

ITEM #: 6.25	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A312/22 45 HARRIS CRESCENT, WOODBRIDGE
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/conditions
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Sherry Caserta	Not Available	01/17/2023	Letter of Objection
Public	Frank & Tina Oppendisano	46 Harris Crescent	Not Dated	Letter of Support

PUBLIC & APPLICANT CORRESPONDENCE

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Public	Nick Samfira	41 Harris Crescent	Not Available	Letter of Support
Public	Rina & Carmella Gulizia	30 Harris Crescent	Not Available	Letter of Support

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A312/22
45 HARRIS CRESCENT, WOODBRIDGE**

ITEM NUMBER: 6.25	CITY WARD #: 2
APPLICANT:	Sanduedolce Pasquale Estate
AGENT:	Miaoyi Xue Land & Building Experts
PROPERTY:	45 Harris Crescent, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed secondary suite and an existing shed.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3(EN) and subject to the provisions of Exception 14.45 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted gross floor area of a secondary suite is 45% of the gross floor area of the principal dwelling. Section 5.21 7	To permit a maximum gross floor area for the secondary suite of 85.6%. of the gross floor area of the principal dwelling.
2	The minimum required interior side yard setback for the residential accessory building is 1.2m Section 7.2.3 Table 7-4	To permit a minimum interior side yard setback for the residential accessory building of 0.30m.

The subject lands are zoned R3 and subject to the provisions of Exception 9(99) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A Secondary Suite shall not exceed forty-five percent (45%) of the total gross floor area of the principal dwelling. Section 4.1.8 v	To permit a maximum gross floor area for the secondary suite of 85.6%. of the gross floor area of the principal dwelling.
4	The minimum required interior side yard setback for the accessory building is 1.2m. Schedule A	To permit a minimum interior side yard setback for the accessory building of 0.30m.

HEARING INFORMATION

DATE OF MEETING: Thursday, January 26, 2023

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	January 12, 2023	
Date Applicant Confirmed Posting of Sign:	January 9, 2023	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The maximum permitted gross floor area for the secondary suite is 45% of the gross floor area. Since the existing dwelling only has one storey above ground, 45% of the gross floor area cannot provide a sufficient living space in the basement suite, therefore we would like to ask for the relief from the by-law.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering Department does not object to Minor Variance application A312/22.

DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment.	
PFH Recommended Conditions of Approval:	None

DEVELOPMENT FINANCE COMMENTS

No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

open complaint file for this address for secondary suite	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS

Ensure owner follow the prescriptive requirements of the Ontario Building Code, Standards, By-laws and other related requirements.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	TRCA Kristen.Regier@trca.ca	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.
2	York Region developmentservices@york.ca	Prior to final approval of the application, the City of Vaughan shall confirm that adequate water supply and sewage capacity has been allocated for the proposed dwelling.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

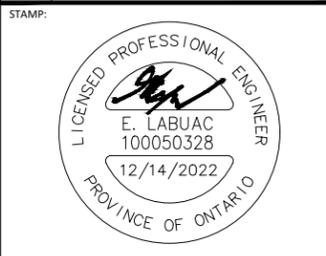
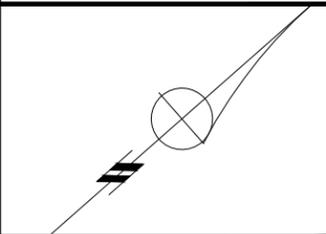
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS

KEYPLAN



NO.	ISSUED FOR	DATE
7.	COMMENTS ADDRESSED	12/14/2022
6.	COMMENTS ADDRESSED	11/15/2022
5.	COMMENTS ADDRESSED	11/14/2022
4.	BUILDING PERMIT	11/07/2022
3.	CLIENT REVIEW	09/29/2022
2.	COMMENTS ADDRESSED	09/22/2022
1.	BUILDING PERMIT	08/18/2022

DO NOT SCALE DRAWINGS.
The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and information before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

All drawings are the property of Land & Building Experts, and must not be reproduced without written consent.
All measurements are in mm unless otherwise noted.

