

ITEM #: 6.7	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A005/22 42 PAINTED PONY TRAIL, KLEINBURG
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THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING  
DEPARTMENTS & AGENCIES:

\*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see <b>Schedule C</b> of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b>				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see <b>Schedule D</b> for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A005/22  
42 PAINTED PONY TRAIL, KLEINBURG**

<b>ITEM NUMBER: 6.7</b>	<b>CITY WARD #: 1</b>
<b>APPLICANT:</b>	2179912 Ontario Inc.
<b>AGENT:</b>	Canvas Developments
<b>PROPERTY:</b>	42 Painted Pony Trail, Kleinburg
<b>ZONING DESIGNATION:</b>	See below
<b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b>	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
<b>RELATED DEVELOPMENT APPLICATIONS:</b>	None
<b>PURPOSE OF APPLICATION:</b>	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling and increased maximum driveway width.

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned R1A – First Density Residential Zone and subject to the provisions of Exception 14.1022 under Zoning By-law 01-2021.**

#	Zoning By-law 01-2021	Variance requested
1	A maximum lot coverage of 40% is permitted (Section 7.2.2, By-law 01-2021).	To permit a maximum lot coverage of 43.3%
2	A maximum building height of 10.6 metres is permitted (Section 14.1022).	To permit a maximum building height of 11.7 metres
3	A maximum driveway width of 9.0 metres is permitted (Section 6.7.3, By-law 01-2021).	To permit a maximum driveway width of 9.8 metres.

**The subject lands are zoned R1, Residential Detached Zone and subject to the provisions of Exception 9(1393) under Zoning By-law 1-88, as amended.**

	Zoning By-law 1-88	Variance requested
4	A maximum lot coverage of 35% is permitted (Schedule A, By-law 1-88a.a.).	To permit a maximum lot coverage of 43.3%
5	A maximum building height of 10.6 metres is permitted [9(1393), By-law 1-88a.a.].	To permit a maximum building height of 11.7 metres
6	A maximum driveway width of 9.0 metres is permitted (Section 4.1.4, By-law 1-88a.a.).	To permit a maximum driveway width of 9.8 metres.

### HEARING INFORMATION

**DATE OF MEETING:** Thursday, January 26, 2023  
**TIME:** 6:00 p.m.  
**MEETING LOCATION:** Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan  
**LIVE STREAM LINK:** [Vaughan.ca/LiveCouncil](https://vaughan.ca/LiveCouncil)

### PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to [cofa@vaughan.ca](mailto:cofa@vaughan.ca)  
If you would like to submit written comments, please quote file number above and submit by mail or email to:

**Email:** [cofa@vaughan.ca](mailto:cofa@vaughan.ca)

**Mail:** City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

**THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.**

INTRODUCTION	
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.	
Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:	
That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature.	
Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.	

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	January 12, 2023	
Date Applicant Confirmed Posting of Sign:	December 8, 2022	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	To accommodate required needs of the family.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:  *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.  *A revised submission may be required to address staff / agency comments received as part of the application review process.  *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.		No
<b>Adjournment Fees:</b> In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That the final Landscape Plan, which shall depict tree plantings located along either side of the driveway as to minimize the visual impact of the driveway, be approved to the satisfaction of the Development Planning Department.

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
The proposed work by the owner/ applicant is increasing the lot coverage area from 40% to 43.3% in the subject property. The added hardscape may have impact on City’s Storm Water management system. Stuff suggests the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts.	
The Development Engineering (DE) Department does not object to variance application A005/22.	

DEVELOPMENT ENGINEERING COMMENTS	
<a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Forestry has no comment.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS	
That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.	
That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.	
That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.	
That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
Applicant shall apply for all building permits.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning <a href="mailto:Joshua.cipolletta@vaughan.ca">Joshua.cipolletta@vaughan.ca</a>	That the final Landscape Plan, which shall depict tree plantings located along either side of the driveway as to minimize the visual impact of the driveway, be approved to the satisfaction of the Development Planning Department.

