

ITEM #: 6.23	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A308/22 30 MACTIER DRIVE, KLEINBURG
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	General Comments w/condition
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE				
*Please see Schedule C of this report for a copy of the public & applicant correspondence listed below.				
The deadline to submit public comments is noon on the last business day prior to the scheduled hearing date.				
Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.				
All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.				
Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND		
*Please see Schedule D for a copy of the Decisions listed below		
File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY	
* Previous hearing dates where this application was adjourned by the Committee and public notice issued.	
None	



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A308/22
30 MACTIER DRIVE, KLEINBURG**

ITEM NUMBER: 6.23	CITY WARD #: 1
APPLICANT:	Jadvir Sandhu
AGENT:	Daniel Falzon
PROPERTY:	30 Mactier Drive, Kleinburg
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit a proposed cabana and deck in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R4 and subject to the provisions of Exception 14.1006 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum required rear yard setback for the residential accessory structure is 2.4m. Section 4.1.2 1 b)	To permit a minimum rear yard setback for the residential accessory structure of 0.61m.
2	The minimum required interior side yard setback for the residential accessory structure is 2.4m. Section 4.1.2 1 b)	To permit a minimum interior side yard setback for the residential accessory structure of 0.68m
3	The maximum permitted height for a residential accessory structure is 3.0m. Section 4.1.4 1.	To permit a maximum height for the residential accessory structure of 3.11m.
4	The maximum permitted encroachment for the deck is 2.4m into the required rear yard setback of 7.5m. Section 4.13 Table 4-1	To permit a maximum encroachment for the deck of 4.71m.
5	The minimum required front yard soft landscaping is 60% of required 50% front yard landscaping. Section 4.19 1 b	To permit a minimum front yard soft landscaping of 55%.

The subject lands are zoned RD4 –Residential and subject to the provisions of Exception 9(1376) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	The minimum required rear yard setback for the residential accessory structure is 7.5m. Schedule A3	To permit a minimum rear yard setback for the residential accessory structure of 0.61m.
7	The minimum required interior side yard setback for the residential accessory structure is 1.2m. Schedule A3	To permit a minimum interior side yard setback for the residential accessory structure of 0.68m.
8	The maximum permitted encroachment for the deck is 1.8m into the required rear yard setback of 7.5m. Section 3.14 c)	To permit a maximum encroachment for the deck of 4.71m.
9	The minimum required front yard soft landscaping is 60% of required 50% front yard landscaping. Section 4.1.4 f v) (2)	To permit a minimum front yard soft landscaping of 55%.

HEARING INFORMATION	
DATE OF MEETING: Thursday, January 26, 2023 TIME: 6:00 p.m. MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan LIVE STREAM LINK: Vaughan.ca/LiveCouncil	
PUBLIC PARTICIPATION	
If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the Request to Speak Form and submit to cofa@vaughan.ca If you would like to submit written comments, please quote file number above and submit by mail or email to: Email: cofa@vaughan.ca Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1	
THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.	

INTRODUCTION
Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee. Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following: That the general intent and purpose of the by-law will be maintained. That the general intent and purpose of the official plan will be maintained. That the requested variance(s) is/are acceptable for the appropriate development of the subject lands. That the requested variance(s) is/are minor in nature. Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS		
Date Public Notice Mailed:	January 12, 2023	
Date Applicant Confirmed Posting of Sign:	January 11, 2023	
Applicant Justification for Variances: *As provided by Applicant in Application Form	Insufficient rear yard size.	
Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS	
**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS	
**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	None

DEVELOPMENT ENGINEERING COMMENTS	
Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
<p>As the proposed gazebo in the subject property is 25.71 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact the COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)</p> <p>The proposed work by the owner/ applicant is increasing the lot coverage on the subject property. The added hardscape may have impacts on the City's Storm Water management system. Staff strongly encourage the owner/applicant introduce Low-impact Development (LID) measures (e.g., Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts. Should further information be required, please contact the Development Engineering COA reviewer.</p>	
Development Engineering Recommended Conditions of Approval:	The Owner/Applicant shall submit a revised Lot Grading Plan to the Development Inspection and Lot Grading Division of the City of Vaughan's Development Engineering Department for final lot grading approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS	
Forestry: Tree protection & preservation methods must be followed according to City of Vaughan By-law 052-2018.	
PFH Recommended Conditions of Approval:	Tree protection hoarding shall be required for the front boulevard tree.