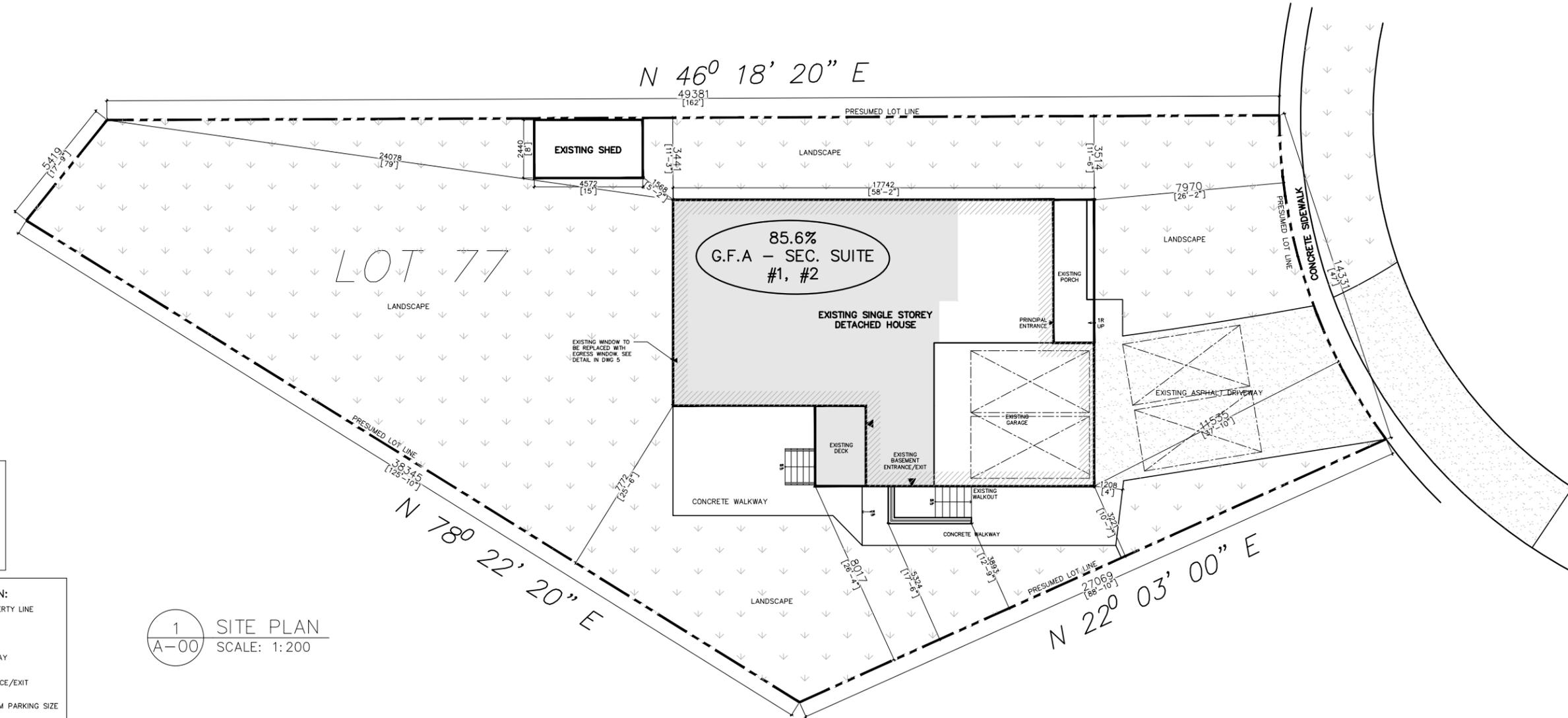
PREPARED BY:
LAND & BUILDING EXPERTS
570 Alden Rd., Unit 6, Markham, ON. L3R 8N5
(647) 340-8649 landbuildex@gmail.com

PROJECT INFO:
45 HARRIS CRESENT, VAUGHAN, ON L4L 1R7

PROJECT NAME:
ALTERATION TO AN EXISTING SINGLE FAMILY DWELLING TO HAVE A SECOND SUITE IN THE BASEMENT

DRAWING TITLE:
SITE PLAN

SCALE AS INDICATED
DRAWN BY: R.D.
CHECKED BY: S.K.
PROJECT NO.:
A-00



DO NOT SCALE DRAWING
The contractor must verify and accept the responsibility for all the dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied drawings and information before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

LEGEND:	DESCRIPTION:
	PRESUMED PROPERTY LINE
	GRASSED AREA
	ASPHALT DRIVEWAY
	BUILDING ENTRANCE/EXIT
	VAUGHAN MINIMUM PARKING SIZE

1 SITE PLAN
A-00 SCALE: 1:200

BUILDING STATISTICS	
PRIMARY UNIT G.F.A.	
FIRST FLOOR GFA	175.72m ²
GARAGE	-33.68m ²
TOTAL GFA	142.04m ²

BUILDING STATISTICS	
SECONDARY UNIT G.F.A.	
BASEMENT FLOOR AREA	145.79m ²
FURNACE ROOM	-2.57m ²
STORAGE + STAIRCASE	-21.63m ²
TOTAL GFA	121.59m ²

