

ITEM #: 6.22	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A304/22 36 ATKINSON AVENUE, THORNHILL
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THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Application Under Review
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see <b>Schedule C</b> of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b>				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Agent	G-Architects		10/31/22	Justification Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see <b>Schedule D</b> for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A076/21	04/29/21	APPROVED; COA

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A304/22  
36 ATKINSON AVENUE, THORNHILL**

ITEM NUMBER: 6.22	CITY WARD #: 5
APPLICANT:	Project Aim Programs
AGENT:	Kenyon Jin
PROPERTY:	36 Atkinson Ave, Thornhill
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to reconfigure parking onsite to accommodate the existing daycare and indoor pool/changeroom.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned I1 – General Institutional Zone and subject to the provisions of Exception 14.275 under Zoning By-law 001-2021, as amended.**

#	Zoning By-law 001-2021	Variance requested
	n/a	

**The subject lands are zoned R4 – Residential Zone and subject to the provisions of Exception 9(474) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
2	A minimum 113 parking spaces is required.	To permit a minimum of 92 parking spaces.
3	A minimum accessible parking space length of 6.0m is required. [3.8]	To permit a minimum accessible parking space length of 5.7m.
4	A parking space length of 6.0m is required. [Definitions]	To permit a parking space length of 5.7m.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, January 26, 2023

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

#### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

### INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION	
<p>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:</p> <p>That the general intent and purpose of the by-law will be maintained.  That the general intent and purpose of the official plan will be maintained.  That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.  That the requested variance(s) is/are minor in nature.</p> <p>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.</p>	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	January 12, 2023	
Date Applicant Confirmed Posting of Sign:	January 9, 2023	
Applicant Justification for Variances: *As provided by Applicant in Application Form	The 6.0M drive aisle width required for a fire truck limits the length of the parking space to 5.8. There is also no desire relocate the outer curb as there it is cost prohibitive and would require the reduction of min. landscape buffer. This dimension proposed does meet the requirement in the new by-law which states 90deg parking space to be min 5.7M in length.	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:  *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
<b>Building Standards Recommended Conditions of Approval:</b>	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
<b>Development Planning Recommended Conditions of Approval:</b>	Application under review.

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Minor Variance Application A260/22 is related to Development Application DA.18.096/DA.22.012 and is currently being reviewed by the Development Engineering Department.  Transportation Engineering has reviewed this Minor Variance Application A304/22 and have no concerns with the proposed parking reduction and dimension reduction, as it meets the minimum requirements in By-Law 001-2021.	



DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
The Development Engineering (DE) Department does not object to the variance application A304/22 subject to the following condition(s):	
<b>Development Engineering Recommended Conditions of Approval:</b>	The Owner/Applicant shall obtain approval for the related Site Development Application (DA.22.012/DA.18.096) from the Development Engineering (DE) Department.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Forestry has no additional comments at this time	
<b>PFH Recommended Conditions of Approval:</b>	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
<b>Development Finance Recommended Conditions of Approval:</b>	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
<b>BCLPS Recommended Conditions of Approval:</b>	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
<b>Building Inspection Recommended Conditions of Approval:</b>	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
<b>Fire Department Recommended Conditions of Approval:</b>	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
<b>Schedule A</b>	Drawings & Plans Submitted with the Application
<b>Schedule B</b>	Staff & Agency Comments
<b>Schedule C</b> (if required)	Correspondence (Received from Public & Applicant)
<b>Schedule D</b> (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

