

|                     |  |
|---------------------|--|
| <b>ITEM #: 6.15</b> | <b>COMMITTEE OF ADJUSTMENT REPORT</b><br><b>MINOR VARIANCE APPLICATION</b><br><b>A291/22</b><br><b>2871 HWY 7, VAUGHAN</b> |
|---------------------|--|

**COA REPORT SUMMARY**

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:**

\*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

*Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City’s Website.*

| DEPARTMENTS  | Circulated                          | Comments Received                   | Conditions               | Nature of Comments               |
|--|-------------------------------------|-------------------------------------|--------------------------|----------------------------------|
| Committee of Adjustment                              | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments                 |
| Building Standards -Zoning Review <b>*Schedule B</b> | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments                 |
| Building Inspection (Septic)                         | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | No Comments Received to Date     |
| Development Planning <b>*Schedule B</b>              | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Recommend Approval/No Conditions |
| Development Engineering                              | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Recommend Approval/No Conditions |
| Parks, Forestry and Horticulture Operations          | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments                 |
| By-law & Compliance, Licensing & Permits             | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | General Comments                 |
| Development Finance                                  | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns          |
| Real Estate  | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| Fire Department                                      | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | No Comments Received to Date     |
| AGENCIES   | Circulated                          | Comments Received                   | Conditions               | Nature of Comments               |
| TRCA <b>*Schedule B</b>                              | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| Ministry of Transportation (MTO) <b>*Schedule B</b>  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | No Comments Recieved to Date     |
| Region of York <b>*Schedule B</b>                    | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments                 |
| Alectra <b>*Schedule B</b>                           | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments                 |
| Bell Canada <b>*Schedule B</b>                       | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| YRDSB <b>*Schedule B</b>                             | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| YCDSB <b>*Schedule B</b>                             | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| CN Rail <b>*Schedule B</b>                           | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| CP Rail <b>*Schedule B</b>                           | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| TransCanada Pipeline <b>*Schedule B</b>              | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | No Comments Recieved to Date     |
| Metrolinx <b>*Schedule B</b>                         | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| Propane Operator <b>*Schedule B</b>                  | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |

| PUBLIC & APPLICANT CORRESPONDENCE  |      |         |                               |                      |
|--|------|---------|-------------------------------|----------------------|
| *Please see <b>Schedule C</b> of this report for a copy of the public & applicant correspondence listed below.   |      |         |                               |                      |
| <p>The deadline to submit public comments is <b>noon on the last business day prior to the scheduled hearing date.</b></p> <p>Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.</p> <p>All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.</p> |      |         |                               |                      |
| Correspondence Type  | Name | Address | Date Received<br>(mm/dd/yyyy) | Summary              |
| Applicant (Agent)  | MHBC |         | 11/01/23                      | Justification Letter |

| PREVIOUS COA DECISIONS ON THE SUBJECT LAND                             |                                |                  |
|--|--------------------------------|------------------|
| *Please see <b>Schedule D</b> for a copy of the Decisions listed below |                                |                  |
| File Number  | Date of Decision<br>MM/DD/YYYY | Decision Outcome |



| PREVIOUS COA DECISIONS ON THE SUBJECT LAND                             |  |                 |
|--|--|-----------------|
| *Please see <b>Schedule D</b> for a copy of the Decisions listed below |  |                 |
| None   |  | Choose an item. |

| ADJOURNMENT HISTORY  |  |
|--|--|
| * Previous hearing dates where this application was adjourned by the Committee and public notice issued. |  |
| None   |  |





**COMMITTEE OF ADJUSTMENT REPORT  
MINOR VARIANCE APPLICATION  
A291/22  
2871 HWY 7, VAUGHAN**

|  |   |
|--|---|
| <b>AGENDA ITEM NUMBER: 6.15</b>                  | <b>CITY WARD #: 4</b>   |
| <b>APPLICANT:</b>                                | 1930328 Ontario Inc.  |
| <b>AGENT:</b>                                    | David McKay   |
| <b>PROPERTY:</b>                                 | 2871 Hwy 7, Vaughan   |
| <b>ZONING DESIGNATION:</b>                       | See below.  |
| <b>VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:</b> | Vaughan Official Plan 2010 ('VOP 2010'): "Station Precinct", by Volume 2: 11.12 Vaughan Metropolitan Centre ('VMC') Secondary Plan.   |
| <b>RELATED DEVELOPMENT APPLICATIONS:]</b>        | DA.18.037   |
| <b>PURPOSE OF APPLICATION:</b>                   | Relief from the Zoning By-law is being requested variances to permit the development of the lands for a mixed-use development consisting of two high rise residential towers (49 and 45 storey, respectively). Relief is also required to facilitate related Site Plan Application DA.18.037. |

The following variances have been requested from the City's Zoning By-law:

**The subject lands are zoned C9(H) - Corporate Centre Zone and subject to the provisions of Exception 9(1473) under Zoning By-law 1-88, as amended.**

|    | <b>Zoning By-law 1-88</b>  | <b>Variance requested</b>   |
|----|--|---|
| 1. | A minimum of 0.624 parking spaces per dwelling unit is required. [9(1473)]   | To permit a minimum of 0.4 parking spaces per dwelling unit.  |
| 2. | The minimum combined common amenity area (indoor and outdoor) shall be 5,400m <sup>2</sup> . [9(1473)]                                     | To permit a minimum amenity area (indoor and outdoor) of 4.1 sq.m per unit.   |
| 3. | The minimum exterior side yard setback to Maplecrete Road shall be 2.5 metres. [9(1473)]   | To permit a minimum exterior side yard setback of 2.2 metres to Maplecrete Road.  |
| 4. | The minimum setback from any lot line or right-of-way to Building A and B shall be 2.6 metres [9(1473)]                                    | To permit a minimum setback from any lot line or right of way to Building A and B shall be 2.2 metres.                            |
| 5. | The minimum setback from any lot line or right-of-way to Building A above the building height of 7.2 metre shall be 10.7 metres. [9(1473)] | To permit a minimum setback of 6.0 metres from any lot line or right-of-way to Building A above the building height of 7.2 metres |
| 6. | The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 metre shall be 4.3 metres. [9(1473)]  | To permit a minimum setback of 4.2 metres from any lot line or right-of-way to Building B above the building height of 7.2 metres |
| 7. | The maximum gross floor area of 800m <sup>2</sup> for non-residential uses is permitted. [9(1473)]   | To permit a maximum gross floor area of 846.1m <sup>2</sup> for non-residential uses.   |



| HEARING INFORMATION   |
|---|
| <b>DATE OF MEETING:</b> January 26, 2023<br><b>TIME:</b> 6:00 p.m.<br><b>MEETING LOCATION:</b> Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan<br><b>LIVE STREAM LINK:</b> <a href="https://vaughan.ca/LiveCouncil">Vaughan.ca/LiveCouncil</a>  |
| <b>PUBLIC PARTICIPATION</b><br>If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the <a href="#">Request to Speak Form</a> and submit to <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a><br>If you would like to submit written comments, please quote file number above and submit by mail or email to:<br><b>Email:</b> <a href="mailto:cofa@vaughan.ca">cofa@vaughan.ca</a><br><br><b>Mail:</b> City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1<br><br><b>THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.</b> |

| INTRODUCTION  |
|---|
| Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.<br><br>Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:<br><br>That the general intent and purpose of the by-law will be maintained.<br>That the general intent and purpose of the official plan will be maintained.<br>That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.<br>That the requested variance(s) is/are minor in nature.<br><br>Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter. |

| COMMITTEE OF ADJUSTMENT COMMENTS   |   |
|--|---|
| <b>Date Public Notice Mailed:</b>  | January 12, 2023  |
| <b>Date Applicant Confirmed Posting of Sign:</b>   | January 9, 2023   |
| <b>Applicant Justification for Variances:</b><br><small>*As provided by Applicant in Application Form</small>  | A number of performance standards were included as part of the site-specific Zoning By-law (No. 157-2022), which require modification in order to be able to move forward with the development of this site. These standards reflect further refinements of the development that would afford a certain level of flexibility. It recognizes the changing condition of added units, residential and visitor parking, setbacks and step backs, modifying amenity areas and utilizing a gross floor area requirement on a per unit basis rather than having a total combined gross floor area denoting the amenity area. |
| <b>Adjournment Requests (from staff):</b><br><small>*Adjournment requests provided to applicant prior to issuance of public notice</small>   | None  |
| <b>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</b><br><br><small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small><br><br><small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small><br><br><small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small> | No  |
| <b>Adjournment Fees:</b><br>In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.  |   |



| COMMITTEE OF ADJUSTMENT COMMENTS  |      |
|---|------|
| An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff <b>after</b> the issuance of public notice. |      |
| Committee of Adjustment Comments:   | None |
| Committee of Adjustment Recommended Conditions of Approval:   | None |

| BUILDING STANDARDS (ZONING) COMMENTS                      |      |
|---|------|
| **See Schedule B for Building Standards (Zoning) Comments |      |
| Building Standards Recommended Conditions of Approval:    | None |

| DEVELOPMENT PLANNING COMMENTS                            |      |
|--|------|
| **See Schedule B for Development Planning Comments.      |      |
| Development Planning Recommended Conditions of Approval: | None |

| DEVELOPMENT ENGINEERING COMMENTS  |      |
|---|------|
| <a href="#">Link to Grading Permit</a> <a href="#">Link to Pool Permit</a> <a href="#">Link to Curb Curt Permit</a> <a href="#">Link Culvert Installation</a>   |      |
| To permit the reduction of required residential parking spaces from 0.624 parking spaces per residential unit minimum to 0.4 parking spaces per residential unit.<br>Staff from the City's VMC Transportation Team have reviewed the proposed Variance and have no objections to the requested parking rate.<br><br>The Development Engineering Department does not object to the Minor Variance application A291/22. |      |
| Development Engineering Recommended Conditions of Approval:   | None |

| PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS   |      |
|---|------|
| Forestry is currently working with Development Planning for the construction project on this site- OP.21.007/Z.21.010/DA.18.037 |      |
| PFH Recommended Conditions of Approval:   | None |

| DEVELOPMENT FINANCE COMMENTS                            |      |
|---|------|
| No comment no concerns                                  |      |
| Development Finance Recommended Conditions of Approval: | None |

| BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS |      |
|---|------|
| No comment no concerns  |      |
| BCLPS Recommended Conditions of Approval:                     | None |

| BUILDING INSPECTION (SEPTIC) COMMENTS                   |      |
|---|------|
| No comments received to date.                           |      |
| Building Inspection Recommended Conditions of Approval: | None |

| FIRE DEPARTMENT COMMENTS                            |      |
|---|------|
| No comments received to date.                       |      |
| Fire Department Recommended Conditions of Approval: | None |



| SCHEDULES TO STAFF REPORT                |   |
|--|---|
| *See Schedule for list of correspondence |   |
| <b>Schedule A</b>                        | Drawings & Plans Submitted with the Application   |
| <b>Schedule B</b>                        | Development Planning & Agency Comments            |
| <b>Schedule C</b> (if required)          | Correspondence (Received from Public & Applicant) |
| <b>Schedule D</b> (if required)          | Previous COA Decisions on the Subject Land        |

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

| SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL   |                     |                          |
|---|---------------------|--------------------------|
| All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency. |                     |                          |
| #   | DEPARTMENT / AGENCY | CONDITION(S) DESCRIPTION |
|   | None                |                          |

| IMPORTANT INFORMATION – PLEASE READ   |
|---|
| <p><b>CONDITIONS:</b> It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (<b>see condition chart above for contact</b>). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.</p>   |
| <p><b>APPROVALS:</b> Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.</p> <p>An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.</p> <p>A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.</p> <p>Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.</p> <p>Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.</p> |
| <p><b>DEVELOPMENT CHARGES:</b> That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.</p> <p>That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment</p> <p>That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.</p>   |
| <p><b>NOTICE OF DECISION:</b> If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will <b>not</b> receive notice.</p>  |