4.1.8 SECONDARY SUITE		
PARKING SPACE		PROVIDED
A MINIMUM OF 3 PARKING SPACES, AS DEFINED IN SUB-SECTION 2.0 DEFINITIONS OR AS DESCRIBED IN SUB-SECTION 4.15.5 PARKING SPACES, SHALL BE PROVIDED ON A LOT WHERE SECONDARY SUITE IS LOCATED	4 SPACES	

SETBACK	MINIMUM	EXISTING
FRONT YARD	4.5m	7.9m
SIDE YARD	1.2m	3.51m
SIDE YARD	1.2m	3.22m
REAR YARD	7.5m	7.77m

85.6% G.F.A - SEC. SUITE #1, #2

SECONDARY UNIT GROSS FLOOR AREA(G.F.A.) PERCENTAGE		
	MAX. ALLOWED	PROPOSED
BASEMENT UNIT G.F.A.	63.91m ² (45% OF 142.04m ²)	121.59m ² (85.60%)

MINDR VARIANCE	
ZONING BY-LAW 001-2021	MINDR VARIANCE REQUESTED
1 THE MAX. PERMITTED G.F.A. OF A SEC. SUITE IS 45% OF THE G.F.A. OF THE PRINCIPAL DWELLING. (SECTION 5.21.7)	TO PERMIT A MAX. G.F.A. FOR THE SECONDARY SUITE OF 85.6% OF THE G.F.A. OF THE PRINCIPAL DWELLING.
ZONING BY-LAW 1-88	MINDR VARIANCE REQUESTED
2 A SECONDARY SUITE SHALL NOT EXCEED 45% OF THE TOTAL GROSS FLOOR AREA OF THE PRINCIPAL DWELLING. (SECTION 4.1.8v)	TO PERMIT A MAX. G.F.A. FOR THE SECONDARY SUITE OF 85.6% OF THE G.F.A. OF THE PRINCIPAL DWELLING.

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X	X	No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B				No Comments Recieved to Date
Region of York *Schedule B	X	X	X	General Comments w/conditions
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend approval no conditions
Building Standards (Zoning)	X	X		General Comments

Date: December 13th 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A312-22**

Related Files:

Applicant Sanguedolce Pasquale Estate

Location 45 Harris Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

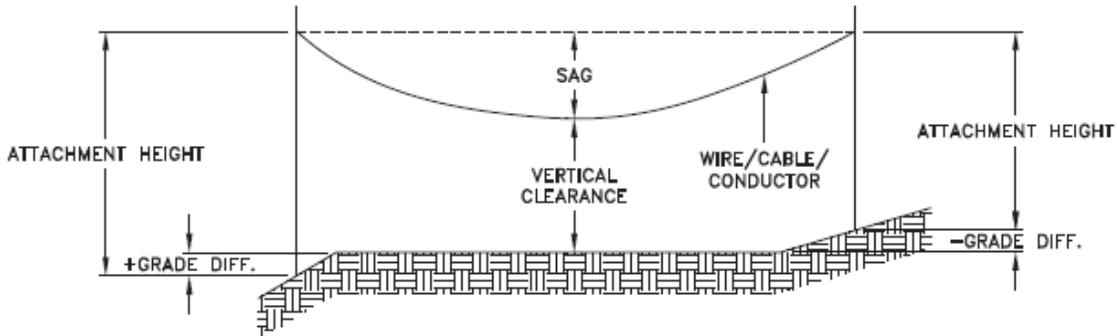
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

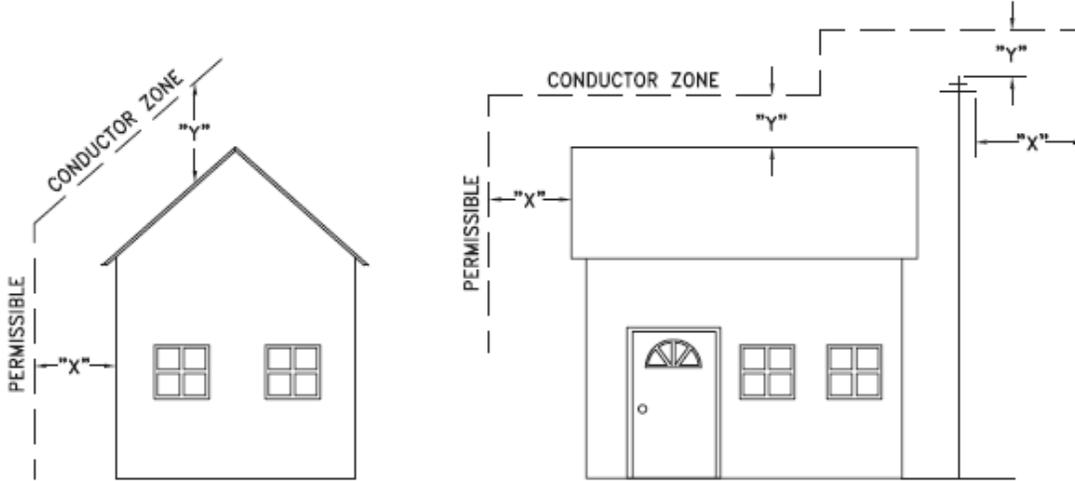
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARANCE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: December 21, 2022
Applicant: Sanduedolce Pasquale Estate
Location: 45 Harris Crescent PLAN M1516 Lot 77
File No.(s): A312/22

