

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant / Authorized Agent	Corey Shiff, OAA and Arash Bahamin		10/27/2022	Justification Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A285/22
140 PARR PLACE, THORNHILL**

ITEM NUMBER:	CITY WARD #: 5
APPLICANT:	14273494 Canada Inc.
AGENT:	Utes Inc
PROPERTY:	140 Parr Place, Thornhill
ZONING DESIGNATION:	See below.
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1D(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.496 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum interior side yard setback of 2.5m is required. [Schedule T-84]	To permit a minimum interior side yard setback of 2.47m. *Variance removed by Zoning Review Waiver
2	A maximum lot coverage of 20% is permitted. [Schedule T-84]	To permit a maximum lot coverage of 26.91% . *Variance confirmed using Zoning Review Waiver *Coverage further reduced after the issuance of public notice to address Planning recommendations: To permit a maximum lot coverage of 23%

The subject lands are zoned R1 –Residential Zone and subject to the provisions of Exception 9(797) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A minimum interior side yard setback of 2.5m is required. [Schedule T-84]	To permit a minimum interior side yard setback of 2.47m. *Variance removed by Zoning Review Waiver
4	A maximum lot coverage of 20% is permitted. [Schedule T-84]	To permit a maximum lot coverage of 26.91% . *Variance confirmed using Zoning Review Waiver *Coverage further reduced after the issuance of public notice to address Planning recommendations: To permit a maximum lot coverage of 23%.

HEARING INFORMATION

DATE OF MEETING: Thursday, January 26, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

HEARING INFORMATION

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.
That the general intent and purpose of the official plan will be maintained.
That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS	
Date Public Notice Mailed:	January 12, 2023
Date Applicant Confirmed Posting of Sign:	January 10, 2023
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	I am requesting relief from the zoning by-laws to permit the construction of a new dwelling, rear terrace and swimming pool on my property. Land constraints generate variances.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On January 5, 2023, Development Planning provided the following comments:</p> <ol style="list-style-type: none">Note that Development Planning have identified early through the preliminary review that if any of the proposed construction was within 6 m of vegetation an arborist report and tree preservation plan was required. Although an exact distance has not been provided from the pool to the outer line of the woodlot, staff can confirm that based on the scale of your site plan it appears the western portion of the pool is less than 6m. Please submit these studies to ensure appropriate protection strategies are taken into account.Considering the proposed dwelling has garages directly facing the street with no active building façade, it is encouraged you consider an enhanced landscape to uphold the elegant street character.Development planning and urban design staff are of the opinion the proposed lot coverage is excessive and not in keeping with adjacent dwellings in the neighbourhood. Consideration should also be given in reducing the maximum building height since the grade along the right-of-way is at a lower point making the dwelling to perceived as a three-storey home.Please review the attached comments from urban design and address accordingly. <p>Development planning is requesting an adjournment to provide the Owner sufficient time to address the above noted comments and submit a revised proposal.</p>

COMMITTEE OF ADJUSTMENT COMMENTS		
		<p>The applicant submitted a revised application, together with a Zoning Review Waiver, reducing lot coverage on January 10, 2023</p> <p>On January 10, 2023, Development Planning provided:</p> <p>We appreciate the efforts you have made to reduce the lot coverage for the proposed dwelling to 23% and provide vegetative screening along the front garages, however, is there an update pertaining to receiving an arborist report to determine the proposed in-ground pool will not adversely impact the rear woodlot. Also, the neighbouring property (150 Parr Place) has vegetation along their westerly lot line that is 6m from the proposed works. Note this requirement was first noted in the preliminary review in December and my email below in January. Without this information provided we are unable to complete our analysis and finalize our report. I would recommend this item still be adjourned, as the results of the arborist report/tpp may require alterations to the plan you attached.</p> <p>On January 18, 2023, Zoning Staff reviewed the revised submission and confirmed requested variance for lot coverage is 23%. Planning staff have no further concerns with the proposal (see comments in Schedule B).</p>
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.		Yes (Zoning confirmed variances based on revised submission, see Zoning comments in Schedule B)
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
As the existing cabana in the subject property is 366.51m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)	

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>The proposed work by the owner/ applicant is increasing the lot coverage area from 20% to 30.5% in the subject property. The added hardscape may have impact on City's Storm Water management system. Staff suggests the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts.</p> <p>The Development Engineering (DE) Department does not object to the variance application A285/22 subject to the following condition:</p>	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry has no comments at this time	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
<p>That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.</p> <p>That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.</p> <p>That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.</p> <p>That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.</p> <p>Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.</p>	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment no concerns	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