DEVELOPMENT FINANCE COMMENTS	
No comment no concerns	
Development Finance Recommended Conditions of Approval:	None

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS	
No comments received to date.	
BCLPS Recommended Conditions of Approval:	None

BUILDING INSPECTION (SEPTIC) COMMENTS	
No comments received to date.	
Building Inspection Recommended Conditions of Approval:	None

FIRE DEPARTMENT COMMENTS	
No comments received to date.	
Fire Department Recommended Conditions of Approval:	None

SCHEDULES TO STAFF REPORT	
*See Schedule for list of correspondence	
Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

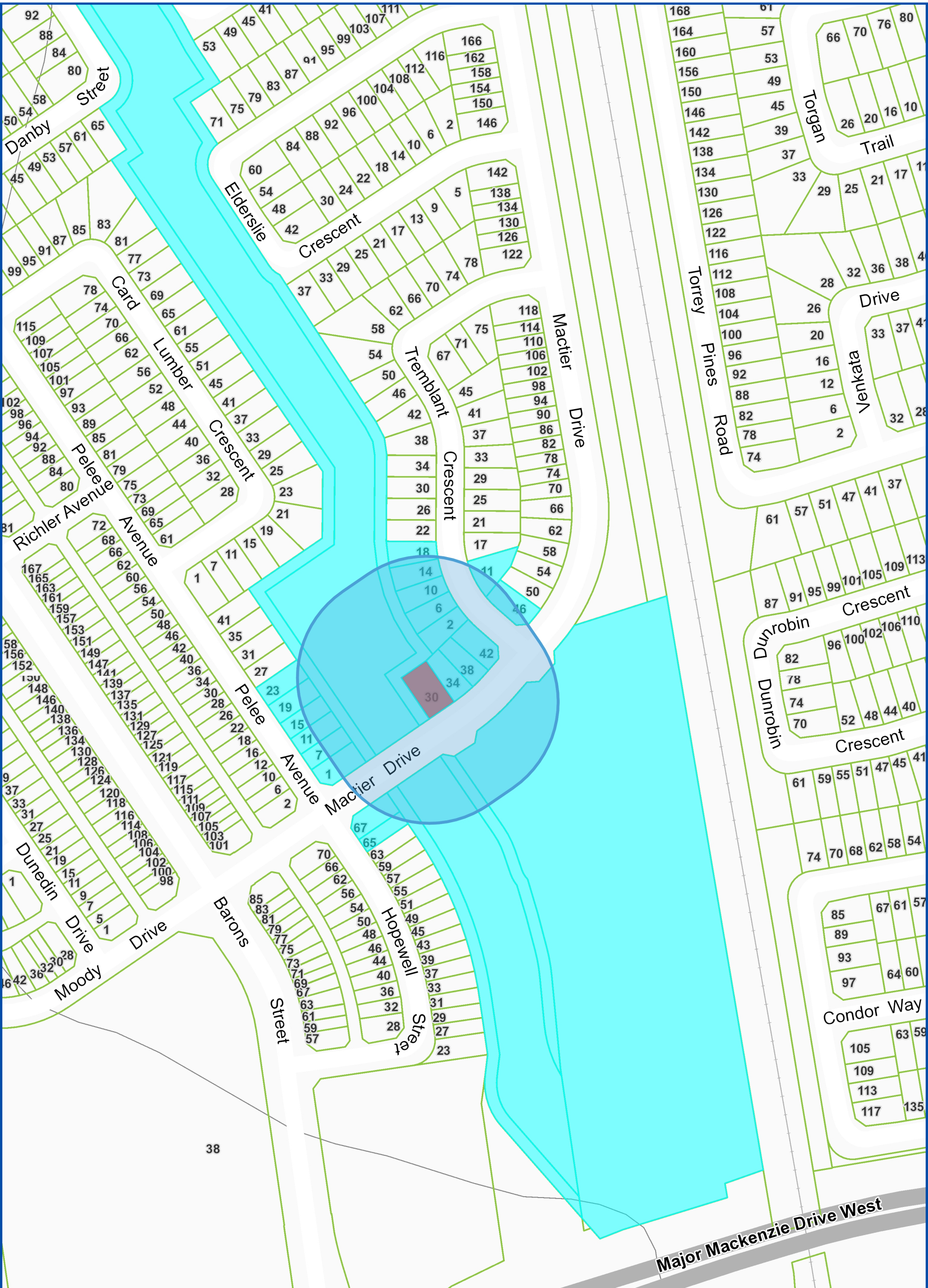
SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL		
All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.		
#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/Applicant shall submit a revised Lot Grading Plan to the Development Inspection and Lot Grading Division of the City of Vaughan’s Development Engineering Department for final lot grading approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
2	Parks, Forestry and Horticulture Operations zachary.quizzetti@vaughan.ca	Tree protection hoarding shall be required for the front boulevard tree.
3	TRCA Kristen.Regier@trca.ca	That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