Zoning Classification:

The subject lands are zoned R3(EN) and subject to the provisions of Exception 14.45 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The maximum permitted gross floor area of a secondary suite is 45% of the gross floor area of the principal dwelling. Section 5.21 7	To permit a maximum gross floor area for the secondary suite of 85.6%. of the gross floor area of the principal dwelling.
2	The minimum required interior side yard setback for the residential accessory building is 1.2m Section 7.2.3 Table 7-4	To permit a minimum interior side yard setback for the residential accessory building of 0.30m.

The subject lands are zoned R3 and subject to the provisions of Exception 9(99) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
3	A Secondary Suite shall not exceed forty-five percent (45%) of the total gross floor area of the principal dwelling. Section 4.1.8 v	To permit a maximum gross floor area for the secondary suite of 85.6%. of the gross floor area of the principal dwelling.
4	The minimum required interior side yard setback for the accessory building is 1.2m. Schedule A	To permit a minimum interior side yard setback for the accessory building of 0.30m.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 22-124191, Order to Comply for The use of the building has been changed prior to obtaining a permit. Specifically the use of the building has been converted from a single suite of Group "C" major occupancy into multiple suites of Group "C" major occupancy., Issue Date: Jul 07, 2022

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: January 17, 2023
Name of Owner: Sanduedolce Pasquale Estate
Location: 45 Harris Crescent
File No.(s): A312/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum gross floor area for the secondary suite of 85.6% of the gross floor area of the principal dwelling.
2. To permit a minimum interior side yard setback for the residential accessory building of 0.30 m.

By-Law Requirement(s) (By-law 001-2021):

1. The maximum permitted gross floor area of a secondary suite is 45% of the gross floor area of the principal dwelling.
2. The minimum required interior side yard setback for the residential accessory building is 1.2 m.

Proposed Variance(s) (By-law 1-88):

3. To permit a maximum gross floor area for the secondary suite of 85.6% of the gross floor area of the principal dwelling.
4. To permit a minimum interior side yard setback for the accessory building of 0.30 m.

By-Law Requirement(s) (By-law 1-88):

3. A Secondary Suite shall not exceed 45% of the total gross floor area of the principal dwelling.
4. The minimum required interior side yard setback for the accessory building is 1.2 m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit an existing shed and an existing secondary suite in the basement of a single storey dwelling, with the above noted variances. The secondary suite is confined to the basement.

The Development Planning Department has no objection to Variances 1 and 3 for the gross floor area ('GFA') of the secondary suite. By-laws 1-88 and 001-2021 both exclude basements from the total GFA calculation. According to the By-laws, the dwelling's 142.04 m² main floor is its GFA. The secondary suite as per the By-laws would be 85.6% of the area of the main level (i.e. GFA). However, the basement contains habitable space. With the basement included, the total habitable space within the single detached dwelling rises to 287.83 m². The basement secondary suite comprises 121.59 m² or approximately 42.24% of the dwelling's total habitable space. Development Planning recognizes that the variances are triggered due to the way in which the By-laws require the GFA to be calculated. If the GFA included the basement level, the secondary suite would comply with the area requirements. The building continues to appear as a single detached dwelling from the road and the basement secondary suite functions as a unit accessory to the primary dwelling unit.