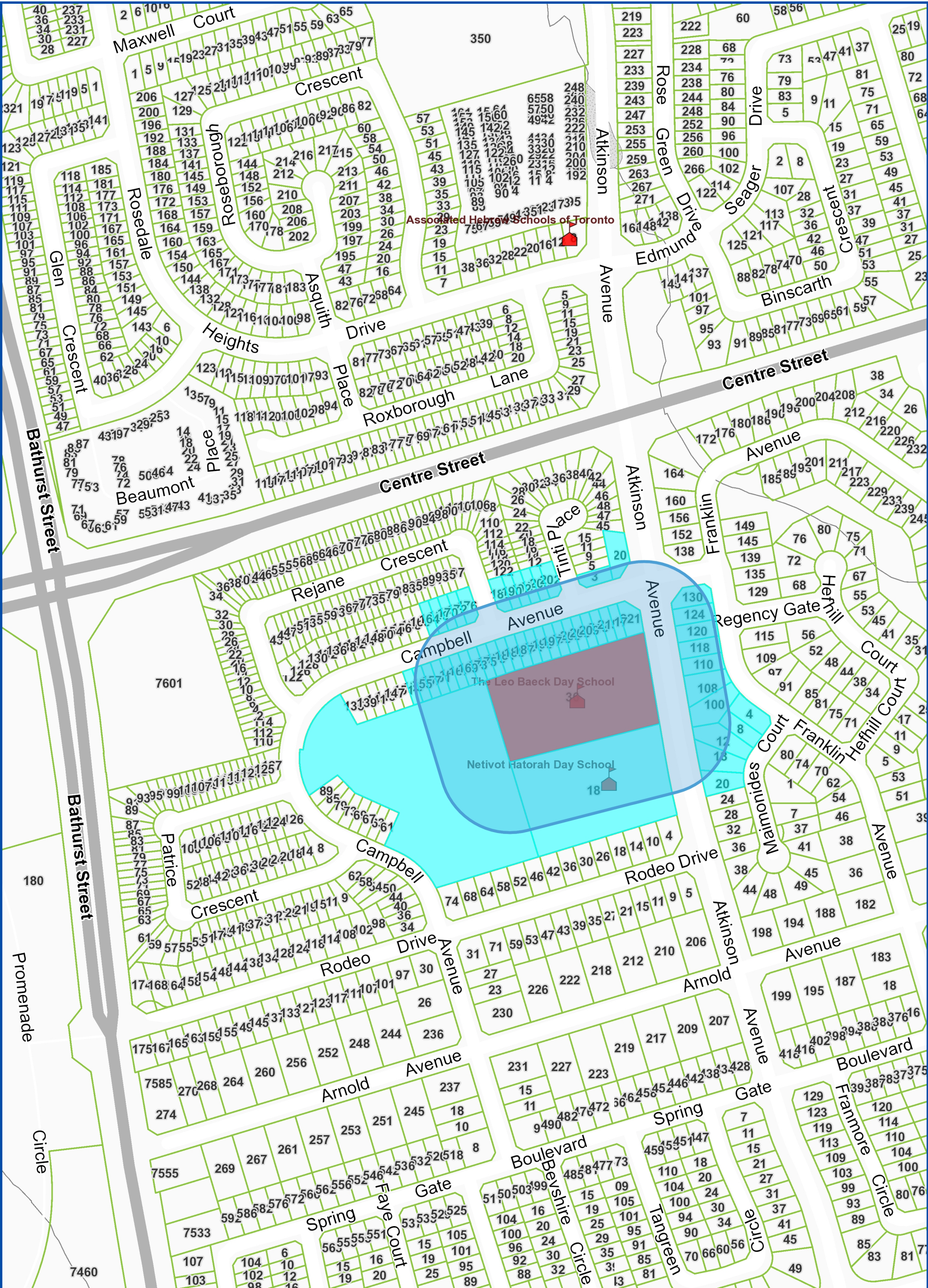
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning <a href="mailto:roberto.simbana@vaughan.ca">roberto.simbana@vaughan.ca</a>	Application under review

IMPORTANT INFORMATION – PLEASE READ
<b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency ( <b>see condition chart above for contact</b> ). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

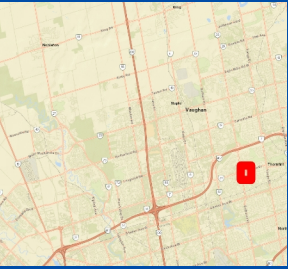
IMPORTANT INFORMATION – PLEASE READ	
<p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>	

**SCHEDULE A: DRAWINGS & PLANS**





Map Information:



Title:

36 Atkinson Avenue, Thornhill

NOTIFICATION MAP: A304/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 4,514

0

0.07 km



Created By:

Infrastructure Delivery

Department

January 9, 2023 8:34 AM

Projection:

NAD 83

UTM Zone

17N



## PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

5.7m  
#4

(5.7n  
#1, 3

## 5 Parking detail

**COMBINED CURB AND WALK**  
NTS

3 CURB CUT  
1:75

<b>COVERAGE</b>		<b>BUILDING AREA</b>		<b>SETBACKS</b>		<b>PARKING</b>	
Property Address: 38 Addison Ave, Thornhill, ON L4J 8C9   Applicable Zoning By-Law City: Urban By-Law #188   Existing Zoning: R4   Proposed Site Use: Education, Non-Residential							
Lot Area	12,079 <sup>sq ft</sup> [25,820 <sup>sq ft</sup> ]	Existing Ground Level Area:	1734.45 <sup>sq ft</sup> [12,860 <sup>sq ft</sup> ]	Front Yard Setback:	15M	38.51M	—
Existing Site Coverage:	(20%) 2459 <sup>sq ft</sup> [25,010 <sup>sq ft</sup> ]	Existing First Level Area:	2984.50 <sup>sq ft</sup> [25,010 <sup>sq ft</sup> ]	Side Yard Setback (North):	15M	15.90M	15.43M
Total Proposed Site Coverage:	(20%) 2459 <sup>sq ft</sup> [25,010 <sup>sq ft</sup> ]	Existing Second Level Area:	2332.43 <sup>sq ft</sup> [25,190 <sup>sq ft</sup> ]	Side Yard Setback (South):	15M	21.59M	21.43M
		Total Existing Building Area (All Floors):	4023.81 <sup>sq ft</sup> [46,770 <sup>sq ft</sup> ]	Rear Yard Setback:	15M	21.43M	14.37M
		Existing Basement (Floor level equal with exist. Ground):	51.33 <sup>sq ft</sup> [322 <sup>sq ft</sup> ]				
		Existing Level 1 (Floor level equal with exist. First):	568.59 <sup>sq ft</sup> [3114 <sup>sq ft</sup> ]				
Proposed Addition Height: 3-storey addition	1 storey addition	Total Area: (51%)	619.33 <sup>sq ft</sup> [6,697 <sup>sq ft</sup> ]				
		Total	6822.14 <sup>sq ft</sup> [72,455 <sup>sq ft</sup> ]	Addition Height			


92  
PARKING  
SPACES  
#2

- 1 MAINTAIN ALL EXISTING TURNING RADIUS FOR  
EMERGENCY VEHICLES
- 2 PARKING SPACE SIZE MAY BE SUBJECT TO CHANGES  
PER NEW BY-LAW REQUIREMENTS
- 3 OTHER SITE REQUIREMENTS MAY BE SUBJECT TO  
CHANGE AT THE TIME OF MUNICIPAL APPROVALS
- 4 REFER TO CIVIL DRAWINGS FOR ALL UTILITIES WORK,  
AS WELL AS ANY CURB/GUTTER AND GRADING WORK
- 5 FOR NEW AND REMOVED TREES, REFER TO  
LANDSCAPE DRAWINGS

SCOPE SITE PLAN  
AMENDMENT

#	Zoning By-law 001-2021	Variance requested
1	A minimum barrier free parking space length of 5.7m is required. [Table 6-3]	To permit a minimum barrier free parking space length of 5.4m.
2	A minimum 113 parking spaces is required.	To permit a minimum of 92 parking spaces.
3	A minimum accessible parking space length of 6.0m is required. [3.8]	To permit a minimum accessible parking space length of 5.7
4	A parking space length of 6.0m is required. [Definitions]	To permit a parking space length of 5.7m.

33	2022 12 06	Resubmitted for Committee of Adjustment	G
31	2022 10 28	Committee of Adjustment	G
30	2022 10 20	Site Plan Amendment Revision	G
29	2022 09 19	Issued for Review	G
28	2022 08 30	Site Plan Amendment Revised	
27	2022 03 09	Site Plan Amendment	
#	date:	revision:	by:



All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

**KAYLA'S NATATORIUM**  
36 Atkinson Ave, Thornhill, ON L4J 8C9

scale:	As indicated
drawn by:	XX
reviewed by:	XX
job number:	18044
plot date:	12/6/2022 8:07:03 AM
<hr/>	
drawing number:	

