

GENERAL NOTES

- 1 MAINTAIN ALL EXISTING TURNING RADIUS FOR EMERGENCY VEHICLES
- 2 PARKING SPACE SIZE MAY BE SUBJECT TO CHANGES PER NEW BY-LAW REQUIREMENTS
- 3 OTHER SITE REQUIREMENTS MAY BE SUBJECT TO CHANGE AT THE TIME OF MUNICIPAL APPROVALS
- 4 REFER TO CIVIL DRAWINGS FOR ALL UTILITIES WORK, AS WELL AS ANY CURB/GUTTER AND GRADING WORK
- 5 FOR NEW AND REMOVED TREES, REFER TO LANDSCAPE DRAWINGS

SCOPE SITE PLAN
AMENDMENT

#	Zoning By-law 001-2021	Variance requested
n/a		

#	Zoning By-law 1-88	Variance requested
2	A minimum 113 parking spaces is required.	To permit a minimum of 92 parking spaces.
3	A minimum accessible parking space length of 6.0m is required. [3.8]	To permit a minimum accessible parking space length of 5.7m.
4	A parking space length of 6.0m is required. [Definitions]	To permit a parking space length of 5.7m.

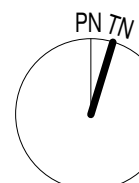
34	2023 01 13	Resubmitted for SPA	G
33	2022 12 06	Resubmitted for Committee of Adjustment	G
31	2022 10 28	Committee of Adjustment	G
30	2022 10 20	Site Plan Amendment Revision	G
29	2022 09 19	Issued for Review	G
28	2022 08 30	Site Plan Amendment Revised	
27	2022 03 09	Site Plan Amendment	
#	date:	revision:	by:



All drawing and specifications are the property of the architect. The contractor shall verify all dimensions on site and report any discrepancy to architect before proceeding.

