

ITEM #: 6.26	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A313/22 67 OBERFRICK AVE, MAPLE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A313/22
67 OBERFRICK AVE, MAPLE**

ITEM NUMBER: 6.26	CITY WARD #: 4
APPLICANT:	Xuda Zhang
AGENT:	Lhw Engineering Ltd.
PROPERTY:	67 Oberfrick Ave, Maple
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an existing deck.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.877 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	none	

The subject lands are zoned RD3 –Residential Detached Zone and subject to the provisions of Exception 9(1234) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	The maximum permitted encroachment for the basement deck is 1.8m into the required 7.5m rear yard setback.	To permit an encroachment for the existing basement deck of 2.64m into the required 7.5m rear yard setback.

HEARING INFORMATION

DATE OF MEETING: Thursday, January 26, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

INTRODUCTION	
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature. Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	January 12, 2023	
Date Applicant Confirmed Posting of Sign:	January 12, 2023	
Applicant Justification for Variances: *As provided by Applicant in Application Form	The relief will allow the subject property to provide a rain shelter to cover the walk-out deck below	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:	No	
*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.		
*A revised submission may be required to address staff / agency comments received as part of the application review process.		
*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.		
Adjournment Fees:		
In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.		
An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The property at 67 Oberfrick Ave was issued a grading permit in September of 2011. After review of this permit, Development Engineering believes the proposed deck will not interfere with any existing drainage swales in the rear yard. The Development Engineering Department does not object to the Minor Variance application A313/22.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
No comments received to date.	

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS		
PFH Recommended Conditions of Approval:	None	

DEVELOPMENT FINANCE COMMENTS		
No comments received to date.		
Development Finance Recommended Conditions of Approval:	None	

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS		
No comments received to date.		
BCLPS Recommended Conditions of Approval:	None	

BUILDING INSPECTION (SEPTIC) COMMENTS		
No comments received to date.		
Building Inspection Recommended Conditions of Approval:	None	

FIRE DEPARTMENT COMMENTS		
No comments received to date.		
Fire Department Recommended Conditions of Approval:	None	

SCHEDULES TO STAFF REPORT		
*See Schedule for list of correspondence		
Schedule A	Drawings & Plans Submitted with the Application	
Schedule B	Staff & Agency Comments	
Schedule C (if required)	Correspondence (Received from Public & Applicant)	
Schedule D (if required)	Previous COA Decisions on the Subject Land	

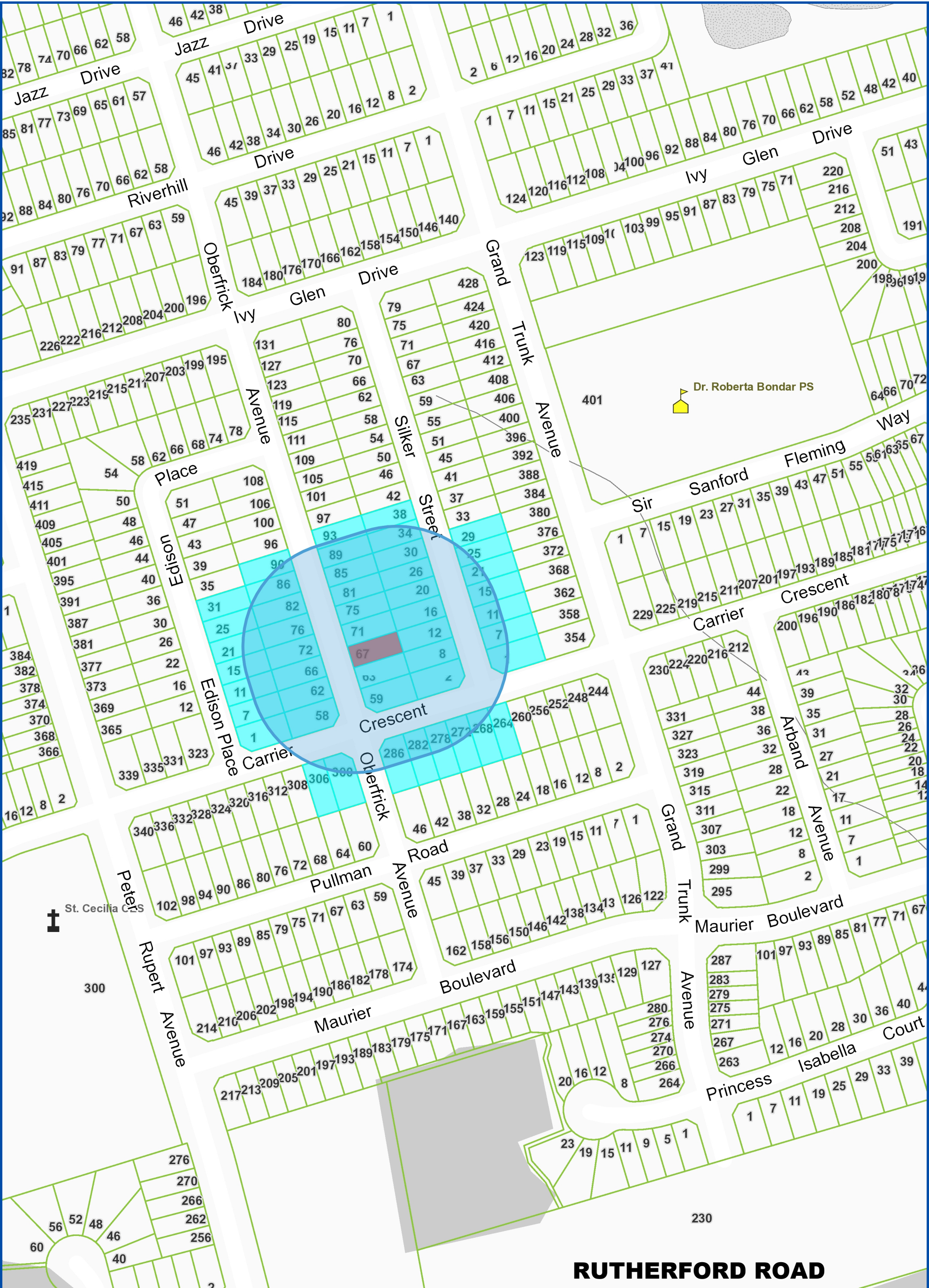
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
	None	

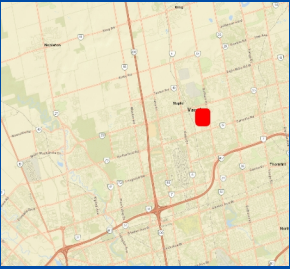
IMPORTANT INFORMATION – PLEASE READ		
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.		

IMPORTANT INFORMATION – PLEASE READ	
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>	

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

67 Oberfrick Avenue, Maple

NOTIFICATION MAP - A313/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 3,040

0 0.05 km



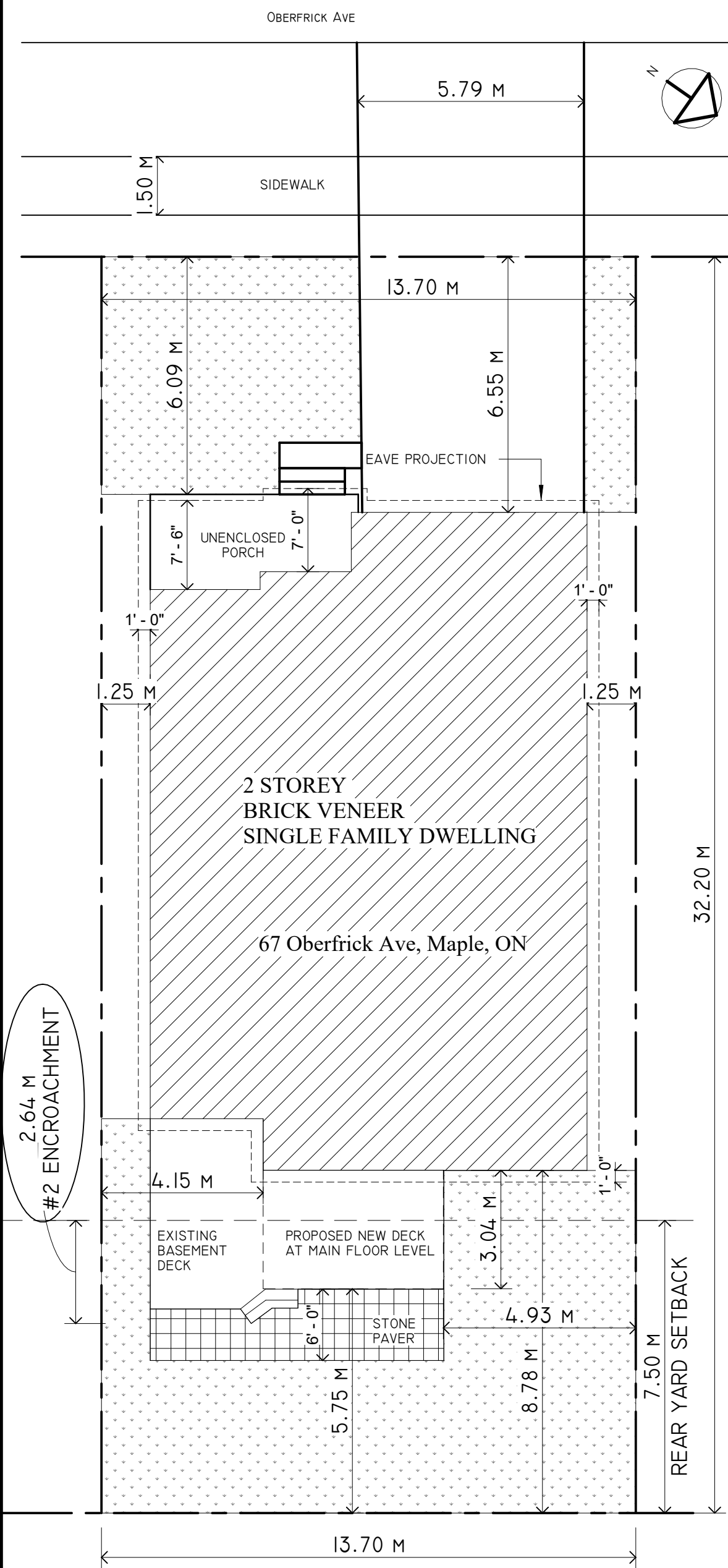
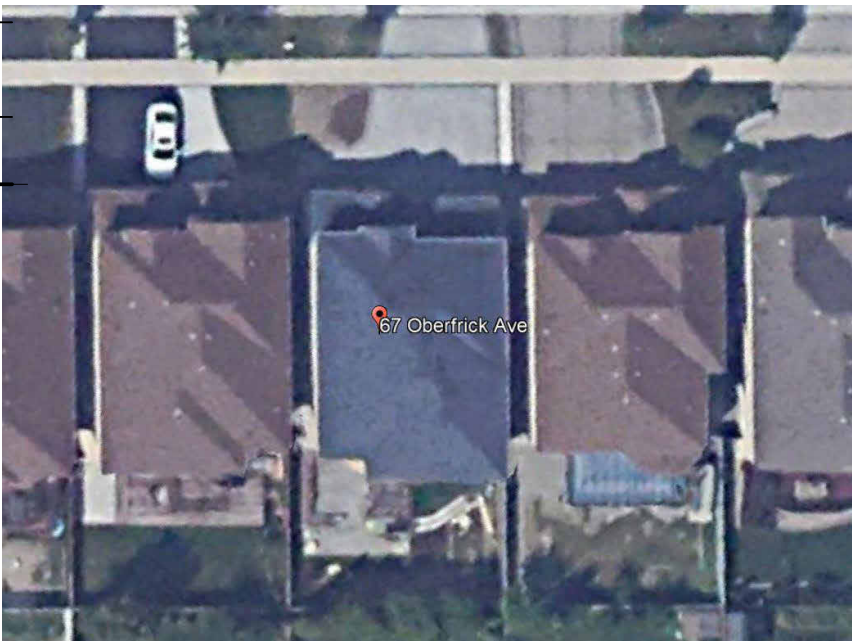
Created By:

Infrastructure Delivery
Department

December 12, 2022 12:44 PM

Projection:
NAD 83
UTM Zone
17N

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT



LOT FRONTAGE	13.7 M
LOT AREA	441 M ²
	REAR DECK
ZONE	R3(EN)
WIDTH	4.62M
DEPTH	3.05M
HEIGHT	3.00M
PROPOSED SETBACKS	
REAR	5.74M
LEFT	4.15M
RIGHT	4.93M
REQUIRED SETBACKS	
REAR	7.50M
LEFT	1.20M
RIGHT	1.20M
GROUND FLOOR AREA (PORCH+DECK+ DWELLING)	199.0M ²
	45%


Sheet List	
Sheet Number	Sheet Name

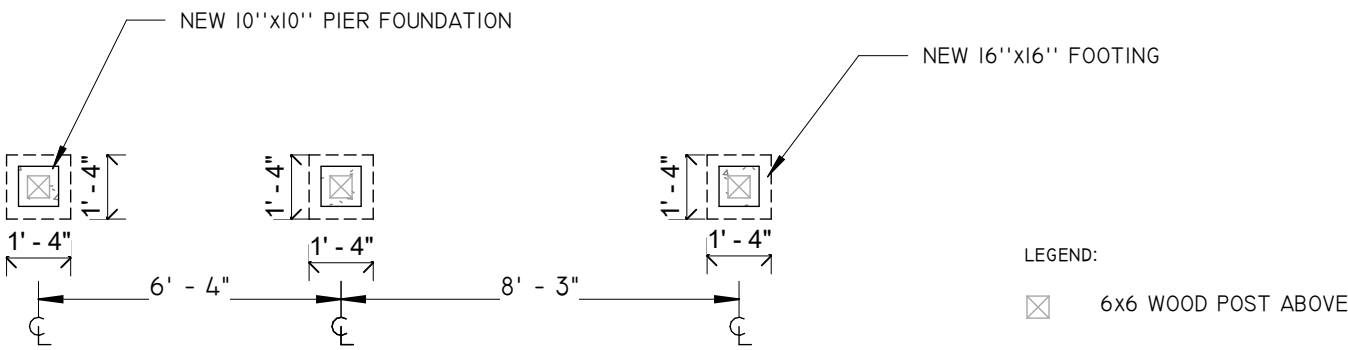
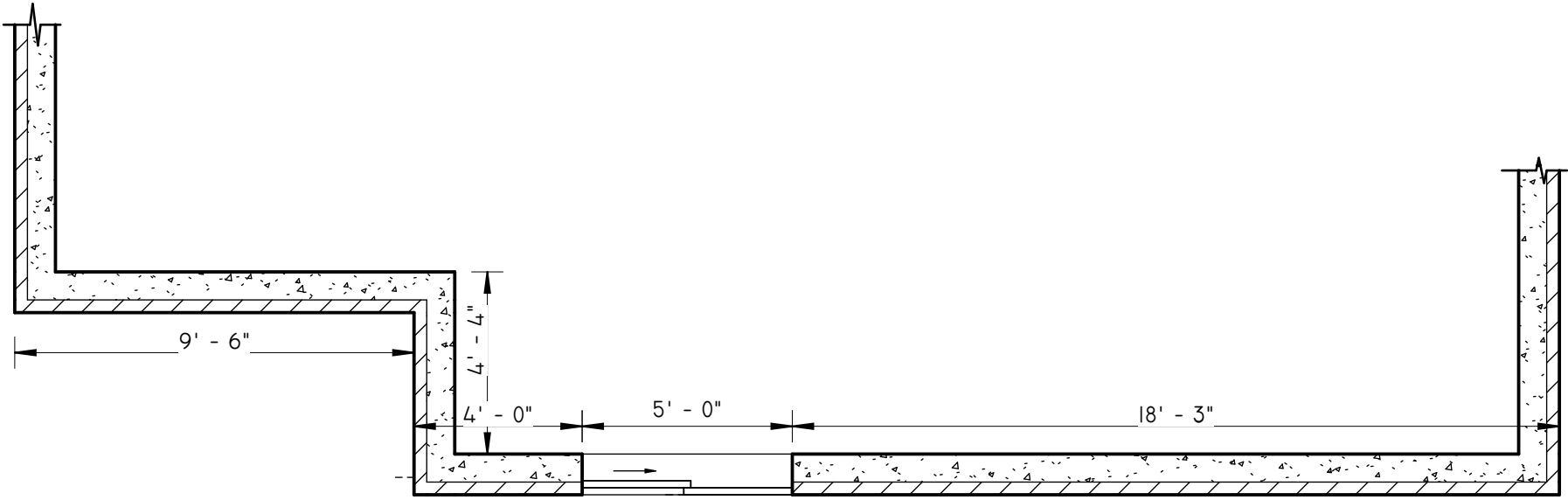
A0.1	SITE PLAN
A1.1	BASEMENT DECK PLAN
A1.2	PROPOSED FOUNDATION PLAN
A1.3	MAIN FLOOR PLAN
A2.1	REAR ELEVATION
A2.2	RIGHT ELEVATION
A2.4	LEFT ELEVATION
A3.1	SECTION VIEW
A3.3	DETAILS
A4.0	SURVEY

- THE SCOPE OF WORK
- 1.DEMOLISHED EXISTING DECK ON REAR MAIN FLOOR
 - 2.PROPOSED A NEW DECK ON REAR MAIN FLOOR
 3. PROPOSED A NEW PERGOLA ON THE NEW DECK


1 SITE PLAN
1" = 10'-0"

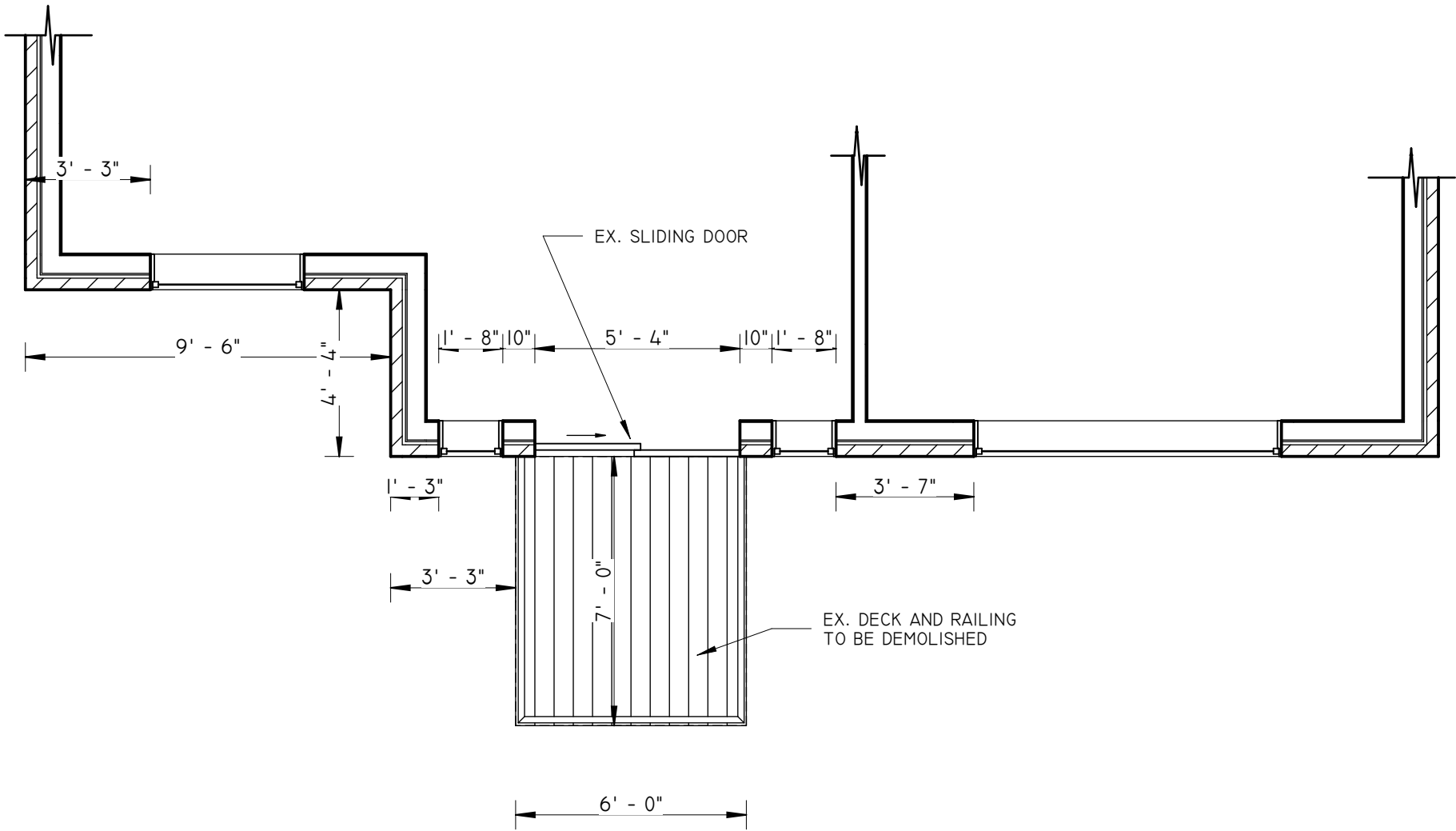


LHW ENGINEERING LTD. Unit 405, 2347 Kennedy Rd Toronto, ON M1T 3T8 T: 416-299-8837 LHW.ENGINEERING@GMAIL.COM 		No.	Description	Date	PROJECT TITLE	Date	Drawn By
						05/16/2022	AY
		2	REVISION ISSUED	2022/05/16	67 Oberfrick Ave, Maple, ON L6A 4T4	Scale	Checked By
						1/4" = 1'-0"	BW
					DRAWING TITLE BASEMENT DECK PLAN	Proj. No.	DWG. No.
						190715	A1.1