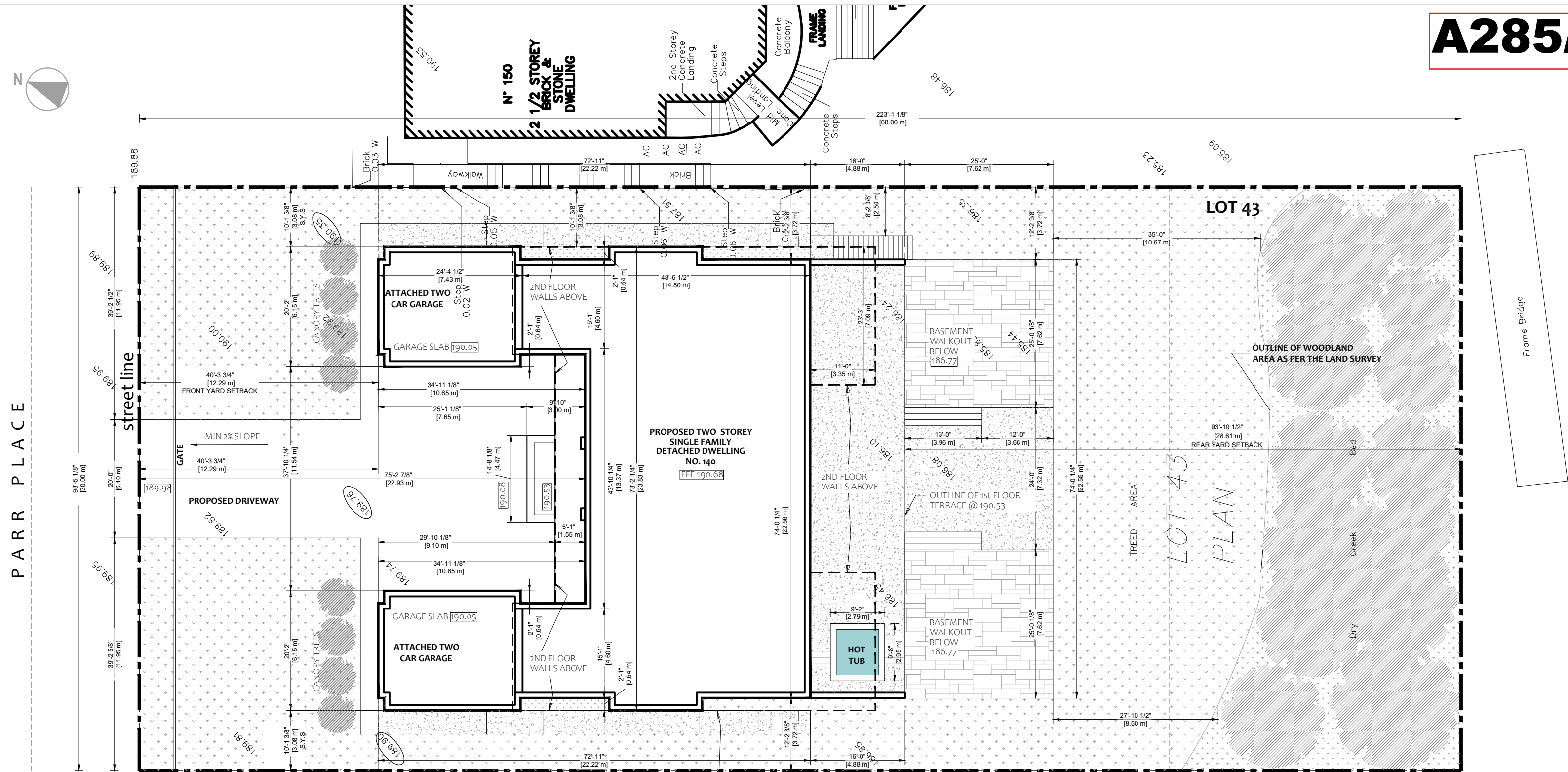
Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
2	TRCA Kristen.Regier@trca.ca	That the applicant provides the required fee amount of \$110.00 payable to the Toronto and Region Conservation Authority.
3	York Region Developmentservices@york.ca	Prior to the approval of the application, the City of Vaughan shall confirm that adequate water supply and sewage capacity has been allocated for the proposed new dwelling.

IMPORTANT INFORMATION – PLEASE READ
<p>CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p> <p>APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p> <p>DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p>

IMPORTANT INFORMATION – PLEASE READ
<p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p> <p>NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will not receive notice.</p>

SCHEDULE A: DRAWINGS & PLANS



A285/22

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4	ISSUED FOR REVIEW	JAN 10, 2023
3	ISSUED FOR REVIEW	NOV 28, 2022
2	ISSUED FOR REVIEW	NOV 08, 2022
1	ISSUED FOR REVIEW	OCT 07, 2022
NO.	DESCRIPTION	DATE

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

SITE PLAN
SCALE: 1/16" = 1'-0"

#	Zoning By-law 01-2021 Variance requested
1	To permit a maximum lot coverage of 23%.
#	Zoning By-law 1-88 Variance requested
2	To permit a maximum lot coverage of 23%.