KAYLA'S NATATORIUM

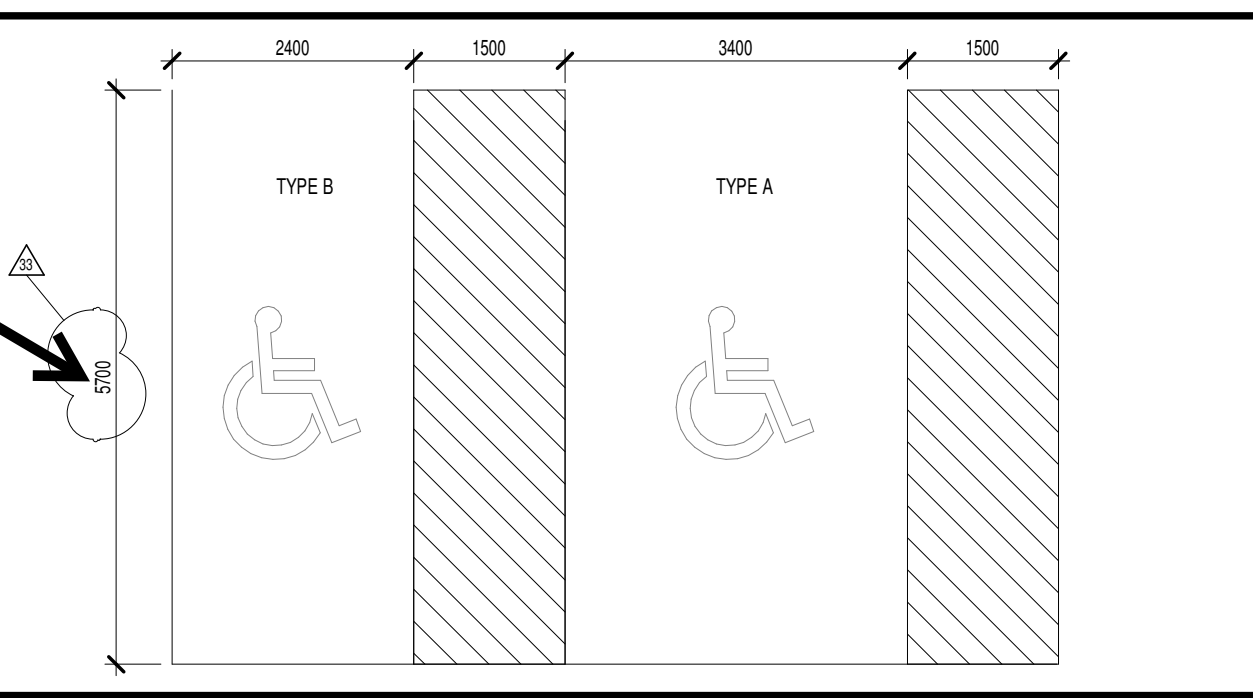
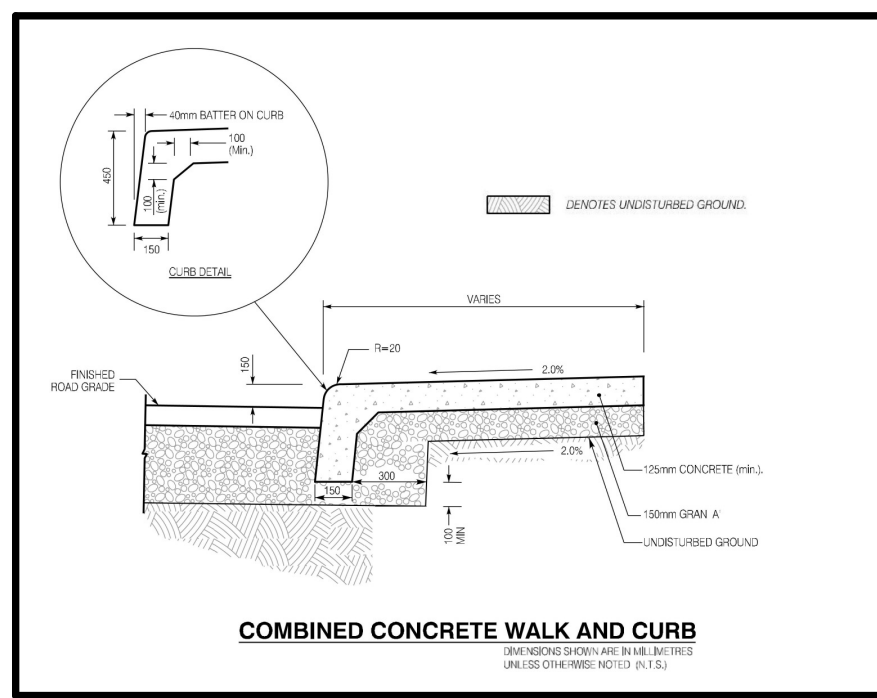
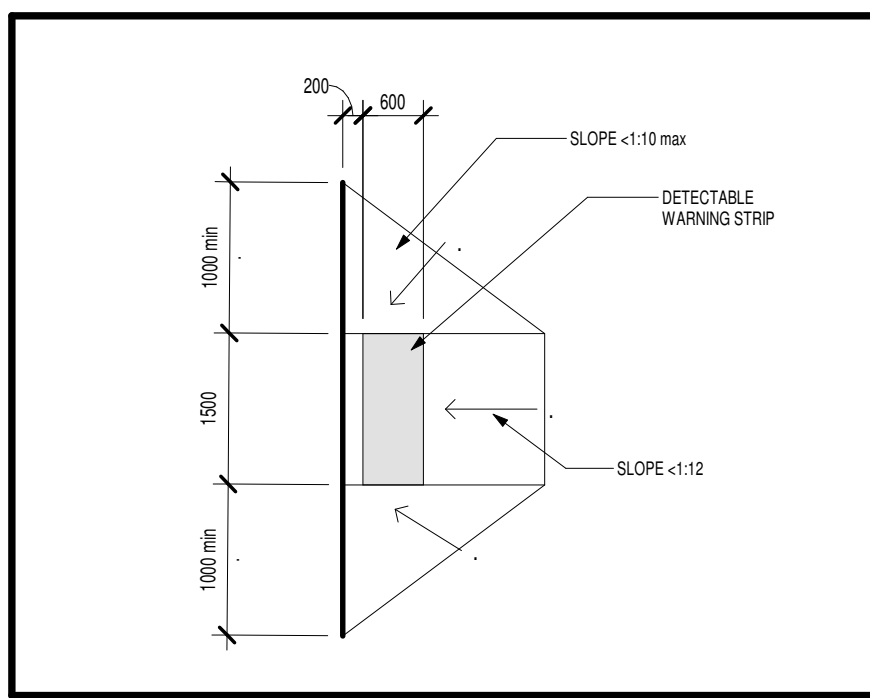
36 Atkinson Ave, Thornhill, ON L4J 8C9