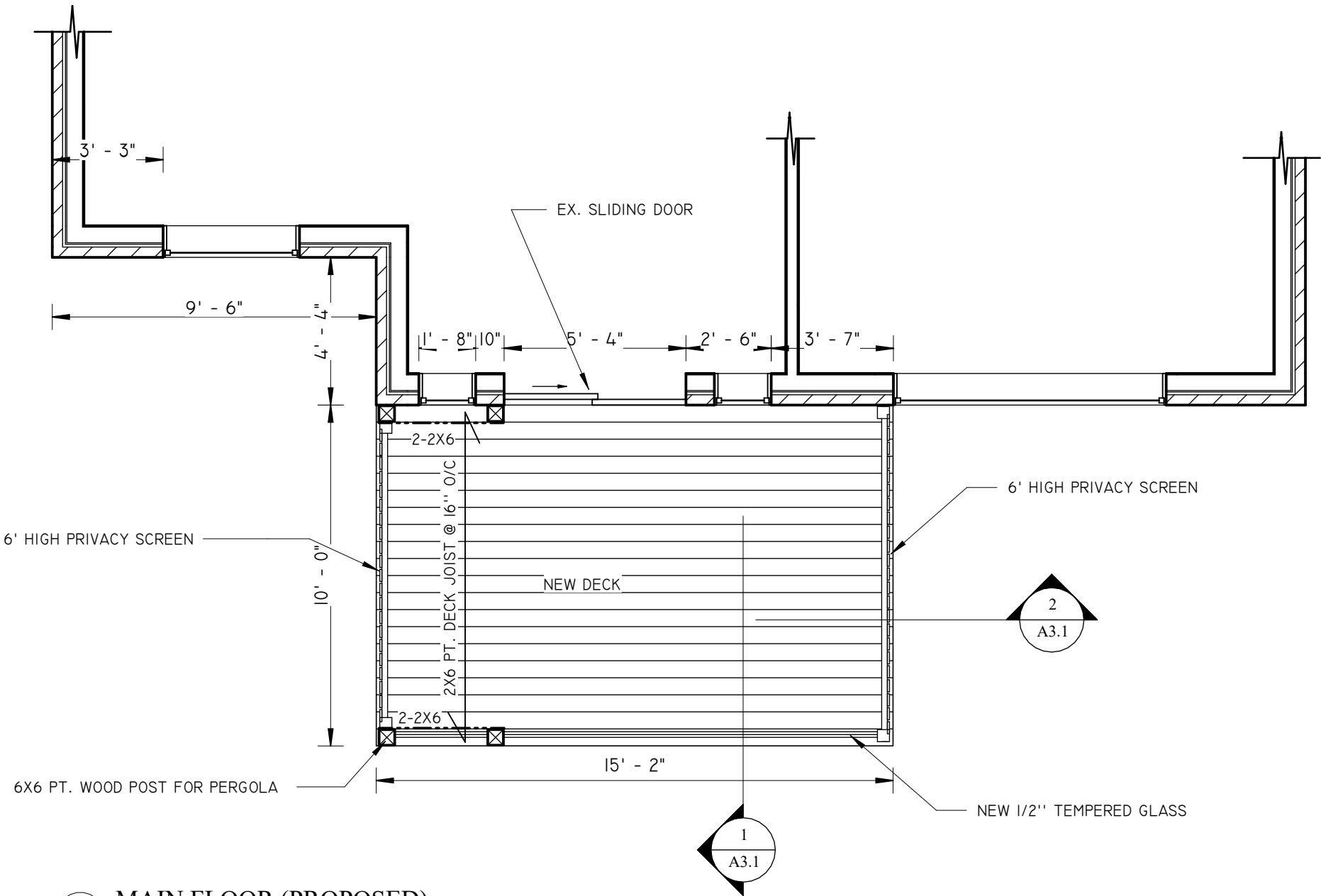


1 FOUNDATION PLAN (PROPOSED)
1/4" = 1'-0"

<div>LHW ENGINEERING LTD.</div> <div>Unit 405, 2347 Kennedy Rd Toronto, ON M1T 3T8 T: 416-299-8837 LHW.ENGINEERING@GMAIL.COM</div> <div></div>		No.	Description	Date	PROJECT TITLE	Date	Drawn By
					67 Oberfrick Ave, Maple, ON L6A 4T4	05/16/2022	AY
		2	REVISION ISSUED	2022/05/16		Scale	Checked By
						1/4" = 1'-0"	BW
					DRAWING TITLE	Proj. No.	DWG. No.
					PROPOSED FOUNDATION PLAN	190715	A1.2



1 MAIN FLOOR (EXISTING/DEMOLISHED)
1/4" = 1'-0"



2 MAIN FLOOR (PROPOSED)
1/4" = 1'-0"

LHW ENGINEERING LTD.

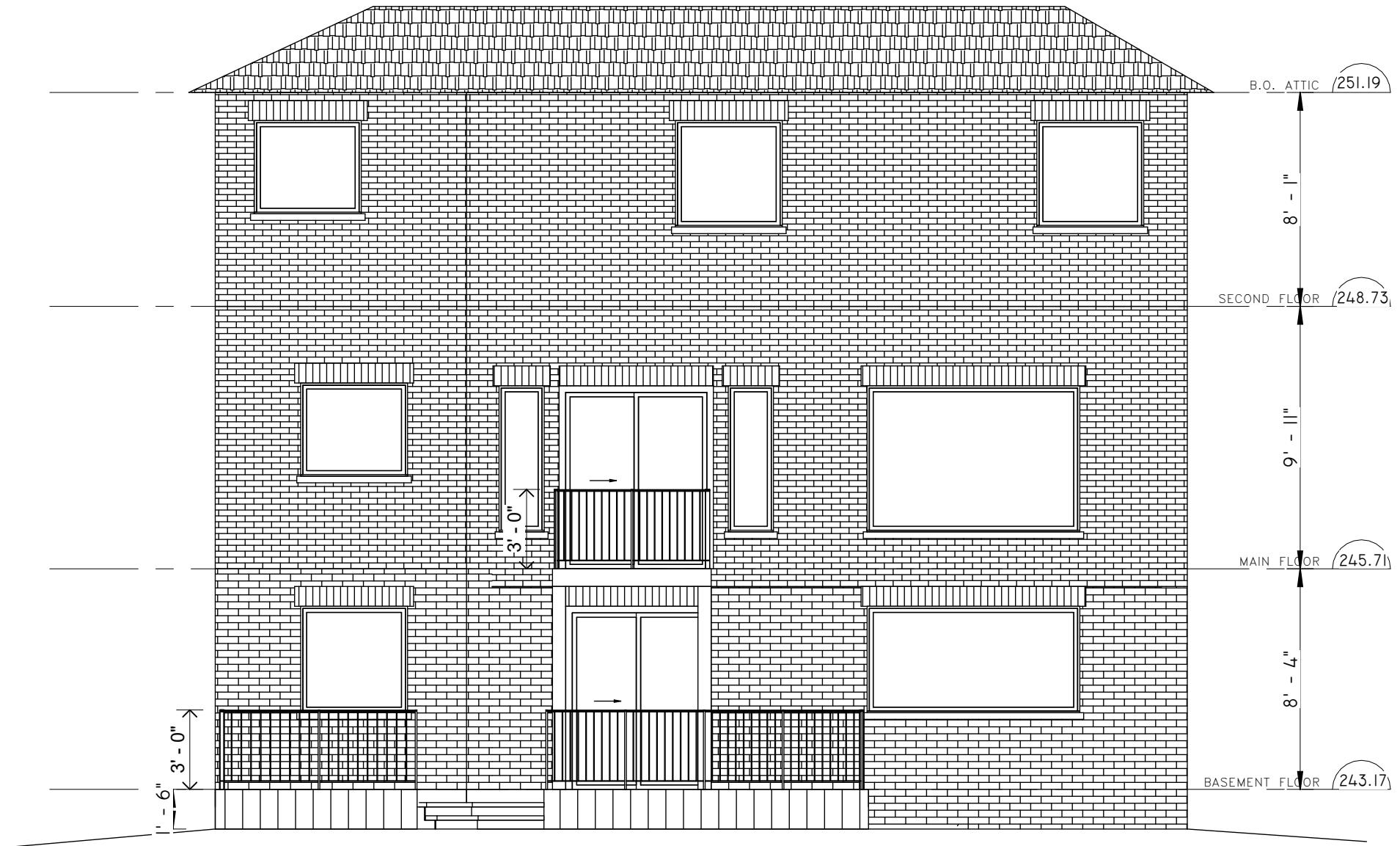
Unit 405, 2347 Kennedy Rd
Toronto, ON M1T 3T8
T: 416-299-8837
LHW.ENGINEERING@GMAIL.COM