IMPORTANT INFORMATION – PLEASE READ
<p><b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (<b>see condition chart above for contact</b>). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>
<p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p>
<p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>
<p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>

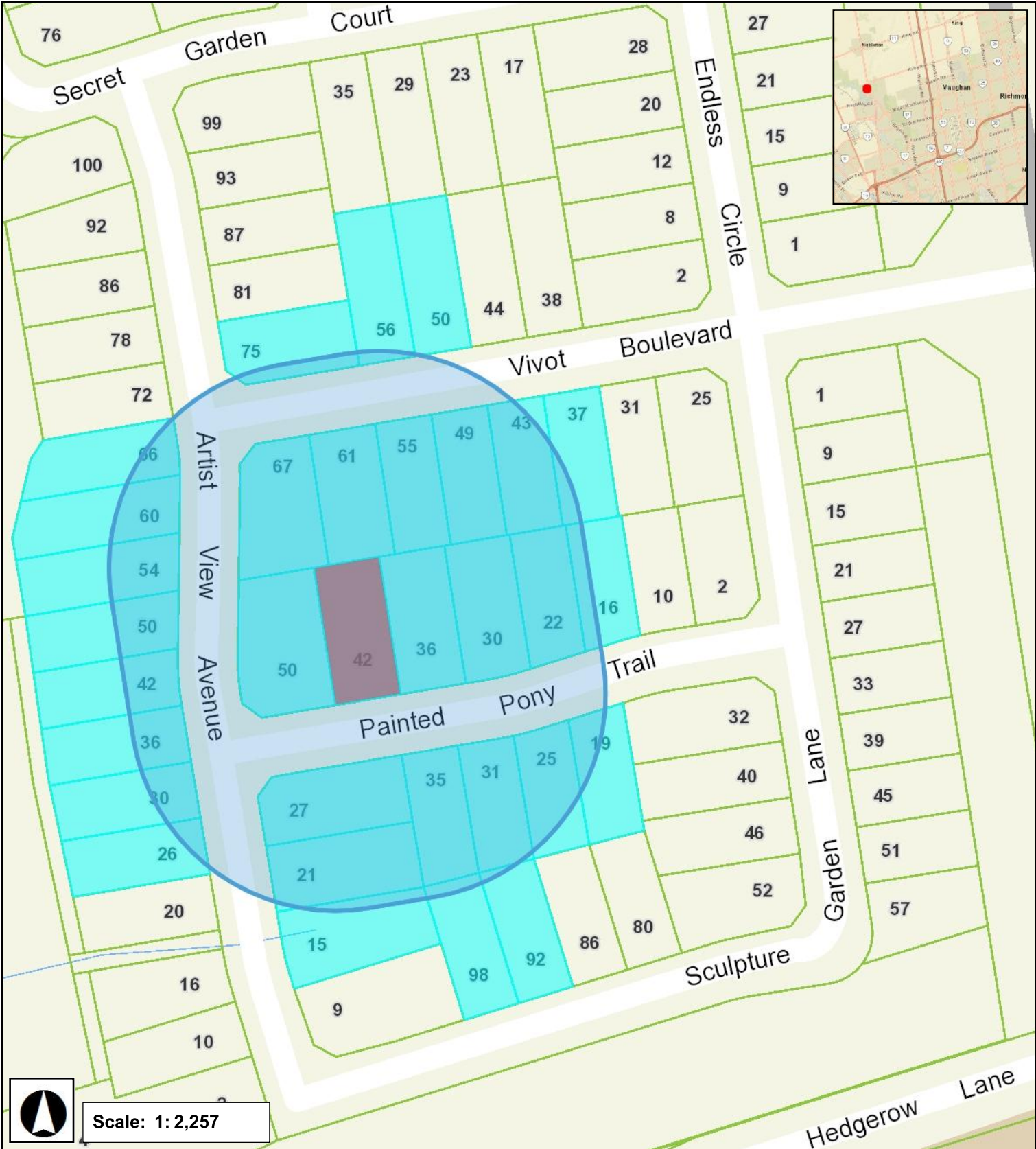
**SCHEDULE A: DRAWINGS & PLANS**





LOCATION MAP - A005/22

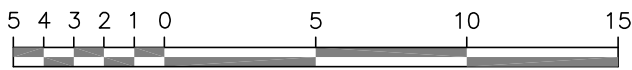
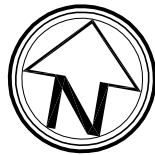
42 PAINTED PONY TRAIL KLEINBURG  
**Kirby Road**



**Nashville Road**

July 26, 2022 4:15 PM





FRONT YARD LANDSCAPING

TOTAL YARD AREA	174.14 m <sup>2</sup>	
	REQUIRED	PROPOSED
MIN LANDSCAPED AREA	87.07 m <sup>2</sup>	99.37 m <sup>2</sup>
PERCENTAGE	50.00 %	57.06 %
MIN SOFT LANDSCAPING	52.24 m <sup>2</sup>	92.27 m <sup>2</sup>
PERCENTAGE	60.00 %	92.85 %

