

ITEM #: 6.14	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A286/22 260 WOODBRIDGE AVE, WOODBRIDGE
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COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

Please see **Schedule B of this report for a copy of Staff and Agency correspondence.*


Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards -Zoning Review <i>*Schedule B</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning <i>*Schedule B</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA <i>*Schedule B</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Ministry of Transportation (MTO) <i>*Schedule B</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York <i>*Schedule B</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra <i>*Schedule B</i>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada <i>*Schedule B</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YRDSB <i>*Schedule B</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB <i>*Schedule B</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail <i>*Schedule B</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail <i>*Schedule B</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline <i>*Schedule B</i>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Metrolinx <i>*Schedule B</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator <i>*Schedule B</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
<i>*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.</i>				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant / Authorized Agent	John Zipay		10/18/2022	Justification Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
December 8, 2022	To accommodate statutory public notice

	COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A286/22 260 WOODBRIDGE AVE, WOODBRIDGE
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AGENDA ITEM NUMBER: 6.14	CITY WARD #: 2
APPLICANT:	City Park (Woodbridge Gates North) Inc.
AGENT:	John Zipay & Associate c/o John Zipay Giancarlo Pennino
PROPERTY:	260 Woodbridge Ave, Woodbridge
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Residential," Volume 2, Section 11.11 Woodbridge Centre Secondary Plan
RELATED DEVELOPMENT APPLICATIONS:	DA.17.108.
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed mid-rise multi-unit residential building and to facilitate related site development application DA.17.108.

The following variances have been requested from the City’s Zoning By-law:

The subject lands are zoned **WMS Main Street Mixed-Use – Woodbridge Zone under By-law 001-2021 as amended.**

The subject lands are zoned **RA3, Apartment Residential Zone, and subject to the provisions of Exception 9(1516) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
1	The minimum parking requirement shall be 120 spaces, which includes a minimum of 21 spaces for visitor parking. [Exception 9(1516) ai]	To permit a minimum of 116 parking spaces, including a minimum of 20 visitor parking spaces.
2	Standard parking spaces (residential and visitor) shall measure a minimum of 2.7 m width x 6.0 m length. [Section 2.0, Definitions of Parking Space]	To permit minimum parking space dimensions of 2.4 m width x 4.8 m length for a maximum of 12 standard parking spaces (residential and visitor).

HEARING INFORMATION
DATE OF MEETING: January 26, 2023 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan LIVE STREAM LINK: Vaughan.ca/LiveCouncil
PUBLIC PARTICIPATION If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca If you would like to submit written comments, please quote file number above and submit by mail or email to: Email: cofa@vaughan.ca Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1 THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee. Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following: That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature. Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	January 12, 2023
Date Applicant Confirmed Posting of Sign:	January 10, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	To resolve issues relating to shoring and excavation where permission to encroach on the neighbouring property was not obtained, minor revisions to the design of the proposal have been made which resulted in changes to the parking layout.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small> <small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small> <small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The Development Transportation Engineering Division has reviewed the above noted Minor Variance Application and have no objections to Items # 1-3 on the zoning report, dated November 10th, 2022.	
The Development Engineering Department does not object to the Minor Variance application A286/22	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry is working with Development Planning on this file.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment no concerns	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
Owners to ensure they go through the building permit process and address any concerns that derive from OBC requirements, applicable standards, by-Laws and any TRCA requirements.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “ if required ”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning joshua.cipolletta@vaughan.ca	That all comments on Site Development Application DA.17.108 be addressed to the satisfaction of the Development Planning Department.