IMPORTANT INFORMATION – PLEASE READ
CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (see condition chart above for contact). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.
APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.
An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.
A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.
Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.
Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.
DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.
That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

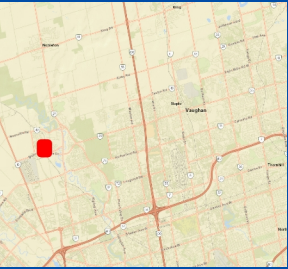
IMPORTANT INFORMATION – PLEASE READ

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

NOTIFICATION MAP - A308/22

30 MacTier Drive, Kleinburg

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1: 3,051

0 0.05 km

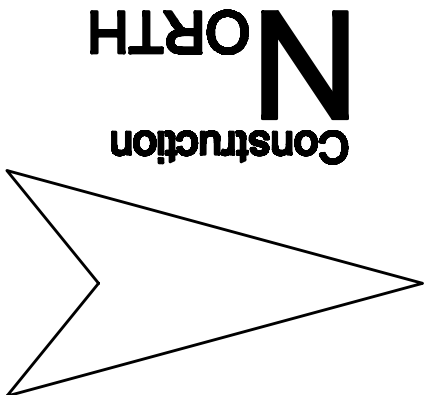


Created By:

Infrastructure Delivery
Department
January 5, 2023 2:50 PM

Projection:
NAD 83
UTM Zone
17N

A308/22



METRIC

ALL PROPERTY DIMENSIONS
IN METERS UNLESS
OTHERWISE NOTED

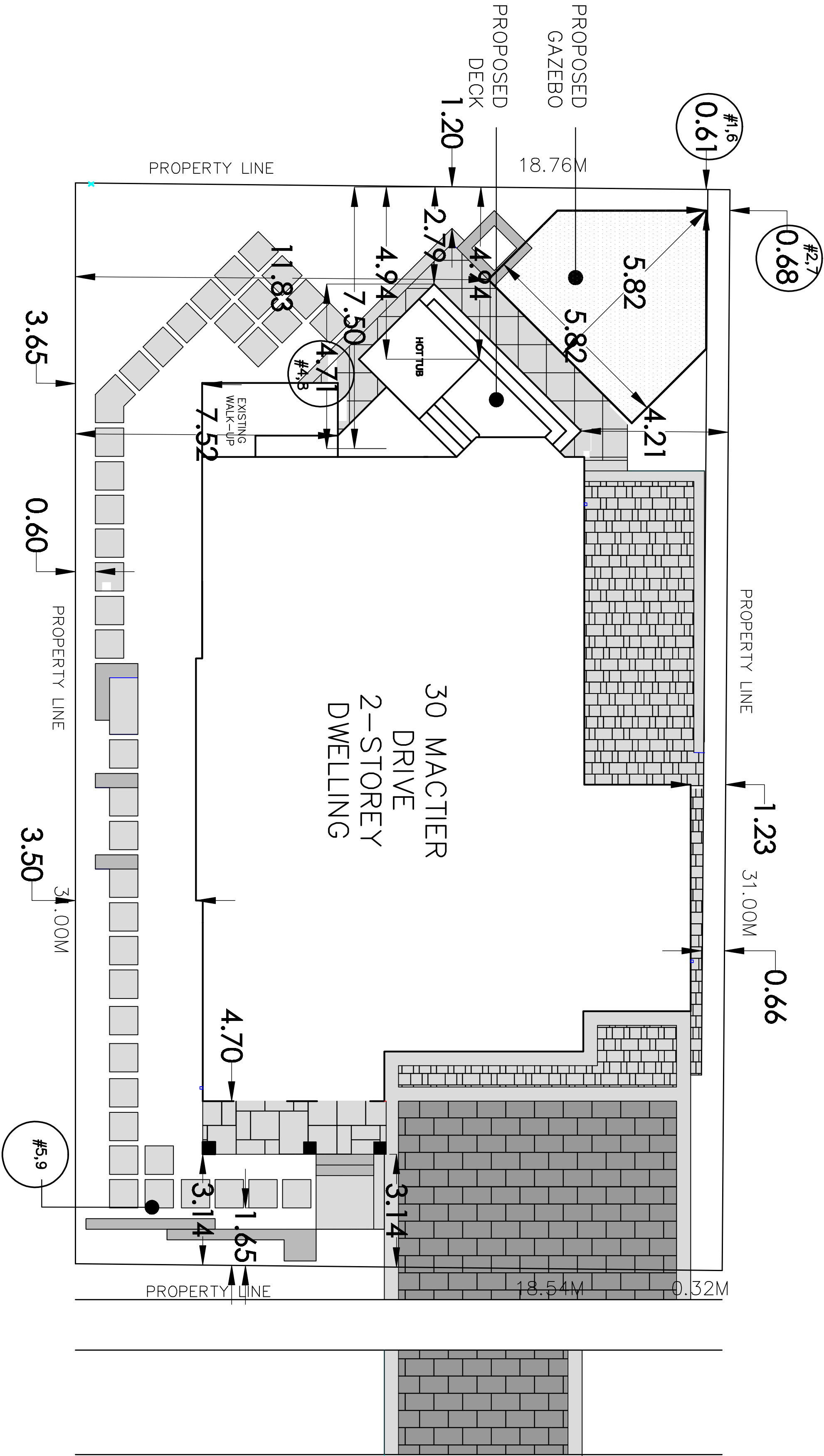
COVERAGE STATISTICS	
DRIVEWAY	58.15 sm
DWELLING	216.54 sm
FRONT PORCH	8.01 sm
DECK	12.59 sm
GAZEBO	25.71 sm
REAR WALKWAY	26.60 sm
FRONT WALKWAY	7.52 sm
SIDE WALKWAYS	54.35 sm

SCOPE OF WORK:
NEW REAR YARD DECK FROM FIRST FLOOR
AND
NEW REAR YARD GAZEBO
AND
MSC. HARDSCAPING THROUGHOUT
PROPERTY BOUNDARIES

INFORMATION TAKEN FROM SURVEY:

THIS SITE PLAN IS NOT BASED ON LEGAL SURVEY
ALL DIMENSIONS SHOWN ARE APPROXIMATE AND MEASURED
IN THE FIELD. ALL IMPORTANT LANDMARKS ARE BELIEVED TO BE
SHOWN.

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT



MACTIER DRIVE

General Notes

**LASONNE
ENGINEERING LTD.**
KLEINBURG 416.662.2873

No.	Revision/Issue	Date

SITE PLAN

**30 MACTIER DRIVE
MISC. REAR YARD
Vaughan, Ontario**

Project	2287	Sheet	S1
Date	AUG '22		
Scale	1:90		

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X	X	Recommend Approval w/Conditions
Ministry of Transportation (MTO) *Schedule B				No Comments Received to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Received to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Received to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: November 30th 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A308-22**

Related Files:

Applicant Jadvir Sandhu

Location 30 Mactier Drive

COMMENTS:

- ☐ We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- ☒ We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- ☐ We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

