

<b>ITEM #: 6.10</b>	<b>COMMITTEE OF ADJUSTMENT REPORT MINOR VARIANCE APPLICATION A243/22 9511 WESTON ROAD, VAUGHAN</b>
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**COA REPORT SUMMARY**

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

*Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.*

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards -Zoning Review *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Metrolinx *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see <b>Schedule C</b> of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b>				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see <b>Schedule D</b> for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A243/22  
9511 WESTON ROAD, VAUGHAN**

<b>AGENDA ITEM NUMBER: 6.10</b>	<b>CITY WARD #: 3</b>
<b>APPLICANT:</b>	City of Vaughan
<b>AGENT:</b>	Thomas Brown Architects Inc.
<b>PROPERTY:</b>	9511 Weston Road, Vaughan
<b>ZONING DESIGNATION:</b>	See below.
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed fire station.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned I1, General Institutional Zone and OS1, Public Open Space Zone, the portion of which subject to the provisions of Exception 14.690 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum building height of 11 metres is permitted. [Table 12-3, to By-law 001-2021]	To permit a maximum building height of 14.7 metres.
2	A maximum Lot coverage of 10% is permitted. [Table 12-3, to By-law 001-2021]	To permit a maximum lot coverage of 22.23%

The subject lands are zoned A, Agricultural and OS2 Open Space Park with the OS2 portion subject to the provisions of Exception 9(1019) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A minimum front yard setback of 15 metres is required to the building. [Schedule "A" To By-law 1-88]	To permit a minimum front yard setback of 13 metres to the building
4	A minimum interior side yard setback of 15 metres is required to the building. [Schedule "A" To By-law 1-88]	To permit a minimum interior side yard setback of 6.0 metres to the building.

### HEARING INFORMATION

**DATE OF MEETING:** January 26, 2023

**TIME:** 6:00 p.m.

**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

INTRODUCTION	
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.	
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:	
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.	
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	January 12, 2023	
Date Applicant Confirmed Posting of Sign:	January 10, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The current zoning of the property, Public Open Space Zone (OS1), does not permit Emergency Services to be constructed within the property. The proposed new Fire Station will also require an amendment to the building height and the rear yard setback.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:	No	
<small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small>		
<small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small>		
<small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>		
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
<b>**See Schedule B for Building Standards (Zoning) Comments</b>	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
<b>**See Schedule B for Development Planning Comments.</b>	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
The Development Engineering (DE) and Transportation Engineering Department does not object to variance application A243/22 subject to the following condition(s):	
Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall satisfy the Development Engineering Department requirements for the related Site Plan Development Application DA.22.035.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry is working directly with Infrastructure Development on this project at this time.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comment no concerns	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

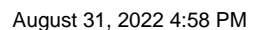
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
	None	

IMPORTANT INFORMATION – PLEASE READ	
<b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency ( <b>see condition chart above for contact</b> ). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.	

IMPORTANT INFORMATION – PLEASE READ	
<p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>	
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>	
<p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>	

