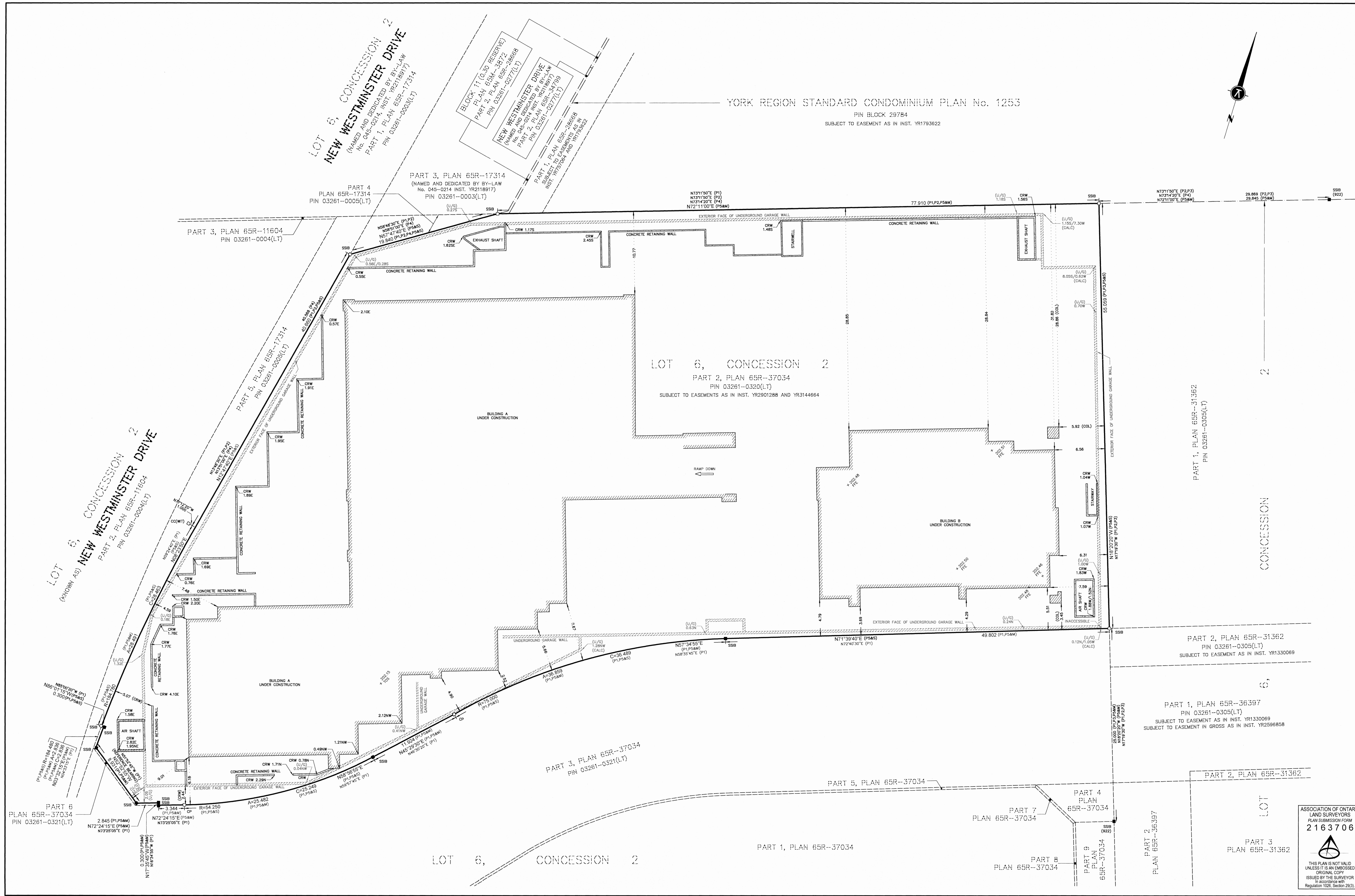
SITE PLAN

Scale	1 : 150	Project No.	04-133
Date		Author	
Drawn By		Drawing No.	A-102
Checked By		Checker	
Date Plotted	2020-05-20 5:05:53 PM		

2020-05-20 5:05:53 PM



YORK REGION STANDARD CONDOMINIUM PLAN No. 1253
 PIN BLOCK 297B4
 SUBJECT TO EASEMENT AS IN INST. YR1793822



BEARING
 BEARINGS SHOWN HEREON ARE GRID (MTM NAD83 (CSRS)(2010)) AND ARE REFERRED TO THE NORTHEASTERLY LIMIT OF PART 6, AS SHOWN ON PLAN 65R-37034, HAVING A BEARING OF N52°52'55" W.