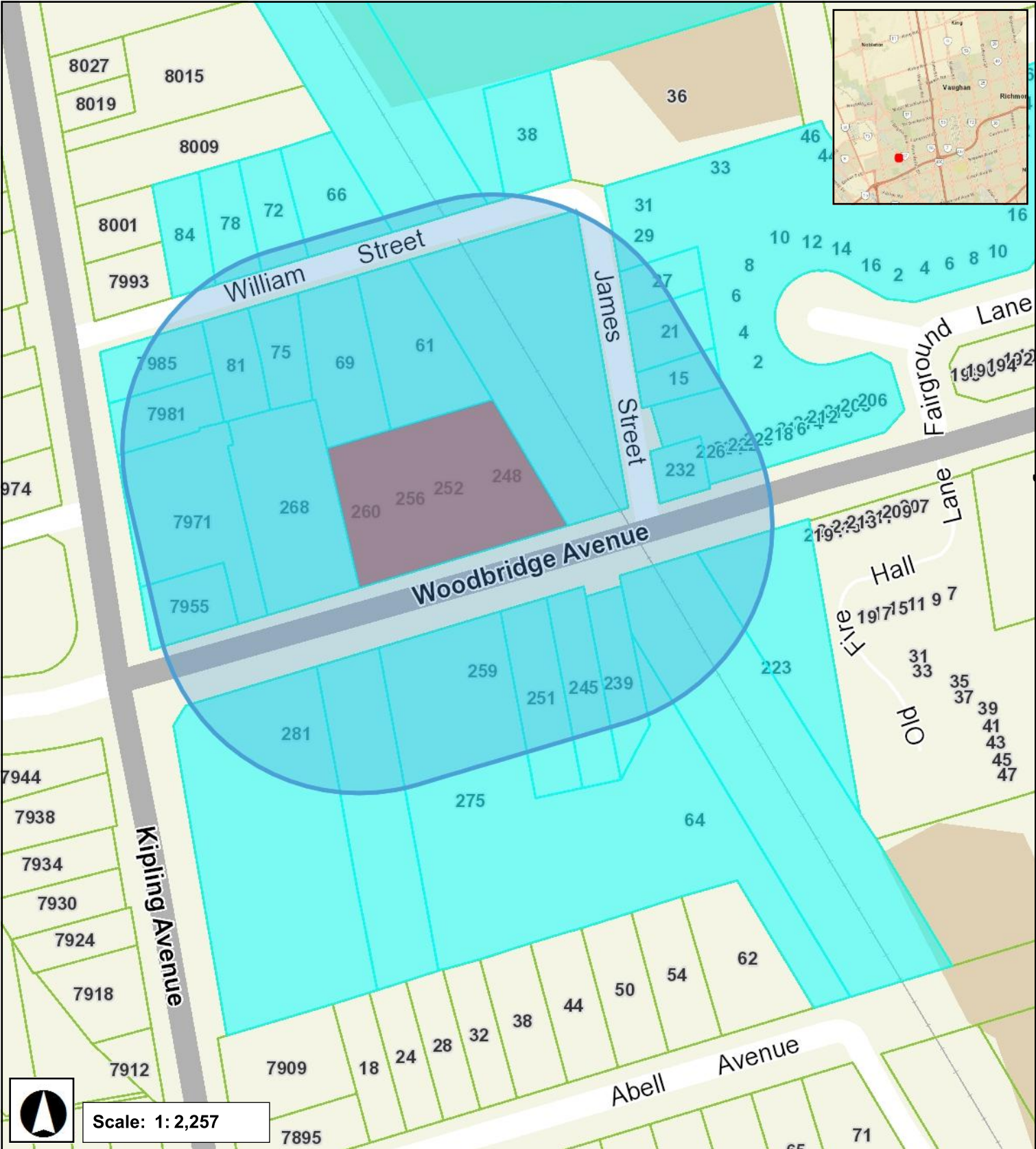
IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A286/22