**SCHEDULE A: DRAWINGS & PLANS**







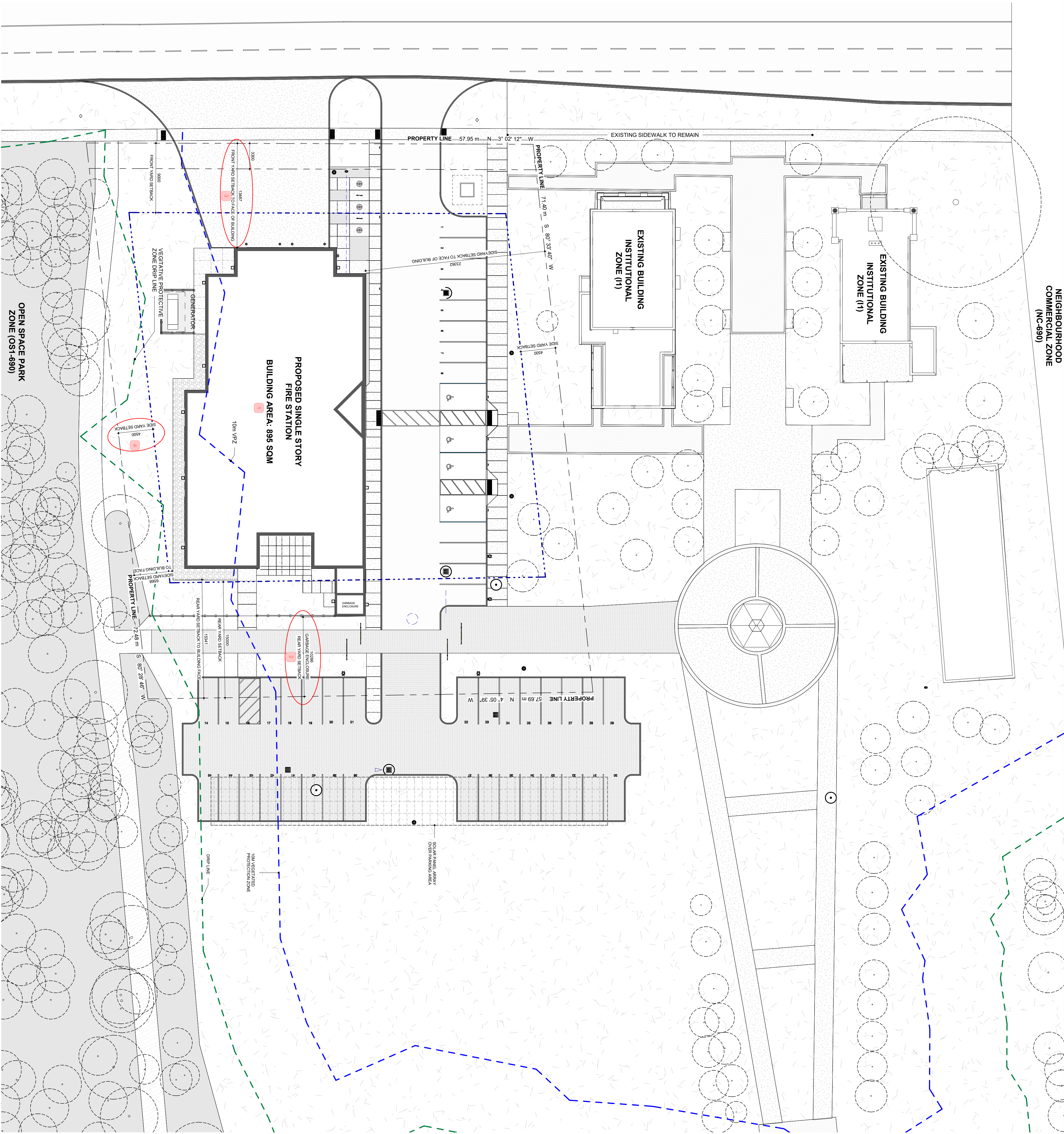
PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A243/22

Received  
December 9, 2022

MINOR VARIANCE SUMMARY NOTES	
NUMBER	GENERAL NOTE
1	Zoning By-law 001-2021 - To permit a maximum lot coverage of 22.23%.
2	Zoning By-law 001-2021 - To permit a rear yard setback of 10.2 meters to the building.
3	Zoning By-law 188 - To permit a front yard setback of 13 meters to the building.
4	Zoning By-law 188 - To permit a rear yard setback of 6 meters to the building.
5	Zoning By-law 001-2021 - To permit Emergency Services.
6	Zoning By-law 001-2021 - To permit a height of 10.9 meters.

WESTON ROAD



2022-12-09 4:25:49 PM

DATE

2021-11-24

TRUE NORTH

CONSTRUCTION NORTH

SCALE

1 : 250

DWG STATUS

SPA

PROJECT No.

2104

DRAWING No.

MV 1

REVISION

11

SITE PLAN

PROFESSIONAL SEAL

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. DIMENSIONS NOTED ON THIS DRAWING ARE TO BE REPORTED TO THE CONSULTANT.  
ARCHITECT  
THOMASBROWNARCHITECTS  
107 BRADDA AVENUE, SUITE 500 1 TORONTO ONTARIO M6H 2C5



CLIENT

PROJECT :

CITY OF VAUGHAN FIRE  
STATION 7-12

9511 WESTON ROAD, VAUGHAN

ISSUE OR REVISION	
NO.	DATE
11	2022-12-09

THE CONTENTS OF THIS DRAWING AND SPECIFICATIONS  
AND MUST BE RETURNED UPON COMPLETION OF THE WORK.