SITE PLAN - PROPOSED PARKING LAYOUT

scale: As indicated
drawn by: XX
reviewed by: XX
job number: 18044
plot date: 12/6/2022 8:07:03 AM
drawing number:

A0.23-P

5.7m
#45.8m
#45.7m
#31 SITE PLAN - PROPOSED ADDITIONAL PARKING ASK
1 : 2505 Parking detail
1 : 754 COMBINED CURB AND WALK
NTS3 CURB CUT
1 : 75

SITE STATISTICS - EXISTING & PROPOSED

Property Address: 36 Atkinson Ave, Thornhill, ON L4J 8C9		Applicable Zoning By-Law: City of Vaughan By-Law 1-88		Existing Zoning: R6		Proposed Site Use: Education, Non-Residential	
COVERAGE		BUILDING AREA		SETBACKS		PARKING	
Lot Area: 12,070m ² [25,805SF]		Existing Ground Level Area: 1176.45m ² [25,805SF]		Front Yard Setback: 19M		Required	
Existing Site Coverage*: (79%) 2655m ² [56,010SF]		Existing First Level Area: 2694.02m ² [58,010SF]		Side Yard Setback (North): 19M		1.0 per employee	
Total Proposed Site Coverage: (20%) 2655m ² [56,010SF]		Existing Second Level Area: 2332.42m ² [50,190SF]		Side Yard Setback (South): 19M		4% barrier free	
		Total Existing Building Area (All Floors): 6220.81 m ² [13,417SF]		Rear Yard Setback: 19M		Existing	
		Existing First Floor Level (equal with exist. First): 51.33m ² [1,102SF]				67 existing spaces	
		Existing Second Floor Level (equal with exist. First): 51.33m ² [1,102SF]				1 existing Type A	
		Total Area: (8.1%) 618.33m ² [13,417SF]				Proposed (Additional)	
		Total Area: (8.1%) 618.33m ² [13,417SF]				28 proposed, deleted 1	
						2 proposed Type B + 2 proposed Type A	
						Total	
						Total spaces = 95	
						Total barrier free spaces = 4	
						BICYCLE PARKING	
						20 bicycle parking spaces (0.8M x 1.1M)	
						4 long-term bicycle parking spaces are required within the building	
						14 short-term bicycle parking spaces are required	
						8 existing, 6 additional proposed near the main entrance	