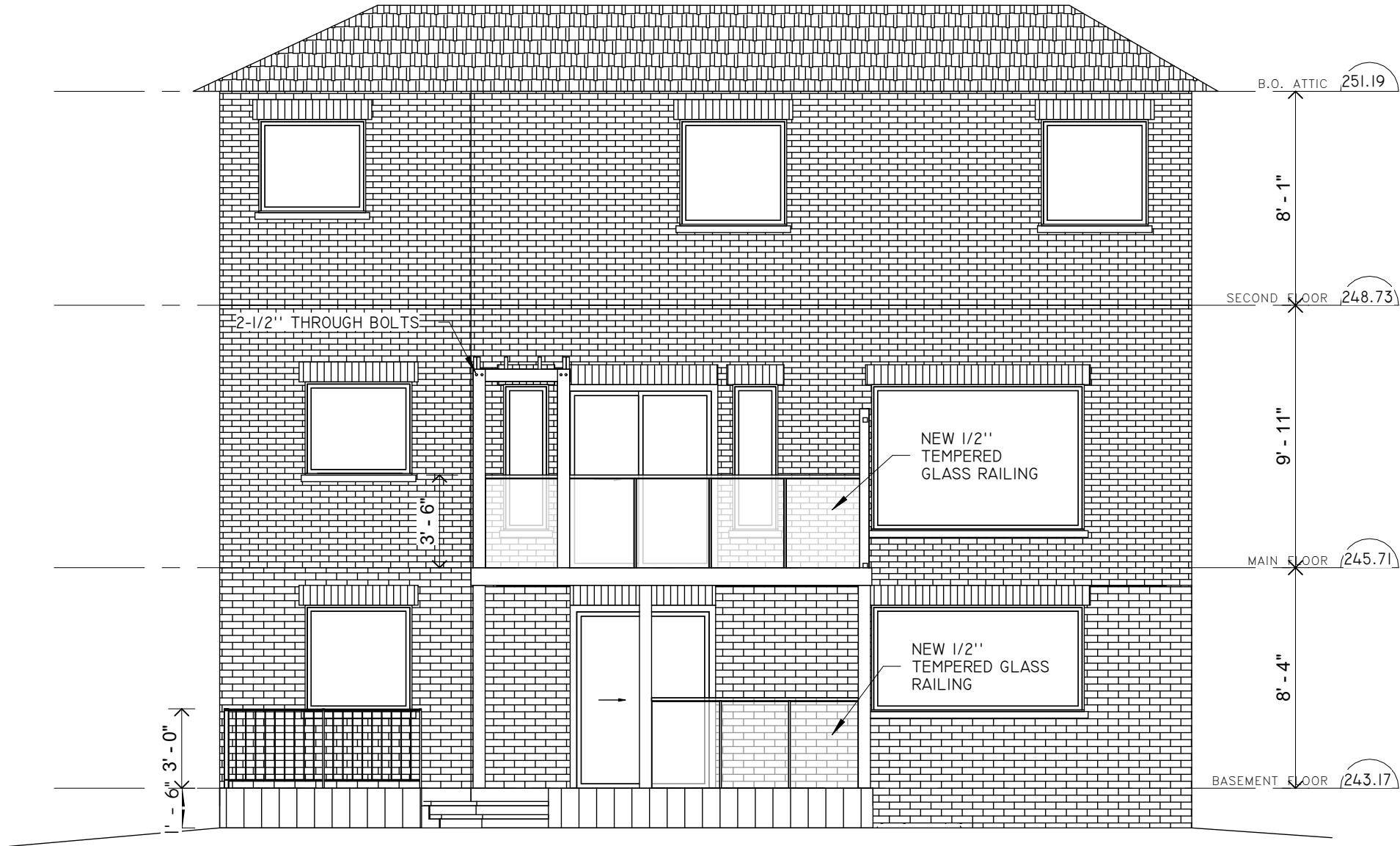
No.	Description	Date
2	REVISION ISSUED	2022/05/16

PROJECT TITLE
67 Oberfrick Ave, Maple, ON L6A 4T4
DRAWING TITLE
MAIN FLOOR PLAN


Date	Drawn By
05/16/2022	AY
Scale	Checked By
1/4" = 1'-0"	BW
Proj. No.	DWG. No.
190715	A1.3