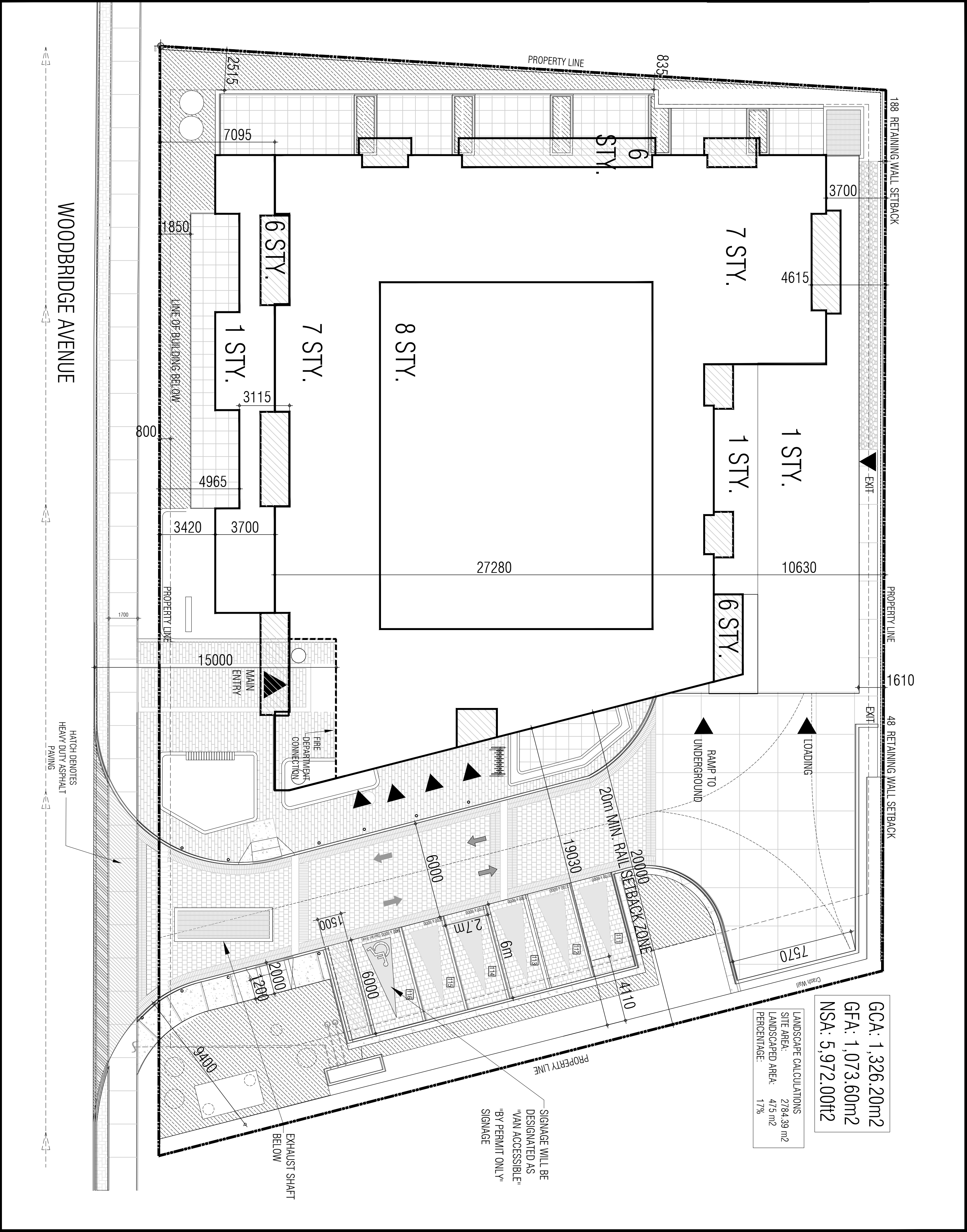
260 WOODBRIDGE AVENUE, WOODBRIDGE



Scale: 1: 2,257

Highway 7

November 18, 2022 2:11 PM



KEY PLAN N.T.S.

GENERAL NOTES

- For landscaping, refer to landscape drawings.
- For proposed grading, refer to landscape drawings.
- All perimeter existing information indicated taken from survey.
- All work to be done in accordance with the 2012 Ontario Building Code (B.C. as amended).

ESTABLISHED GRADE

Established grade is 162.80

ORC CLASSIFICATION

Group C, Residential Occupancy, Any Sleep-Pad 3

SURVEY INFORMATION

Rudy-Peacock & Edward Surveying Ltd.
643 Oriana Road, Suite 7
Woodbridge, Ontario L4L 6A3
Tel: 416 655 5001 905 264 0981
Fax: 416 655 5001 905 264 2099

LIST OF DRAWINGS

A-100 - Cover Sheet
A-101 - Site Plan
A-201 - P1 Floor Plan
A-301 - Ground Floor Plan
A-302 - 2nd Floor Plan
A-303 - 3rd Floor Plan
A-304 - 4th-7th Floor Plan
A-305 - Mechanical Roomhouse
A-401 - East Elevation
A-402 - North Elevation
A-403 - South Elevation
A-404 - West Elevation
A-501 - Section 1
A-502 - Section 2
A-601 - North West Perspective View
A-602 - North East Perspective View
A-603 - Streetscape Rendering
A-701 - Shadow Study