ELEVATION
 ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO CITY OF VAUGHAN BENCH MARK No. 9-1, HAVING AN ELEVATION OF 199.293 METRES.

NOTES
 BUILDING TIES TAKEN TO CONCRETE FOUNDATION WALLS, UNLESS OTHERWISE NOTED.
 ALL FOUND MONUMENTS ARE BY KRCMAR SURVEYORS LTD., O.L.S. (1370), UNLESS OTHERWISE NOTED.
 (CALC) - CALCULATED BY KRCMAR CONSTRUCTION DIVISION AND ESTABLISHED ON SITE.

LEGEND

■	DENOTES SURVEY MONUMENT FOUND
CC	DENOTES CUT CROSS
CP	DENOTES CONCRETE PIN
SSIB	DENOTES SHORT STANDARD IRON BAR
(S)	DENOTES SET
(M)	DENOTES MEASURED
(WT)	DENOTES WITNESS
(P1)	DENOTES PLAN 65R-37034
(P2)	DENOTES PLAN 65R-27124
(P3)	DENOTES PLAN 65R-36397
(P4)	DENOTES PLAN 65R-17314
(P5)	DENOTES PLAN OF SURVEY BY KRCMAR SURVEYORS LTD., O.L.S., DATED MARCH 29, 2019
(922)	DENOTES SCHAEFFER DZALDOV BENNETT LTD., O.L.S.
(1370)	DENOTES KRCMAR SURVEYORS LTD., O.L.S.
COL	DENOTES COLUMN
CRW	DENOTES CONCRETE RETAINING WALL
FFE	DENOTES FINISHED FLOOR ELEVATION
TOS	DENOTES TOP OF SLAB ELEVATION
U/G	DENOTES UNDERGROUND GARAGE WALL

PART 2 - SURVEY REPORT

- THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES IS BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLE DOCUMENTS, REGISTERED PLANS AND ON THE EVIDENCE OF PRIOR SURVEYS FOUND DURING THE COURSE OF PREPARING THE SUBJECT SURVEY.
- THE TYPE AND LOCATION OF THE EXISTING BUILDINGS AND OTHER IMPROVEMENTS, FENCES ETC., ON OR NEAR THE SUBJECT PROPERTY ARE AS SHOWN ON THE SURVEY PLAN.
- COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT CERTIFIED BY THIS REPORT.
- SUBJECT LAND COMPRISES ALL OF PART 2, PLAN 65R-37034 BEING ALL OF PIN 03261-0320(LT).
- SUBJECT TO EASEMENTS OVER PART 2, PLAN 65R-37034 AS IN INST. YR2901288 AND YR1344664.

THIS REPORT WAS PREPARED FOR "D'OR DEVELOPMENTS INC." AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 27th DAY OF MAY, 2021
 DATE: MAY 28, 2021
 ROBERT WIEGENBROKER
 ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO LAND SURVEYORS
 PLAN SUBMISSION FORM
2163706
 THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH Regulation 1026, Section 29(3).
 MUNICIPAL ADDRESS: NOT ASSIGNED
 FIELD: JLS/M DRAWN: CL CHECKED: SNR JOB NO: 18-007
 DWG NAME: 18-007SR01 PLOT INFO: 10/26/28/May/2021 WORK ORDER NO: 33721
 1137 Centre Street Thornhill ON L4J 3M6 905.738.0053 F.905.738.9221 www.krcmar.ca
 PLAN AVAILABLE AT www.ProtectYourBoundaries.ca



SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B	X	X		General Comments
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend Approval/w conditions
Building Standards (Zoning)	X	X		General Comments

Date: January 25th 2023

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A005-23**

Related Files:

Applicant D'Or Developments Inc.