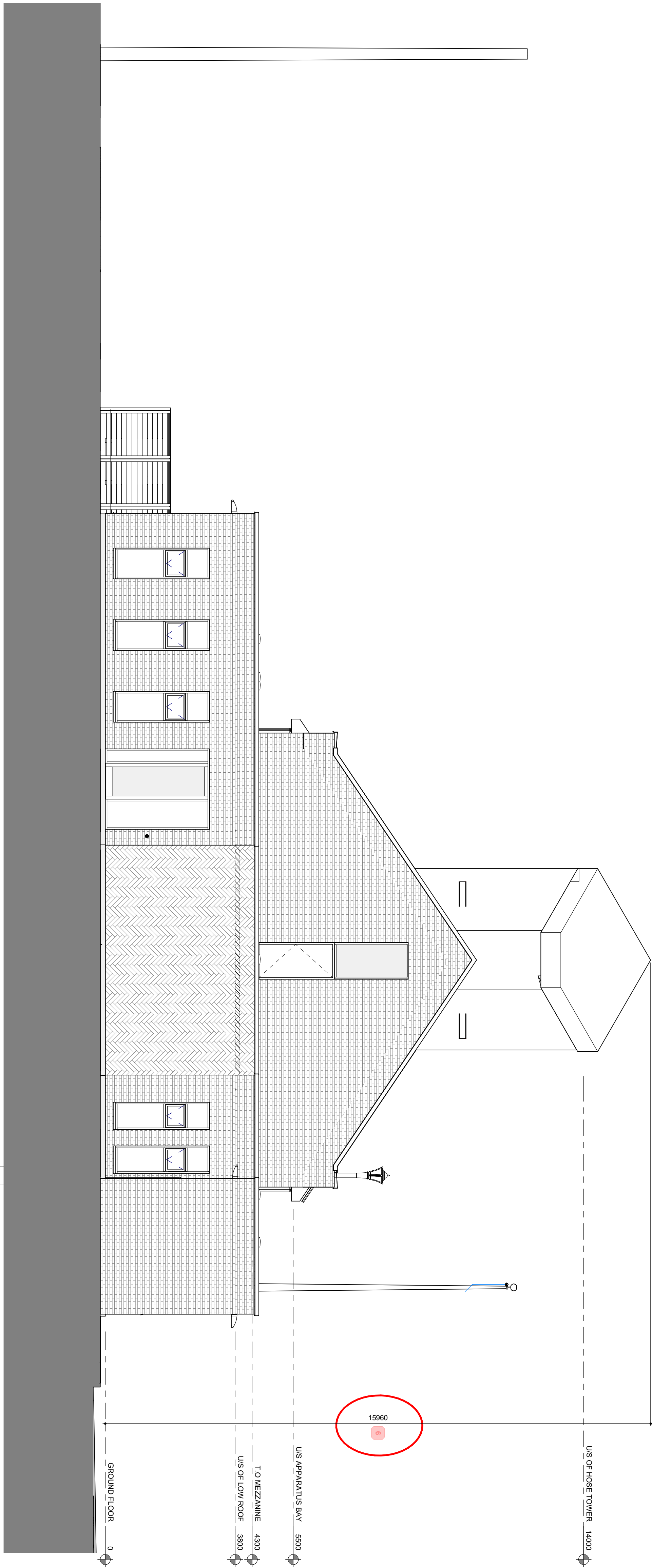


MINOR VARIANCE SUMMARY NOTES	
NUMBER	GENERAL NOTE
1	Zoning By-law 001-2021 - To permit a maximum lot coverage of 22.23%
2	Zoning By-law 001-2021 - To permit a rear yard setback of 10.2 meters to the building
3	Zoning By-law 148 - To permit a front yard setback of 13 meters to the building
4	Zoning By-law 001-2021 - To permit a maximum building height of 15.3 meters to the building
5	Zoning By-law 001-2021 - To permit a maximum building height of 15.3 meters to the building
6	Zoning By-law 001-2021 - To permit a height of 15.3 meters