LEGEND

- SINGLE CATCHBASIN
- DOUBLE CATCHBASIN
- SANITARY MH
- STORM MH
- SANITARY FDC
- STORM
- WATER SERVICE
- HYDRO SERVICE
- FLOW DIRECTION
- HYDRANT & VALVE
- VALVE AND BOX
- LIGHT STANDARD
- BELL PEDESTAL
- CABLE PEDESTAL
- HYDRO TRANSFORMER
- ENGINEERED FILL LOT
- SUPER MAILBOX
- EXISTING ELEVATION
- PROPOSED ELEVATION
- SW
- FFF
- TW
- FS
- USF
- SUMP PUMP
- ROOF DOWNSPOUT

REGISTERED PLAN NUMBER

**65M-4437**

DRAFT PLAN OF SUBDIVISION FILE

**19T-08V06**

SITE INFORMATION

THIS PLAN IS BASED ON  
PLAN OF SUBDIVISION OF  
PART OF LOT 29,  
CONCESSION 9  
(GEOGRAPHIC TOWNSHIP OF VAUGHAN)  
CITY OF VAUGHAN  
REGIONAL MUNICIPALITY OF YORK

SURVEY PREPARED BY  
RADY-PENTEK & EDWARD SURVEYING LTD.  
DATED AUGUST 19, 2013



ALL DRAWINGS AND SPECIFICATIONS ARE THE  
PROPERTY OF THE ARCHITECT AND CANNOT BE  
USED OR REPRODUCED WITHOUT HIS APPROVAL

THE CONTRACTOR SHALL CHECK AND VERIFY  
ALL DIMENSIONS ON THE SITE AND REPORT  
ANY DISCREPANCIES TO THE ARCHITECT

DRAWINGS MUST NOT BE SCALED

**ARCHITECTURAL  
DESIGN INC.**



56 PENNSYLVANIA AVE.  
UNIT 1  
CONCORD, ONT. L4K 3V9  
TEL 905 660-9393  
FAX 905 660-9419

PROJECT

PROPOSED DWELLING  
FOR: KLEINVALLEY ESTATES INC  
AT: 42 PAINTED PONY TRAIL  
VAUGHAN

DRAWING

MINOR VARIANCE DATA  
LOT 10

DATE NOV '22

DRAWN T.P.

SCALE 1:250

PROJECT NO

**13-43**

DRAWING NO

**COA**

SITE STATISTICS  
Zoning R1 per By-law 1-88  
and Exception 9(1393)

LOT AREA	923.96 m <sup>2</sup>	
DWELLING AREA	354.52 m <sup>2</sup> = 38.37 % COVERAGE	
COVERED PORCH AREA	8.20 m <sup>2</sup> = 0.89 % COVERAGE	
COVERED DECK AREA	36.98 m <sup>2</sup> = 4.00 % COVERAGE	
TOTAL BUILDING AREA	399.70 m <sup>2</sup> = 43.26 % COVERAGE	

LOT COVERAGE, MAXIMUM  
PROPOSED **35.00 %**  
**43.26 %**

HEIGHT, MAXIMUM  
PROPOSED **10.60 m**  
**11.70 m**

DRIVEWAY WIDTH, MAXIMUM  
PROPOSED **9.00 m**  
**9.75 m**

NOTE: TOTAL BUILDING AREA INCLUDES GARAGE, COVERED PORCH  
AND COVERED DECK

NOV 21 2022 14:00 TP

SITE STATISTICS  
Zoning R1A per By-law 01-2021  
and Exception 14(1022)

LOT AREA	923.96 m <sup>2</sup>	
DWELLING AREA	354.52 m <sup>2</sup> = 38.37 % COVERAGE	
COVERED PORCH AREA	8.20 m <sup>2</sup> = 0.89 % COVERAGE	
COVERED DECK AREA	36.98 m <sup>2</sup> = 4.00 % COVERAGE	
EAVES AND GUTTER AREA	39.46 m <sup>2</sup> = 4.27 % COVERAGE	
TOTAL BUILDING AREA	439.16 m <sup>2</sup> = 47.53 % COVERAGE	