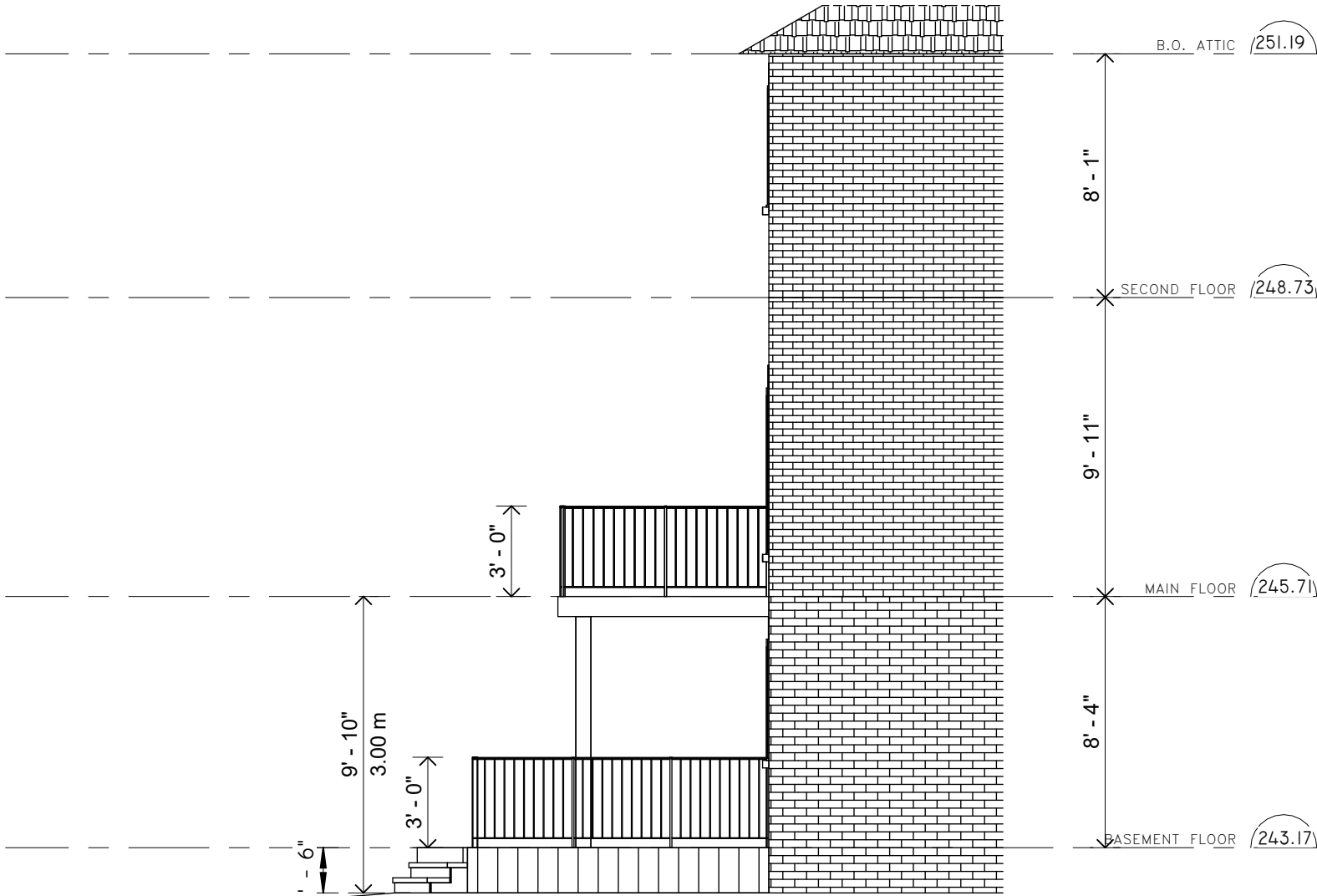


1 REAR ELEVATION (EXISTING)
3/16" = 1'-0"

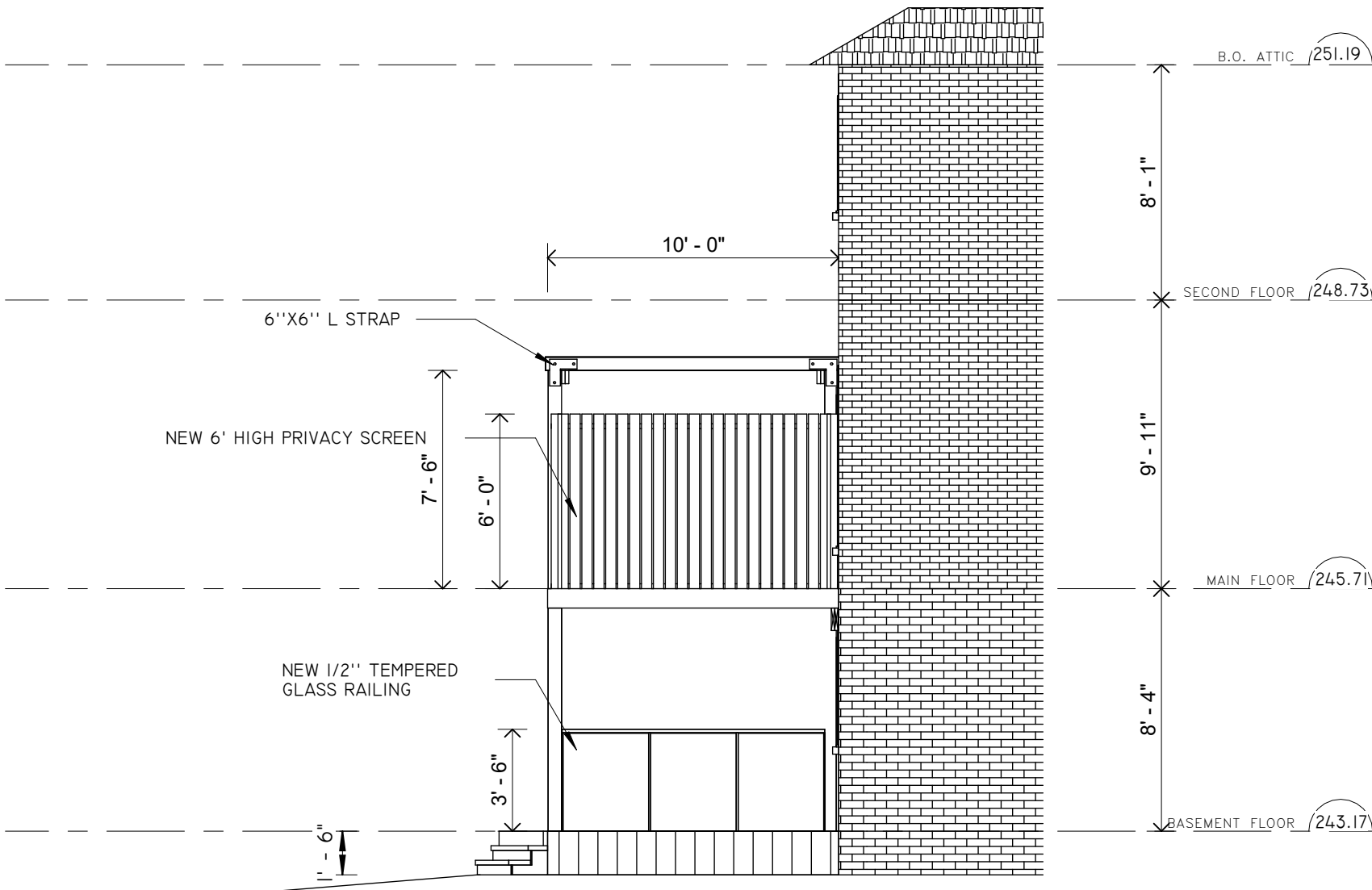


2 REAR ELEVATION (PROPOSED)
3/16" = 1'-0"


<div>LHW ENGINEERING LTD.</div> <div>Unit 405, 2347 Kennedy Rd Toronto, ON M1T 3T8 T: 416-299-8837 LHW.ENGINEERING@GMAIL.COM</div> <div></div>		No.	Description	Date	PROJECT TITLE	Date	Drawn By
						05/16/2022	AY
		2	REVISION ISSUED	2022/05/16	67 Oberfrick Ave, Maple, ON L6A 4T4	Scale	Checked By
						3/16" = 1'-0"	BW
					DRAWING TITLE REAR ELEVATION	Proj. No. 190715	DWG. No. A2.1

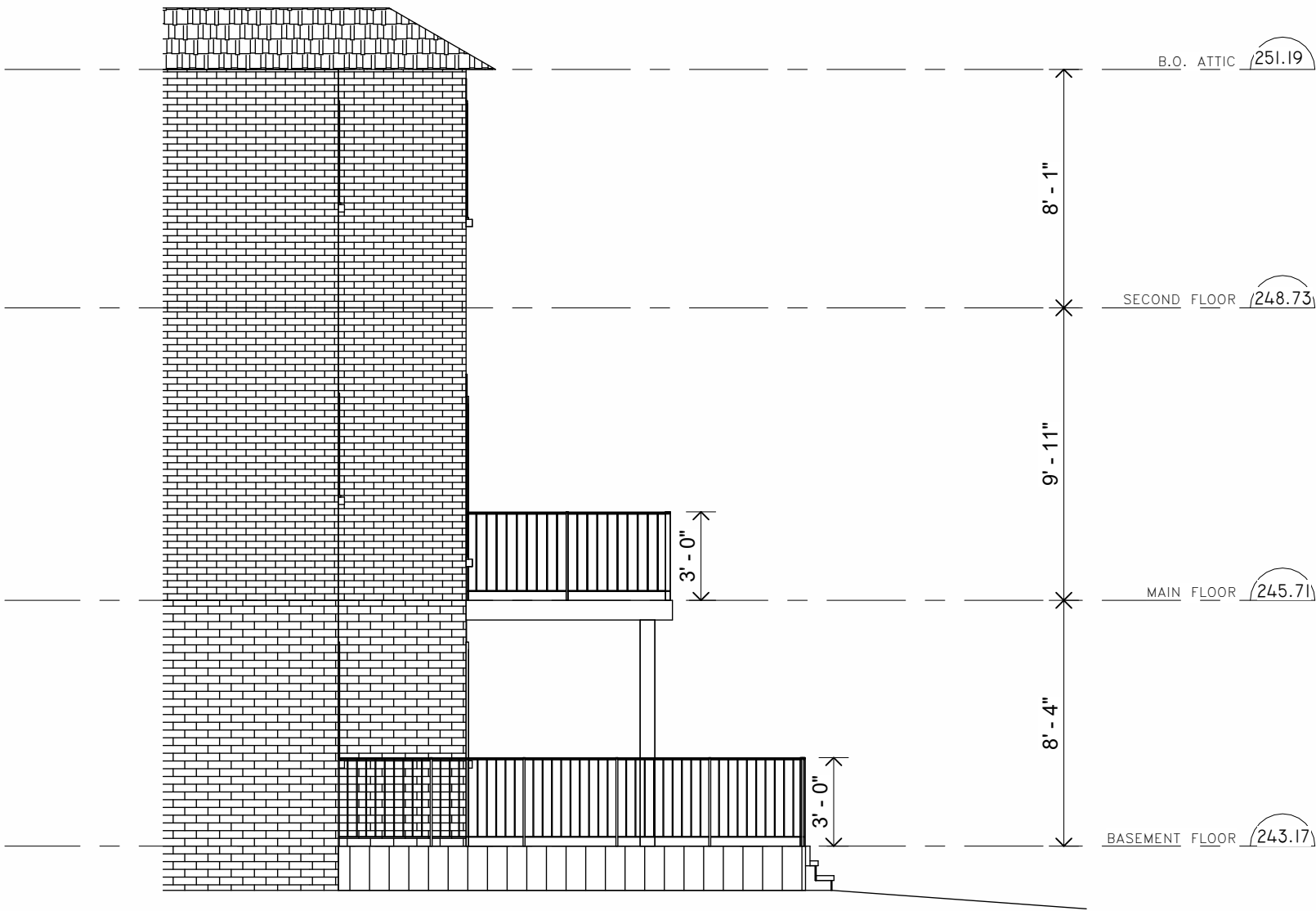


1 RIGHT ELEVATION (EXISTING)
3/16" = 1'-0"

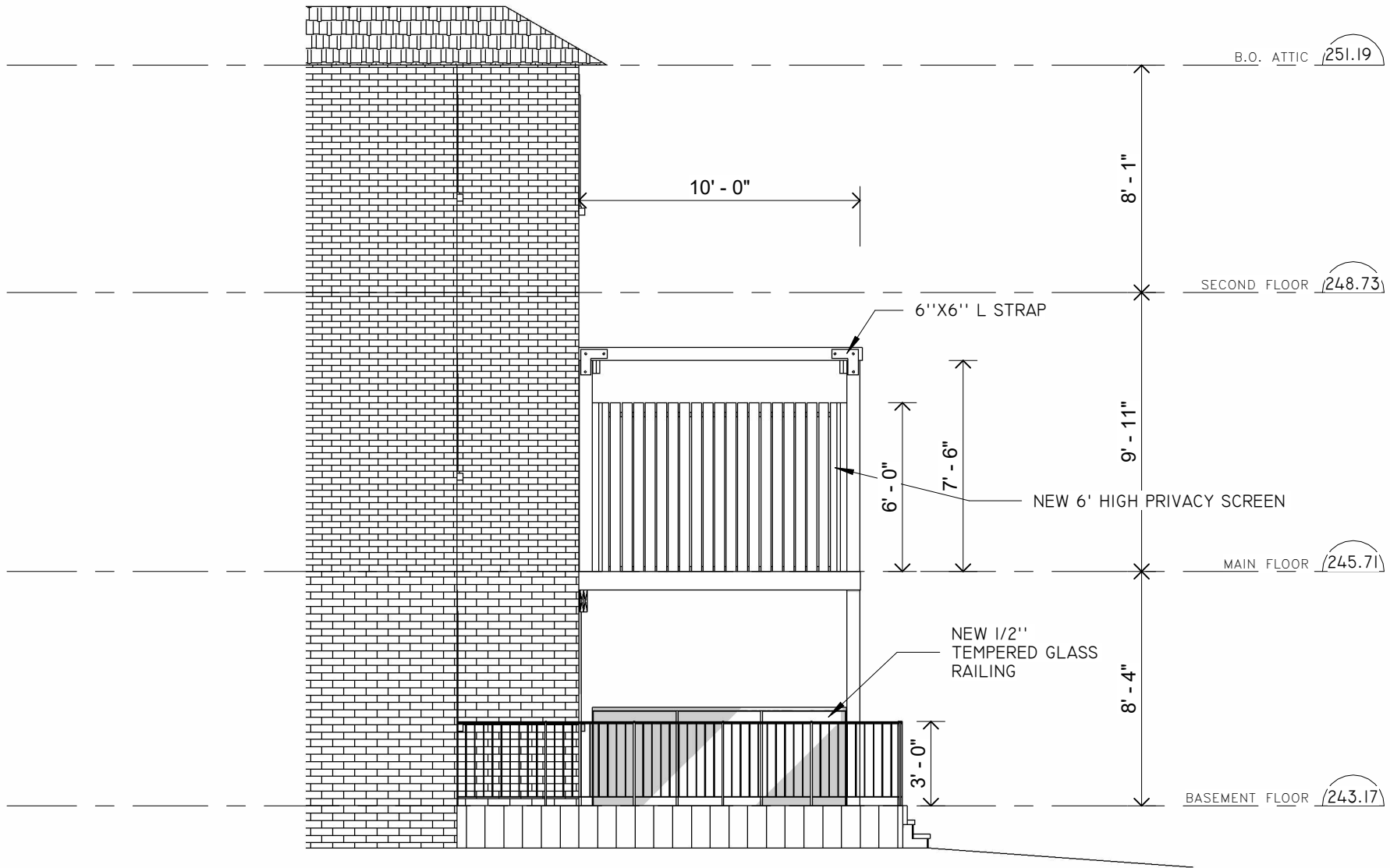


2 RIGHT ELEVATION (PROPOSED)
3/16" = 1'-0"


<div>LHW ENGINEERING LTD.</div> <div>Unit 405, 2347 Kennedy Rd Toronto, ON M1T 3T8 T: 416-299-8837 LHW.ENGINEERING@GMAIL.COM</div> <div></div>		No.	Description	Date	PROJECT TITLE	Date	Drawn By
					67 Oberfrick Ave, Maple, ON L6A 4T4	05/16/2022	AY
		2	REVISION ISSUED	2022/05/16		Scale	Checked By
						3/16" = 1'-0"	Checker
					DRAWING TITLE	Proj. No.	DWG. No.
					RIGHT ELEVATION	190715	A2.2