A0.23-P

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X			No Comments Received to Date
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application under review
Building Standards (Zoning)	X	X		General Comments



**Date:** November 30<sup>th</sup> 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A304-22**

**Related Files:**

**Applicant** Project Aim Programs

**Location** 36 Atkinson Avenue



**COMMENTS:**

- |                                     |  |
|-------------------------------------|--|
| <input type="checkbox"/>            | We have reviewed the proposed Variance Application and have no comments or objections to its approval.   |
| <input checked="" type="checkbox"/> | We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below). |
| <input type="checkbox"/>            | We have reviewed the proposed Variance Application and have the following concerns (attached below).   |

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

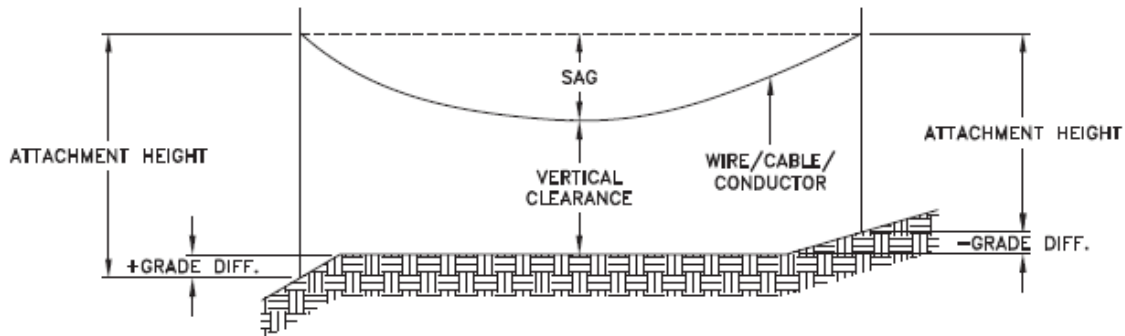
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

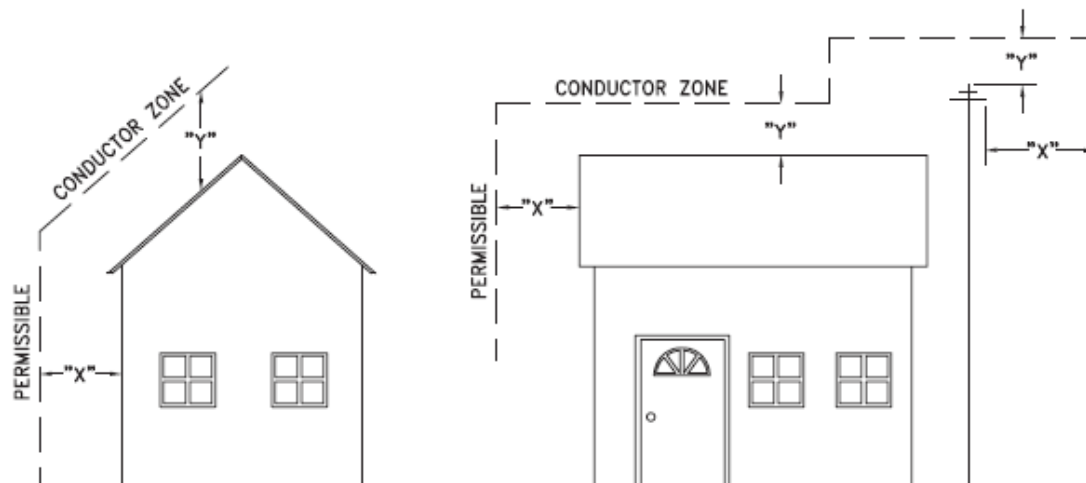
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

### NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani

**To:** Committee of Adjustment

**From:** Faegheh Gholami, Building Standards Department

**Date:** December 16, 2022

**Applicant:** Project Aim Programs

**Location:** 36 Atkinson Avenue  
PLAN 65M2099 Part of Block 154

**File No.(s):** A304/22

**Zoning Classification:**

The subject lands are zoned I1 – General Institutional Zone and subject to the provisions of Exception 14.275 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
	n/a	

The subject lands are zoned R4 – Residential Zone and subject to the provisions of Exception 9(474) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	A minimum 113 parking spaces is required.	To permit a minimum of 92 parking spaces.
3	A minimum accessible parking space length of 6.0m is required. [3.8]	To permit a minimum accessible parking space length of 5.7m.
4	A parking space length of 6.0m is required. [Definitions]	To permit a parking space length of 5.7m.