Location 10 & 20 Gatineau Drive



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

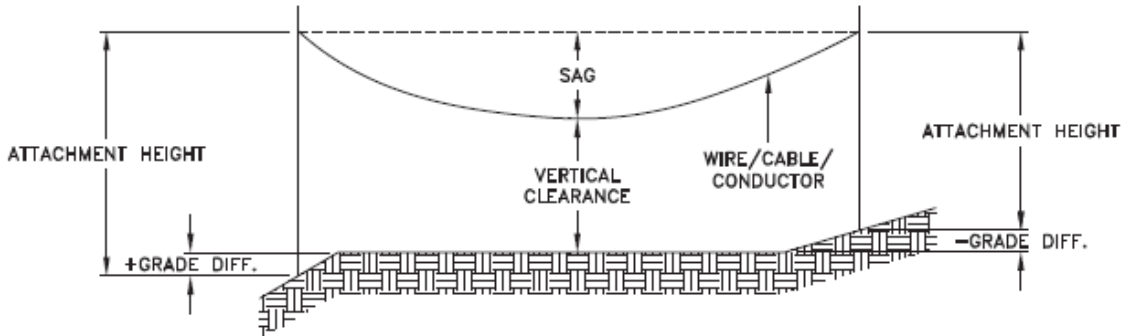
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

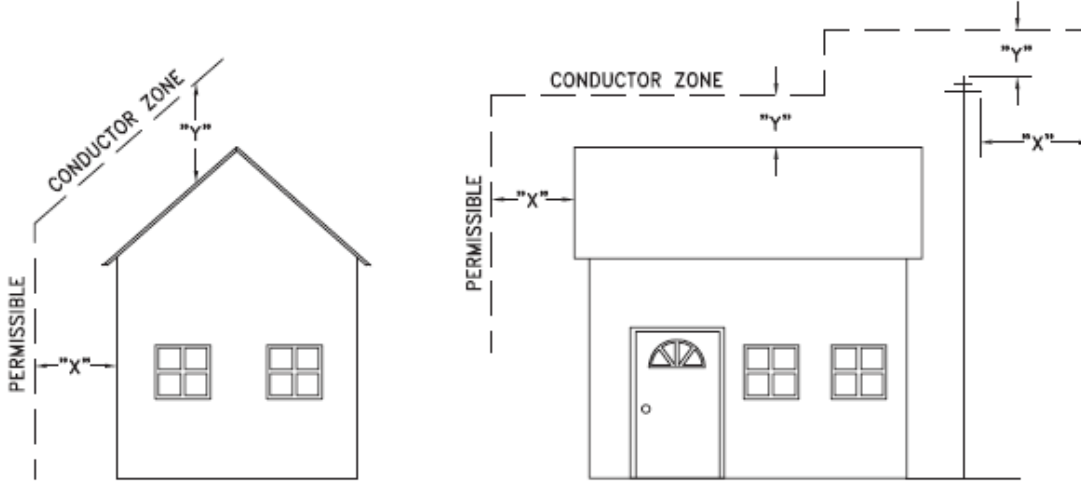
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: January 20, 2023
Applicant: D'Or Developments Inc.
Location: 10 & 20 Gatineau Drive
 Concession 2, Part of Lot 6
File No.(s): A005/23

Zoning Classification:

The subject lands are zoned RM2, Multiple Unit Residential Zone and subject to the provisions of Exception 14.1068 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A parking space with a 90-degree angle shall have minimum length of 5.7 m. [6.3.1, Table 6-1]	To permit a minimum parking space length of 5.58 m for parking Units 117, 118 & 119 on Level A, parking Units 127, 128 & 129 on Level B, and parking Units 128, 129 & 130 on Level C for an underground parking space.
2	A parking space with a 90-degree angle shall have minimum width of 2.7 m. [6.3.1, Table 6-1]	To permit a minimum parking space width of 2.63 m for parking Unit 82 on Level A, parking Units 17, 38, 43 & 47 on Level B, and parking Units 19, 45, 50, 97 & 122 on Level C for an underground parking space.

The subject lands are zoned RA5, Apartment Residential Zone and subject to the provisions of Exception 9(1443) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	The minimum length of an underground parking space shall be 5.7m. [9(1443) aii]	To permit a minimum parking space length of 5.58 m for parking Units 117, 118 & 119 on Level A, parking Units 127, 128 & 129 on Level B, and parking Units 128, 129 & 130 on Level C for an underground parking space.
4	An underground parking space width shall measure a minimum of 2.7m in width. [Section 2.0 Definition of a Parking Space]	To permit a minimum parking space width of 2.63 m for parking Unit 82 on Level A, parking Units 17, 38, 43 & 47 on Level B, and parking Units 19, 45, 50, 97 & 122 on Level C for an underground parking space.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 19 - 70 and 19 - 71 have been issued for the construction of apartment buildings on the subject lands.