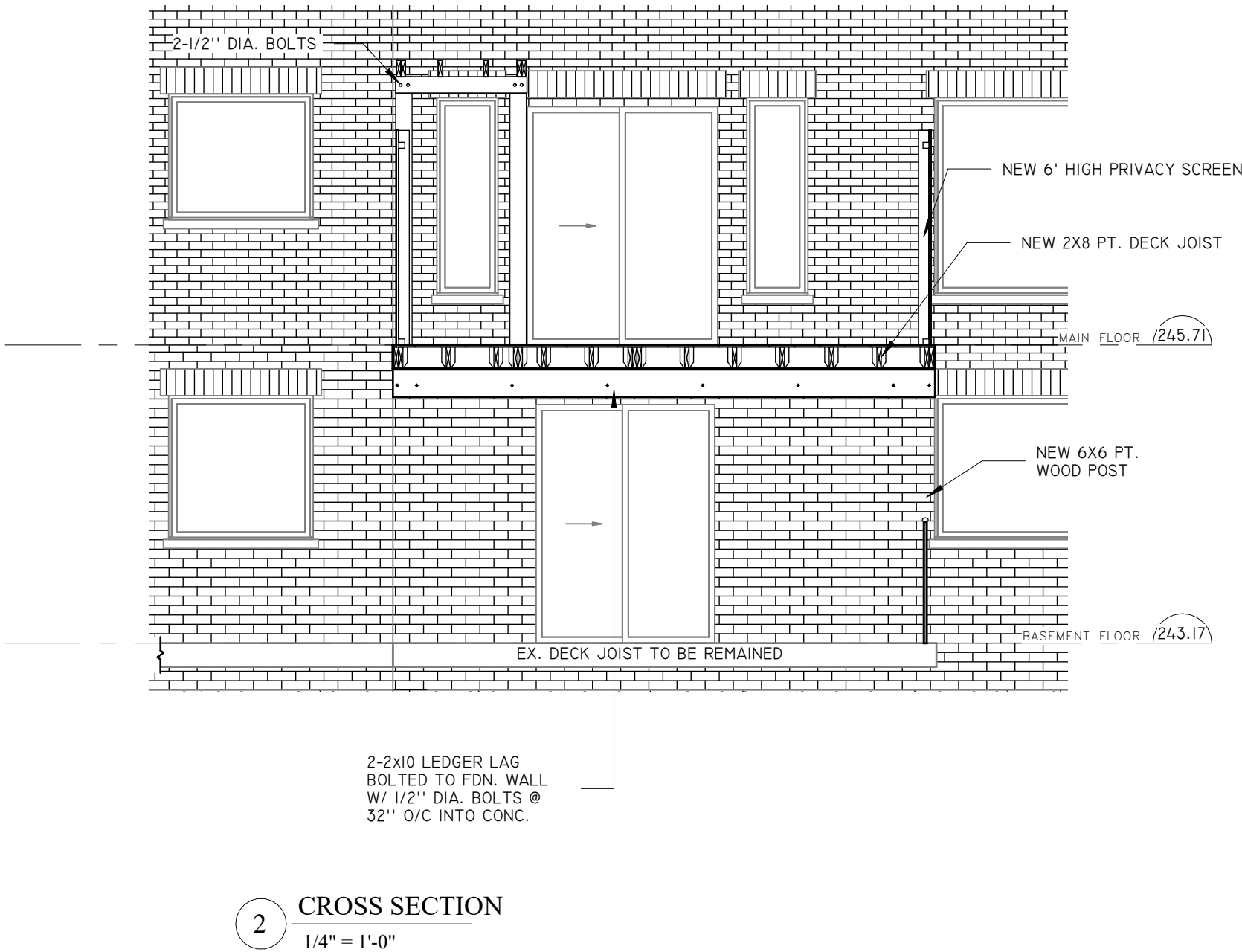
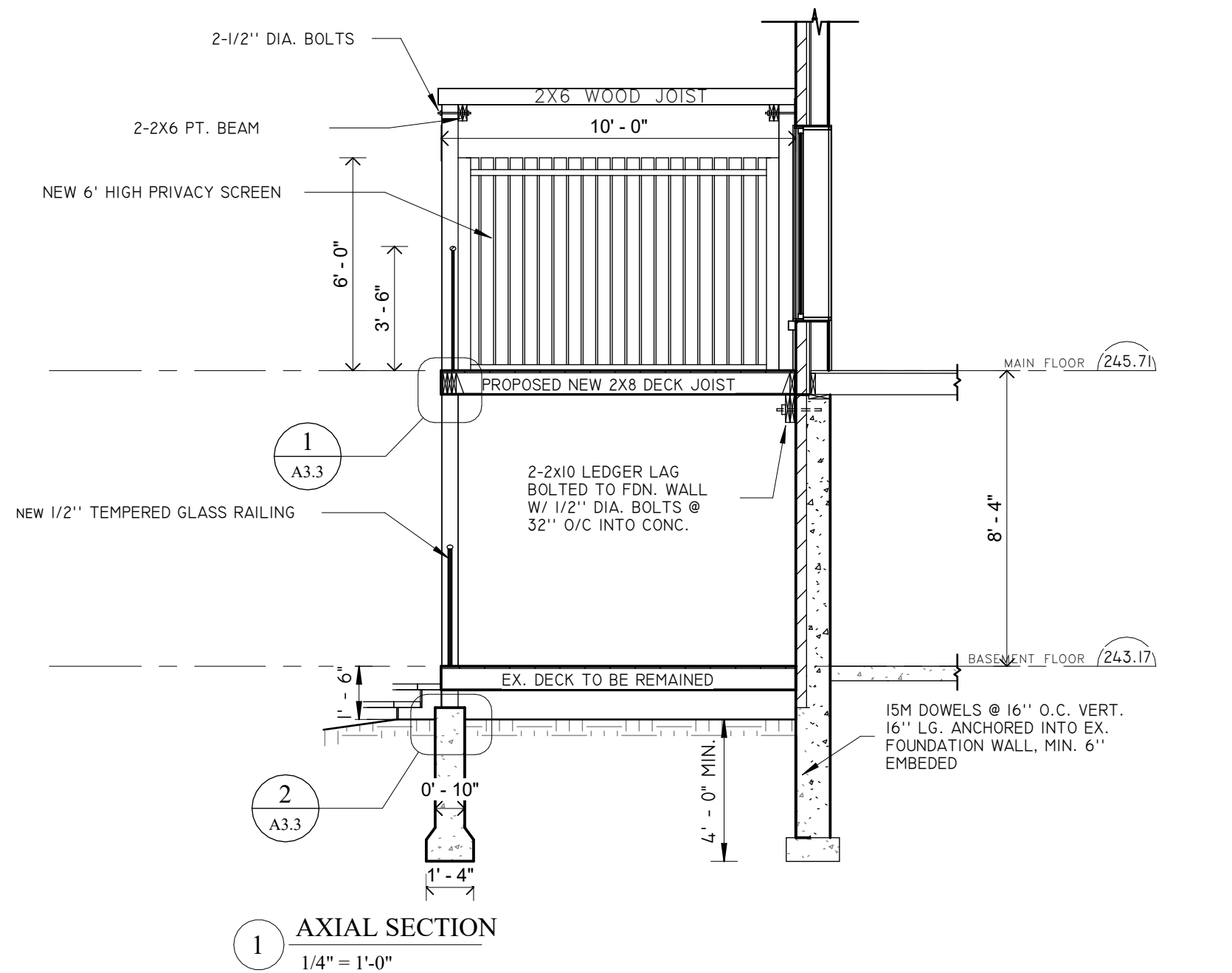