LOT COVERAGE, MAXIMUM  
PROPOSED **40.00 %**  
**47.53 %**

HEIGHT, MAXIMUM  
PROPOSED **10.60 m**  
**11.70 m**

DRIVEWAY WIDTH, MAXIMUM  
PROPOSED **9.00 m**  
**9.75 m**

NOTE: TOTAL BUILDING AREA INCLUDES GARAGE, COVERED PORCH,  
COVERED DECK, EAVES AND GUTTERS

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Received to Date
Ministry of Transportation (MTO) *Schedule B				
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend approval w/conditions
Building Standards (Zoning)	X	X		General Comments

**Date:** July 21<sup>st</sup> , 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A005-22**

**Related Files:**

**Applicant** 2179912 Ontario Inc.

**Location** 42 Painted Pony Trail

**COMMENTS:**

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

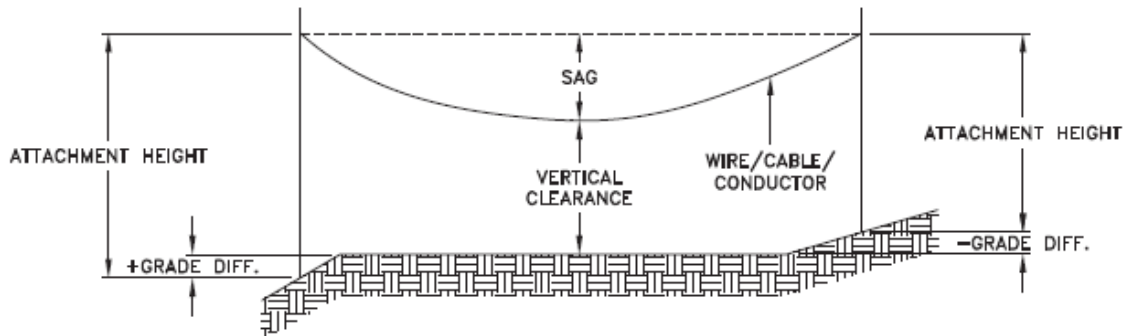
Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

**CONVERSION TABLE**

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

**REFERENCES**

SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

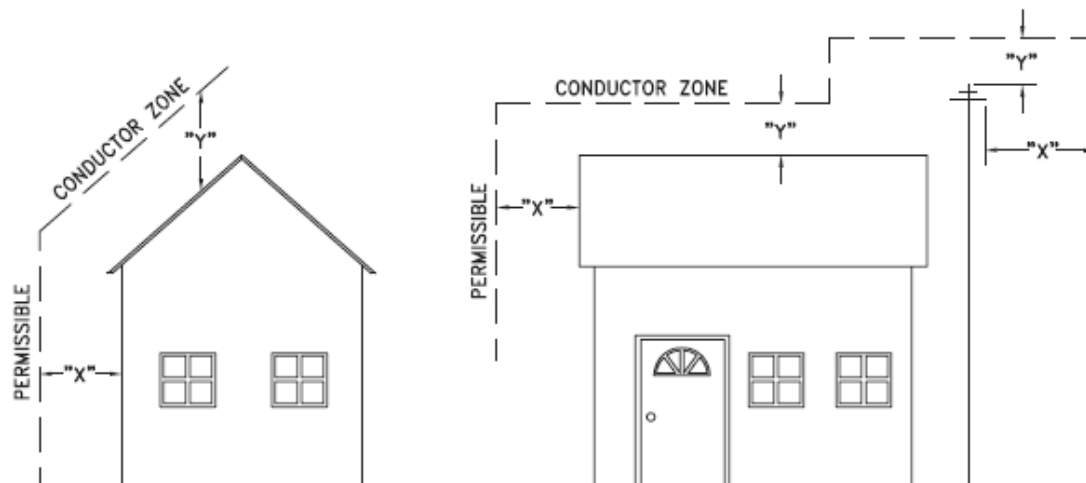
ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

**Certificate of Approval**

This construction Standard meets the safety requirements of Section 4 of Regulation 22/04

Joe Crozier, P.Eng. 2012-JAN-09  
 Name Date

P.Eng. Approval By: Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

### NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani



**To:** Committee of Adjustment  
**From:** Sarah Scauzillo, Building Standards Department  
**Date:** November 23, 2022  
**Applicant:** 2179912 Ontario Inc.  
**Location:** 42 Painted Pony Trail  
PLAN 65M4437 Lot 10  
**File No.(s):** A005/22

**Zoning Classification:**

The subject lands are zoned R1A – First Density Residential Zone and subject to the provisions of Exception 14.1022 under Zoning By-law 01-2021.