Other Comments:

General Comments	
1	Parking space dimensions identified as Zoning Bylaw 001-2021 requirements do not apply barrier free parking spaces.
2	Parking space dimensions identified as Zoning Bylaw 1-88 requirements do not apply to accessible parking spaces.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

From: [Mulrenin, Colin \(MTO\)](#)
To: [Christine Vigneault](#)
Cc: [Blaney, Cameron \(MTO\)](#)
Subject: [External] RE: A005/23 (10 & 20 Gatineau Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, January 24, 2023 10:25:27 AM

Hi Christine,

As these properties are outside MTO permit control, MTO has no comments.

Colin Mulrenin (he/him) | Corridor Management Officer | York

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7th Floor, Building D | Downsview, Ontario | M3M 0B7

Phone: 437-533-9427

Colin.Mulrenin@ontario.ca

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning Department

Date: February 6, 2023

Name of Owner: D'Or Development Inc.

Location: 10 & 20 Gatineau Drive

File No.(s): A005/23

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum parking space length of 5.58 m for parking units 117, 118 & 119 on Level A, parking units 127, 128 & 129 on Level B, and parking units 128, 129 & 130 on Level C for an underground parking space.
2. To permit a minimum parking space width of 2.63 m for parking unit 82 on Level A, parking units 17, 38, 43 & 47 on Level B, and parking units 19, 45, 50, 97 & 122 on Level C for an underground parking space.

By-Law Requirement(s) (By-law 001-2021):

1. A parking space with a 90-degree angle shall have minimum length of 5.7 m. [6.3.1, Table 6-1]
2. A parking space with a 90-degree angle shall have minimum width of 2.7 m. [6.3.1, Table 6-1]

Proposed Variance(s) (By-law 1-88):

3. To permit a minimum parking space length of 5.58 m for parking units 117, 118 & 119 on Level A, parking units 127, 128 & 129 on Level B, and parking units 128, 129 & 130 on Level C for an underground parking space.
4. To permit a minimum parking space width of 2.63 m for parking unit 82 on Level A, parking units 17, 38, 43 & 47 on Level B, and parking units 19, 45, 50, 97 & 122 on Level C for an underground parking space.

By-Law Requirement(s) (By-law 1-88):

3. The minimum length of an underground parking space shall be 5.7 m. [9(1443) aii)]
4. An underground parking space width shall measure a minimum of 2.7 m in width. [Section 2.0 Definition of a Parking Space]

Official Plan:

Vaughan Official Plan 2010 ('VOP 2010'): "High-Rise Residential" and "Area A" by Volume 2, Section 12.11 Bathurst and Centre Street: Thornhill Town Centre with a maximum permitted height of 22-storeys and a maximum permitted density of 2.7 (FSI).

Comments:

D'Or Development Inc, (the 'Owner') is requesting permission to reduce the parking space requirement for the parking units listed above in order to facilitate the development ('the Proposal') of two residential apartment buildings with heights of 17 and 20-storeys connected by a 2-storey podium. The Proposal contains 394 residential units and three levels of underground parking. On February 12, 2019, the Local Planning Appeal Tribunal ('LPAT') (formerly the OMB, now the OLT), issued a final order approving site-specific amendments to the Zoning By-law Amendment (Z.08.032). Similarly, on June 2, 2020, the LPAT issued its final order on the Site Development Application (DA.13.014). As of most recent, Council approved 19CDM-22V002 with conditions on September 28, 2022, to create condominium tenure for said Proposal. This minor variance application is to recognize minor parking deficiencies identified by zoning staff through the review of as-built drawings of the underground parking. 19 parking spaces have been identified as containing deficiencies.

In support of the requested variances the Owner has submitted Review of Compact Parking for Bluewater Phase 1, prepared by WSP, dated January 4, 2023, which analyzes the viability of the 19 parking spaces that do not comply with the requirements of the By-laws. Transportation Division of the Development Engineering Department has reviewed the study and are generally satisfied with demarcating the 19 spaces as

“Compact Spaces” which is consistent with the dimensions of Compact Motor Vehicle Parking Spaces in By-law 001-2021 (Section 6.3.4).

Development Planning has no objection to the Variances, as the change to the 19 parking spaces does not reduce the number of required parking spaces on-site. As the dimensions of the 19 spaces are less than what is typically required, Development Planning and Transportation Engineering require all future residents utilizing the spaces be informed and acknowledge through their purchase agreement that the space is a compact vehicle parking space. The compact parking space constrains the size of vehicle to be parked within it and the vehicle length cannot exceed the length of the parking space. A condition to this effect is recommended.