PROJECT STATISTICS			
PROJECT INFORMATION			
JOB No. 1339.15	DATE: SEPT 20, 2022		
01 SITE AREA	(m ²)	(ft ²)	(ac)
02 G.F.A. (m ²)	7000	75000	1.7
03 F.S.I.	2.51		
04 SERVICES - (m ²)	PROPOSED	REQUIRED (BY LAW 1-89)	
05 UNIT BREAKDOWN	PROPOSED	REQUIRED (BY LAW 1-89)	
06 G.F. UNIT BREAKDOWN	PROPOSED	REQUIRED (BY LAW 1-89)	
07 PARKING	PROPOSED	REQUIRED (BY LAW 1-89)	
08 BIKE PARKING	PROPOSED	REQUIRED (BY LAW 1-89)	
09 ESTABLISHED GRADE	PROPOSED	REQUIRED (BY LAW 1-89)	
10 BUILDING HEIGHT (m)	PROPOSED	REQUIRED (BY LAW 1-89)	
11 PLANTY (m ²)	PROPOSED	REQUIRED (BY LAW 1-89)	

THE DRAWING IS AN INDICATION OF CONCEPTS AND IS NOT A CONTRACT. THE CLIENT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE ARCHITECT.

PROJECT ARCHITECT: B. Graziani

ASSISTANT ARCHITECT: R. Lincoln

DRAWN BY: D. Bosc

CHECKED BY: NOV 09, 2022

PILOT DATE: 1339.15

City Park (Woodbridge Gates North) Inc.

248-240 Woodbridge Ave.

Ontario

GRAZIANI CORAZZA ARCHITECTS

1000 SHEPPARD AVENUE EAST, SUITE 100, MARKHAM, ONTARIO L3R 9V7

TEL: 905.477.8888 FAX: 905.477.8889

1:150

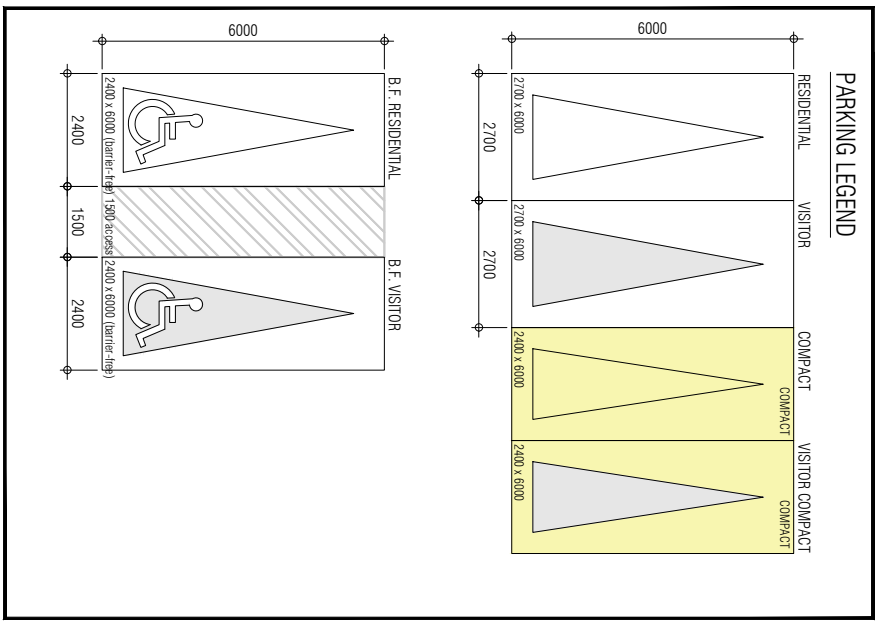
A101

1:150

A101



THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS FORWARDED BY AND IS THE PROPERTY OF GRAZIANI-CORAZZA ARCHITECTS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND FOR ANY DISCREPANCIES BETWEEN THE DRAWING AND THE ACTUAL CONDITIONS. GRAZIANI-CORAZZA ARCHITECTS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, AND OTHER ENGINEERING INFORMATION SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK, CONSTRUCTION, MAINTENANCE, AND REPAIRS OF THE ADJACENT EXISTING INFRASTRUCTURE, UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK, CONSTRUCTION, MAINTENANCE, AND REPAIRS OF THE ADJACENT EXISTING INFRASTRUCTURE, UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK, CONSTRUCTION, MAINTENANCE, AND REPAIRS OF THE ADJACENT EXISTING INFRASTRUCTURE, UNLESS OTHERWISE SPECIFIED.