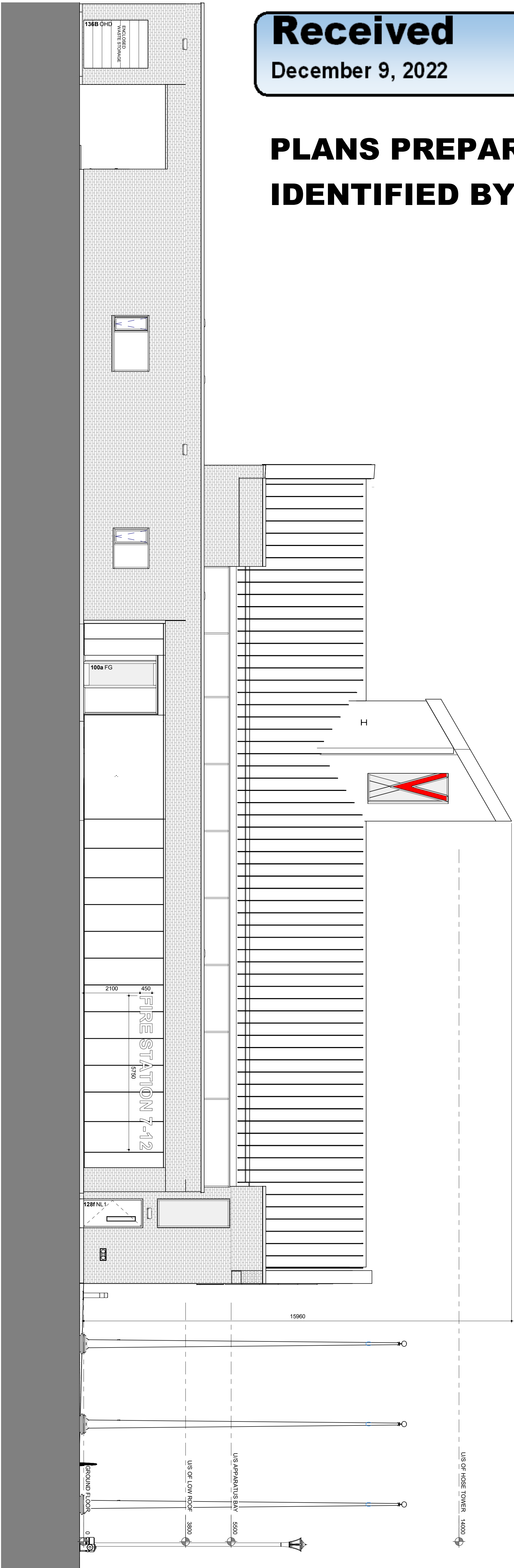
A243/22

Received  
December 9, 2022

PLANS PREPARED AND VARIANCES  
IDENTIFIED BY APPLICANT



1 EAST ELEVATION - MV  
1:75



2 NORTH ELEVATION - MV  
1:75

THE CONTENTS OF THIS DRAWING AND SPECIFICATIONS  
WARRANT NO LIABILITY FOR ANY DAMAGE OR LOSS  
THOMAS BROWN ARCHITECT INC.  
AND MUST BE RETURNED UPON COMPLETION OF THE WORK.

ISSUE OR REVISION	
NO.	DATE
10	SPA COMMENTS - URBAN DESIGN 2022-04-30
11	MINOR VARIANCE 2022-12-09

PROJECT :  
**CITY OF VAUGHAN FIRE  
STATION 7-12**  
9511 WESTON ROAD, VAUGHAN

CLIENT



VAUGHAN

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR  
TO CONSTRUCTION. ANY DISCREPANCIES  
ARE TO BE REPORTED TO THE CONSULTANT.  
ARCHITECT  
**THOMAS BROWN ARCHITECTS**  
187 SPADINA AVENUE, SUITE 500 1 TORONTO ONT M5T 2C5

PROFESSIONAL SEAL

DWG TITLE  
**BUILDING  
ELEVATIONS**

ORIENTATION

DATE  
2021-11-24

SCALE  
1 : 75  
DRAWN BY  
VL

PROJECT NO.  
2104  
SPA

DRAWING NO.  
**MV 2**  
REVISION  
11

2022-12-09 4:26:22 PM

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Region of York *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Alectra *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YRDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline *Schedule B	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx *Schedule B	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Propane Operator *Schedule B	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/no conditions
Building Standards (Zoning)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments

**Date:** September 2<sup>nd</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A243-22**

**Related Files:**

**Applicant** Chris Kubbinga

**Location** 9711 Weston Road

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

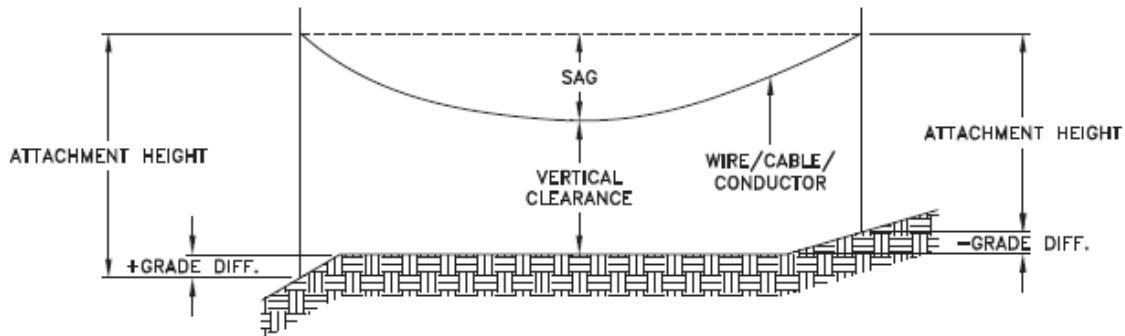
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)



LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

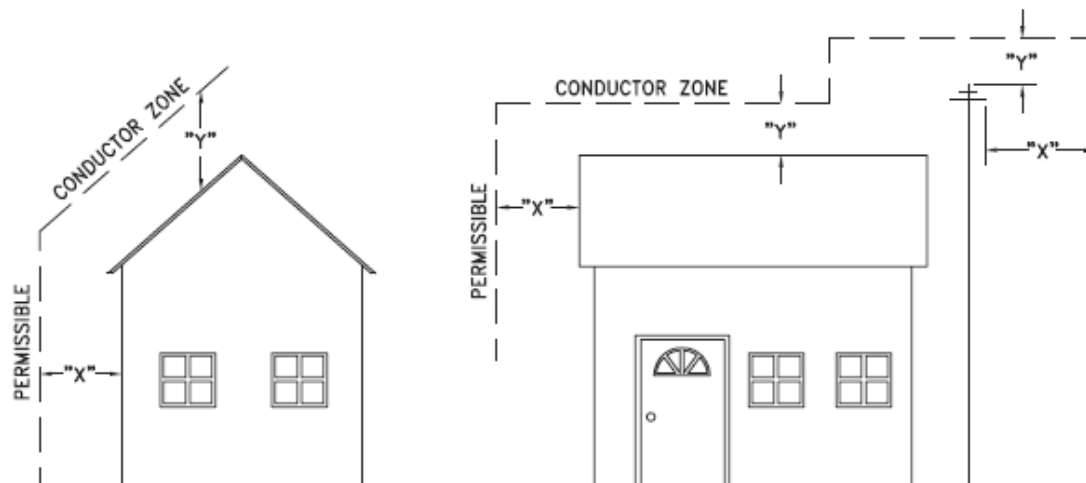
**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

### NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani

**To:** Committee of Adjustment  
**From:** Gregory Segantreddo, Building Standards Department  
**Date:** August 29, 2022  
**Applicant:** City Of Vaughan  
**Location:** CONC 5 Part of Lot 17 municipally known as 9511 Weston Road  
**File No.(s):** A243/22

**Zoning Classification:**

The subject lands are zoned I1, General Institutional Zone and OS1, Public Open Space Zone, the portion of which subject to the provisions of Exception 14.690 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum building height of 11 metres is permitted. [Table 12-3, to By-law 001-2021]	To permit a maximum building height of 14.7 metres.
2	A maximum Lot coverage of 10% is permitted. [Table 12-3, to By-law 001-2021]	To permit a maximum lot coverage of 22.23%

The subject lands are zoned A, Agricultural and OS2 Open Space Park with the OS2 portion subject to the provisions of Exception 9(1019) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A minimum front yard setback of 15 metres is required to the building. [Schedule "A" To By-law 1-88]	To permit a minimum front yard setback of 13 metres to the building
4	A minimum interior side yard setback of 15 metres is required to the building. [Schedule "A" To By-law 1-88]	To permit a minimum interior side yard setback of 6.0 metres to the building.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

	Zoning By-law 01-2021
1	Please note the review is based on confirmation that the Lot ownership includes the parcels of land which fall under 9541 Weston Rd. Hence the rear yard setback variance has been removed.
2	An amendment to By-law 001-2021 has removed Emergency Services as a specific use. Hence the use is permitted under Public Uses Permitted in All Zones under section 4.15.1.

	Zoning By-law 1-88
3	Please note the review is based on confirmation that the Lot ownership includes the parcels of land which fall under 9541 Weston Rd. Hence the rear yard setback variance has been removed.