**Staff Comments:****Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Agent	G-Architects		10/31/22	Justification Letter



310 Spadina Ave. Suite 303  
Toronto, ON. M5T 2E8  
647.727.8860 | [hello@garchitects.ca](mailto:hello@garchitects.ca)  
[www.garchitects.ca](http://www.garchitects.ca)

October 31, 2022.  
November 4, 2022 revised

## Re – Committee of Adjustment Application

Kayla's Children Centre  
36 Atkinson Avenue  
Thornhill Ontario  
L4J 5B1

To Whom It May Concern,  
Members of the Committee,

G architects are the agents representing the owners of the above with respect to the above Committee of Adjustment Application.

The project is located at 36 Atkinson Ave and is an existing special needs child care center. The existing buildings on site include a 6203 sm daycare building and 568sm pool/changeroom one storey building. The proposal is to provide 26 additional parking spaces for the, for the care centre bringing the total to 92. There is no removal of trees and more planting has been added to the west to buffer the park and the north to buffer the neighbours. Twenty-two (22) of the proposed parking space are 2.7x 5.8 and therefore require relief from the current zoning **bylaw 1-88** - the required parking space is 2.7 x 6.0. It should be noted that these spaces do comply with the as yet ratified **bylaw 001-2021**. Modifications to the existing parking spaces are as follows: delete one parking space to accommodate 2 type A and B accessible parking spaces to satisfy accessible parking requirements. There is no other development being proposed that triggers any other variance.

The nature of the application is to seek relief from the required parking size (length) for the additional 22 spaces. We feel this variance is minor in nature and request the variance be granted.

Thank you

Kenyon Jin, Garchitects

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
A076/21	04/29/21	APPROVED; COA



**NOTICE OF DECISION**  
**Minor Variance Application A076/21**  
 Section 45 of the Planning Act, R.S.O. 1990, c.P.13

**Date of Hearing:** Thursday, April 29, 2021  
**Applicant:** PROJECT AIM PROGRAMS  
**Agent** G Architects  
**Property:** **36 Atkinson Ave, Thornhill**  
**Zoning:** The subject lands are zoned R4 and subject to the provisions of Exception 9(474) under By-law 1-88 as amended  
**OP Designation:** Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"  
**Related Files:** DA.18.096  
**Purpose:** Relief from By-law 1-88 is being requested to permit the construction of a proposed addition and renovations to the existing facility and to facilitate Site Plan Application DA.18.096.  
  
 The proposed addition will be used as an indoor pool.to an existing childcare centre.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A maximum lot coverage of 20% is permitted. (Schedule A)	1. To permit a maximum lot coverage of 27% (3263m2)
2. A strip of landscaping not less than 2.4m in width is required for the lot abutting open space or residential zone. (3.13)	2. To permit a minimum landscape strip of 2.27m abutting residential zone and a minimum landscape strip of 2.22m abutting open space zone

**Sketch:** A sketch illustrating the request has been attached to the decision.

**Having regard to the requirements of Section 45 of the *Planning Act*, R.S.O. 1990, c. P. 13, as amended, including the written and oral submissions related to the application, it is the decision of the Committee:**

THAT Application No. A076/21 on behalf of PROJECT AIM PROGRAMS be **APPROVED**, in accordance with the sketch submitted with the application (as required by Ontario Regulation 200/96) and subject to the following conditions:

	Department/Agency	Condition
1	Development Planning Roberto Simbana  905-832-8585 x 8112 / 8810 <a href="mailto:roberto.simbana@vaughan.ca">roberto.simbana@vaughan.ca</a>	That Site Development Application File DA.18.096 be approved to the satisfaction of the Development Planning Department.
2	Development Engineering Farzana Khan  905-832-8585 x 3608 <a href="mailto:Farzana.Khan@Vaughan.ca">Farzana.Khan@Vaughan.ca</a>	The Owner/applicant shall obtain approval for the related Site Development Application (DA.18.096) from the Development Engineering (DE) Department.