Issued for revisions

GRAZIANI-CORAZZA ARCHITECTS

Residential Development

City Park (Woodbridge Gates North) Inc.

248-260 Woodbridge Ave.

Project Architects: B. Graziani

Assistant Designer: R. Lincoln

Drawn By: R. Lincoln, J. Llanos

Checked By: D. Bosc

Plot Date: NOV 09, 2022

JOB # 1339115

P2 FLOOR PLAN

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval/w conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

Date: November 10th 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A286-22**

Related Files:

Applicant City Park (Woodbridge Gates North) Inc. (Chris Zeppa)

Location 260 Woodbridge Avenue

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

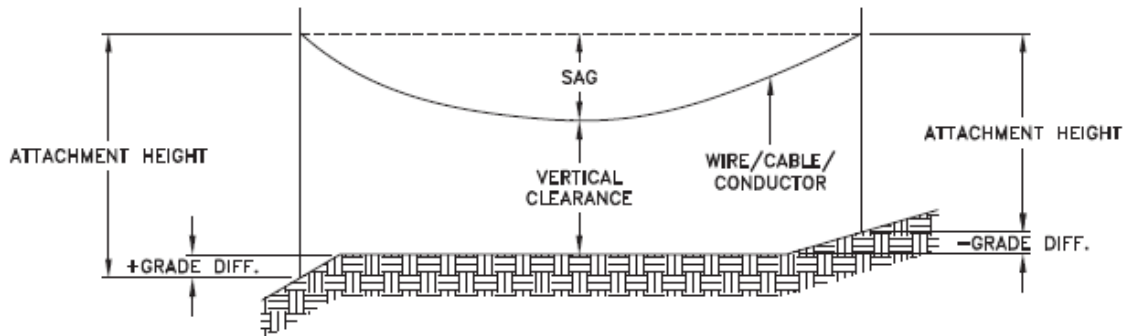
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

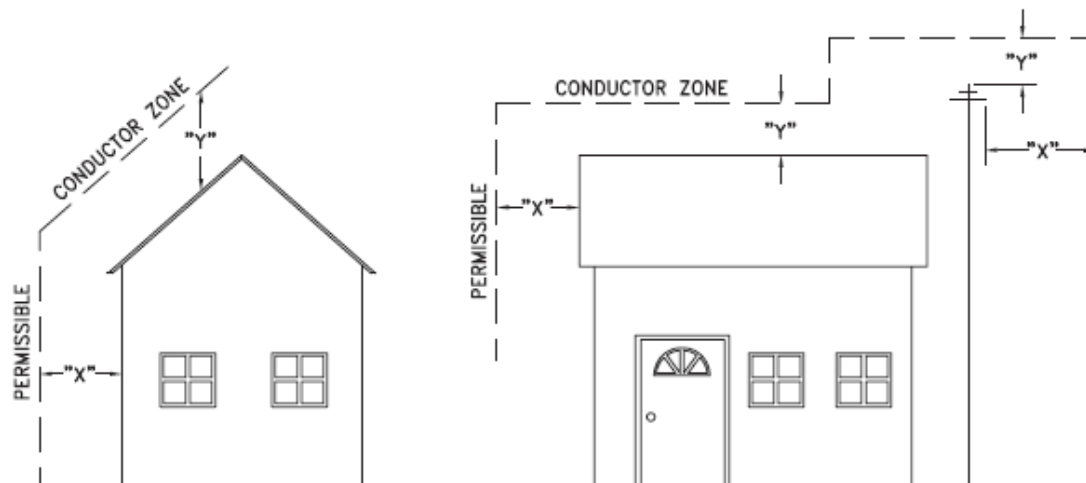
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Catherine Saluri, Building Standards Department

Date: December 16, 2022

Applicant: City Park (Woodbridge Gates North) Inc. (Chris Zeppa)

Location: 260 Woodbridge Avenue
PLAN RP385 Part of Lot 12

File No.(s): **A286/22**

Zoning Classification:

The subject lands are zoned WMS Main Street Mixed-Use – Woodbridge Zone under By-law 001-2021 as amended.