**General Comments**

4	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
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**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**From:** [Harrison Rong](#)  
**To:** [Christine Vigneault](#)  
**Subject:** [External] RE: A243/22 (9711 Weston Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Thursday, September 1, 2022 3:03:59 PM  
**Attachments:** [image001.png](#)

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Good afternoon Christine,

Thank you for circulating the Application for Metrolinx review. I note that the subject property is located greater than 300 meters from the Metrolinx Newmarket Subdivision which carries Barrie GO service and as such, it is outside of our zone of influence for review.

Best regards,

**Harrison Rong**

Project Coordinator, Third Party Projects Review

Metrolinx

20 Bay Street | Suite 600 | Toronto | Ontario | M5J 2W3

T: 416.202.7517 C: 647.328.4891





## Lenore Providence

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**Subject:** FW: [External] RE: A243/22 (9711 Weston Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

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**From:** Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>

**Sent:** January-17-23 2:29 PM

**To:** Lenore Providence <Lenore.Providence@vaughan.ca>

**Subject:** [External] RE: A243/22 (9711 Weston Road) - REQUEST FOR COMMENTS, CITY OF VAUGHAN

Hello Lenore,

9711 Weston Road (Lenore Hall) is not within MTO permit control area and does not require MTO review or permits.

**Cameron Blaney | Corridor Management Planner | Simcoe & York**

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7<sup>th</sup> Floor, Building D | Downsview, Ontario | M3M 0B7

416-358-7871

[Cameron.Blaney@ontario.ca](mailto:Cameron.Blaney@ontario.ca)

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** January 16, 2023

**Name of Owner:** Corporation of the City of Vaughan

**Location:** 9511 Weston Road

**File No.(s):** A243/22

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a maximum building height of 14.7 m.
2. To permit a maximum lot coverage of 22.23%.

**By-Law Requirement(s) (By-law 001-2021):**

1. A maximum building height of 11 m is permitted.
2. A maximum lot coverage of 10% is permitted.

**Proposed Variance(s) (By-law 1-88):**

3. To permit a minimum front yard setback of 13 m to the building.
4. To permit a minimum interior side yard setback of 6.0 m to the building.

**By-Law Requirement(s) (By-law 1-88):**

3. A minimum front yard setback of 15 m is required to the building.
4. A minimum interior side yard setback of 15 m is required to the building.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" and "Parks"

**Comments:**

The Owner is requesting relief to permit the construction of a new fire station for Vaughan Fire and Rescue Services, with the above noted variances in. The station is proposed within part of the Vellore Hall parking lot. As per Site Plan Control By-law 123-2013, City of Vaughan projects are exempt from Site Plan Control and will not be subject to conditions of Site Plan Approval. While the City is not required to enter into an agreement with itself, it elected to file Site Development Application DA.22.035 to seek feedback and comments on the proposal.

The Development Planning Department has no objection to Variance 1 for the proposed height of the fire station. All portions of the station, excluding the proposed tower, comply with the 11 m in height requirement. The tower is located central to the building envelope and measures approximately 5.4 x 5.4 m. In addition to being an architectural feature of the building, the tower also serves a functional purpose: a drying place for fire hoses. Therefore, the proposed height is appropriate for the use of the building and is not anticipated to have a negative impact on the existing streetscape.

The Development Planning Department has no objection to Variances 2, 3 and 4 as the proposed lot coverage and setbacks have been reviewed by the Development Planning Department as part of the Site Development Application process and are considered appropriate to facilitate the building footprint of the proposed development. The building footprint is proposed entirely within the existing parking lot south of Vellore Hall and the site is sufficiently large to accommodate the proposed building. Vellore Hall remains closer to Weston Road than the proposed fire station. However, the 2 m front yard reduction brings it closer to being more in-line with Vellore Hall. Reduced front yard setbacks are common along this segment of Weston Road. An Environmental Impact Study prepared by LGL Limited, dated April 2022 was prepared in support of the application and examined the reduced side yard setback. The proposed front and interior side yard setbacks also comply with Zoning By-law 001-2021, which was enacted by Vaughan Council on October 20, 2021, but has been appealed to the Ontario Land Tribunal and is not in effect.

In support of the application, the Owner has submitted an Arborist Report prepared by LGL Limited, dated March 2022. The report inventoried 225 trees, 13 of which are proposed to be removed. Urban Design staff have reviewed the report and concur with its recommendations.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Conditions of Approval:**

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

**Comments Prepared by:**

Joshua Cipolletta, Planner I

David Harding, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None.				