140 PARR PLACE – ZONING INFORMATION

ZONING BY-LAW 1-88		R1, EXCEPTION 9(797)
LOT AREA:	=	2040 sq.m.
PROPOSED BASEMENT FLOOR:	=	302.26 SQ.M
PROPOSED MAIN FLOOR:	=	388.94 – 74.74 (GARAGE) = 314.20 SQ.M
GARAGE AREA:	=	37.37 X 2 = 74.74 SQ.M
FRONT PORCH AREA:	=	26.32 SQ.M
REAR TERRACE AREA @ MAIN FLOOR:	=	110.03 SQ.M
REAR STEPS TO TERRACE	=	6.44SQ.M
PROPOSED SECOND FLOOR:	=	384.36 SQ.M
CANTILEVER AREAS OF SECOND FLOOR ON EAST AND WEST SIDES	=	17.12 SQ.M
AREA OF REAR TERRACE COVERED BY 2ND FLOOR EXTENSION:	=	43.26 SQ.M
AREA OF REAR TERRACE NOT COVERED BY 2ND FLOOR EXTENSION:	=	66.77 SQ.M
AREA OF FRONT PORCH COVERED BY 2ND FLOOR EXTENSION:	=	19.84 SQ.M
AREA OF FRONT PORCH NOT COVERED BY 2ND FLOOR EXTENSION:	=	6.48 SQ.M

PROPOSED COVERAGE (LARGEST FOOTPRINT): = 469.152 SQ.M (23 %) **VARIANCE**
MAIN FLOOR & 2 GARAGES (388.94 SM)+ SECOND FLOOR CANTILEVERS (80.21 SM) =469.152 SM

	ALLOWABLE (EXCEPTION 797)	PROPOSED
MIN. LOT AREA	2025 SQ.M	2040.00 SQ.M
LOT FRONTAGE	30.00 M	30.00 M EXISTING
FRONT	10.00 M	12.29 M
REAR	15.00 M	28.61 M
SIDE (EAST)	1.5 M	3.08 M
SIDE (WEST)	2.5 M	3.08 M
TOTAL LOT COVERAGE	408 SQ.M (20%)	469.152 SQ.M (23 %) VARIANCE
BUILDING HEIGHT	9.5 M (EXCEPTION)	8.55 M

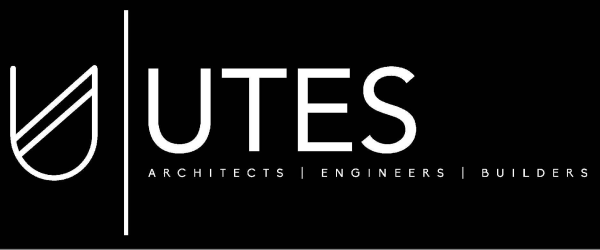
ZONING BY-LAW 001-2021

R1D (EN) – 14.496

	ALLOWABLE (EXCEPTION 496)	PROPOSED
MIN. LOT AREA	2025 SQ.M	2040.00 SQ.M
LOT FRONTAGE	30.00 M	30.00 M EXISTING
FRONT	10.00 M	12.29 M
REAR	15.00 M	28.61 M
SIDE (EAST)	1.5 M	3.08 M
SIDE (WEST)	2.5 M	3.08 M
TOTAL LOT COVERAGE	408 SQ.M (20%)	469.152 SQ.M (23 %) VARIANCE
BUILDING HEIGHT	9.5 M (EXCEPTION)	8.55 M

ESTABLISHED GRADE CALCULATION:
(180.90+189.76+190.35)/3 = 190.00

Project North:



Project Title:

140 PARR PLACE

Address:

140 Parr Pl, Thornhil, ON L4J 8L1

Drawing:

SITE PLAN & ZONING INFO

Date: OCT 07, 2022

Scale:

Project: 2022

Drawn by: T.A

Sheet No:

A1

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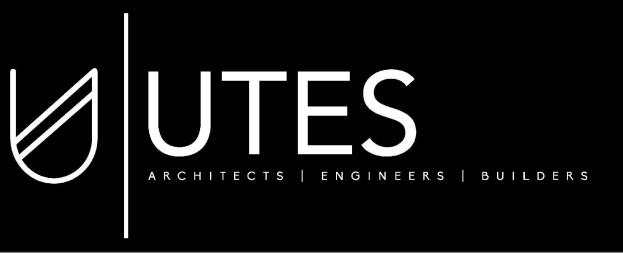
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Project North:



Project Title:

140 PARR PLACE

Address:

140 Parr Pl, Thornhil, ON L4J 8L1

Drawing:

FRONT ELEVATION

Date: OCT 07, 2022

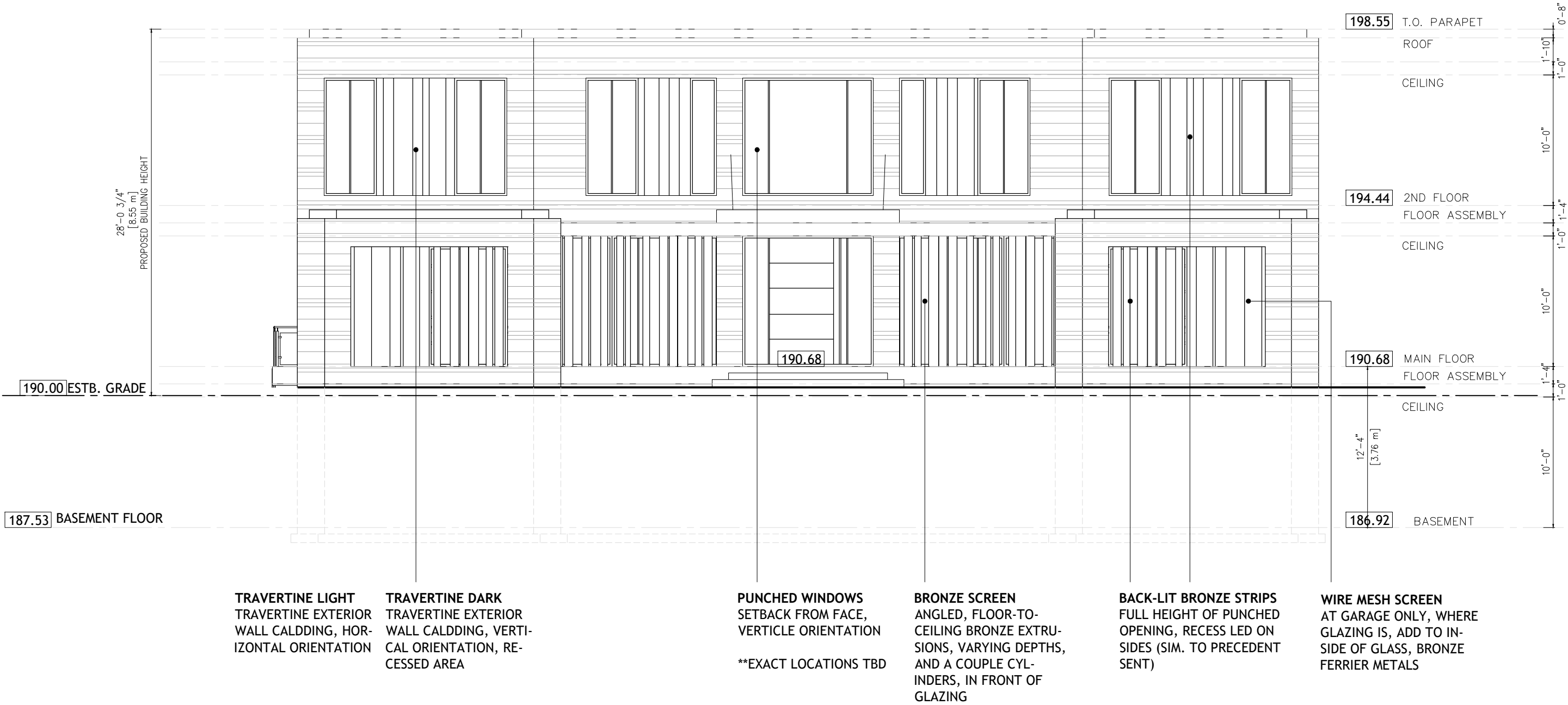
Scale:

Project: 2022

Drawn by: T.A

Sheet No:

A8



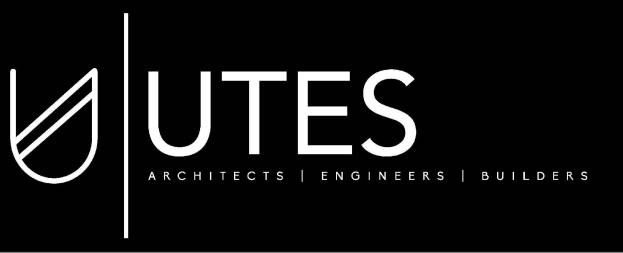
FRONT (NORTH) ELEVATION
SCALE: 1/8" = 1'-0"

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Project North:



Project Title:

140 PARR PLACE

Address:

140 Parr Pl, Thornhil, ON L4J 8L1

Drawing:

REAR ELEVATION

Date: OCT 07, 2022

Scale:

Project: 2022

Drawn by: T.A

Sheet No:

A9



REAR (SOUTH) ELEVATION
SCALE: 1/8" = 1'-0"

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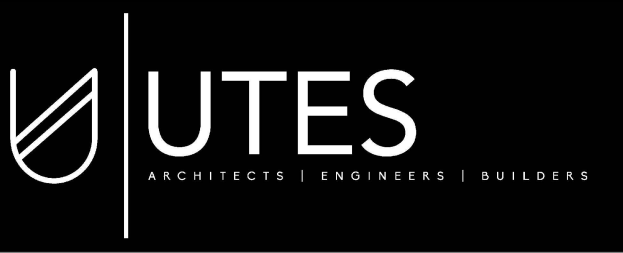
TESA