The subject lands are zoned RA3, Apartment Residential Zone, and subject to the provisions of Exception 9(1516) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The minimum parking requirement shall be 120 spaces, which includes a minimum of 21 spaces for visitor parking. [Exception 9(1516) ai]	To permit a minimum of 116 parking spaces, including a minimum of 20 visitor parking spaces.
2	Standard parking spaces (residential and visitor) shall measure a minimum of 2.7 m width x 6.0 m length. [Section 2.0, Definitions of Parking Space]	To permit minimum parking space dimensions of 2.4 m width x 4.8 m length for a maximum of 12 standard parking spaces (residential and visitor).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A building permit is required for the proposed construction of an apartment building.

Other Comments:

General Comments	
1	This application has been determined to be transitioned in accordance with Subsection 1.6.3.3.2 (a)(f) of Zoning Bylaw 001-2021, and therefore is subject to Zoning By-law 1-88.
2	The subject lands are currently being reviewed for development under Development Application No. DA.17.108.
3	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: January 17, 2023

Name of Owner: City Park (Woodbridge Gates North) Inc. (Chris Zeppa)

Location: 248, 252, 256 and 260 Woodbridge Avenue

File No.(s): A286/22

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum of 116 parking spaces, including a minimum of 20 visitor parking spaces.
2. To permit minimum parking space dimensions of 2.4 m width x 4.8 m length for a maximum of 12 standard parking spaces (residential and visitor).

By-Law Requirement(s) (By-law 1-88):

1. The minimum parking requirement shall be 120 spaces, which includes a minimum of 21 spaces for visitor parking.
2. Standard parking spaces (residential and visitor) shall measure a minimum of 2.7 m width x 6.0 m length.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Mid-Rise Residential," Volume 2, Section 11.11, Woodbridge Centre Secondary Plan

Comments:

The Owner is requesting relief to permit the construction of a 7-storey residential building with the above noted variances. The Owner submitted Site Development Application File DA.17.108 to facilitate the development, which was draft approved with conditions by Council on December 15, 2020. The Owner was unable to secure the necessary encroachment permissions from the abutting property owners to construct the size of foundation proposed. The Development Planning Department has received a revised submission with a reduced foundation size, resulting in changes to the underground parking layout. The revised Site Development Application is currently under review.

The Development Planning Department has no objection to the proposed variances given that the proposed parking ratio and dimensions have been reviewed by the Transportation Engineering Division of the Development Engineering Department and is considered sufficient to serve the proposed use.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That all comments on Site Development Application DA.17.108 be addressed to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

Pravina Attwala

Subject: FW: [External] RE: A286/22 (260 WOODBRIDGE AVENUE) - REQUEST FOR COMMENTS

From: Development Services <developmentservices@york.ca>
Sent: November-14-22 10:33 AM
To: Pravina Attwala <Pravina.Attwala@vaughan.ca>; Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] RE: A286/22 (260 WOODBRIDGE AVENUE) - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the above minor variance (A286/22) and has no comment.

Many thanks,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

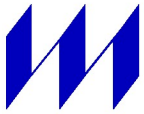
The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca
Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant / Authorized Agent	John Zipay		10/18/2022	Justification Letter



WESTON CONSULTING

planning + urban design

Committee of Adjustment
Office of the City Clerk
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

October 18, 2022
File 7676

RE: Minor Variance Application
248, 252, 256, 260 Woodbridge Avenue (Woodbridge Gates North)
City of Vaughan
Related files: OP.17.015, Z.17.041, DA.17.108

John Zipay and Associates, in partnership with Weston Consulting, is the planning consultant for City Park (Woodbridge Gates North) Inc., the registered owner of the properties municipally known as 248, 252, 256 and 260 Woodbridge Avenue in the City of Vaughan (herein referred to as the 'subject lands'). A Site Plan Application (DA.17.108) was filed with the City and deemed complete on December 20, 2017 to facilitate the redevelopment of the subject lands with a new mid-rise multi-unit residential building. The application received draft approval subject to conditions from City Council on December 15, 2020. Associated applications for Official Plan Amendment (OPA.17.015) and Zoning By-law Amendment (Z.17.041) were also approved by City Council for the subject lands to facilitate the proposed development and are now in full force and effect.

To resolve issues relating to shoring and excavation where permission to encroach on the neighbouring property was not obtained, minor revisions to the design of the proposal have been made which resulted in changes to the parking layout. As a result, we are pleased to submit the enclosed application for Minor Variance on behalf of the landowner to permit a reduced parking rate for the subject lands.