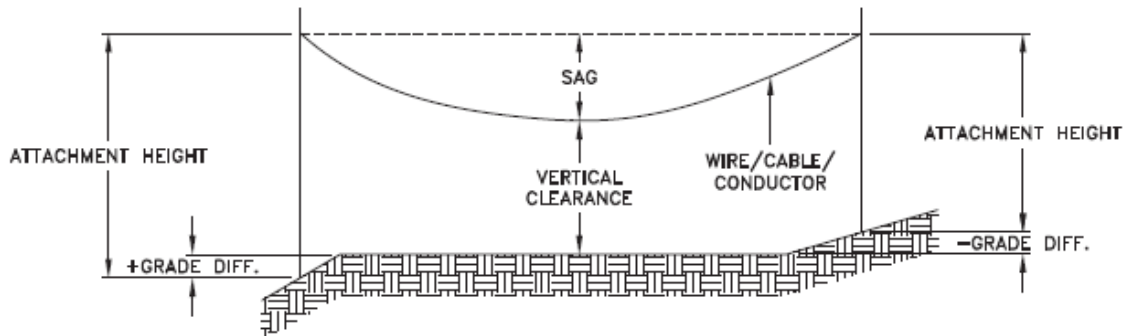
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
	MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)			
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS</u> AND <u>BICYCLES</u> ONLY	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 + GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

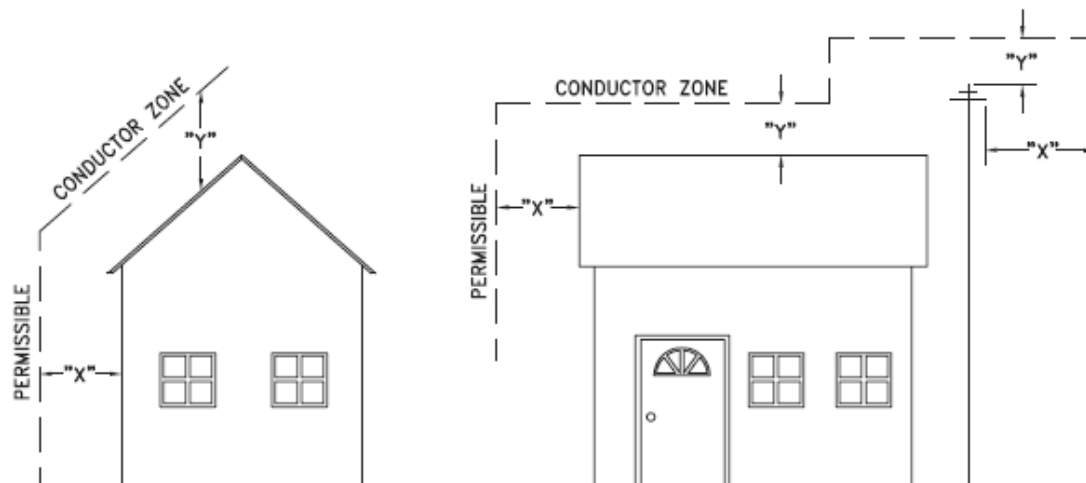
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

CONVERSION TABLE	
METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P.Eng. Approval By: D. Dadwani

To: Committee of Adjustment
From: Bernd Paessler, Building Standards Department
Date: January 4, 2023
Applicant: Jadvir Sandhu
Location: 30 Mactier Drive PLAN 65M4489 Lot 164
File No.(s): A308/22

Zoning Classification:

The subject lands are zoned R4 and subject to the provisions of Exception 14.1006 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 001-2021	Variance requested
1	The minimum required rear yard setback for the residential accessory structure is 2.4m. Section 4.1.2 1 b)	To permit a minimum rear yard setback for the residential accessory structure of 0.61m.
2	The minimum required interior side yard setback for the residential accessory structure is 2.4m. Section 4.1.2 1 b)	To permit a minimum interior side yard setback for the residential accessory structure of 0.68m
3	The maximum permitted height for a residential accessory structure is 3.0m. Section 4.1.4 1.	To permit a maximum height for the residential accessory structure of 3.11m.
4	The maximum permitted encroachment for the deck is 2.4m into the required rear yard setback of 7.5m. Section 4.13 Table 4-1	To permit a maximum encroachment for the deck of 4.71m.
5	The minimum required front yard soft landscaping is 60% of required 50% front yard landscaping. Section 4.19 1 b	To permit a minimum front yard soft landscaping of 55%.