The Development Planning Department has reviewed the application and is of the opinion that it is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition.

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. The Owner shall enter into a Condominium Agreement with the City of Vaughan and the agreement shall require the following warning clause be included in all offers of purchase and sale:

“Purchasers and/or tenants are hereby advised that the following parking space units are to be solely used as Compact Motor Vehicle Parking Spaces:

- a. parking units 117, 118 and 119 on Level A, parking units 127, 128 and 129 on Level B, and parking units 128, 129 and 130 on Level C, which provide a minimum parking space length of 5.58 m; and
- b. parking unit 82 on Level A, parking units 17, 38, 43 and 47 on Level B, and parking units 19, 45, 50, 97 and 122 on Level C, which provide a minimum parking space width of 2.63 m.

Purchasers and and/or tenants acknowledge and agree that any vehicle parked within the Compact Motor Vehicle Parking Space(s) shall be fully contained within the dimensions of the space.”

Comments Prepared by:

Roberto Simbana, Planner I
David Harding, Senior Planner

From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A005/23 (10 & 20 Gatineau Drive) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, February 2, 2023 4:34:51 PM
Attachments: [image002.png](#)
[image004.png](#)
[image005.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant	Cityzen		01/04/2023	Application Cover Letter



January 4, 2023

Attn: Christine Vigneault Manager, Development Services & Secretary Treasurer to the Committee of Adjustment
Vaughan City Hall, Level 100
2141 Major Mackenzie Dr.
Vaughan, ON L6A 1T1

Dear Sirs/Mesdames;

Re: 10 & 20 Gatineau Drive – Parking stall size variance

The Subject Lands are municipally known as 10 and 20 Gatineau Drive and are located on the north side of Gatineau Drive, east of New Westminster Drive.

D’Or Developments Inc. is proposing to create a condominium tenure for two residential apartment buildings with heights of 17 and 20-storeys connected by a 2-storey podium containing 394 residential units and 3 levels of underground parking. The buildings are constructed and nearly complete, with first residential occupancies planned for late February 2023. Through the review of the condominium application, City of Vaughan zoning staff have identified certain minor zoning discrepancies with some of the underground parking spaces that are required to be addressed to obtain condominium approval. The required variances, the related planning opinion and background information are outlined below.

Background:

Blue Water Ranch Developments Inc. submitted related Zoning By-law Amendment and Site Development Files Z.08.032 and DA.13.014 to the City of Vaughan on June 19, 2008 and March 8, 2013, respectively.

On November 6, 2012, the Zoning By-law Amendment Application was heard by the Committee of the Whole (Public Meeting). On November 20, 2013, pursuant to Section 34(11) of the Planning Act, the owner appealed Zoning By-law Amendment File Z.08.032 to the Ontario Municipal Board (‘OMB’). The related Site Development File DA.13.014 was also appealed to the OMB Both appeals were consolidated under File No. PL131327 to be heard together.

On September 9, 2014, Vaughan Council refused the Related Applications. On February 12, 2019, the Local Planning Appeal Tribunal (‘LPAT’) (formerly the OMB, now the OLT), issued a final order approving site-specific amendments to the Zoning By-law. On June 2, 2020, the LPAT issued its final order on the Site Development Application. The approvals facilitated the development of a 17-storey and a 20-storey residential apartment building (394 units). The Site Plan Agreement related to Site Development File DA.13.014 was registered on title on July 16, 2019. The Draft Plan of Condominium is consistent with the approved site plan.

Requested Variances - Parking Stall Sizes

The City of Vaughan by-law requires a minimum parking stall width of 2.70 metres and minimum length of 6 metres and there is a site-specific zoning by-law for the site that permits a minimum parking stall length of 5.7 metres (Exception 1068), whereas the constructed underground garage includes nineteen (19) parking spaces with reduced stall widths and lengths as follows:



Level A

1. Unit 82 – 2.67 m x 5.7 m (width)
2. Unit 117 – 3.37 m x 5.57 m (length)
3. Unit 118 – 2.70 m x 5.58 m (length)
4. Unit 119 – 3.72m x 5.58 m (length)

Level B

5. Unit 17 – 2.65 m x 5.70 m (width)
6. Unit 38 – 2.68 m x 5.70 m (width)
7. Unit 43 – 2.67 m x 5.72 m (width)
8. Unit 47 – 2.68 m x 5.72 m (width)
9. Unit 127 – 3.37 m x 5.60 m (length)
10. Unit 128 – 2.71 m x 5.60 m (length)
11. Unit 129 – 2.70 m x 5.60 m (length)