The subject lands are located on the north side of Woodbridge Avenue within the Woodbridge Planning Area. The lands have a total combined area of 2,784.39 m² (0.28 ha) and approximately 68.95 m of frontage along Woodbridge Avenue. The subject lands are designated "*Mid-Rise Residential*" with a maximum density of 2.51 FSI and a maximum lot coverage of 65% in accordance with Official Plan Amendment ('OPA') 60 to the VOP 2010 and will contain 92 residential units. The subject lands are zoned "*RA3 – Apartment Residential*" subject to Exception 9(1516) by Zoning By-law 1-88, as amended by By-law 063-2021. In accordance with correspondence from City Legal, the proposed development has been determined to be transitioned under the transition provisions of By-law 001-2021, and as such, only Zoning By-law 1-88 is applicable to the subject lands. Similarly, in the decision of City Council approving Zoning By-law Amendment application Z.17.041, Council provided permission for the owner to apply for a Minor Variance application to the Committee of Adjustment, if required, before the second

anniversary of the day on which the implementing Zoning By-law came into effect to permit minor adjustments to the implementing zoning by-law. As such, this Minor Variance application is permitted in advance of May 18, 2023, reflecting the secondary anniversary of the day on which Zoning By-law 063-2021 came into effect.

The revised development has been designed generally in accordance with the approved site-specific instruments, including OPA 60 and Zoning By-law 063-2021; however, a variance for reduced parking spaces and permissions for compact parking spaces are required to facilitate the revised development as summarized below:

1. Permit a total of 111 parking spaces, whereas a total of 120 spaces are required; and
2. Permit a total of 12 parking spaces devoted to and for the exclusive use of a compact motor vehicle, where the minimum width of a compact motor vehicle parking space shall be 2.4 m and the minimum length of a compact motor vehicle parking space shall be 4.8 m. A parking space allocated to a compact motor vehicle shall be demarcated for the exclusive use of a compact motor vehicle and maintained as such.

While Zoning By-law 1-88, as amended by By-law 063-2021, is the applicable zoning by-law to the subject lands, it is acknowledged that the new City-wide Zoning By-law 001-2021 represents the current and future vision for the City of Vaughan. In particular, it is the intent of Zoning By-law 001-2021 to reduce automobile dependence, encourage other modes of transportation, and limit the prevalence of automobile-oriented infrastructure by reducing parking rates and providing for alternative parking solutions, such as compact parking spaces. Section 6.3.5 of Zoning By-law 001-2021 permits a parking rate of 1 space per dwelling unit for residents and 0.2 spaces per dwelling unit for visitors. The Minor Variance application seeks to permit a minimum parking rate of 111 parking spaces for the proposed development including 20 visitor spaces, which meets the parking rates required under By-law 001-2021 (refer to Table 1 below). Additionally, the application seeks to permit compact parking spaces as contemplated by By-law 001-2021. The proposal seeks to permit a maximum of 12 compact parking spaces, representing approximately 10% of the total proposed parking spaces which is consistent with the permissions of Section 6.3.4 of By-law 001-2021. As such, it is our opinion that the reduced parking rate and permissions for compact parking spaces proposed by this application are appropriate and will adequately serve the proposed development.

Table 1: Parking Calculation Summary under By-law 001-2021

	By-law 001-2021	Calculation
Resident Parking	1 space per unit	1 x 92 units = 92 spaces
Visitor Parking	0.2 spaces per unit	0.2 x 92 units = 19 spaces
Total		111 spaces

It is our opinion that both requested variances maintain the general purpose of the Official Plan and Zoning By-law, are minor in nature, are desirable for the development of the land, and represent good planning.

We are pleased to submit the following materials in support of the proposed Minor Variance application for the subject lands:

1. Cover Letter, prepared by Weston Consulting & John Zipay and Associates, dated October 18, 2022;
2. Application Form (digital), prepared by Weston Consulting & John Zipay and Associates, dated October 18, 2022;
3. Site Plan, prepared by Graziani and Corazza Architects, dated October 11, 2022;
4. Correspondence with City Legal re: Transition of Application, dated March 1, 2022; and
5. Site-specific Zoning By-law 063-2021.

We trust that the above is in order. Please contact the undersigned at 416-305-7989 should there be any questions related to the enclosed submission.

Yours truly,

Weston Consulting

Per:



John Zipay, MCIP, RPP

- c. C. Zeppa, City Park
G. Pennino, City Park
J. Damaren, Weston Consulting
R. Roach, City of Vaughan

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None.		