#	Zoning By-law 01-2021	Variance requested
1	A maximum lot coverage of 40% is permitted (Section 7.2.2, By-law 01-2021).	To permit a maximum lot coverage of 43.3%
2	A maximum building height of 10.6 metres is permitted (Section 14.1022).	To permit a maximum building height of 11.7 metres
3	A maximum driveway width of 9.0 metres is permitted (Section 6.7.3, By-law 01-2021).	To permit a maximum driveway width of 9.8 metres.

The subject lands are zoned R1, Residential Detached Zone and subject to the provisions of Exception 9(1393) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
4	A maximum lot coverage of 35% is permitted (Schedule A, By-law 1-88a.a.).	To permit a maximum lot coverage of 43.3%
5	A maximum building height of 10.6 metres is permitted [9(1393), By-law 1-88a.a.].	To permit a maximum building height of 11.7 metres
6	A maximum driveway width of 9.0 metres is permitted (Section 4.1.4, By-law 1-88a.a.).	To permit a maximum driveway width of 9.8 metres.

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.

**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning

**Date:** January 18, 2023

**Name of Owner:** 2179912 Ontario Inc.

**Location:** 42 Painted Pony Trail

**File No.(s):** A005/22

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**Proposed Variance(s) (By-law 001-2021):**

1. To permit a maximum lot coverage of 43.3%.
2. To permit a building maximum height of 11.7 m.
3. To permit a maximum driveway width of 9.8 m.

**By-Law Requirement(s) (By-law 001-2021):**

1. A maximum lot coverage of 40% is permitted.
2. A maximum building height of 10.6 m is permitted.
3. A maximum driveway width of 9.0 m is permitted.

**Proposed Variance(s) (By-law 1-88):**

4. To permit a maximum lot coverage of 43.3%.
5. To permit a maximum building height of 11.7 m.
6. To permit a maximum driveway width of 9.8 m.

**By-Law Requirement(s) (By-law 1-88):**

4. A maximum lot coverage of 35% is permitted.
5. A maximum building height of 10.6 m is permitted.
6. A maximum driveway width of 9.0 m is permitted.

**Official Plan:**

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

**Comments:**

The Owner is requesting relief to permit the construction of a two-storey detached dwelling with the above noted variances.

The dwelling, the covered porch and the covered deck propose lot coverages of 38.37%, 0.89% and 4.00% respectively. The total lot coverage is appropriate for the size of the lot and will not pose a significant adverse impact to neighbourhood character. The 3.3% increase in total lot coverage is also minor in nature under Zoning By-law 001-2021, which was enacted by Vaughan Council on October 20, 2021, but has been appealed to the Ontario Land Tribunal and is not in-effect. As such, the Development Planning Department has no objection to Variances 1 and 4 for the increase in lot coverage.

The Development Planning Department has no objection to Variances 2 and 5 for the proposed height of the dwelling. The dwelling has a hip and gable roof design. Gables face the front and east interior side yard. The 11.7 m height is measured from established grade to the midpoint of the roof. While the heights of the dwellings on the north side of Painted Pony Trail vary due to each unique roof design and the subdivision's grading, the measurements from established grade to the top of the roofs are similar for the two storey designs. The proposed dwelling follows the Architectural Design Guidelines for the area and is in keeping with the character of the neighbourhood. As such, the proposed height is appropriate for the neighbourhood and will not pose a significant visual impact to the existing streetscape.

The Development Planning Department has no objection to Variances 3 and 6 for the proposed 9.8 m driveway width. The proposed driveway width is for the portion directly in front of the dwelling to provide access to the three-car garage. The driveway will taper down to 6.0 m where it connects with the road. The 0.8 m increase in width is minor in nature and will not have adverse impacts to the existing streetscape, provided that the

recommended Condition of Approval is implemented to provide tree plantings within the front yard around the driveway.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application, subject to the following condition:

**Condition of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Landscape Plan, which shall depict tree plantings located along either side of the driveway as to minimize the visual impact of the driveway, be approved to the satisfaction of the Development Planning Department.

**Comments Prepared by:**

Joshua Cipolletta, Planner I

David Harding, Senior Planner

**SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE**

None

**SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND**

**COPY AND PASTE FROM SUMMARY CHART**