**SCHEDULE A: DRAWINGS & PLANS**







|    | Zoning By-law 1-88  | Variance requested  |
|----|---|---|
| 1. | A minimum of 0.624 parking spaces per dwelling unit is required.<br>[9(1473)]   | To permit a minimum of 0.4 parking spaces per dwelling unit.  |
| 2. | The minimum combined common amenity area (indoor and outdoor) shall be 5,400m².<br>[9(1473)]  | To permit a minimum amenity area (indoor and outdoor) of 4.1 sq.m per unit.   |
| 3. | The minimum exterior side yard setback to Maplecrete Road shall be 2.5 metres.<br>[9(1473)]   | To permit a minimum exterior side yard setback of 2.2 metres to Maplecrete Road.  |
| 4. | The minimum setback from any lot line or right-of-way to Building A and B shall be 2.6 metres<br>[9(1473)]                                    | To permit a minimum setback from any lot line or right of way to Building A and B shall be 2.2 metres.                            |
| 5. | The minimum setback from any lot line or right-of-way to Building A above the building height of 7.2 metre shall be 10.7 metres.<br>[9(1473)] | To permit a minimum setback of 6.0 metres from any lot line or right-of-way to Building A above the building height of 7.2 metres |
| 6. | The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 metre shall be 4.3 metres.<br>[9(1473)]  | To permit a minimum setback of 4.2 metres from any lot line or right-of-way to Building B above the building height of 7.2 metres |
| 7. | The maximum gross floor area of 800m² for non-residential uses is permitted.<br>[9(1473)]   | To permit a maximum gross floor area of 846.1m² for non-residential uses.   |

## PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

### 2871 HIGHWAY 7 Proposed Mixed-Use Development

Project Statistics  
November 30, 2022

Project No. 11123T

#### 1.0 SITE AREA

##### 1.1 Overall Site Area (per Bylaw 157-2022 over entire subject lands)

| Site Area | acres | hectares | sq.m.  | sq.ft.  |
|-----------|-------|----------|--------|---------|
|           | 3.58  | 1.45     | 14,508 | 156,162 |

#### 2.0 GROSS FLOOR AREA (GFA)

##### 2.1 GFA (per Bylaw 1-88)

| Area per Level   |  |          |      | Non-Residential |             | Residential |           | Total   |
|--|--|----------|------|-----------------|-------------|-------------|-----------|---------|
|  |  |          |      | Commercial      | Comm Centre |             |           |         |
|  |  |          |      | sq.m.           | sq.m.       | sq.m.       | sq.m.     | sq.ft.  |
| Podium - Level 1   |  | 3,836.00 | 1 x  | 683.19          | 162.85      | 2,989.96    | 3,836.00  | 41,290  |
| Podium - Level 2   |  | 2,629.50 | 1 x  |                 |             | 2,629.50    | 2,629.50  | 28,304  |
| Podium - Level 3   |  | 3,012.14 | 1 x  |                 |             | 3,012.14    | 3,012.14  | 32,422  |
| Podium - Levels 4 to 7   |  | 2,938.45 | 4 x  |                 |             | 11,753.80   | 11,753.80 | 126,517 |
| Podium - Stair at Level 8  |  | 18.68    | 1 x  |                 |             | 18.68       | 18.68     | 201     |
| Building 'A' - Levels 8 to 48                                      |  | 865.94   | 41 x |                 |             | 35,503.54   | 35,503.54 | 382,157 |
| Building 'A' - Levels 49   |  | 797.41   | 1 x  |                 |             | 797.41      | 797.41    | 8,583   |
| Building 'B' - Levels 8 to 44                                      |  | 858.80   | 37 x |                 |             | 31,775.60   | 31,775.60 | 342,030 |
| Building 'B' - Levels 45   |  | 790.26   | 1 x  |                 |             | 790.26      | 790.26    | 8,506   |
| Level Mechanical PH Building A & Building B                        |  | 1,100.45 | 1 x  |                 |             | 1,100.45    | 1,100.45  | 11,845  |
| Total Proposed GFA   |  |          |      |                 |             | 90,371.34   | 91,217.38 | 981,856 |
| Total Proposed Non-Residential GFA (Commercial + Community Centre) |  |          |      | 846.04          |             |             |           |         |
| Non-Residential % on Ground Level                                  |  |          |      | 22.06%          |             |             |           |         |

##### 2.2 Overall GFA (per Bylaw 1-88)\*

\*Means the aggregate area of the above grade floor areas of all storeys of a building, measured to the exterior of the outside walls, but not including the areas of any cellar, or car parking area above or below grade within the building or within a separate structure.

|                           | sq.m.     | sq.ft.  |
|---------------------------|-----------|---------|
| Community Use Space       | 162.85    | 1,753   |
| Commercial/Retail         | 683.19    | 7,354   |
| Residential Building A, B | 90,371.34 | 972,749 |
| Total Proposed GFA        | 91,217.38 | 981,856 |

##### 2.3 GCA

| Area per Level                              |  |          |  | No. of Levels | Total     |         |
|---|--|----------|--|---------------|-----------|---------|
|   |  |          |  |               | sq.m.     | sq.ft.  |
| Podium - Level 1                            |  | 3,836.00 |  | 1 x           | 3,836.00  | 41,290  |
| Podium - Level 2                            |  | 3,836.00 |  | 1 x           | 3,836.00  | 41,290  |
| Podium - Level 3                            |  | 3,012.14 |  | 1 x           | 3,012.14  | 32,422  |
| Podium - Levels 4 to 7                      |  | 2,938.45 |  | 4 x           | 11,753.80 | 126,517 |
| Podium - Level 8                            |  | 1,743.42 |  | 1 x           | 1,743.42  | 18,766  |
| Building 'A' - Levels 8 to 48               |  | 865.94   |  | 40 x          | 34,637.60 | 372,836 |
| Building 'A' - Levels 49                    |  | 797.41   |  | 1 x           | 797.41    | 8,583   |
| Building 'B' - Levels 8 to 44               |  | 858.80   |  | 36 x          | 30,916.80 | 332,786 |
| Building 'B' - Levels 45                    |  | 790.26   |  | 1 x           | 790.26    | 8,506   |
| Level Mechanical PH Building A & Building B |  | 1,100.45 |  | 1 x           | 1,100.45  | 11,845  |
| Total Proposed GCA                          |  |          |  |               | 92,423.88 | 994,842 |

#### 3.0 FLOOR SPACE INDEX (FSI)

|   |      |
|---|------|
| Total Proposed GFA / Site Area (per Bylaw 1-88 Over the entire subject lands) | 6.29 |
|---|------|

#### 4.0 UNIT MIX

##### 4.1 Unit Mix

|                               | No. of Levels | Studio | 1 Bed | 1 Bed + Den | 2 Bed | 2 Bed + Den | 3 Bed | 3 Bed + Den | Units / Floor | Total |
|-------------------------------|---------------|--------|-------|-------------|-------|-------------|-------|-------------|---------------|-------|
| Podium - Level 1              | 1 x           | 1      | 0     | 2           | 2     | 0           | 0     | 0           | 5             | 5     |
| Podium - Level 2              | 1 x           | 0      | 1     | 2           | 3     | 1           | 3     | 0           | 10            | 10    |
| Podium - Level 3              | 1 x           | 4      | 7     | 3           | 8     | 2           | 0     | 0           | 24            | 24    |
| Podium - Levels 4 to 7        | 4 x           | 1      | 12    | 4           | 14    | 5           | 1     | 0           | 37            | 148   |
| Podium - Level 8              | 1 x           | 0      | 3     | 1           | 5     | 0           | 0     | 0           | 9             | 9     |
| Building 'A' - Levels 9 to 48 | 40 x          | 0      | 4     | 2           | 6     | 0           | 0     | 0           | 12            | 480   |
| Building 'A' - Levels 49      | 1 x           | 0      | 0     | 0           | 0     | 1           | 1     | 4           | 6             | 6     |
| Building 'B' - Levels 8 B     | 1 x           | 1      | 4     | 1           | 6     | 0           | 0     | 0           | 12            | 12    |
| Building 'B' - Levels 9 to 44 | 36 x          | 0      | 4     | 2           | 6     | 0           | 0     | 0           | 12            | 432   |
| Building 'B' - Levels 45      | 1 x           | 0      | 0     | 0           | 0     | 1           | 4     | 6           | 6             | 6     |
| Total No. of Units            |               | 10     | 367   | 177         | 536   | 25          | 9     | 8           |               | 1,132 |

##### 4.2 Unit Mix Percentage

|  | Studio | 1 Bed | 1 Bed + Den | 2 Bed | 2 Bed + Den | 3 Bed | 3 Bed + Den | Total |
|--|--------|-------|-------------|-------|-------------|-------|-------------|-------|
|  | 0.88%  | 32.4% | 15.6%       | 47.3% | 2.2%        | 0.8%  | 0.7%        | 100%  |

#### 5.0 AMENITY (Building A+B)

##### 5.1 Amenity Ratio Required

|                          | -Ratio-        | Total       |
|--------------------------|----------------|-------------|
| Indoor & Outdoor Amenity | 4.1 sq.m./unit | 4,641 sq.m. |

##### 5.2 Indoor Amenity Provided

|              | Total       |
|--------------|-------------|
| Ground Floor | 738.00      |
| Second Floor | 360.00      |
| Third Floor  | 1,053.00    |
| Level 8      | 114.00      |
| Total        | 2,265 sq.m. |

##### 5.3 Outdoor Amenity Provided

|                              | Total       |
|------------------------------|-------------|
| Ground Floor (Central Space) | 1,356.00    |
| Third Floor                  | 301.00      |
| Level 8                      | 834.00      |
| Total                        | 2,491 sq.m. |

##### 5.4 Total Amenity Provided

|                          | Total       |
|--------------------------|-------------|
| Indoor Amenity Provided  | 2,265.00    |
| Outdoor Amenity Provided | 2,491.00    |
| Total                    | 4,756 sq.m. |

#### 6.0 PARKING (Building A+B)\*

##### 6.1 Minimum Parking Ratio Required

|  | Units or Area | Residential Min Parking Ratio | Parking Spaces |
|--|---------------|-------------------------------|----------------|
| Non-Residential (CRU and Community Centre) | 846 sq.m.     | 2 per 100sqm                  | 17             |
| Residential Units                          | 1,132         | 0.400 /unit                   | 453            |
| Visitors                                   | 1,132         | 0.155 /unit                   | 176            |
| Total                                      |               |                               | 646            |

##### 6.2 Parking Proposed

|              | No. of Levels | Non-residential | Visitor | Residents | Parking Spaces |
|--------------|---------------|-----------------|---------|-----------|----------------|
| Ground Level | 1 x           | 13              | 7       | 0         | 20             |
| P1           | 1 x           | 4               | 169     | 25        | 198            |
| P2           | 1 x           |                 | 0       | 208       | 208            |
| P3           | 1 x           |                 | 0       | 209       | 209            |
| P4           | 1 x           |                 | 0       | 211       | 211            |
| Total        |               | 17              | 176     | 653       | 846            |

\*Parking ratios are calculated for Block 1, Building A+B, bylaw 157-2022 are taken over the entire subject site.

##### 6.3 Buildings 'A' & 'B' Accessible Parking

|   | Required | Provided |
|---|----------|----------|
| Type A  | 9        | 9        |
| Type B  | 10       | 10       |
| 2 spaces plus 2% of the total number of parking spaces, of which, 50% shall be Type A and 50% shall be Type B | 19       | 19       |

#### 7.0 BICYCLE SPACES

##### 7.1 Bicycle Spaces Ratio Proposed

|                                       | Units or Area | Ratio                  | Bicycle Spaces |
|---------------------------------------|---------------|------------------------|----------------|
| Retail Short Term Bicycle spaces      | 683 sq.m.     | 0.15 per 100 sq.m or 6 | 6              |
| Retail Long Term Bicycle spaces       | 683 sq.m.     | 0.1 per 100 sq.m.      | 1              |
| Residential Short Term Bicycle spaces | 1,132         | 0.10 /unit             | 114            |
| Residential Long Term Bicycle spaces  | 1,132         | 0.50 /unit             | 566            |
| Total                                 |               |                        | 687            |

##### 7.2 Bicycle Spaces Provided

|                  | Retail Short Term | Retail Long Term | Res. Short Term | Res. Long Term | Bicycle Spaces |
|------------------|-------------------|------------------|-----------------|----------------|----------------|
| Ground Level     | 9                 | 1                | 114             | 85             | 209            |
| Podium - Level 2 |                   |                  | 0               | 323            | 323            |
| P1               |                   |                  | 0               | 70             | 70             |
| P2               |                   |                  | 0               | 88             | 88             |
| Total            | 9                 | 1                | 114             | 566            | 690            |

# A291/22

# DIALOG®

ISSUED FOR  
9 2022-11-30 CoA SUBMISSION

846.1 m²  
#7

4.1m²/unit  
#2

0.4/unit  
#1

#### METRIC

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CLIENT  
1930228 Ontario Inc.