The subject lands are zoned RD4 –Residential and subject to the provisions of Exception 9(1376) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
6	The minimum required rear yard setback for the residential accessory structure is 7.5m. Schedule A3	To permit a minimum rear yard setback for the residential accessory structure of 0.61m.
7	The minimum required interior side yard setback for the residential accessory structure is 1.2m. Schedule A3	To permit a minimum interior side yard setback for the residential accessory structure of 0.68m.

8	The maximum permitted encroachment for the deck is 1.8m into the required rear yard setback of 7.5m. Section 3.14 c)	To permit a maximum encroachment for the deck of 4.71m.
9	The minimum required front yard soft landscaping is 60% of required 50% front yard landscaping. Section 4.1.4 f v) (2)	To permit a minimum front yard soft landscaping of 55%.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-133232 for Single Detached Dwelling - Alteration,
Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: January 19, 2023

Name of Owner: Jadvir Sandhu

Location: 30 Mactier Drive

File No.(s): A308/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a minimum rear yard setback for the residential accessory structure of 0.61 m.
2. To permit a minimum interior side yard setback for the residential accessory structure of 0.68 m.
3. To permit a maximum height for the residential accessory structure of 3.11 m.
4. To permit a maximum encroachment for the deck of 4.71 m.
5. To permit a minimum front yard soft landscaping of 55%.

By-Law Requirement(s) (By-law 001-2021):

1. The minimum required rear yard setback for the residential accessory structure is 2.4 m.
2. The minimum required interior side yard setback for the residential accessory structure is 2.4 m.
3. The maximum permitted height for a residential accessory structure is 3.0 m.
4. The maximum permitted encroachment for the deck is 2.4 m into the required rear yard setback of 7.5 m.
5. The minimum required front yard soft landscaping is 60% of required 50% front yard landscaping.

Proposed Variance(s) (By-law 1-88):

6. To permit a minimum rear yard setback for the residential accessory structure of 0.61 m.
7. To permit a minimum interior side yard setback for the residential accessory structure of 0.68 m.
8. To permit a maximum encroachment for the deck of 4.71 m.
9. To permit a minimum front yard soft landscaping of 55%.

By-Law Requirement(s) (By-law 1-88):

6. The minimum required rear yard setback for the residential accessory structure is 7.5 m.
7. The minimum required interior side yard setback for the residential accessory structure is 1.2 m.
8. The maximum permitted encroachment for the deck is 1.8m into the required rear yard setback of 7.5 m.
9. The minimum required front yard soft landscaping is 60% of required 50% front yard landscaping.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit the construction of a cabana, rear yard deck and front yard hard landscaping, with the above noted variances.

The Development Planning Department has no objection to Variances 1, 2, 3, 6 and 7 for the proposed cabana. The property backs onto a public walkway and Environmental Protection Zone. The reduction to the rear and interior side yard setbacks for the modestly sized cabana will not pose adverse visual impacts to the neighbouring properties and an appropriate area for maintenance access is maintained. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the rear yard will be maintained. The increase in height for the cabana is

minor in nature as the 0.11 m increase is not anticipated to be perceptible. The proposed height increase is not anticipated to have adverse massing impacts to the neighbouring properties.

The Development Planning Department has no objection to Variances 4 and 8 for the encroachment of the proposed deck. The deck is situated at an angle to the rear lot line, so the full extent of the relief will only be utilized by one corner of the deck. The deck will not pose a significant visual impact to the abutting residential property to the east as the deck exceeds all side yard setback requirements. The property also abuts an Environmental Protection Zone to the north and west. In accordance with the VOP 2010, this area is identified as "Unapproved" on Schedule 2 - Natural Heritage Network (NHN) and is under consideration to be added as a Core Feature. Environmental Planning staff have reviewed the materials provided and determined that no natural heritage features will be impacted by the proposed minor variances. Therefore, the increased encroachment maintains an appropriate distance to prevent any adverse impacts to the neighbouring City-owned property.