Level C

12. Unit 19 – 2.68 m x 5.70 m (width)
13. Unit 45 – 2.66 m x 5.72 m (width)
14. Unit 50 – 2.63 m x 5.72 m (width)
15. Unit 97 – 2.68 m x 5.85 m (width)
16. Unit 122 – 2.67 m x 5.73 m (width)
17. Unit 128 – 3.36 m x 5.60 m (length)
18. Unit 129 – 2.70 m x 5.60 m (length)
19. Unit 130 – 2.70 m x 5.60 m (length)

Requested variances to By-law 1-88

The following two variances to By-law 1-88 are requested:

1 - To permit a minimum parking stall length of 5.58 m for the following parking spaces (to be demarcated as “compact spaces”):

1. Level A Unit 117 – 3.37 m x 5.57 m (length)
2. Level A Unit 118 – 2.70 m x 5.58 m (length)
3. Level A Unit 119 – 3.72m x 5.58 m (length)
4. Level B Unit 127 – 3.37 m x 5.60 m (length)
5. Level B Unit 128 – 2.71 m x 5.60 m (length)
6. Level B Unit 129 – 2.70 m x 5.60 m (length)
7. Level C Unit 128 – 3.36 m x 5.60 m (length)
8. Level C Unit 129 – 2.70 m x 5.60 m (length)
9. Level C Unit 130 – 2.70 m x 5.60 m (length)

2 - To permit a minimum parking stall width of 2.63 for the following parking spaces (to be demarcated as “compact spaces”):

10. Level A Unit 82 – 2.67 m x 5.7 m (width)
11. Level B Unit 17 – 2.65 m x 5.70 m (width)
12. Level B Unit 38 – 2.68 m x 5.70 m (width)



13. Level B Unit 43 – 2.67 m x 5.72 m (width)
14. Level B Unit 47 – 2.68 m x 5.72 m (width)
15. Level C Unit 19 – 2.68 m x 5.70 m (width)
16. Level C Unit 45 – 2.66 m x 5.72 m (width)
17. Level C Unit 50 – 2.63 m x 5.72 m (width)
18. Level C Unit 97 – 2.68 m x 5.85 m (width)
19. Level C Unit 122 – 2.67 m x 5.73 m (width)

Planning Rationale

While Section 4.1 of the Official Plan promotes an urban form that reduces travel by private automobile, it does not contain policies that specifically deal with parking stall sizes. The residential condominium building, as constructed, contains a surplus of residential parking spaces, 30 spaces more than what is required by the Zoning By-law. The variances pertain to the size of the 19 parking stalls, which are a matter of centimeters smaller than what is required.

The intent of the parking stall dimensions is to provide sufficient room for a vehicle to safely enter and exit a space and allow for drivers and passengers to enter and exit their vehicle. A detailed study undertaken by a transportation engineer (WSP) has concluded that the minor discrepancies are appropriately safe and functional. Specifically, none of the very minor reductions in width or length will interrupt the ability for a door to open or close, or for a passenger vehicle to safely enter or exit a stall and they can continue to be functional for use as compact parking spaces.

It is my opinion that the requested variances are minor, with the width variances being between 2 and 7 centimeters less than the requirement (minimum 2.63 m), and the length variances between 8 and 12 centimeters (minimum 5.58 m). These dimensions are imperceptible and inconsequential as they relate to the safe use and function of the parking garage as intended. It is my opinion that the variances are appropriate and represents good planning.

Consideration of whether a variance to By-law 001-2021 is required

Out of an abundance of caution it was considered whether a variance to By-law 001-2021 would be required in any event, as the By-law 001-2021 will apply to the site after the transition provisions sunset.

Under By-law 001-2022, the Site is Zoned RM2-1068. Exception 1068 provides the site-specific permissions per the OMB decision. Section 14.1068 can be found here: https://www.vaughan.ca/services/business/zoning_by_law_and_opas/188/By-law%20001-2021/Zone%20Exceptions%2014.1051%20-%2014.1100%20%2810_4_22%29.pdf

Note that Section 14.1068 does NOT pick up the reduced parking stall size from the OMB-approved By-law. This is because the standard achieved on a site-specific basis (5.7 m length) has become the new City-wide standard in Section 6.3.1 of By-law 001-2021 (5.7 m x 2.7 m for 90-degree angle parking spaces). If a variance from the new City-wide standards was needed, we would be seeking a variance to Section 6.3.1 rather than to Section 14.1068.