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M5V 3G6  
Tel: 416.966.0220 Fax: (416) 966.0223

#### STRUCTURAL ENGINEER

DIALOG  
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Tel: (905) 738-6100 Fax: (905) 738-6875

#### LANDSCAPE ARCHITECT

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M6V 1R1  
Tel: (416) 840-0039 Fax:

#### TRAFFIC CONSULTANT

LEA CONSULTING  
625 Codrane Drive, 9th Floor, Markham, ON  
L3R 9R9  
Tel: (905) 470-0015 Fax:

#### KEYPLAN

SEAL



#### 2871 HIGHWAY 7

#### PROPOSED MIXED-USE DEVELOPMENT

## STATS

DRAWN: P.S.  
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# SP-0A

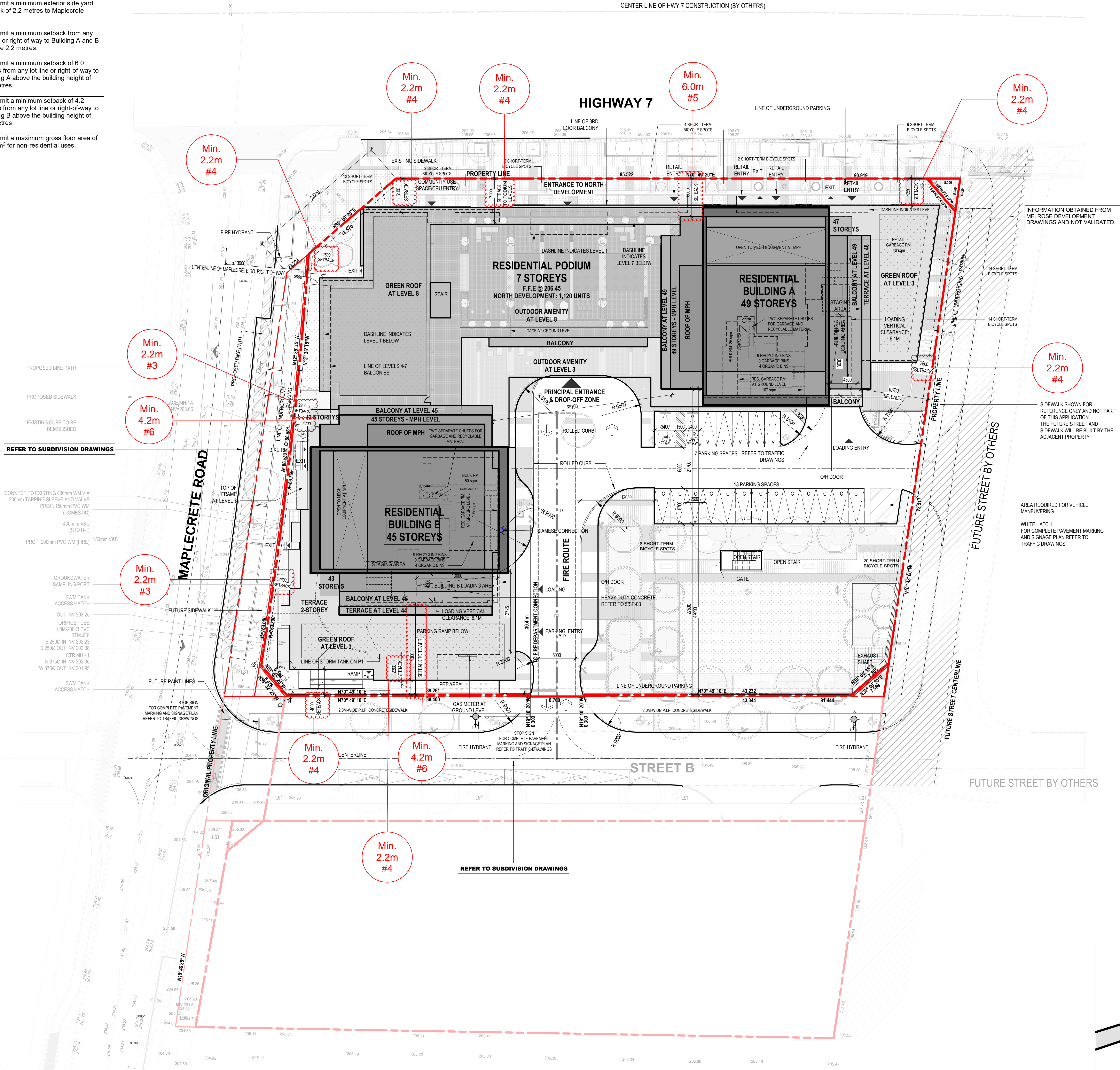


| Zoning By-law 1-88  | Variance requested  |
|---|---|
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| 2. The minimum combined common amenity area (indoor and outdoor) shall be 5,400m². [9(1473)]  | To permit a minimum amenity area (indoor and outdoor) of 4.1 sq.m per unit.   |
| 3. The minimum exterior side yard setback to Maplecrete Road shall be 2.5 metres. [9(1473)]   | To permit a minimum exterior side yard setback of 2.2 metres to Maplecrete Road.  |
| 4. The minimum setback from any lot line or right-of-way to Building A and B shall be 2.6 metres [9(1473)]                                    | To permit a minimum setback from any lot line or right of way to Building A and B shall be 2.2 metres.                            |
| 5. The minimum setback from any lot line or right-of-way to Building A above the building height of 7.2 metre shall be 10.7 metres. [9(1473)] | To permit a minimum setback of 6.0 metres from any lot line or right-of-way to Building A above the building height of 7.2 metres |
| 6. The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 metre shall be 4.3 metres. [9(1473)]  | To permit a minimum setback of 4.2 metres from any lot line or right-of-way to Building B above the building height of 7.2 metres |
| 7. The maximum gross floor area of 800m² for non-residential uses is permitted. [9(1473)]   | To permit a maximum gross floor area of 846.1m² for non-residential uses.   |

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

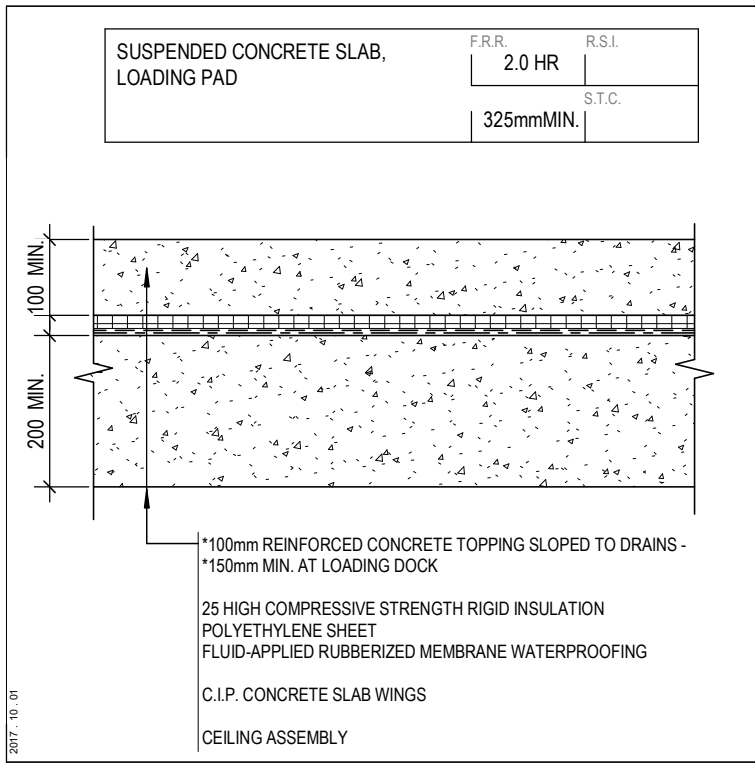
A291/22

DIALOG

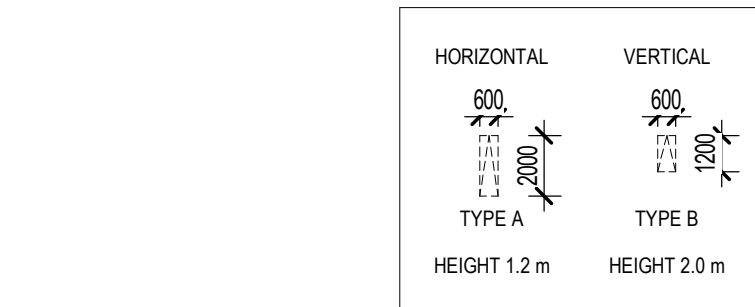


SURVEYOR'S CREDIT: SURVEY INFORMATION TAKEN FROM TOPOGRAPHIC PLAN OF LOT 3 REGISTERED PLAN 1977 CITY OF NAGUHAN REGIONAL MUNICIPALITY OF YORK PREPARED BY SCHNEFFER/EDOLDOY BENNETT LTD. 84 JARVIS DRIVE, CONCORD, ONTARIO L4K 3P3 TEL: (416) 887-0101 DATED MAY 12, 2022

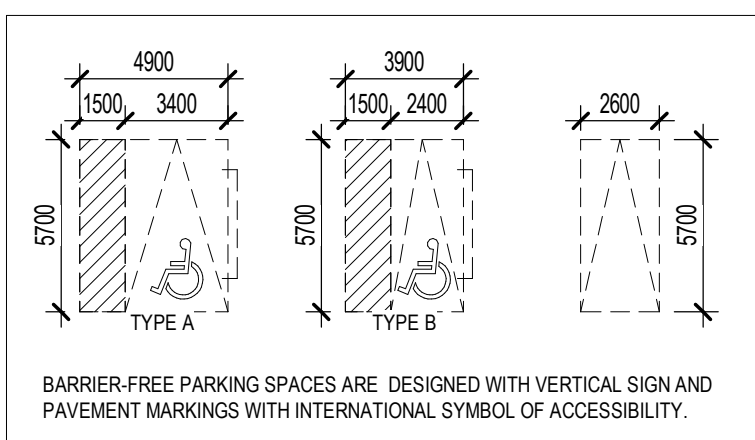
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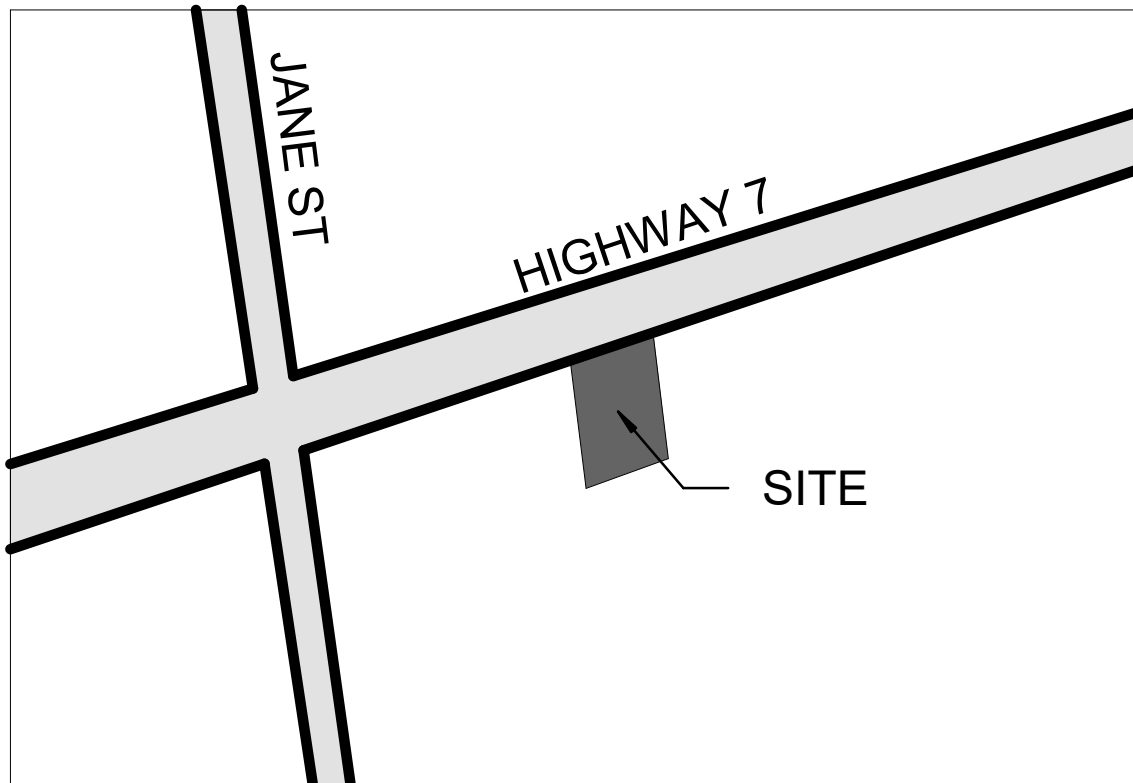
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BICYCLE SPACE LEGEND SCALE: 1:250 SP-03