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4	ISSUED FOR REVIEW	JAN 10, 2023
3	ISSUED FOR REVIEW	NOV 28, 2022
2	ISSUED FOR REVIEW	NOV 08, 2022
1	ISSUED FOR REVIEW	OCT 07, 2022
NO.	DESCRIPTION	DATE

Project North:



Project Title:

140 PARR PLACE

Address:

140 Parr Pl, Thornhil, ON L4J 8L1

Drawing:

SIDE ELEVATION

Date: OCT 07, 2022

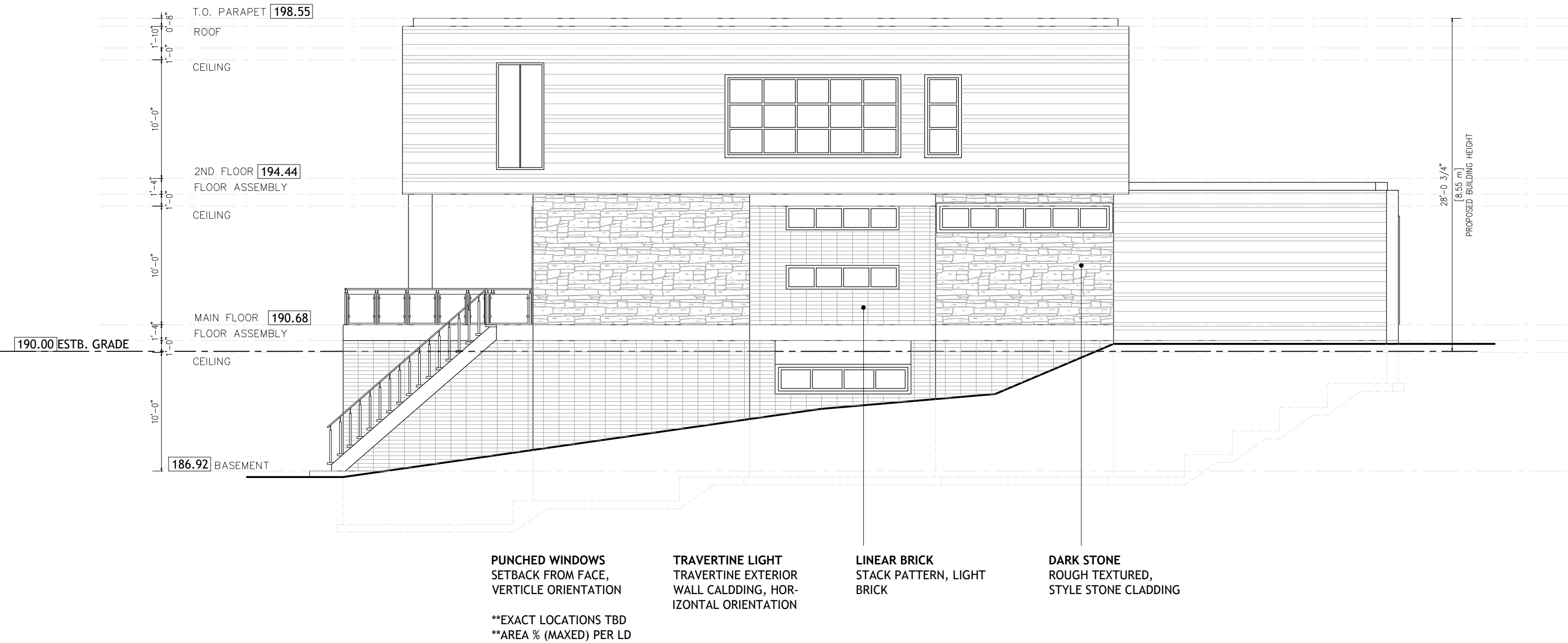
Scale:

Project: 2022

Drawn by: T.A

Sheet No:

A10



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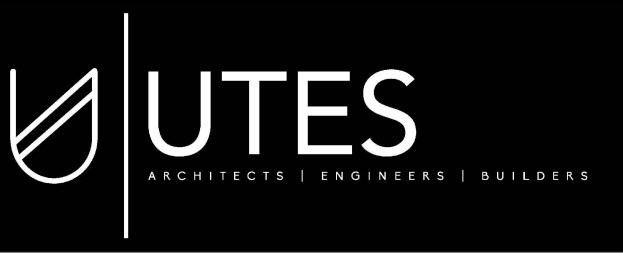
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Project North:



Project Title:

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Address:

140 Parr Pl, Thornhil, ON L4J 8L1

Drawing:

SIDE ELEVATION

Date: OCT 07, 2022

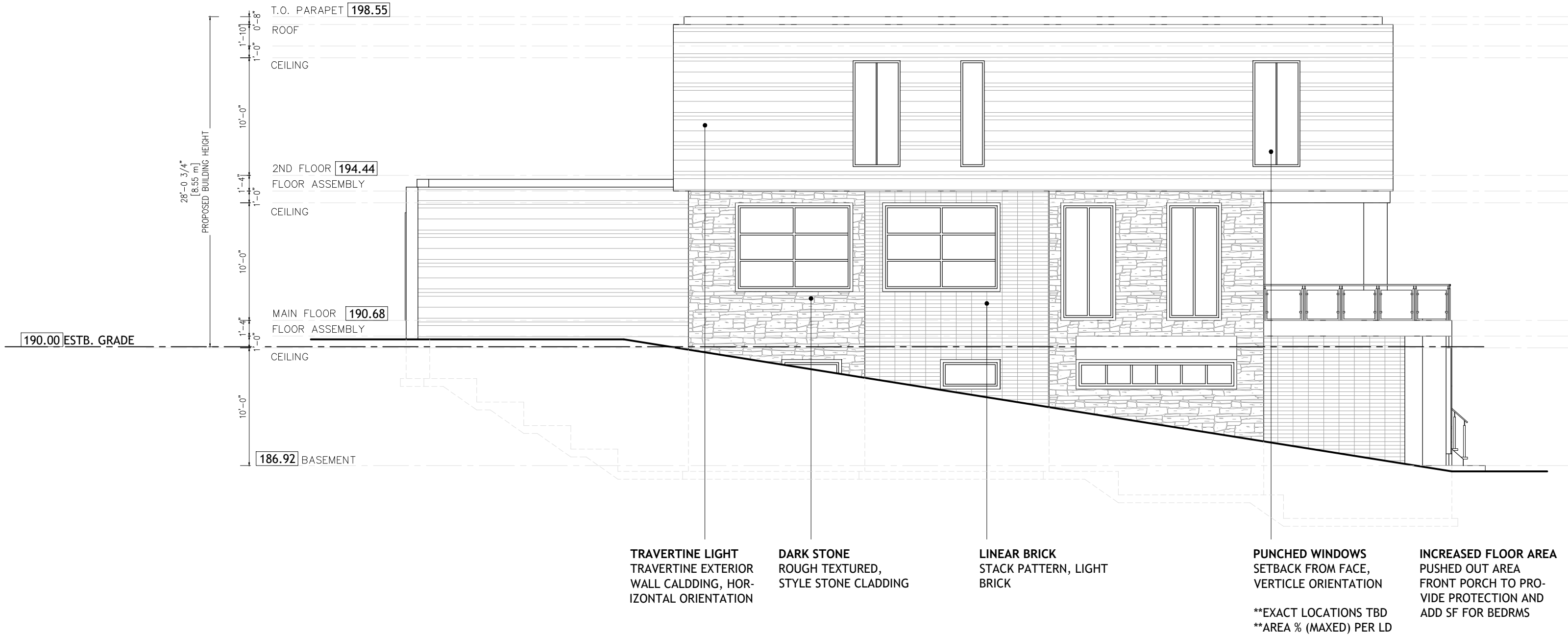
Scale:

Project: 2022

Drawn by: T.A

Sheet No:

A11



SIDE (WEST) ELEVATION
SCALE: 1/8" = 1'-0"

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X	X	Recommend Approval w/Conditions
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X	X	General Comments w/conditions
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: December 8th 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A285-22**

Related Files:

Applicant 14273494 Canada Inc.

Location 140 Parr Place

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

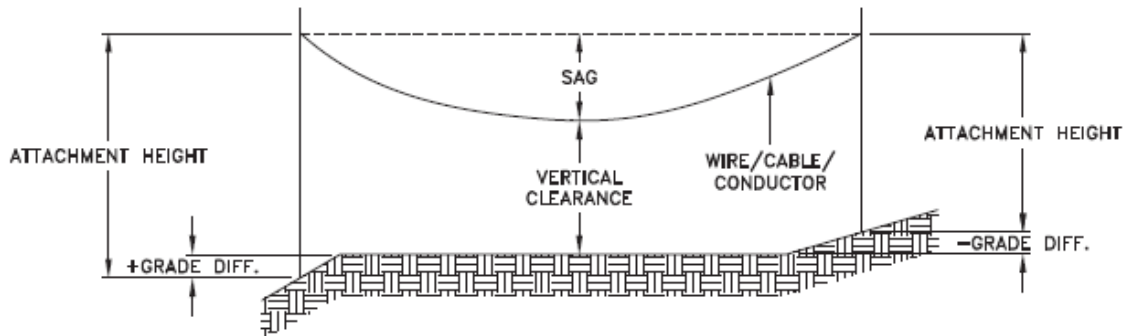
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