2 LEFT ELEVATION (EXISTING)
3/16" = 1'-0"

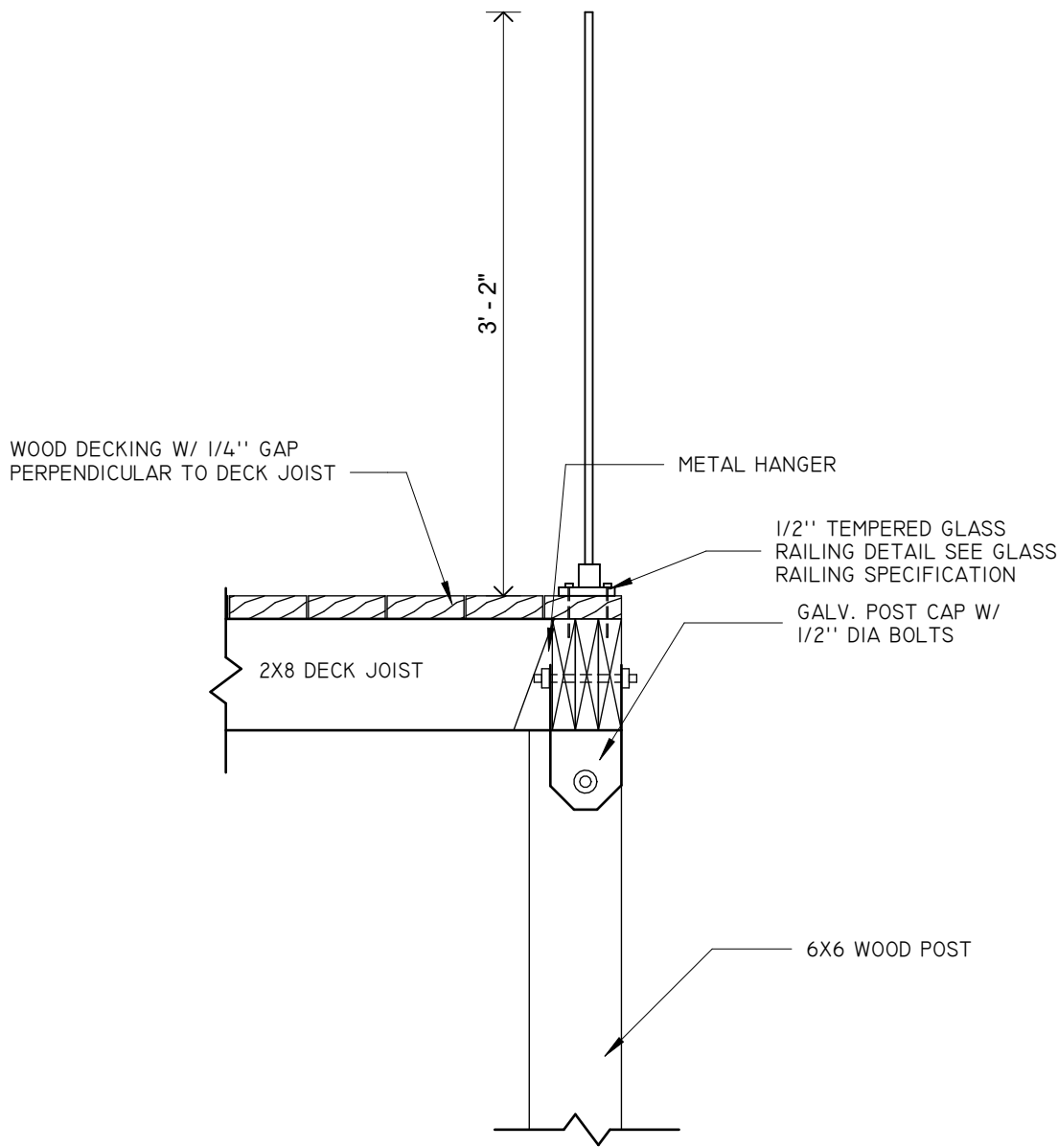


1 LEFT ELEVATION (PROPOSED)
3/16" = 1'-0"

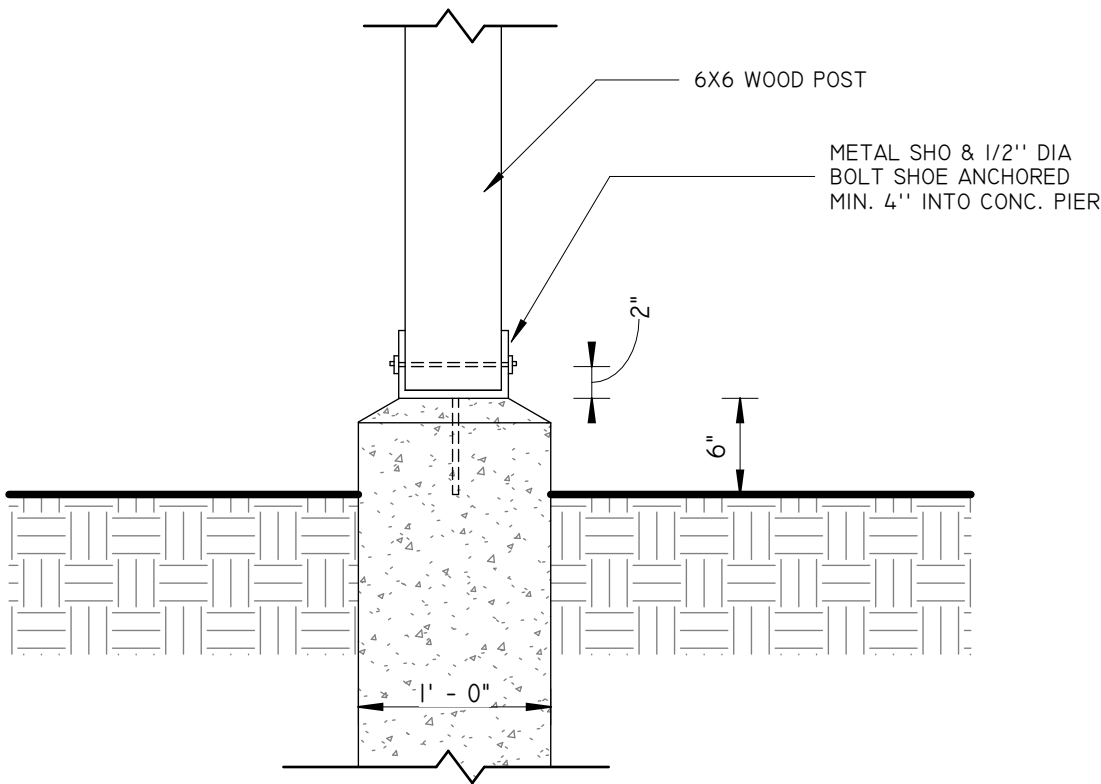
<div>LHW ENGINEERING LTD.</div> <div>Unit 405, 2347 Kennedy Rd Toronto, ON M1T 3T8 T: 416-299-8837 LHW.ENGINEERING@GMAIL.COM</div> <div></div>		No.	Description	Date	PROJECT TITLE	Date	Drawn By
						05/16/2022	AY
		2	REVISION ISSUED	2022/05/16	67 Oberfrick Ave, Maple, ON L6A 4T4	Scale	Checked By
						3/16" = 1'-0"	BW
					DRAWING TITLE LEFT ELEVATION	Proj. No. 190715	DWG. No. A2.4



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						05/16/2022	AY
		2	REVISION ISSUED	2022/05/16	67 Oberfrick Ave, Maple, ON L6A 4T4	Scale	Checked By
						1/4" = 1'-0"	BW
					DRAWING TITLE SECTION VIEW	Proj. No. 190715	DWG. No. A3.1



1 TYP. WOOD POST AND BEAM CONNECTION
1" = 1'-0"



2 TYP. WOOD POST AND PIER CONNECTION
1" = 1'-0"

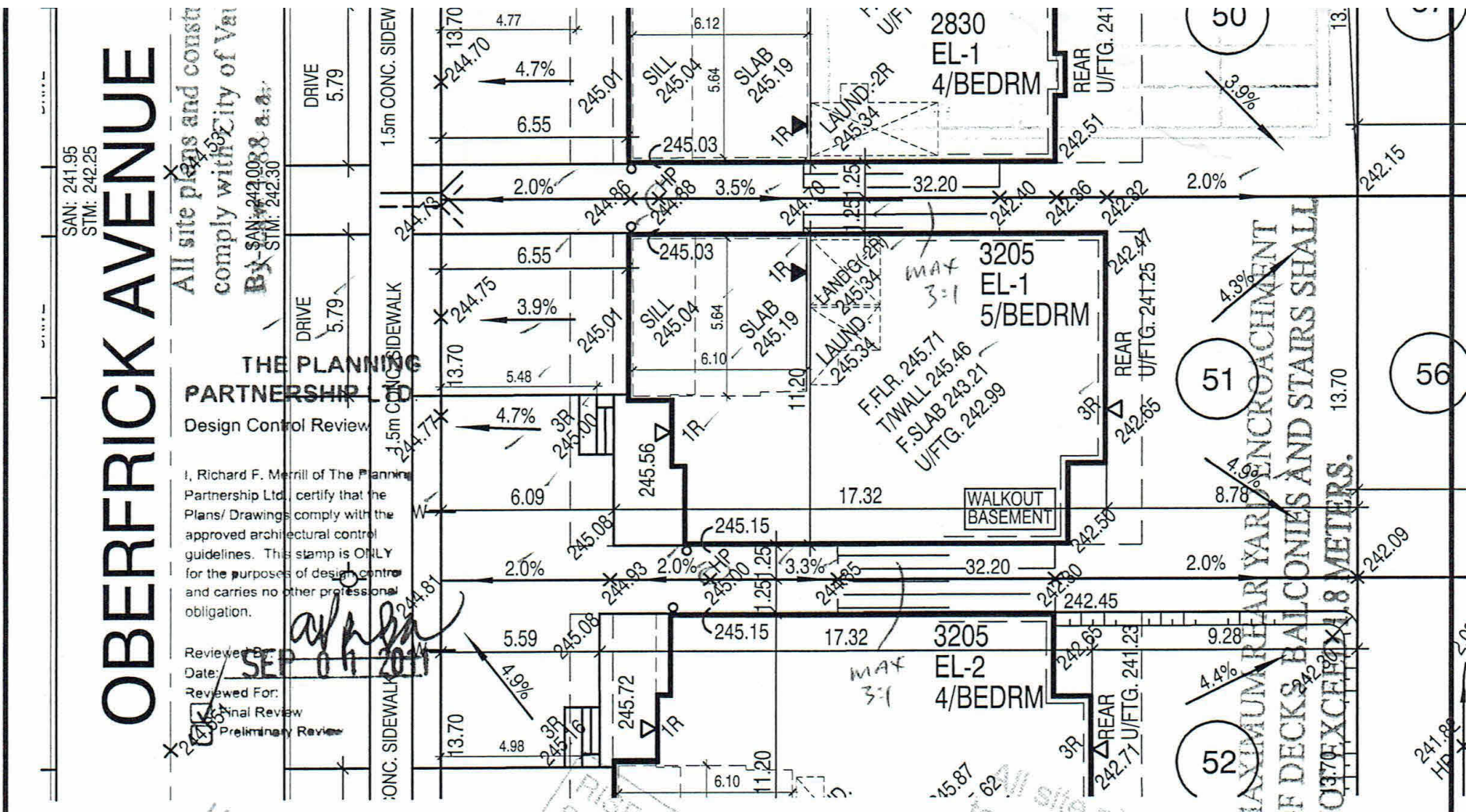
LHW ENGINEERING LTD.