PARKING SPACE LEGEND SCALE: 1:250 SP-03



CONTEXT-MAP SCALE: N.T.S. SP-03

SITE PLAN SCALE: 1:250 SP-03

ISSUED FOR

- 1 2018-02-20 OPA / ZBL DRAFT PLAN OF SUBDIVISION
- 2 2018-05-01 SPA SUBMISSION
- 3 2018-10-29 SPA SUBMISSION
- 4 2019-01-18 SPA REVISIONS
- 5 2021-02-26 OPA/ZBL/SPA SUBMISSION
- 6 2021-12-10 REZONING
- 7 2021-12-20 SPA SUBMISSION
- 8 2022-08-30 SPA SUBMISSION
- 9 2022-11-30 CoA SUBMISSION

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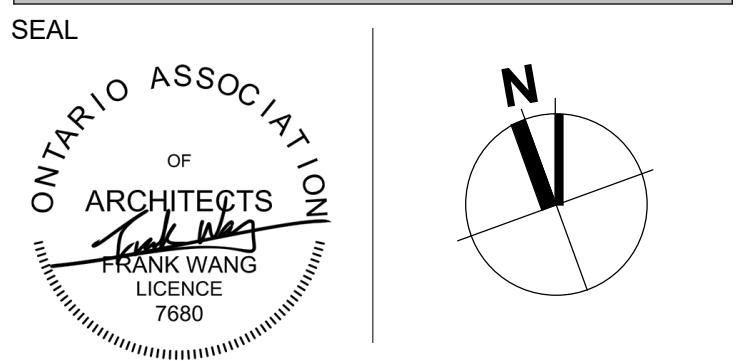
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CIVIL ENGINEER Schaeffer & Associates Ltd 8 Ramoth, Concord, ON L4K 4R3 Tel: (905) 738-6100 Fax: (905) 738-6875

LANDSCAPE ARCHITECT Land Art Design 52 Mimico Avenue, Studio B, Toronto, ON M6V 1R1 Tel: (416) 840-0039 Fax: (416) 840-0039

TRAFFIC CONSULTANT LEA CONSULTING 625 Cochrane Drive, 9th Floor, Markham, ON L3R 9R9 Tel: (905) 470-0015 Fax: (905) 470-0015

KEYPLAN



2871 HIGHWAY 7 PROPOSED MIXED-USE DEVELOPMENT

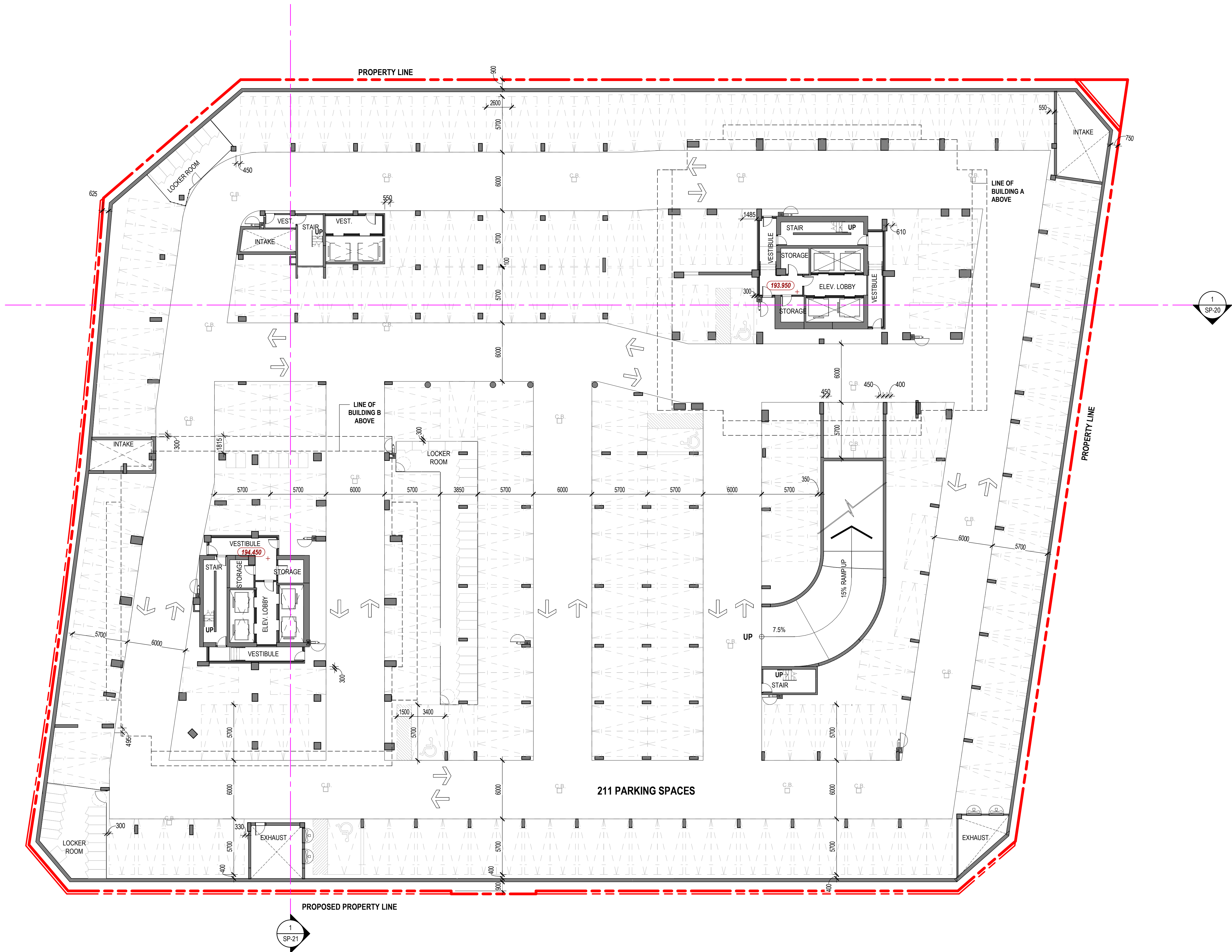
SITE PLAN

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SP-03



| Zoning By-law 1-88  | Variance requested  |
|---|---|
| 1. A minimum of 0.624 parking spaces per dwelling unit is required. [9(1473)]   | To permit a minimum of 0.4 parking spaces per dwelling unit.  |
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| 6. The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 metre shall be 4.3 metres. [9(1473)]  | To permit a minimum setback of 4.2 metres from any lot line or right-of-way to Building B above the building height of 7.2 metres |
| 7. The maximum gross floor area of 800m² for non-residential uses is permitted. [9(1473)]   | To permit a maximum gross floor area of 846.1m² for non-residential uses.   |



ISSUED FOR

- 3 2018-10-29 SPA SUBMISSION
- 5 2021-02-26 OPAZB/SPA SUBMISSION
- 6 2021-12-10 REZONING
- 7 2021-12-20 SPA SUBMISSION
- 8 2022-08-30 SPA SUBMISSION
- 9 2022-11-30 CGA SUBMISSION

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LANDSCAPE ARCHITECT

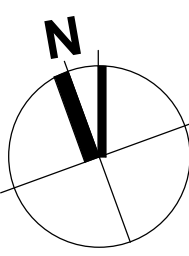
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L3R 9S9  
Tel: (905) 470-0015 Fax:

KEYPLAN

SEAL



2871 HIGHWAY 7  
PROPOSED MIXED-USE  
DEVELOPMENT

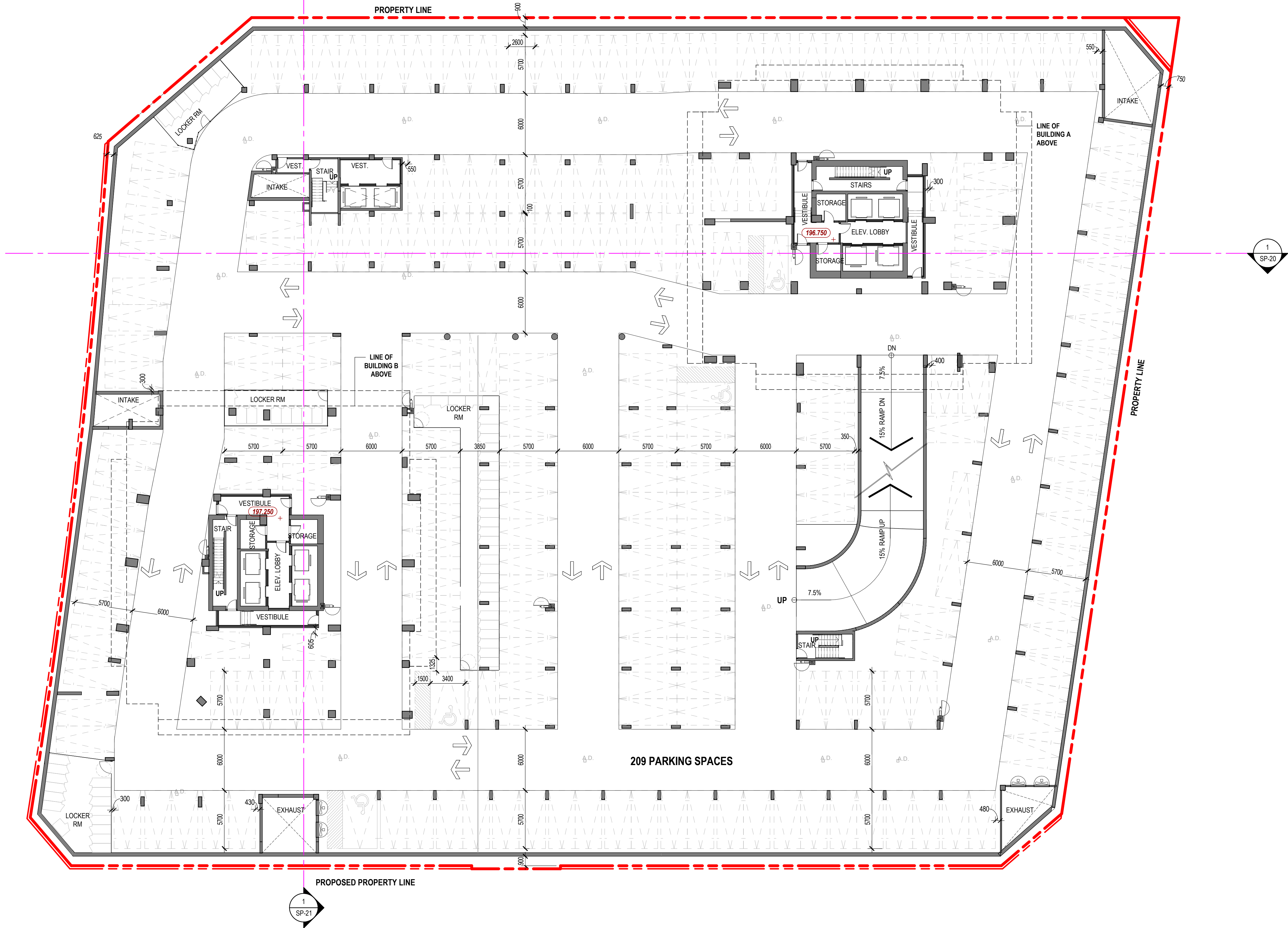
P4 FLOOR PLAN

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PLOT DATE: 12/1/2022 12:42:05 PM