**For the following reasons:**

- 1. The general intent and purpose of the by-law will be maintained.
- 2. The general intent and purpose of the official plan will be maintained.
- 3. The requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- 4. The requested variance(s) is/are minor in nature.

**Please Note:**

It is the responsibility of the owner/applicant and/or authorized agent to address any condition(s) of approval noted in this decision to the satisfaction of the commenting department or agency. Once conditions have been satisfied, the Secretary Treasurer will be in a position to issue a clearance letter which is required prior to the issuance of a Building Permit.

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.






**Written & oral submissions considered in the making of this decision were received from the following:**

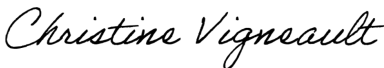
Public Written Submissions	Public Oral Submissions
* Public Correspondence received and considered by the Committee in making this decision	*Please refer to the approved Minutes of the Thursday , April 29, 2021 meeting for submission details.
None	None

**Late Written Public Submissions: N/A**

Public written submissions on an Application shall only be received by the Secretary Treasurer until **noon** on the last business day prior to the day of the scheduled Meeting.

**MEMBERS PRESENT WHO CONCUR IN THIS DECISION:**

		
H. Zheng Member	A. Perrella Chair	R. Buckler Member
		
S. Kerwin Vice Chair		A. Antinucci Member

<b>DATE OF HEARING:</b>	<b>April 29, 2021</b>
<b>DATE OF NOTICE:</b>	<b>May 7, 2021</b>
<b>LAST DAY FOR *APPEAL:</b> *Please note that appeals must be received by this office no later than 4:30 p.m. on the last day of appeal.	<b>May 19, 2021 4:30 p.m.</b>
<b>CERTIFICATION:</b> I hereby certify that this is a true copy of the decision of the City of Vaughan's Committee of Adjustment and this decision was concurred in by a majority of the members who heard the application.    Christine Vigneault, AMP, ACST Manager Development Services & Secretary Treasurer to the Committee of Adjustment	

\*Electronic signatures have been used to process this decision as approved by the Committee of Adjustment at the May 28, 2020 hearing.

**Appealing to The Local Planning Appeal Tribunal**  
The *Planning Act*, R.S.O. 1990, as amended, Section 45

The applicant, the Minister or any other person or public body who has an interest in the matter may within 20 days of the making of the decision appeal to the Local Planning Appeal Tribunal (LPAT) against the decision of the Committee by filing with the Secretary-Treasurer of the Committee a notice of appeal (A1 Appeal Form) setting out the objection to the decision and the reasons in support of the objection accompanied by payment to the Secretary-Treasurer of the fee prescribed by the Tribunal under the *Local Planning Appeal Tribunal Act*.

A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

When **no appeal is lodged** within twenty days of the date of the making of the decision, the decision becomes final and binding and notice to that effect will be issued by the Secretary-Treasurer.

**PLEASE NOTE:** As a result of COVID-19, Vaughan City Hall and all other City facilities are closed to the public at this time. Please mail or courier appeals and prescribed fees to:

Office of the City Clerk - Committee of Adjustment  
2141 Major Mackenzie Drive  
Vaughan Ontario, L6A 1T1

If you have questions regarding the appeal process, please email [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Appeal Fees & Forms**

**Local Planning Appeal Tribunal:** The LPAT appeal fee is \$400 plus \$25 for each additional consent/variance appeal filed by the same appellant against connected applications. The LPAT Appeal Fee must be paid by certified cheque or money order payable to the "Minister of Finance". Appeal forms (A1 Appeal Form – Minor Variance) can be obtained at [www.elto.gov.on.ca](http://www.elto.gov.on.ca) or by contacting our office at 905-832-8585 Ext. 8332 or [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