* Refer also to previous CGA File No. A18199

92
PARKING
SPACES
#2

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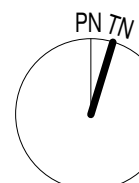
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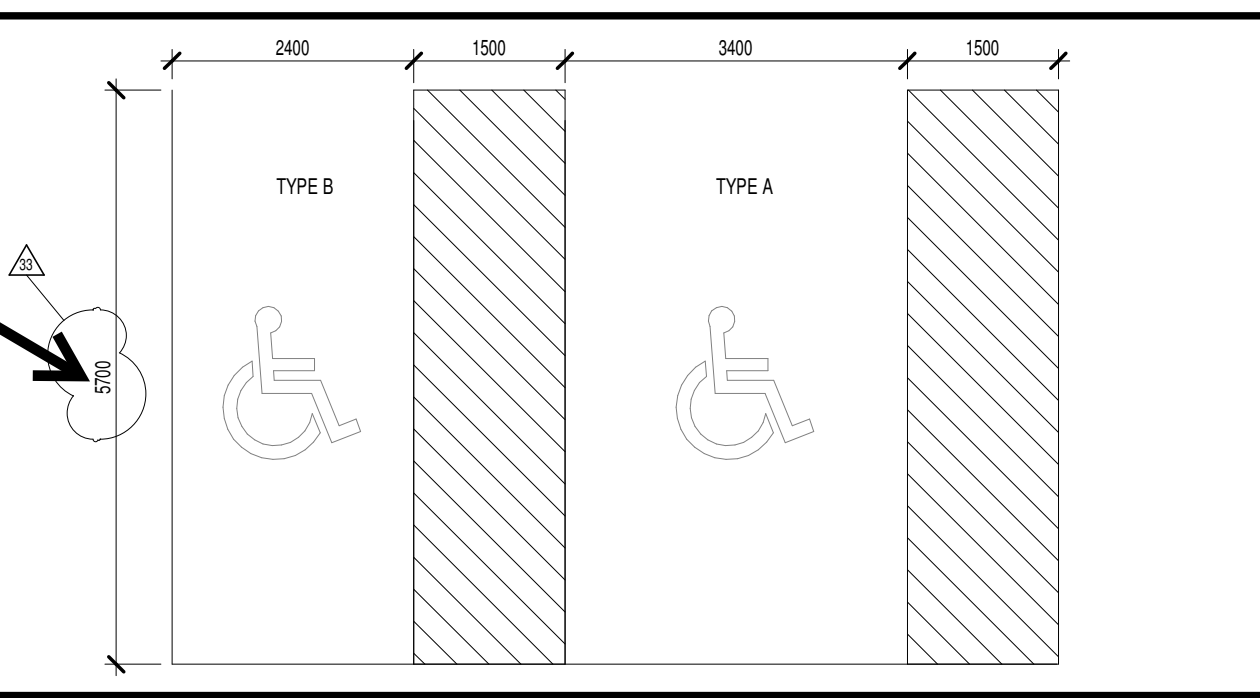
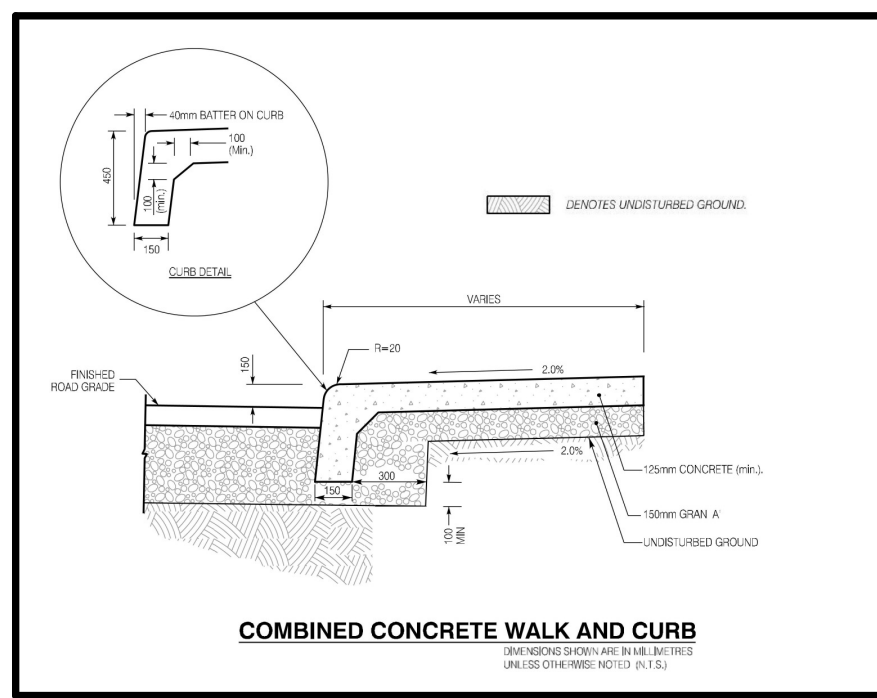
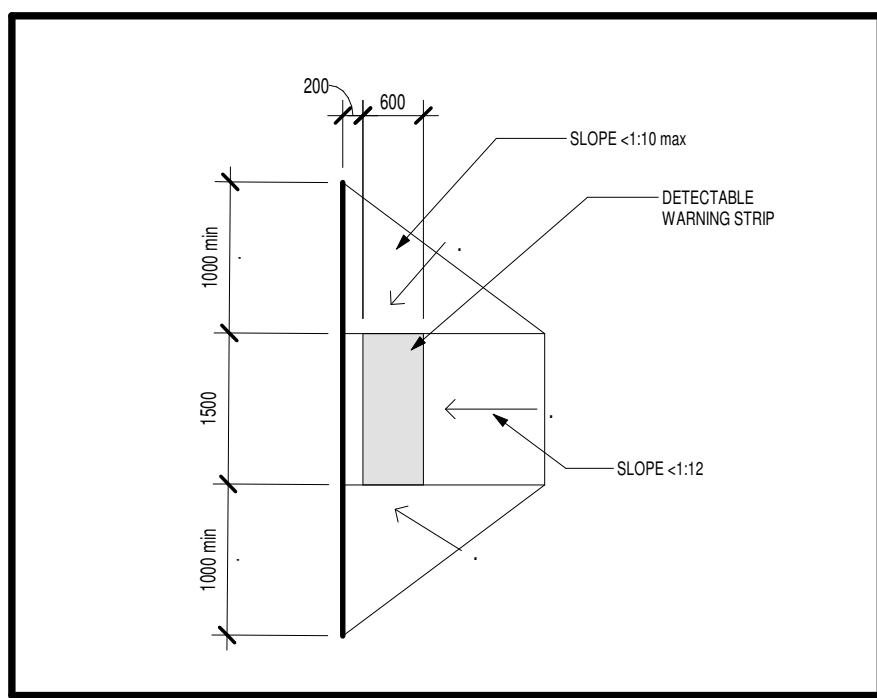
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SITE STATISTICS - EXISTING & PROPOSED