That said, By-law 001-2021 allows for up to 10% of required parking spaces to be “compact spaces” with minimum dimensions of 4.8 m x 2.4 m per Section 6.3.4 – if the spaces are demarcated as such (see Section 6.3.4.2.2). The



owner is proposing to label the parking spaces as “compact spaces,” which would not require. Variance to By-law 001-2021, even after the sunset on the OMB-approved Zoning By-law.

Conclusion and Recommendation

Based on the foregoing, it is my opinion that requested variances meet the four tests of Section 45(1) of the Planning Act. The variances maintain the intent and purpose of the City of Vaughan Official Plan and Zoning By-law, are desirable for the appropriate development of the land and are minor. It is my opinion that the variances are technical in nature, create no adverse impacts and represent good planning.

Yours very truly,

A handwritten signature in black ink, appearing to read "Kristine Zwicker".

Kristine Zwicker, RPP

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
B037/17	12/07/2017	Approved; COA

NOTICE OF DECISION
Consent Application B037/17
 Section 53 of the Planning Act, R.S.O, 1990, c.P.13

- Date of Hearing:** Thursday, December 7, 2017
- Applicant:** Blue Water Ranch Developments Inc.
- Agent:** Christopher J. Tanzola - Overland LLP
- Property:** **New Westminster Drive, Thornhill**
- Zoning:** The subject lands are zoned RA5, High Density Residential -Town Centre Zone and subject to the provisions of Exception 9(1443) under By-law 1-88 as amended.
- OP Designation:** Thornhill Community Plan (OPA 210): "High Density Residential".
- Related Files:** None.
- Purpose:** Consent is being requested to sever a parcel of land for residential purposes approximately 74.6 metres by irregular, approximately 6,965.5 square metres (74,976 square feet) with frontage onto New Westminster Road. The retained parcel is approximately 10,116.3 square metres (108,890 square feet) and has frontage onto New Westminster Road.
- Both the subject and retained lands are currently vacant. A condominium building is being proposed on the subject land.
- Sketch:** A sketch illustrating the request has been attached to the decision.

Having regard to the written and oral submissions related to this application as required by Section 53(18), the requirements of Section 51(24) as required by Section 53(12) and matters of Provincial interest (Provincial Policy Statement) as required by Section 3(1) of the Planning Act, R.S.O. 1990, c. P. 13, as amended, it is the decision of the Committee that provisional consent of the application:

THAT Application No. B037/17 on behalf of Blue Water Ranch Developments Inc. be **APPROVED**, in accordance with the sketches attached and subject to the following conditions:

	Department/Agency	Condition
1	Committee of Adjustment Christine Vigneault 905-832-8585 x 8332 christine.vigneault@vaughan.ca	<ol style="list-style-type: none"> 1. That the applicant's solicitor provides the secretary-treasurer with a copy of the prepared draft transfer document to confirm the legal description and PIN of the subject lands. Subject land applies only to the severed parcel, leased land, easement etc. as conditionally approved by the Committee of Adjustment. 2. That the applicant provides two (2) full size copies of the deposited plan of reference of the entire land which conforms substantially with the application as submitted. 3. Payment of the Certificate Fee as provided on the City of Vaughan's Committee of Adjustment Fee Schedule.

2	<p>Real Estate Franca Mazzanti</p> <p>905-832-8585 x 8474 franca.mazzanti@vaughan.ca</p>	<p>The applicant shall provide the City with an appraisal report and valuation of the subject land (land only) to be prepared by an accredited appraiser. Payment of a Parkland levy to the City in lieu of the deeding of land for park purposes shall be made if a new lot is being created. Said levy is to be 5% of the appraised market value of the subject land as of the date of the Committee of Adjustment giving notice to the Applicant of the herein decision. Said levy shall be approved by the Senior Manager of Real Estate. Payment shall be made by certified cheque only.</p>
3	<p>Development Engineering Steve Lysecki</p> <p>905-832-8585 x 8731 steve.lysecki@vaughan.ca</p>	<p>The Development Agreement shall be executed by the Development Engineering Department.</p>
4	<p>Development Finance Nelson Pereira</p> <p>905-832-8585 x 8393 nelson.pereira@vaughan.ca</p>	<ol style="list-style-type: none"> 1. The owner shall pay of a Tree Fee, approved by Council as of the date of granting the consent. Payment is to be made by certified cheque, to the satisfaction of the City of Vaughan Financial Planning and Development Finance Department (contact Nelson Pereira to have this condition cleared). 2. The owner shall pay all property taxes as levied. Payment is to be made by certified cheque, to the satisfaction of the City of Vaughan Financial Planning and Development Finance Department (contact Nelson Pereira to have this condition cleared).