SP-04



| Zoning By-law 1-88 |  | Variance requested  |
|--------------------|--|---|
| 1.                 | A minimum of 0.624 parking spaces per dwelling unit is required. [9(1473)]   | To permit a minimum of 0.4 parking spaces per dwelling unit.  |
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| 7.                 | The maximum gross floor area of 800m² for non-residential uses is permitted. [9(1473)]   | To permit a maximum gross floor area of 846.1m² for non-residential uses.   |



- ISSUED FOR
- 2018-02-20 OPA / ZBL DRAFT PLAN OF SUBDIVISION
  - 2018-05-01 SPA SUBMISSION
  - 2018-10-29 SPA SUBMISSION
  - 2021-02-26 OPA/ZBA/SPA SUBMISSION
  - 2021-12-10 REZONING
  - 2021-12-20 SPA SUBMISSION
  - 2022-06-30 SPA SUBMISSION
  - 2022-11-30 CoA SUBMISSION

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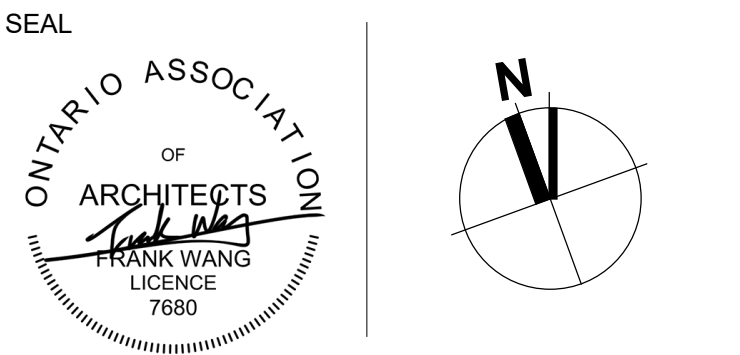
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**TRAFFIC CONSULTANT**  
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625 Codrington Drive, 9th Floor, Markham, ON  
L3R 9S9  
Tel: (905) 470-0015 Fax:

KEYPLAN



**2871 HIGHWAY 7**  
**PROPOSED MIXED-USE**  
**DEVELOPMENT**

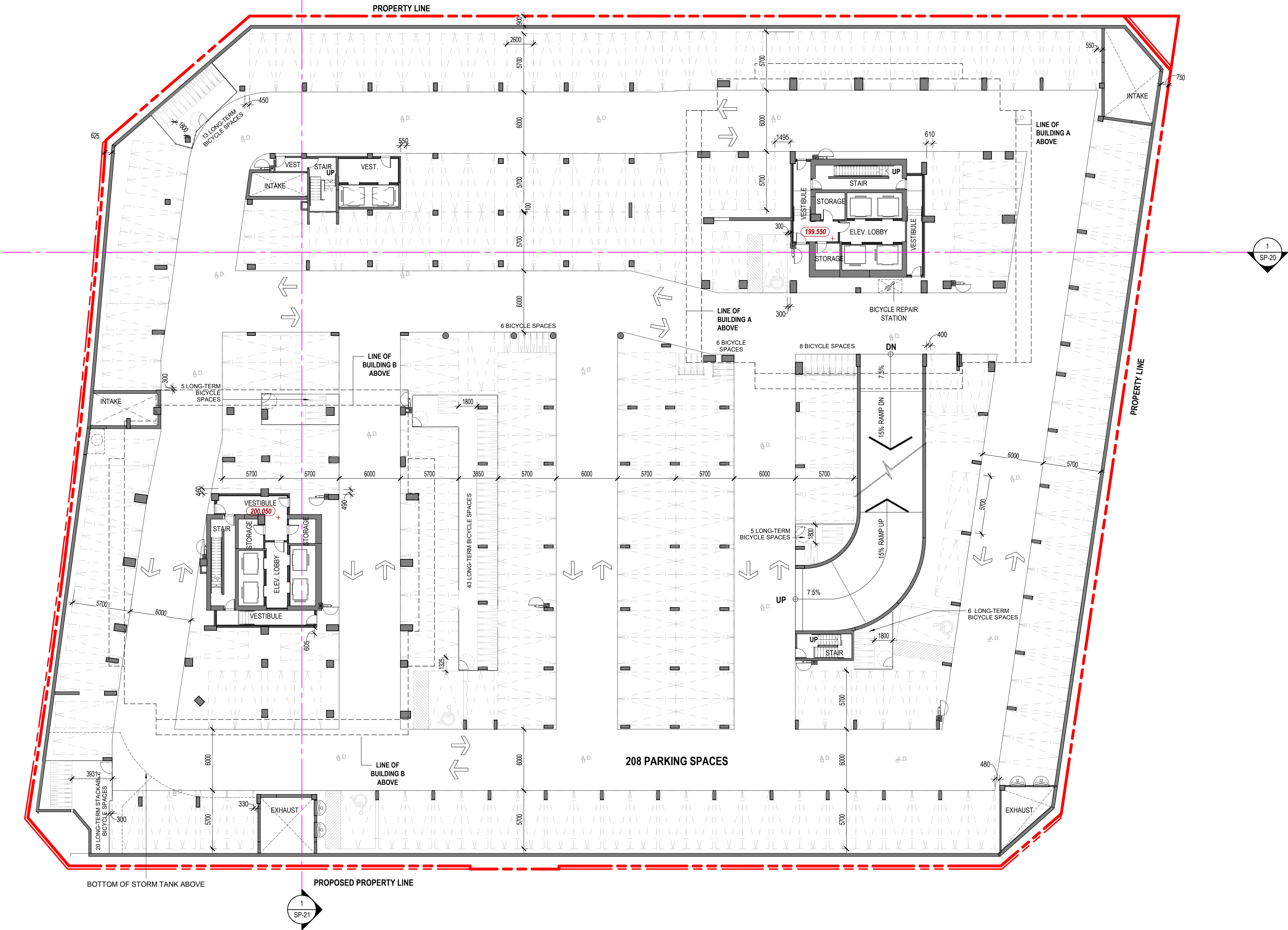
**P3 FLOOR PLAN**

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PLOT DATE: 12/1/2022 12:42:15 PM

**SP-05**



|    | Zoning By-law 1-88   | Variance requested  |
|----|--|---|
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| 6. | The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 metre shall be 4.3 metres. [9(1473)]  | To permit a minimum setback of 4.2 metres from any lot line or right-of-way to Building B above the building height of 7.2 metres |
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ISSUED FOR

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- 2018-05-01 SPA SUBMISSION
- 2018-10-29 SPA SUBMISSION
- 2021-02-26 OPA/ZBA/SPA SUBMISSION
- 2021-12-10 REZONING
- 2021-12-20 SPA SUBMISSION
- 2022-06-30 SPA SUBMISSION
- 2022-11-30 CoA SUBMISSION

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LANDSCAPE ARCHITECT

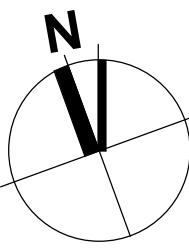
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TRAFFIC CONSULTANT

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Tel: (905) 470.0015 Fax:

KEYPLAN

SEAL



2871 HIGHWAY 7

PROPOSED MIXED-USE DEVELOPMENT

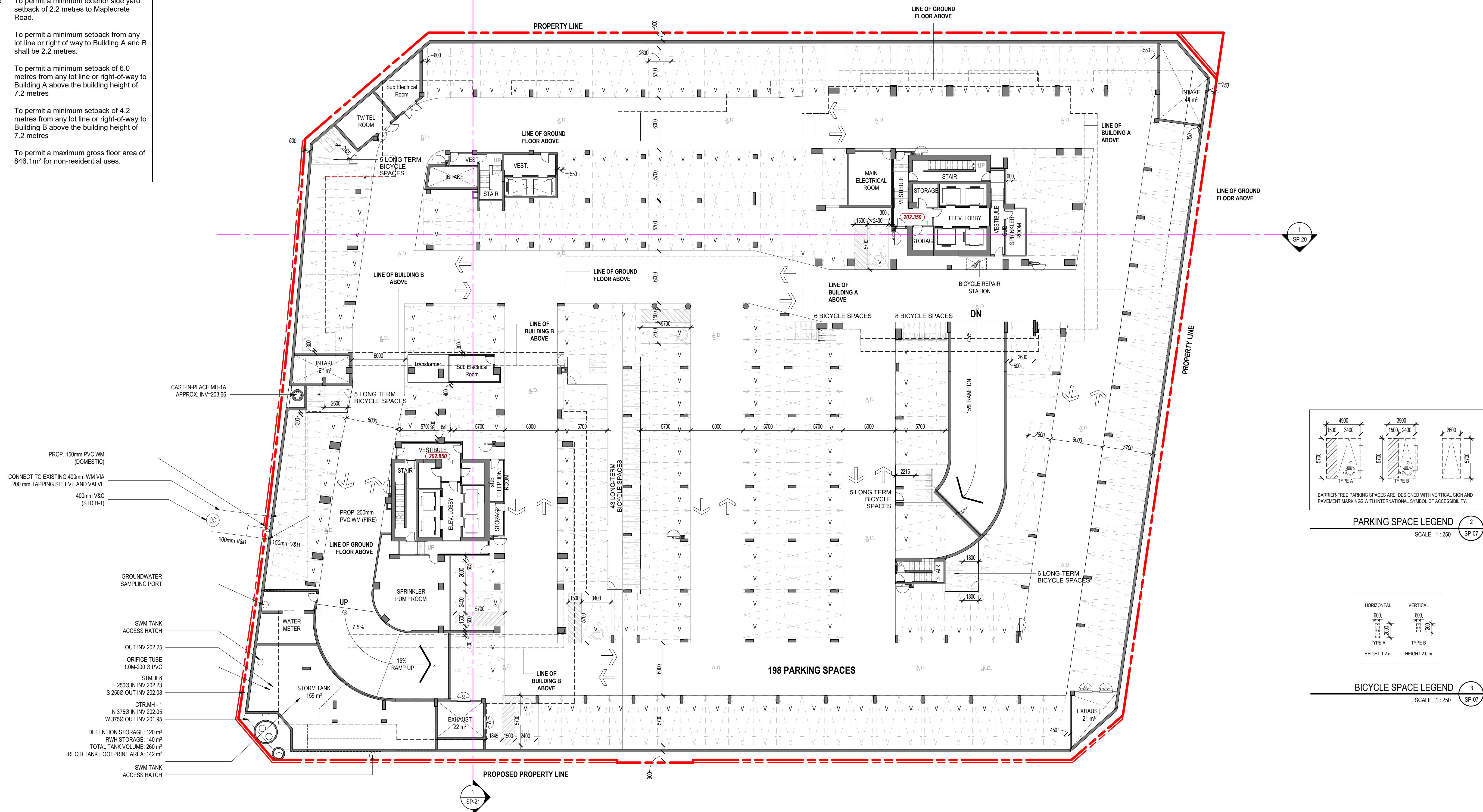
P2 FLOOR PLAN

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PLOT DATE: 12/1/2022 12:42:27 PM  
CHECKED: G.J.