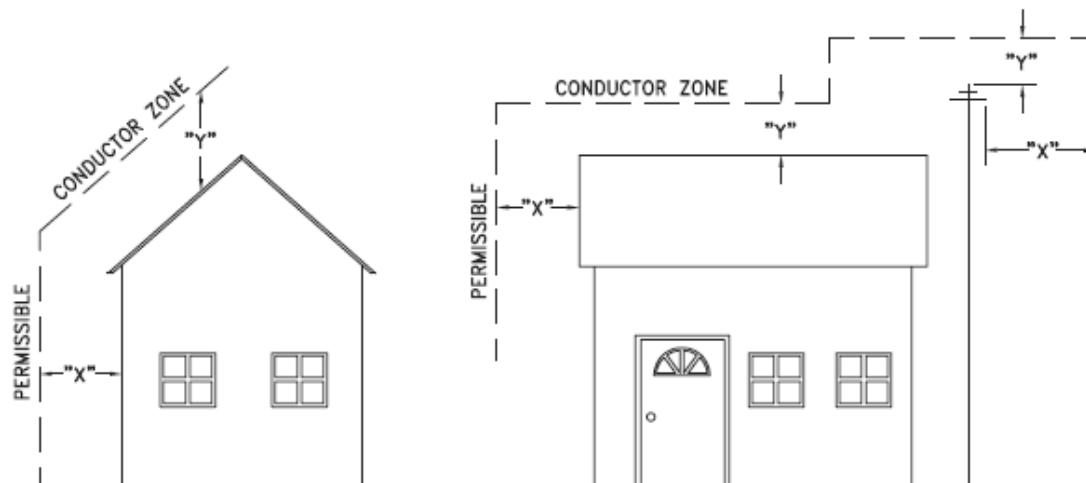
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment

From: Faegheh Gholami, Building Standards Department

Date: January 18, 2023

Applicant: 14273494 Canada Inc.

Location: 140 Parr Place
PLAN 65M3163 Lot 43

File No.(s): A285/22

Zoning Classification:

The subject lands are zoned R1D(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.496 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum lot coverage of 20% is permitted. [Schedule T-84]	To permit a maximum lot coverage of 23%.

The subject lands are zoned R1 –Residential Zone and subject to the provisions of Exception 9(797) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	A maximum lot coverage of 20% is permitted. [Schedule T-84]	To permit a maximum lot coverage of 23%.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA – Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: January 12, 2023

Name of Owner: 14273494 Canada Inc.

Location: 140 Parr Place, PLAN 65M3163 Lot 43

File No.(s): A285/22

Proposed Variance(s) (By-law 01-2021):

1. To permit a maximum lot coverage of 26.91%.

By-Law Requirement(s) (By-law 01-2021):

1. A maximum lot coverage of 20% is permitted. [Schedule T-84]

Proposed Variance(s) (By-law 1-88):

2. To permit a maximum lot coverage of 26.91%.

By-law Requirement(s) (By-law 1-88):

2. A maximum lot coverage of 20% is permitted.

Official Plan:

VOP 2010: "Low-Rise Residential"

Comments:

The Owner is requesting permission to construct a 2-storey single detached dwelling with two (2) attached garages and walk-out basement with the above noted variances.

At the request of the Development Planning Department the Owner has reduced the maximum lot coverage and increased the interior side yards to propose a built form that is compatible with the other properties in the immediate neighbourhood. The proposed lot coverage of 23% consists of the dwelling's main floor occupying 19.1% while the remaining 3.9% is for the second-floor cantilevers. The area underneath portions of the second-floor cantilevers are used for the front porch and rear terrace. Additionally, the Owner worked with Urban Design staff to reduce the depth of the attached garages and incorporate vegetative screening to mitigate any potential impact towards the established streetscape. The Owner has been informed that permits (i.e., permit to injure) from Forestry may be required to ensure the neighbouring trees are not impacted during construction.

According to our mapping, the rear of the subject lands contains a portion of a woodland feature. Policy Planning and Special Projects ('PPSP') staff do not object with the proposal and provided sign-off on December 21, 2022, recognizing no construction will take place within 10 m (minimum protection zone) of the woodlot. As a result, the Owner has chosen to remove the in-ground pool in the rear yard.

The Development Planning Department has no objection to the variances as the total lot coverage and increased side yard setbacks produce a footprint and scale of development that fits harmoniously within the context of this community. Additionally, the lot is sufficiently sized to accommodate the scale of development proposed.

The Development Planning Department has reviewed the application and is of the opinion that it is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

None

Comments Prepared by:
Roberto Simbana, Planner I
David Harding, Senior Planner

January 10, 2023

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A285.22
Plan 65M3163 Lot 43
140 Parr Place
City of Vaughan, Region of York
Owner: 14273494 Canada Inc.
Agent: Corey Shiff, Arash Bahamin, Afshin Nabavi**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on December 6, 2022. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variance under both the By-Law 01-2021 and By-Law 1-88:

By-Law 01-2021:

- To permit a minimum interior side yard setback of 2.47 m, whereas a minimum interior side yard setback of 2.5 m is required.
- To permit a maximum lot coverage of 30.54%, whereas a maximum lot coverage of 20% is permitted.