WARNING:

Conditions must be fulfilled within one year from the date of the giving of the Notice of Decision, failing which this application shall be deemed to be refused. *Section 53(41), The Planning Act R.S.O., 1990*


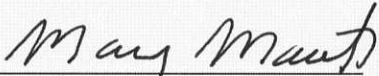
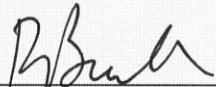

For the following reasons:

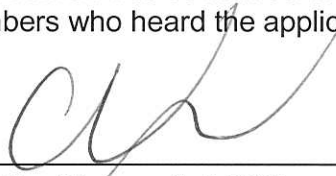
1. The proposal conforms to Section 51(24) as required by Section 53(12) of the Planning Act.
2. The proposal conforms to the City of Vaughan Official Plan.
3. The proposal conforms to the Provincial Policy Statements as required by Section 3(1) of the Planning Act.

Written & oral submissions were received from the following:

<p>Written Submissions</p> <p>* Public Correspondence received and considered by the Committee in making this decision</p>	<p>Oral Submissions</p> <p>*Please refer to the approved Minutes of Thursday , December 07, 2017 meeting for submission details.</p>

SIGNED BY ALL MEMBERS PRESENT WHO CONCUR IN THIS DECISION:

 H. Zheng Member	 M. Mauti Chair	 R. Buckler Member
 J. Cesario Member	ABSENT	
		A. Perrella Member

DATE OF HEARING:	December 07, 2017
DATE OF NOTICE:	December 15, 2017
LAST DAY FOR *APPEAL: *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	January 04, 2018 4:30 p.m.
LAST DAY FOR FULFILLING CONDITIONS:	December 15, 2018 4:30 p.m.
CERTIFICATION: I hereby certify that this is a true copy of the decision of the City of Vaughan Hill Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.  <hr/> Christine Vigneault, ACST Manager Development Services & Secretary-Treasurer Committee of Adjustment	

Appealing to The Ontario Municipal Board
The *Planning Act*, R.S.O. 1990, as amended, Section 45(12)

The applicant, the Minister or any other person or public body who has an interest in the matter may within **20 days after** the giving of notice appeal to the Municipal Board against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Municipal Board under the *Ontario Municipal Board Act* as payable on an appeal from a Committee of Adjustment to the Board.

Note: A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

Appeal Fees & Forms

Ontario Municipal Board: The OMB appeal fee is \$300 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The OMB Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Notice of appeal forms (Appellant Form A1 – Minor Variance) can be obtained at www.omb.gov.on.ca or by visiting our office.

City of Vaughan OMB Processing Fee: \$722.00 per application

*Please note that all fees are subject to change.

Important Information

Conditions of Approval: It is the applicant's responsibility to ensure that all conditions of approval have been fulfilled in accordance with the Committee's decision and the last day for fulfilling conditions (by 4:30 p.m.). Contact information has been provided for each respective department and agency to assist you with completing these conditions. Please note that some conditions may require two to three months to process.

No extension to the last day for fulfilling conditions is permissible and no further notice will be provided regarding the lapsing of your consent application.

Notice of Changes to the Provisional Consent: The Committee of Adjustment may change the conditions of a provisional consent at any time before the consent is given. You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have made a written request to be notified of changes to the conditions of the provisional consent.

Lapsing of the Consent: If the conditions of approval are not satisfied within the prescribed time period (as provided in Section 53(41) of the Planning Act), the consent is deemed refused for failure to fulfill the conditions and has lapsed.

Final Approval: Final approval of the application will be issued in the form of a Certificate (pursuant to Section 53(42) of the Planning Act) once **all** conditions of the provisional consent have been satisfied.

Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

For further information please contact the City of Vaughan, Committee of Adjustment

T 905 832 8585 x 8394
E CofA@vaughan.ca

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT

DATE MARCH 17, 2017

RECEIVED AND DEPOSITED DATE MARCH 20, 2017

U. H. AKHTAR
 REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF YORK REGION (No. 69)

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