SP-06



| Zoning By-law 1-88 |   | Variance requested  |
|--------------------|---|---|
| 1.                 | A minimum of 0.624 parking spaces per dwelling unit is required.<br>[9](1473)   | To permit a minimum of 0.4 parking spaces per dwelling unit.  |
| 2.                 | The minimum combined common amenity area (indoor and outdoor) shall be 5,400m <sup>2</sup> .<br>[9](1473)                                     | To permit a minimum amenity area (indoor and outdoor) of 4.1 sq.m per unit.   |
| 3.                 | The minimum exterior side yard setback to Maplecrete Road shall be 2.5 metres.<br>[9](1473)   | To permit a minimum exterior side yard setback of 2.2 metres to Maplecrete Road.  |
| 4.                 | The minimum setback from any lot line or right-of-way to Building A and B shall be 2.6 metres<br>[9](1473)                                    | To permit a minimum setback from any lot or right of way to Building A and B shall be 2.2 metres.                                 |
| 5.                 | The minimum setback from any lot line or right-of-way to Building A above the building height of 7.2 metre shall be 10.7 metres.<br>[9](1473) | To permit a minimum setback of 6.0 metres from any lot line or right-of-way to Building A above the building height of 7.2 metres |
| 6.                 | The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 metre shall be 4.3 metres.<br>[9](1473)  | To permit a minimum setback of 4.2 metres from any lot line or right-of-way to Building B above the building height of 7.2 metres |
| 7.                 | The maximum gross floor area of 800m <sup>2</sup> for non-residential uses is permitted.<br>[9](1473)   | To permit a maximum gross floor area of 846.1m <sup>2</sup> for non-residential uses.   |



# DIALOG®

ISSUED FOR

|            |                                     |
|------------|-------------------------------------|
| 2018-02-20 | OPA / ZBL DRAFT PLAN OF SUBDIVISION |
| 2018-05-01 | SPA SUBMISSION                      |
| 2018-10-29 | SPA SUBMISSION                      |
| 2021-02-26 | OPA/ZBA/SPA SUBMISSION              |
| 2021-12-10 | REZONING                            |
| 2021-12-20 | SPA SUBMISSION                      |
| 2022-08-30 | SPA SUBMISSION                      |
| 2022-11-30 | CoA SUBMISSION                      |

**METRIC**

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DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

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1903028 Ontario Inc.

---

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**STRUCTURAL ENGINEER**  
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M5V 3G8  
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1200 Eglinton Ave E, North York, ON  
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Tel: (416) 443-1995 Fax: (905) 671-5589

**CIVIL ENGINEER**  
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1000 Denison, Concord, ON  
L4K 4R3  
Tel: (905) 738-6100 Fax: (905) 738-6875

**LAND AND SITE DESIGN**  
6620 Mimosa Avenue, Studio B, Toronto, ON  
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Tel: (416) 840 0039 Fax:

**TRAFFIC CONSULTANT**  
LEA CONSULTING  
905 Coxswaine Drive, 9th Floor, Markham, ON  
L3R 9G9  
Tel: (905) 470 0015 Fax:

---

**KEYPLAN**

2871 HIGHWAY 7  
PROPOSED MIXED-USE  
DEVELOPMENT

## P1 FLOOR PLAN

DRAWN: G.J. CHECKED: G.J.  
PLOT DATE: 12/1/2022 12:42:39 PM

# SP-07



| Zoning By-law 1-88  | Variance requested  |
|---|---|
| 1. A minimum of 0.624 parking spaces per dwelling unit is required. [9(1473)]   | To permit a minimum of 0.4 parking spaces per dwelling unit.  |
| 2. The minimum combined common amenity area (indoor and outdoor) shall be 5,400m². [9(1473)]  | To permit a minimum amenity area (indoor and outdoor) of 4.1 sq.m per unit. [9(1473)]   |
| 3. The minimum exterior side yard setback to Maplecrete Road shall be 2.5 metres. [9(1473)]   | To permit a minimum exterior side yard setback of 2.2 metres to Maplecrete Road.  |
| 4. The minimum setback from any lot line or right-of-way to Building A and B shall be 2.6 metres [9(1473)]                                    | To permit a minimum setback from any lot line or right of way to Building A and B shall be 2.2 metres.                            |
| 5. The minimum setback from any lot line or right-of-way to Building A above the building height of 7.2 metre shall be 10.7 metres. [9(1473)] | To permit a minimum setback of 6.0 metres from any lot line or right-of-way to Building A above the building height of 7.2 metres |
| 6. The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 metre shall be 4.3 metres. [9(1473)]  | To permit a minimum setback of 4.2 metres from any lot line or right-of-way to Building B above the building height of 7.2 metres |
| 7. The maximum gross floor area of 800m² for non-residential uses is permitted. [9(1473)]   | To permit a maximum gross floor area of 846.1m² for non-residential uses.   |

A291/22

DIALOG®

ISSUED FOR

- 2018-02-20 OPA / ZBL DRAFT PLAN OF SUBDIVISION
- 2018-05-31 SPA SUBMISSION
- 2018-10-29 SPA SUBMISSION
- 2021-02-26 OPA/ZBA/SPA SUBMISSION
- 2021-12-10 REZONING
- 2021-12-20 SPA SUBMISSION
- 2022-08-30 SPA SUBMISSION
- 2022-11-30 CoA SUBMISSION

METRIC

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Tel: 416.966.0220 Fax: (416) 966.0223

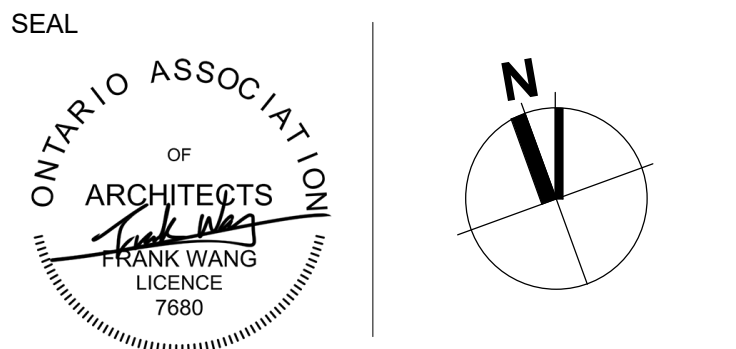
MECHANICAL & ELECTRICAL ENGINEER  
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M6C 1H9  
Tel: 416.443.1995 Fax: (905) 761-5589

CIVIL ENGINEER  
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Land Art Design  
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M6V 1R1  
Tel: 416.840.0039 Fax:

TRAFFIC CONSULTANT  
LEA CONSULTING  
625 Cochrane Drive, 9th Floor, Markham, ON  
L3R 9S9  
Tel: (905) 470.0015 Fax:

KEYPLAN



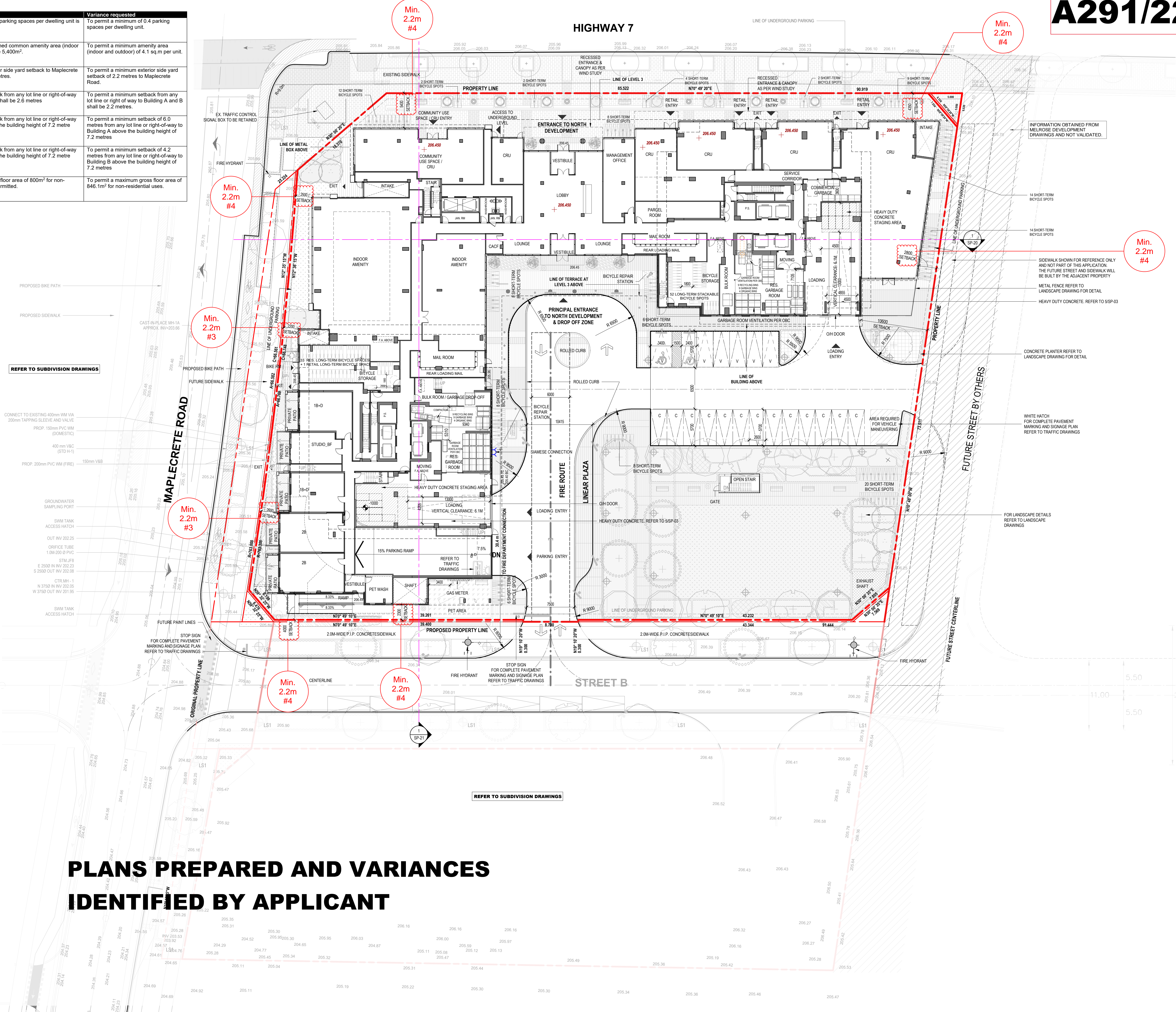
2871 HIGHWAY 7  
PROPOSED MIXED-USE  
DEVELOPMENT

GROUND FLOOR PLAN

DRAWN: G.J.  
PLOT DATE: 12/1/2022 12:42:48 PM  
CHECKED: G.J.