By-Law 1-88:

- To permit a minimum interior side yard setback of 2.47 m, whereas a minimum interior side yard setback of 2.5 m is required.
- To permit a maximum lot coverage of 30.54%, whereas a maximum lot coverage of 20% is permitted.

The noted variances are being requested to facilitate the construction of new residential dwelling, pool, and associated landscaping.

Ontario Regulation 166/06

The subject lands are partially located within TRCA's Regulated Area due to a valley corridor associated with a tributary of the Humber River that is located to the rear (south) of the site. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

As noted above, a portion of the subject property is regulated by TRCA due to the presence of a valley corridor. Based on a review of TRCA mapping, the proposed works are outside of the Regulated Area.

Based on a review of the materials submitted with this minor variance application, TRCA staff are satisfied that the proposed works are appropriately set back from the adjacent valley corridor. As such TRCA staff have no objections to the requested variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$110.00 (Screening Letter) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A312.22 subject to the following condition:

1. That the applicant provides the required fee amount of \$110.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,



Kristen Regier
Planner I
Development Planning and Permits

KR/sb

From: [Development Services](#)
To: [Christine Vigneault](#); [Committee of Adjustment](#)
Subject: [External] RE: A285/22 (140 Parr Place) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Friday, December 23, 2022 7:37:47 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variances (A285/22) and has the following condition:

1. Prior to the approval of the application, the City of Vaughan shall confirm that adequate water supply and sewage capacity has been allocated for the proposed new dwelling.

Thank you,
Niranjan

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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Our Mission: **Working together to serve our thriving communities – today and tomorrow**

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant / Authorized Agent	Corey Shiff, OAA and Arash Bahamin		10/27/2022	Justification Letter

To: City of Vaughan, Committee of Adjustment- Minor Variance

Re: 140 Parr Place, Thornhill

Please see this application for a new single family dwelling at 140 Parr Place for the relief of variances from By-laws 1-88 and 001-2021. This house provides a growing family the necessities to live, work and play in a modern setting. Due to the unpredictable environment, we live in, the house includes all the amenities for the children, parents, and grandparents to function. This a forever home for the parents to grow old in, resulting in extra space for an elevator and accessible interior clearances. The family needs a larger dining room and recreational spaces to entertain their friends and colleagues as they are very social and participate in many organizations. As well, larger living spaces are designed for the extended family and friends to stay over for weekends and holidays. The owners have worked hard and pride themselves for raising their children with values and goals. The proposed design has been a dream for the parents, and they are finally envisioning it, consequently resulting in minor variances.

Remote work is here to stay, and the parents need space to separate themselves from the family to work in a quiet setting. Additionally, extra space is need for the in-laws to maintain a healthy lifestyle. Children require additional space for extra curricular activities and a safe environment to host friends ensuring a secure and protected place. The pandemic has led to multiple lockdowns and has led to many problematic situations where people can not exercise or maintain their mental health. This proposed design alleviates such issues as it allows for a space for the family to retreat and stay active.

To maintain the elegance and grandeur of the neighbourhood, a proposed design exemplifies such attributes. The deep setback maintains the streetscape and allows for ground water to be recharged with permeable soft scaping. The mass of the house is broken up to maintain a subtle transition of scale.

The City of Vaughan has two Zoning By-laws: 1-88 and 001-2021. Due to this situation, the number of variances double to six, as both By-laws repeat the same zoning standards. Furthermore, 140 Parr Place has two exemptions: 9(797) (By-law 1-88) and 14.496 (By-law 001-2021), which generate additional variances. If there were no exemptions for this lot, the interior side yard setback and lot coverage variances would comply with the Zoning By-laws, and the latter would be less than the maximum allowable. The west side yard setback is only 0.03M in violation of the allowable setback and only along certain parts of the wall, while the majority of wall has a setback of 3.11 m. The unique site condition slopes downwards toward the rear of the house, resulting in the basement level to be nearly at grade and the main level to be elevated (requiring stairs to access the rear yard). The presents a design opportunity for an exquisite rear terrace that becomes an extension of the living space. If the front and rear porches were excluded from the lot coverage, the footprint of the house would be 22.4%. The third floor has a significantly smaller footprint, reducing the scale of the house and therefore the height violation only occurs in this portion of the dwelling. The height to the top of the second storey roof is +/- 8.8m, less than the allowable building height.

180 Parr Place, four house east of this application, was approved by the Committee of Adjustment for two variances. The variances are in violation of lot coverage and rear yard setback.

Thank you very much for reviewing the application and cover letter. Please take all the above reasons into consideration while assessing the proposed single family dwelling. The owner's love the neighbourhood and have developed many revisions with the designer to create a design that compliments the area "to promote sustainable economic development in a healthy natural environment."ⁱ

Sincerely,

Corey Shiff, OAA and Arash Bahamin, P.Eng.

ⁱ Planning Act, R.S.O. 1990, c. P.13. <https://www.ontario.ca/laws/statute/90p13>.