Unit 405, 2347 Kennedy Rd
Toronto, ON M1T 3T8
T: 416-299-8837
LHW.ENGINEERING@GMAIL.COM



No.	Description	Date
2	REVISION ISSUED	2022/05/16

PROJECT TITLE	Date	Drawn By
	05/16/2022	AY
DRAWING TITLE	Scale	Checked By
DETAILS	1" = 1'-0"	BW
	Proj. No. 190715	DWG. No. A3.3



GRADING AND DRAINAGE NOTES:

- STANDARD DRAWINGS AND LOT GRADING CRITERIA OF THE CITY OF VAUGHAN AND THE REGIONAL MUNICIPALITY OF YORK CONSTITUTE PART OF THE PROJECT DRAWINGS FOR THE SUBDIVISION.
- MINIMUM GRADIENT OF GRASS SWALES ALONG THE SIDE AND REAR LOT LINES SHALL BE 2.0%. THE PROPOSED ELEVATION OF THE SIDE YARD SWALE SHALL BE A MINIMUM OF 0.15m BELOW THE FINISHED GRADE AT THE BUILDING LINE. THE MAXIMUM SWALE GRADIENT SHALL BE 5.0%.
- A MINIMUM HORIZONTAL DISTANCE OF 0.60m ALONG THE EXTERNAL LIMITS OF THE PROPOSED SUBDIVISION SHALL REMAIN UNDISTURBED.
- FILL MATERIAL SHALL BE COMPACTED TO A DRY DENSITY NOT LESS THAN 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD DENSITY TEST. A.S.H.O. DESIGNATION T-99. AFTER COMPACTION, SOIL DENSITY TESTS SHALL BE CONDUCTED TO ENSURE ADEQUATE COMPACTION AND STABILITY OF THE FILL AND TEST REPORTS SHALL BE SUBMITTED TO THE DIRECTOR OF ENGINEERING.
- ROOF LEADERS SHALL NOT BE CONNECTED TO THE STORM SEWER BUT SHALL DISCHARGE TO THE GROUND ONTO A SPLASH PAD AND SHALL DRAIN TO FRONT OF HOUSE. ROOF DOWN SPOUTS ARE NOT PERMITTED AT THE REAR OF THE HOUSE. EAVES AND DOWN SPOUTS TO BE SIZED ACCORDINGLY.
- FOOTING CONSTRUCTED NEXT TO A CATCH BASIN LEAD PIPE OR OTHER MUNICIPAL SERVICE SHALL BE INSTALLED BELOW LEAD PIPE EXCAVATION. FOOTING MUST BE CONSTRUCTED ON UNDISTURBED SOIL. SOIL CONSULTANTS VERIFICATION REQUIRED.
- ALL FENCES REQUIRED ABUTTING PUBLIC LANDS AND/OR EXISTING PROPERTIES SHALL BE CONSTRUCTED WITH MATERIAL (INCLUDING FOUNDATIONS) COMPLETELY ON PRIVATE LANDS AND TOTALLY CLEAR OF 0.30 RESERVE.
- IN LOTS WITH REAR-LOT CATCH BASINS. THE MINIMUM SIDE YARD WIDTH SHALL BE 1.2m ALONG CATCH BASIN LEAD
- REFER TO DETAIL ON THIS DRAWING FOR "BACK TO FRONT" DRAINAGE LOT.
- ALL BOULEVARDS TO BE SODDED ON TOP OF 450mm THICK LAYER OF TOP SOIL.

SCHAEFFER & ASSOCIATES LIMITED
APPROVED FOR GRADING

- THE PROPOSED LOT GRADING AND DRAINAGE IS APPROVED AS BEING IN CONFORMITY WITH THE OVERALL APPROVED GRADING PLANS FOR THE SUBDIVISION.
 - THE BUILDER IS RESPONSIBLE FOR RELOCATION OF ALL THE UTILITIES ON SITE.
 - THE BUILDER MUST TOPSOIL AND SOD ALL BOULEVARDS.
 - DOWNSPOUTS SHALL DISCHARGE TO THE GROUND SURFACE VIA SPLASH PADS.
 - BRICK LINE TO BE 150mm TO 200mm ABOVE FINAL GRADE AT HOUSE
- DATE: **SEP 01 2011**
G.A. CONELY
PROVINCE OF ONTARIO
- | | | |
|---|---------------|---|
| 4 | | |
| 3 | | |
| 2 | AUG. 30 2011 | REV. AS PER ENGINEER'S COMMENTS & ISSUED FOR PERMIT |
| 1 | JULY 26, 2011 | ISSUED FOR ENGINEER'S REVIEW |

REVISIONS:

H & R DEV. (THORNBERRY WOODS PH.3)
(ARBAND INVESTMENTS PHASE-3)

PROJ. No. 10-43	DATE:	SCALE: 1:250
LOT No. 51	MUNICIPAL ADDRESS	
REG. PLAN 65M-	CITY OF VAUGHAN	



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Walter Botter *[Signature]* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

jardin
DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

LHW ENGINEERING LTD.

Unit 405, 2347 Kennedy Rd
Toronto, ON M1T 3T8
T: 416-299-8837
LHW.ENGINEERING@GMAIL.COM



No.	Description	Date	PROJECT TITLE	Date	Drawn By
			67 Oberfrick Ave, Maple, ON L6A 4T4	05/16/2022	AY
2	REVISION ISSUED	2022/05/16		Scale	Checked By Checker
			SURVEY	Proj. No. 190715	DWG. No. A4.0

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: December 13th 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A313-22**

Related Files:

Applicant Xuda Zhang

Location 67 Oberfrick Avenue

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

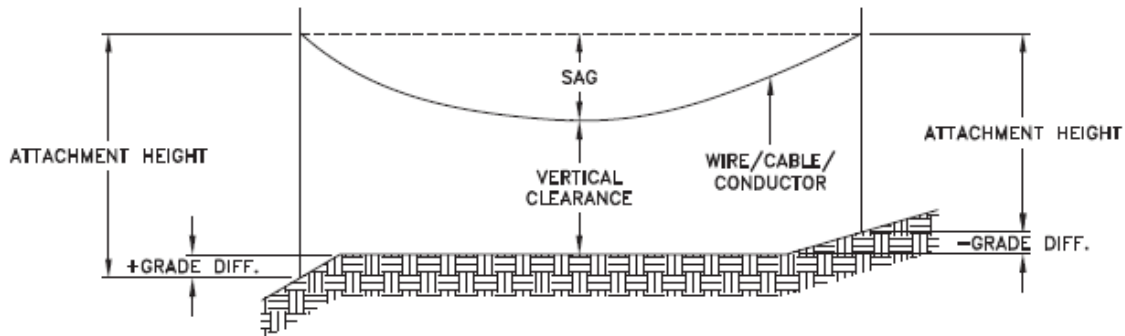
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

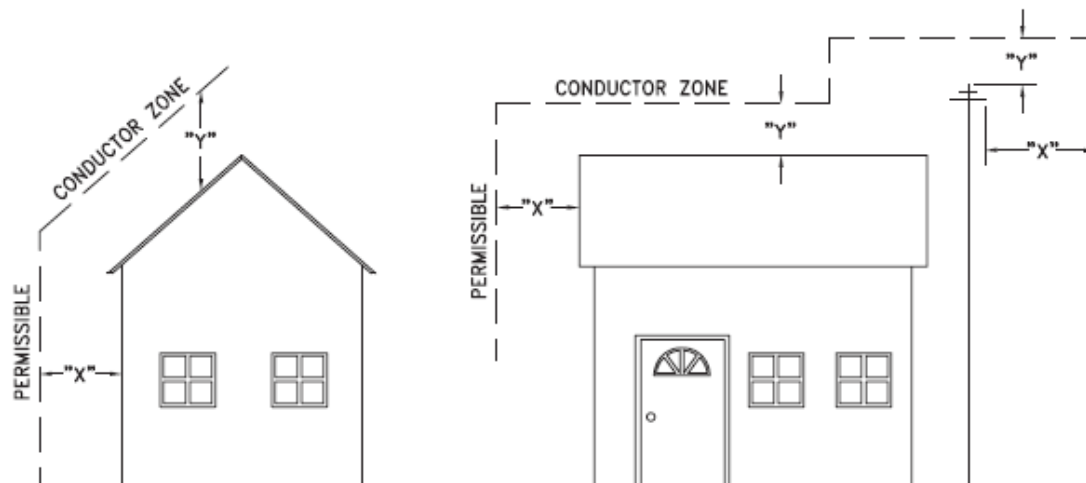
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Bernd Paessler, Building Standards Department

Date: January 5, 2023

Applicant: Xuda Zhang

Location: 67 Oberfrick Avenue PLAN 65M4253 Lot 51

File No.(s): A313/22

Zoning Classification:

The subject lands are zoned R3(EN) – Estate Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.877 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	none	

The subject lands are zoned RD3 –Residential Detached Zone and subject to the provisions of Exception 9(1234) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	The maximum permitted encroachment for the basement deck is 1.8m into the required 7.5m rear yard setback.	To permit an encroachment for the existing basement deck of 2.64m into the required 7.5m rear yard setback.

Staff Comments:**Stop Work Order(s) and Order(s) to Comply:**

Order No. 21-103117, Order to Comply for , Issue Date: Feb 11, 2021

Building Permit(s) Issued:

Building Permit No. 22-102694 for Single Detached Dwelling - Alteration,
Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to the Oak Ridges Moraine Conservation Act, RSO 2001.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: January 12, 2023

Name of Owner: Xuda Zhang

Location: 67 Oberfrick Avenue PLAN 65M4253 Lot 51

File No.(s): A313/22

Proposed Variance(s) (By-law 01-2021):

None

By-Law Requirement(s) (By-law 01-2021):

None

Proposed Variance(s) (By-law 1-88):

- 1) To permit an encroachment for the existing basement deck of 2.64 m into the required 7.5 m rear yard setback.

By-law Requirement(s) (By-law 1-88):

- 1) The maximum permitted encroachment for the basement deck is 1.8 m into the required 7.5 m rear yard setback. [S. 3.14 c]

Official Plan:

Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential" by Schedule 13, "Oak Ridges Moraine Settlement Area" by Schedule 4.

Comments:

The Owner is requesting permission to maintain an existing walk-out basement deck at the rear wall of an existing single-detached dwelling with the above noted variances. There is another deck above a portion of the basement deck which complies with the Zoning By-laws.

The Development Planning Department does not object to the variance. Only the west side of the rear yard deck extends beyond the permitted 1.8 m encroachment and the deck is about 0.46 m in height. The basement deck continues to remain compliant with side yard and height provisions of the By-laws. Development Planning staff acknowledge the proposal is fully compliant with the encroachment requirements in Comprehensive Zoning By-law 001-2021 and will not pose any implications related to massing, use, or drainage impacts onto the abutting properties.

The Development Planning Department is of the opinion that the requested variances are minor in nature, maintain the general intent and purpose of the Official Plan and Zoning By-laws, and are desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Roberto Simbana, Planner I
David Harding, Senior Planner

From: [Rajevan, Niranjana](#)
To: [Committee of Adjustment](#)
Subject: [External] FW: A313/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Tuesday, January 3, 2023 3:07:42 PM
Attachments: [image002.png](#)
[image004.png](#)

From: Development Services
Sent: Tuesday, January 3, 2023 2:54 PM
To: Lenore Providence <Lenore.Providence@vaughan.ca>
Subject: RE: A313/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjana Rajevan, M.P.I. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjana.rajevana@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None