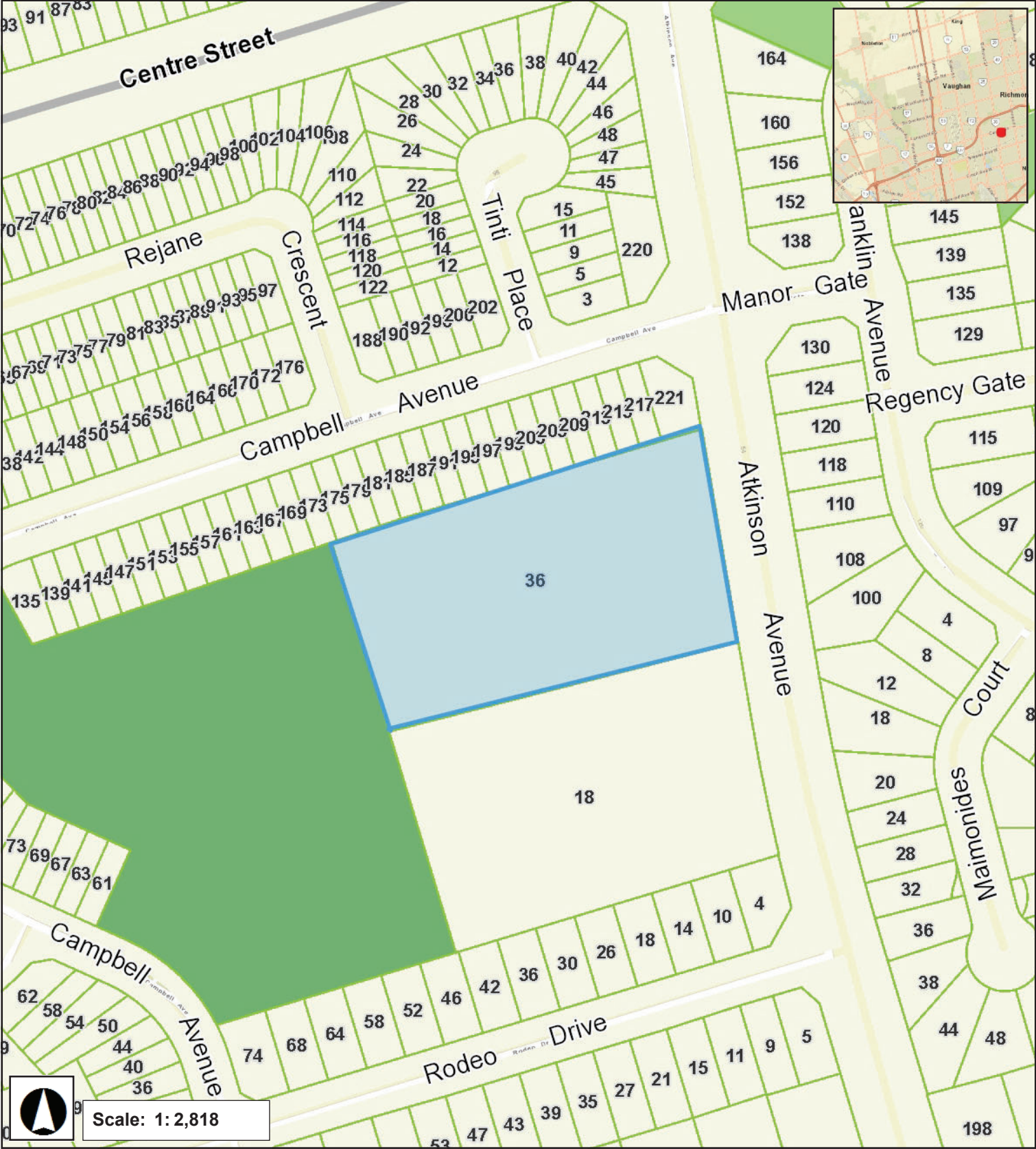
**City of Vaughan LPAT Processing Fee:** \$866.00 per application

\*Please note that all fees are subject to change.



# A076/21 - Location Map

36 Atkinson Avenue, Thornhill







MAIN BUILDING ENTRANCE

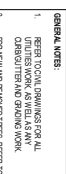
WITH (NEW)

## MISSION FOR COSTING



418C

## SITE PLAN



1:650

1



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100

Slide Yard Setback (North)	15M	15.95M	15.45M
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RESEARCH	10M	2.1M	10.5M
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10

[illegible]