Upon recommendations from the Development Planning Department, the Owner has revised their application to reduce the amount of front yard hard landscaping. The Development Planning Department has no objection to Variances 5 and 9 for the revised front yard hard landscaping. The remaining soft landscaping in the front yard facilitates drainage and snow storage and will compliment and maintain the existing streetscape. The Development Engineering Department has also reviewed the proposal and is satisfied that drainage in the front yard will be maintained.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I

David Harding, Senior Planner

January 6, 2023

CFN 66448.34

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A308.22
Part of Lot 21, Concession 9
30 Mactier Drive
City of Vaughan, Region of York
Owner: Jadvir Sandhu
Agent: Daniel Falzon**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on November 29, 2022. TRCA staff have reviewed the application and offer the following comments for the consideration of the Committee of Adjustment.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variance under both the By-Law 01-2021 and By-Law 1-88:

By-Law 01-2021:

- To permit a minimum rear yard setback for the residential accessory structure of 0.61 m., whereas the minimum required rear yard setback for the residential accessory structure is 2.4 m.
- To permit a minimum interior side yard setback for the residential accessory structure of 0.68 m., whereas the minimum required interior side yard setback for the residential accessory structure is 2.4 m.
- To permit a maximum height for the residential accessory structure of 3.11 m whereas the maximum permitted height for a residential accessory structure is 3.0 m.
- To permit a maximum encroachment for the deck of 4.71 m., whereas the maximum permitted encroachment for the deck is 2.4 m into the required rear yard setback of 7.5 m.
- To permit a minimum front yard soft landscaping of 46%, whereas the minimum required front yard soft landscaping is 60% of the required 50% front yard landscaping.

By-Law 1-88:

- To permit a minimum rear yard setback for the residential accessory structure of 0.61 m., whereas the minimum required rear yard setback for the residential accessory structure is 7.5 m.
- To permit a minimum interior side yard setback for the residential accessory structure of 0.68 m., whereas the minimum required setback for the residential accessory structure is 1.2 m.
- To permit a maximum encroachment for the deck of 4.71 m., whereas the maximum permitted encroachment for the deck is 1.8 m into the required rear yard setback of 7.5 m.
- To permit a minimum front yard soft landscaping of 46%, whereas the minimum required front yard soft landscaping is 60% of required 50% front yard landscaping.

The noted variances are being requested to facilitate the construction of an accessory structure (gazebo) and deck in the rear yard, as well as landscaping in both the front and rear yard.

Ontario Regulation 166/06

The subject lands are partially located within TRCA's Regulated Area due to a valley corridor associated with a tributary of the Humber River that is located on the adjacent lands to the west of the site. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

As noted above, the subject property is regulated by TRCA due to the presence of a valley corridor. Based on a review of digital elevation mapping, the physical top of bank of the valley is located approximately 7.5 metres from the side (western) property line.

TRCA policies require a 10 metre setback from the furthest limit of a valley corridor for all habitable structures (i.e., residential dwelling) and a 6 metres setback for all non-habitable accessory structures (i.e., pools, sheds, decks) and minor landscaping.

Based on a review of the materials submitted with this minor variance application, TRCA staff are satisfied that the proposed works are appropriately set back from the adjacent valley corridor. As such TRCA staff have no objections to the requested variances.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$660.00 (Variance-Residential-Minor) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A308.22 subject to the following condition:

1. That the applicant provides the required fee amount of \$660.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.regier@trca.ca

Sincerely,

Kristen Regier

Kristen Regier
Planner I
Development Planning and Permits

KR/sb

From: [Development Services](#)
To: [Christine Vigneault](#); [Committee of Adjustment](#)
Subject: [External] RE: A308/22 (30 Mactier Drive) - Request for Comments (City of Vaughan)
Date: Friday, December 16, 2022 3:08:22 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

COPY AND PASTE FROM SUMMARY CHART