Property Address: 36 Atkinson Ave, Thornhill, ON L4J 8C9 | Applicable Zoning By-Law: City of Vaughan By-Law 1-88 | Existing Zoning: R1 | Proposed Site Use: Education, Non-Residential

COVERAGE	BUILDING AREA	SETBACKS	PERMITTED	EXISTING	PROPOSED	PARKING
Lot Area: 12,070m ² [25,805SF]	Existing Ground Level Area: 1176.45m ² [25,805SF]	Front Yard Setback:	19M	38.51M	---	Required
Existing Site Coverage*: (20%) 2455m ² [52,010SF]	Existing First Level Area: 2694.02m ² [58,010SF]	Side Yard Setback (North):	19M	15.96M	15.45M	1.0 per employee 75 employees = 75 spaces
Total Proposed Site Coverage: (20%) 2455m ² [52,010SF]	Existing Second Level Area: 2332.42m ² [50,190SF]	Side Yard Setback (South):	19M	21.58M	21.45M	4% barrier free 4 barrier free parking 2 Type A, 2 Type B
	Total Existing Building Area (All Floors): 6202.81 m ² [13,379SF]	Rear Yard Setback:	19M	21.43M	16.57M	Existing
	Existing Basement Floor level equal with exist. Ground: 51.33m ² [550SF]					67 existing spaces 1 existing Type A
	Existing Level 1 Floor level equal with exist. First: 568.29m ² [12,145SF]					Proposed (Additional)
	Total Area: (8.1%) 619.32m ² [13,379SF]					28 proposed, deleted 1 2 proposed Type B = 2 proposed Type A
Proposed Addition Height in Storeys: 1 story addition	Total Area: (8.1%) 619.32m ² [13,379SF]					Total
	Total: 6822.14m ² [14,695SF]					92 parking spaces = 92
						28 bicycle parking spaces 0.8M x 1.1M
						4 long-term bicycle parking spaces are required within the building
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