SP-08

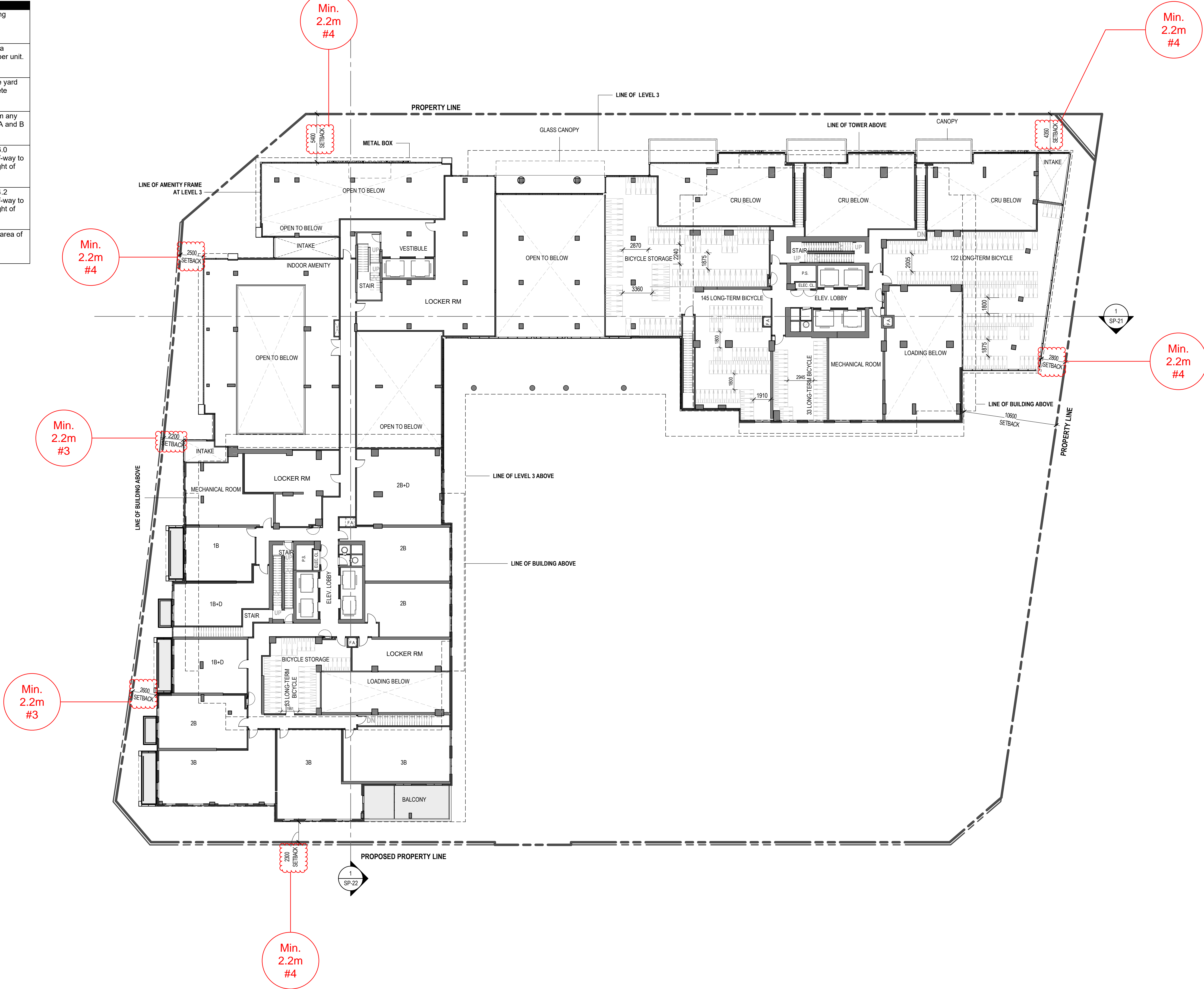
HIGHWAY 7



PLANS PREPARED AND VARIANCES  
IDENTIFIED BY APPLICANT



| Zoning By-law 1-88  | Variance requested  |
|---|---|
| 1. A minimum of 0.624 parking spaces per dwelling unit is required. [9(1473)]   | To permit a minimum of 0.4 parking spaces per dwelling unit.  |
| 2. The minimum combined common amenity area (indoor and outdoor) shall be 5,400m². [9(1473)]  | To permit a minimum amenity area (indoor and outdoor) of 4.1 sq.m per unit.   |
| 3. The minimum exterior side yard setback to Maplecrete Road shall be 2.5 metres. [9(1473)]   | To permit a minimum exterior side yard setback of 2.2 metres to Maplecrete Road.  |
| 4. The minimum setback from any lot line or right-of-way to Building A and B shall be 2.6 metres [9(1473)]                                    | To permit a minimum setback from any lot line or right of way to Building A and B shall be 2.2 metres.                            |
| 5. The minimum setback from any lot line or right-of-way to Building A above the building height of 7.2 metre shall be 10.7 metres. [9(1473)] | To permit a minimum setback of 6.0 metres from any lot line or right-of-way to Building A above the building height of 7.2 metres |
| 6. The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 metre shall be 4.3 metres. [9(1473)]  | To permit a minimum setback of 4.2 metres from any lot line or right-of-way to Building B above the building height of 7.2 metres |
| 7. The maximum gross floor area of 800m² for non-residential uses is permitted. [9(1473)]   | To permit a maximum gross floor area of 846.1m² for non-residential uses.   |



PLANS PREPARED AND VARIANCES  
IDENTIFIED BY APPLICANT

A291/22

DIALOG®

- ISSUED FOR
- 2018-02-20 OPA / ZBL DRAFT PLAN OF SUBDIVISION
  - 2018-05-01 SPA SUBMISSION
  - 2018-10-29 SPA SUBMISSION
  - 2021-02-26 OPA/ZBA/SPA SUBMISSION
  - 2021-12-10 REZONING
  - 2021-12-20 SPA SUBMISSION
  - 2022-06-30 SPA SUBMISSION
  - 2022-11-30 CoA SUBMISSION

**METRIC**

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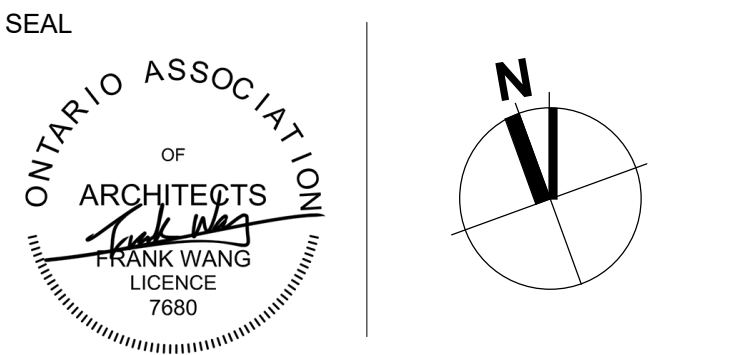
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L3R 9S9  
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**KEYPLAN**



2871 HIGHWAY 7  
PROPOSED MIXED-USE  
DEVELOPMENT

LEVEL 2 FLOOR PLAN

DRAWN: G.J. CHECKED: G.J.  
PLOT DATE: 9/7/2022 10:50:31 PM

SP-09



PLANS PREPARED AND VARIANCES  
IDENTIFIED BY APPLICANT

A291/22

DIALOG®

MATERIAL SCHEDULE

- 1

MASONRY - GRAY
- 2A

PREFINISHED PERFORATED METAL CLADDING - OFF WHITE
- 2B

PREFINISHED METAL CLADDING - OFF WHITE
- 2C

PREFINISHED METAL CLADDING - BROWN
- 3A

DOUBLE GLAZED PREFINISHED ALUMINUM WINDOW WALL SYSTEM
- 3B

GLASS SPANDREL PANEL ALUMINUM WINDOW WALL SYSTEM - GRAY
- 3C

PREFINISHED METAL SPANDREL PANEL ALUMINUM WINDOW WALL SYSTEM - GRAY
- 4A

DOUBLE GLAZED CLEAR GLASS PREFINISHED ALUMINUM CURTAIN WALL SYSTEM
- 4B

GLASS SPANDREL ALUMINUM CURTAIN WALL SYSTEM
- 5A

PREFINISHED METAL SLAB COVER - GRAY
- 5B

PREFINISHED METAL SLAB COVER - OFF WHITE  
(MATCH WITH 2B)
- 6A

PREFINISHED METAL OVERHEAD GARAGE DOOR - GRAY
- 6B

PREFINISHED METAL SERVICE DOOR WITH GLASS PANEL
- 7

PREFINISHED METAL FLASHING - GRAY(MATCH WITH 3C)
- 8

PREFINISHED METAL PANEL SIDING - GRAY  
(MATCH WITH 3C)
- 9

PREFINISHED METAL LOUVER - GRAY  
(MATCH WITH 3C)
- 10

PREFINISHED ARCHITECTURAL EXHAUST LOUVER  
(MATCH WITH 3C)
- R1

PREFINISHED ALUMINUM RAILING WITH TINTED GLASS  
(MATCH WITH 3A)
- R2

PERFORATED METAL RAILING SYSTEM - OFF WHITE  
(MATCH WITH 2A)
- R3

PREFINISHED ALUMINUM TERRACE RAILING WITH TINTED GLASS -  
(MATCH WITH 3A)
- R4

PERFORATED METAL WIND SCREEN WITH CUSTOM PATTERN - OFF WHITE -  
(MATCH WITH 2A)
- R5

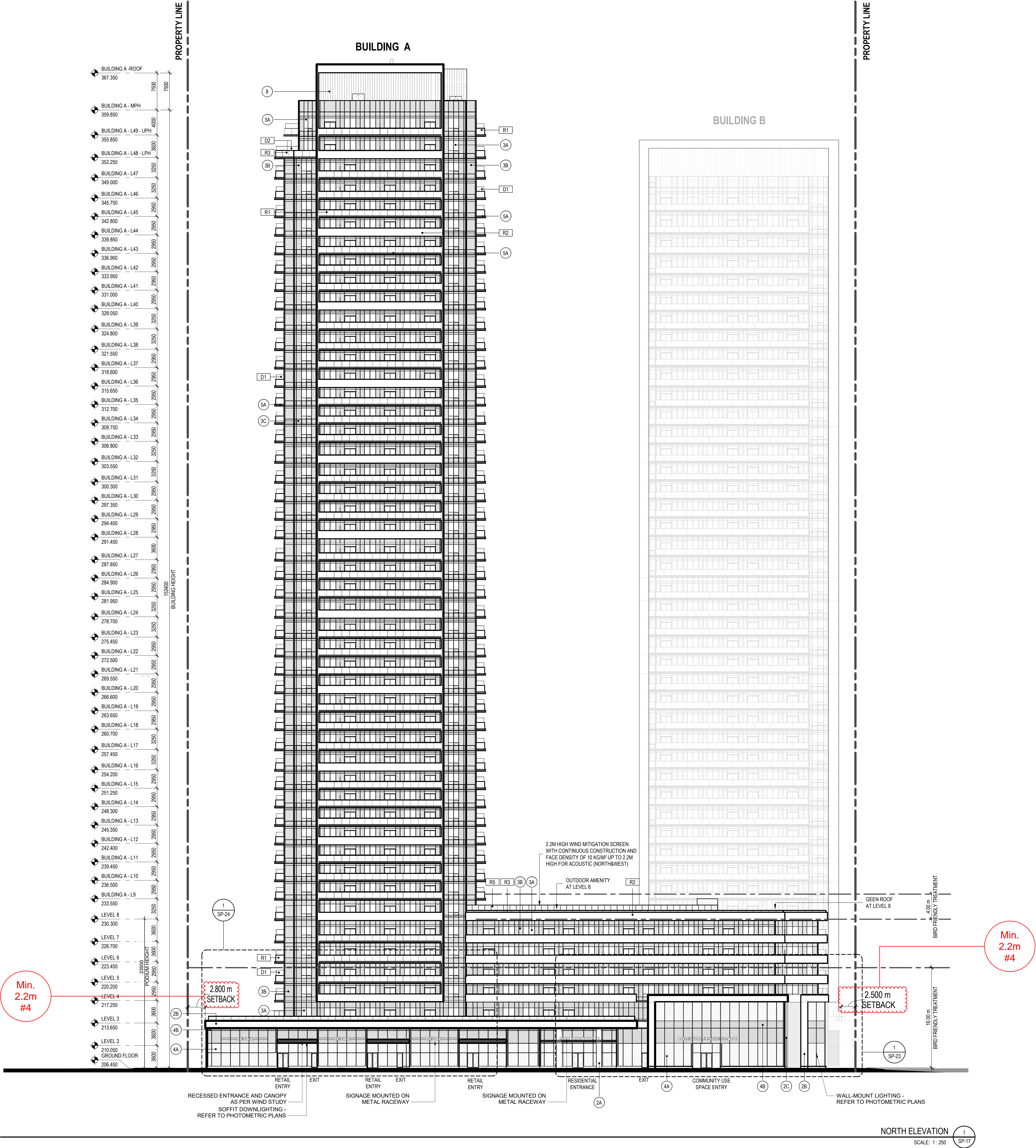
WIND SCREEN - CLEAR GLASS
- D1

PREFINISHED ALUMINUM BALCONY DIVIDER WITH FROSTED GLASS
- D2

PREFINISHED ALUMINUM TERRACE DIVIDER WITH FROSTED GLASS
- D3

WOOD DIVIDER - (MATCH WITH 2C)
- BIRD FRIENDLY TREATMENT ON GLASS

| Zoning By-law 1-88  | Variance requested  |
|---|---|
| 1. A minimum of 0.624 parking spaces per dwelling unit is required. [9(1473)]   | To permit a minimum of 0.4 parking spaces per dwelling unit.  |
| 2. The minimum combined common amenity area (indoor and outdoor) shall be 5,400m². [9(1473)]  | To permit a minimum amenity area (indoor and outdoor) of 4.1 sq.m per unit.   |
| 3. The minimum exterior side yard setback to Maplecrete Road shall be 2.5 metres. [9(1473)]   | To permit a minimum exterior side yard setback of 2.2 metres to Maplecrete Road.  |
| 4. The minimum setback from any lot line or right-of-way to Building A and B shall be 2.6 metres [9(1473)]                                    | To permit a minimum setback from any lot line or right of way to Building A and B shall be 2.2 metres.                            |
| 5. The minimum setback from any lot line or right-of-way to Building A above the building height of 7.2 metre shall be 10.7 metres. [9(1473)] | To permit a minimum setback of 6.0 metres from any lot line or right-of-way to Building A above the building height of 7.2 metres |
| 6. The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 metre shall be 4.3 metres. [9(1473)]  | To permit a minimum setback of 4.2 metres from any lot line or right-of-way to Building B above the building height of 7.2 metres |
| 7. The maximum gross floor area of 800m² for non-residential uses is permitted. [9(1473)]   | To permit a maximum gross floor area of 846.1m² for non-residential uses.   |