The Development Planning Department has no objection to Variances 2 and 4 for the existing shed. Due to its modest height and footprint, the reduced interior side yard setback for the shed does not create adverse impacts to the neighbouring properties and maintains an appropriate area for maintenance access. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

January 6, 2023

CFN 66448.36

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A312.22
Part of Lot 7, Concession 8
45 Harris Crescent
City of Vaughan, Region of York
Owner: Sanguedolce Pasquale Estate
Agent: Miaoyi Xue, Land and Building Experts**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on December 12, 2022. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variance under both the By-Law 01-2021 and By-Law 1-88:

By-Law 01-2021:

- To permit a maximum gross floor area for the secondary suite of 85.6% of the gross floor area of the principal dwelling, whereas the maximum permitted gross floor area of a secondary suite is 45% of the gross floor area of the principal dwelling.

By-Law 1-88:

- To permit a maximum gross floor area for the secondary suite of 85.6% of the gross floor area of the principal dwelling, whereas the maximum permitted gross floor area of a secondary suite is 45% of the gross floor area of the principal dwelling.

The noted variances are being requested to facilitate the construction of a secondary suite in the basement of the existing dwelling.

Ontario Regulation 166/06

The subject lands are partially located within TRCA's Regulated Area due to a valley corridor associated with a tributary of the Humber River that is located to the rear (south) of the site. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

As noted above, the subject property is regulated by TRCA due to the presence of a valley corridor. Based on a review of digital elevation mapping, the physical top of bank of the valley is located approximately 1.5 metres from the rear (south) property line.

TRCA policies require a 10 metre setback from the furthest limit of a valley corridor for all habitable structures (i.e., residential dwelling).

Based on a review of the materials submitted with this minor variance application, TRCA staff are satisfied that the proposed works are appropriately set back from the adjacent valley corridor. As such TRCA staff have no objections to the requested variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A312.22 subject to the following condition:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,

Kristen Regier

Kristen Regier
Planner I
Development Planning and Permits

KR/sb

From: [Development Services](#)
To: [Christine Vigneault](#); [Committee of Adjustment](#)
Subject: [External] RE: A312/22 (45 Harris Crescent) - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Wednesday, December 21, 2022 5:49:07 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance A312/22 (45 Harris Crescent) and has the following condition:

1. Prior to final approval of the application, the City of Vaughan shall confirm that adequate water supply and sewage capacity has been allocated for the proposed dwelling.

Thank you,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



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Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Sherry Caserta	Not Available	01/17/2023	Letter of Objection
Public	Frank & Tina Oppendisano	46 Harris Crescent	Not Dated	Letter of Support
Public	Nick Samfira	41 Harris Crescent	Not Available	Letter of Support
Public	Rina & Carmella Gulizia	30 Harris Crescent	Not Available	Letter of Support

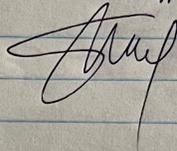
FRANK + TINA OPPEDISANO

WE LIVE AT 46 HARRIS CRES, WOODBRIDGE
ONTARIO. WE SUPPORT SAM + STEVE SANGUEDOLLO
(OWNERS OF 45 HARRIS CRES) IN THE ATTEMPT TO
COMPLY WITH THE BUILDING STANDARDS OF VAUGHAN
AND MAKE AVAILABLE MORE RENTAL UNITS FOR
PEOPLE WHO NEED THEM

NICK

WE LIVE AT 41 HARRIS CRES WOODBRIDGE ONT, WE
SUPPORT SAM + STEVE SAN GUEDOLOCE'S ATTEMPTS TO
COMPLY WITH BUILDING STANDARDS OF VAUGHAN TO
MAKE RENTAL UNITS AVAILABLE TO MORE PEOPLE WHO
NEED THEM - WE LIVE NEXT DOOR TO 45 HARRIS CRES.

NICK SAMPIRA



RINA & CARMELA GULIZIA 30 HARRIS CRES WOODBRIDGE ON

WE SUPPORT STEVE & SAM SANGUEDOCCE @ 45 HARRIS
CRES. IN TRYING TO MAKE THEIR HOME FIT FOR
TWO FAMILY DWELLINGS. WE REALISE THEY ARE
COMPLYING WITH BUILDING STANDARDS AT THE
CITY OF VAUGHAN

Carmela Gulizia

From: [REDACTED]
To: [Committee of Adjustment](#)
Subject: [External] File # A312/22
Date: Tuesday, January 17, 2023 10:43:08 AM
Attachments: [RequestForDec.pdf](#)

Hi,

I am contacting you regarding File @A312/22

I do not want to request to speak I do however want to state that I do not agree with this application. We are a small crescent in Woodbridge a "Low Rise Residential" would ruin our Neighborhood. If I need to speak in person in order for my views to be captured please let me know.

I hope you will consider the surrounding homes and families who live in them and deny this application.

I have also attached the request for decision form.

Thank you,

Sherry Caserta