ISSUED FOR

- 1 2018-02-20 OPA / ZBL DRAFT PLAN OF SUBDIVISION
- 2 2018-05-01 SPA SUBMISSION
- 3 2018-10-29 SPA SUBMISSION
- 4 2019-01-18 SPA REVISIONS
- 5 2021-02-26 OPA/ZB/SPA SUBMISSION
- 6 2021-12-10 REZONING
- 7 2021-12-20 SPA SUBMISSION
- 8 2022-08-30 SPA SUBMISSION
- 9 2022-11-30 CoA SUBMISSION

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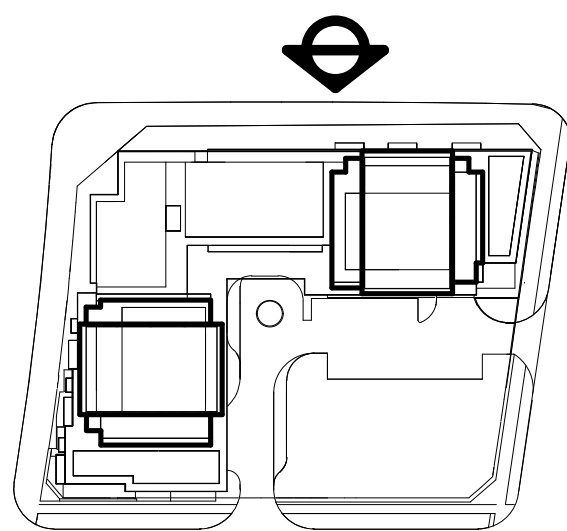
LANDSCAPE ARCHITECT

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TRAFFIC CONSULTANT

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L3R 9R9  
Tel: (905) 470.0015 Fax:

KEYPLAN



SEAL



2871 HIGHWAY 7

PROPOSED MIXED-USE  
DEVELOPMENT

NORTH ELEVATION

DRAWN: P.S.  
PLOT DATE: 9/7/2022 10:07:41 PM  
CHECKED: G.J.

SP-17

NORTH ELEVATION 1  
SCALE: 1 : 250



MATERIAL SCHEDULE

- 1

MASONRY - GRAY
- 2A

PREFINISHED PERFORATED METAL CLADDING - OFF WHITE
- 2B

PREFINISHED METAL CLADDING - OFF WHITE
- 2C

PREFINISHED METAL CLADDING - BROWN
- 3A

DOUBLE GLAZED PREFINISHED ALUMINUM WINDOW WALL SYSTEM
- 3B

GLASS SPANDREL PANEL ALUMINUM WINDOW WALL SYSTEM - GRAY
- 3C

PREFINISHED METAL SPANDREL PANEL ALUMINUM WINDOW WALL SYSTEM - GRAY
- 4A

DOUBLE GLAZED CLEAR GLASS PREFINISHED ALUMINUM CURTAIN WALL SYSTEM
- 4B

GLASS SPANDREL ALUMINUM CURTAIN WALL SYSTEM
- 5A

PREFINISHED METAL SLAB COVER - GRAY
- 5B

PREFINISHED METAL SLAB COVER - OFF WHITE (MATCH WITH 2B)
- 6A

PREFINISHED METAL OVERHEAD GARAGE DOOR - GRAY
- 6B

PREFINISHED METAL SERVICE DOOR WITH GLASS PANEL
- 7

PREFINISHED METAL FLASHING - GRAY(MATCH WITH 3C)
- 8

PREFINISHED METAL PANEL SIDING - GRAY (MATCH WITH 3C)
- 9

PREFINISHED METAL LOUVER - GRAY (MATCH WITH 3C)
- 10

PREFINISHED ARCHITECTURAL EXHAUST LOUVER (MATCH WITH 3C)
- R1

PREFINISHED ALUMINUM RAILING WITH TINTED GLASS (MATCH WITH 3A)
- R2

PERFORATED METAL RAILING SYSTEM - OFF WHITE (MATCH WITH 2A)
- R3

PREFINISHED ALUMINUM TERRACE RAILING WITH TINTED GLASS - (MATCH WITH 3A)
- R4

PERFORATED METAL WIND SCREEN WITH CUSTOM PATTERN - OFF WHITE - (MATCH WITH 2A)
- R5

WIND SCREEN - CLEAR GLASS
- D1

PREFINISHED ALUMINUM BALCONY DIVIDER WITH FROSTED GLASS
- D2

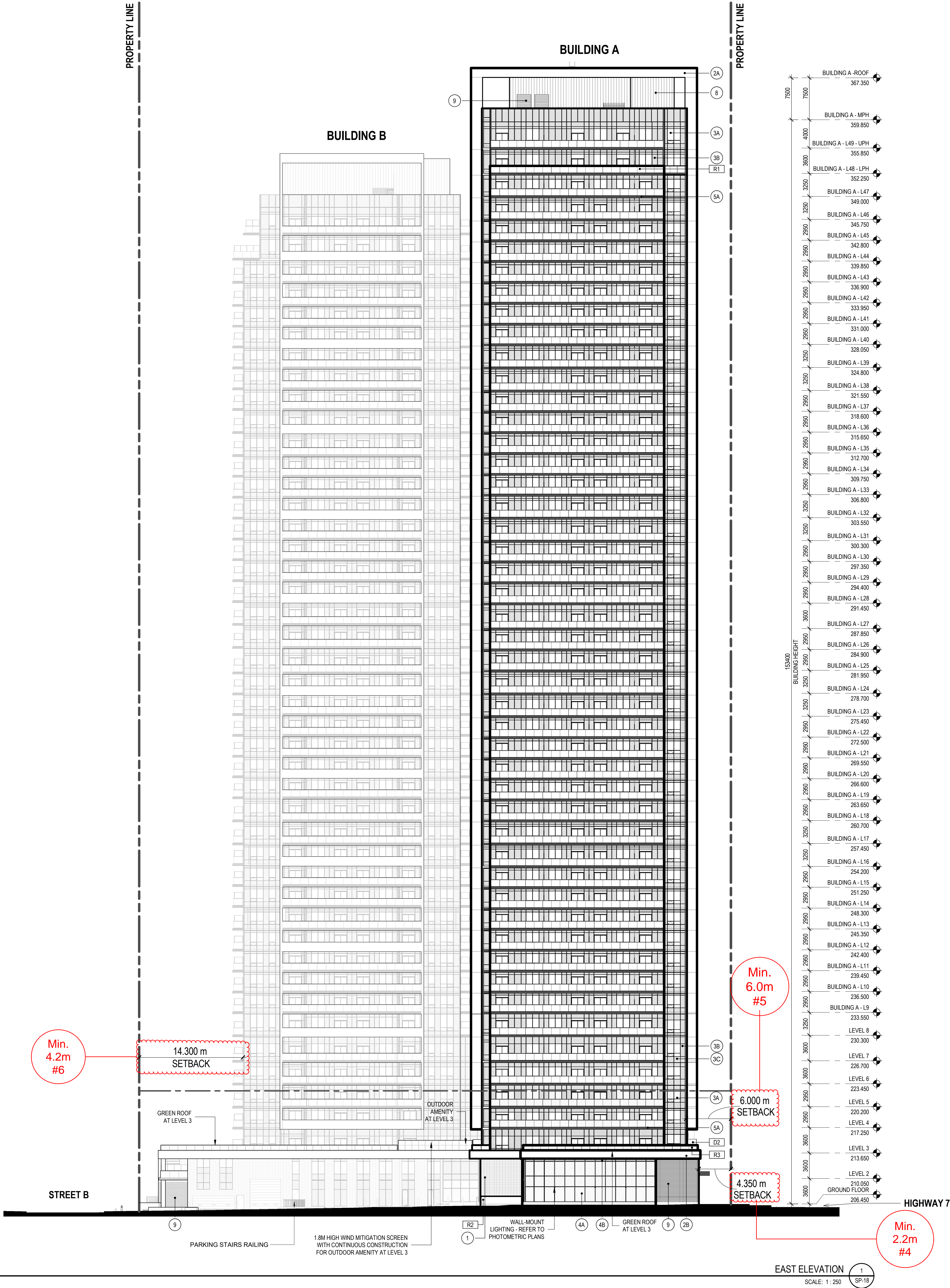
PREFINISHED ALUMINUM TERRACE DIVIDER WITH FROSTED GLASS
- D3

WOOD DIVIDER - (MATCH WITH 2C)
- 5

BIRD FRIENDLY TREATMENT ON GLASS

| Zoning By-law 1-88  | Variance requested  |
|---|---|
| 1. A minimum of 0.624 parking spaces per dwelling unit is required. [9(1473)]   | To permit a minimum of 0.4 parking spaces per dwelling unit.  |
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PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT



A291/22

DIALOG

ISSUED FOR

- 2018-02-20 OPA / ZBL DRAFT PLAN OF SUBDIVISION
- 2018-05-01 SPA SUBMISSION
- 2018-10-29 SPA SUBMISSION
- 2019-01-18 SPA REVISIONS
- 2021-02-26 OPA/ZBL/SPA SUBMISSION
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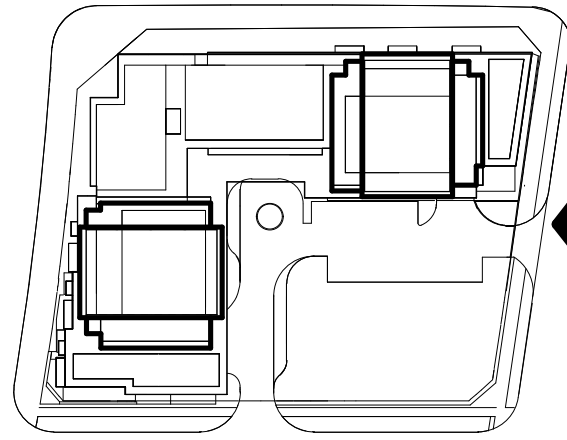
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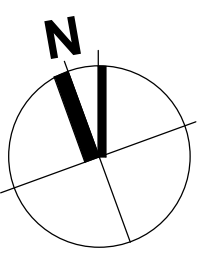
TRAFFIC CONSULTANT

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L3R 9R9  
Tel: (905) 470.0015 Fax:

KEYPLAN



SEAL



2871 HIGHWAY 7

PROPOSED MIXED-USE DEVELOPMENT

EAST ELEVATION

DRAWN: P.S.  
PLOT DATE: 9/7/2022 9:41:31 PM  
CHECKED: G.J.

SP-18



## PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

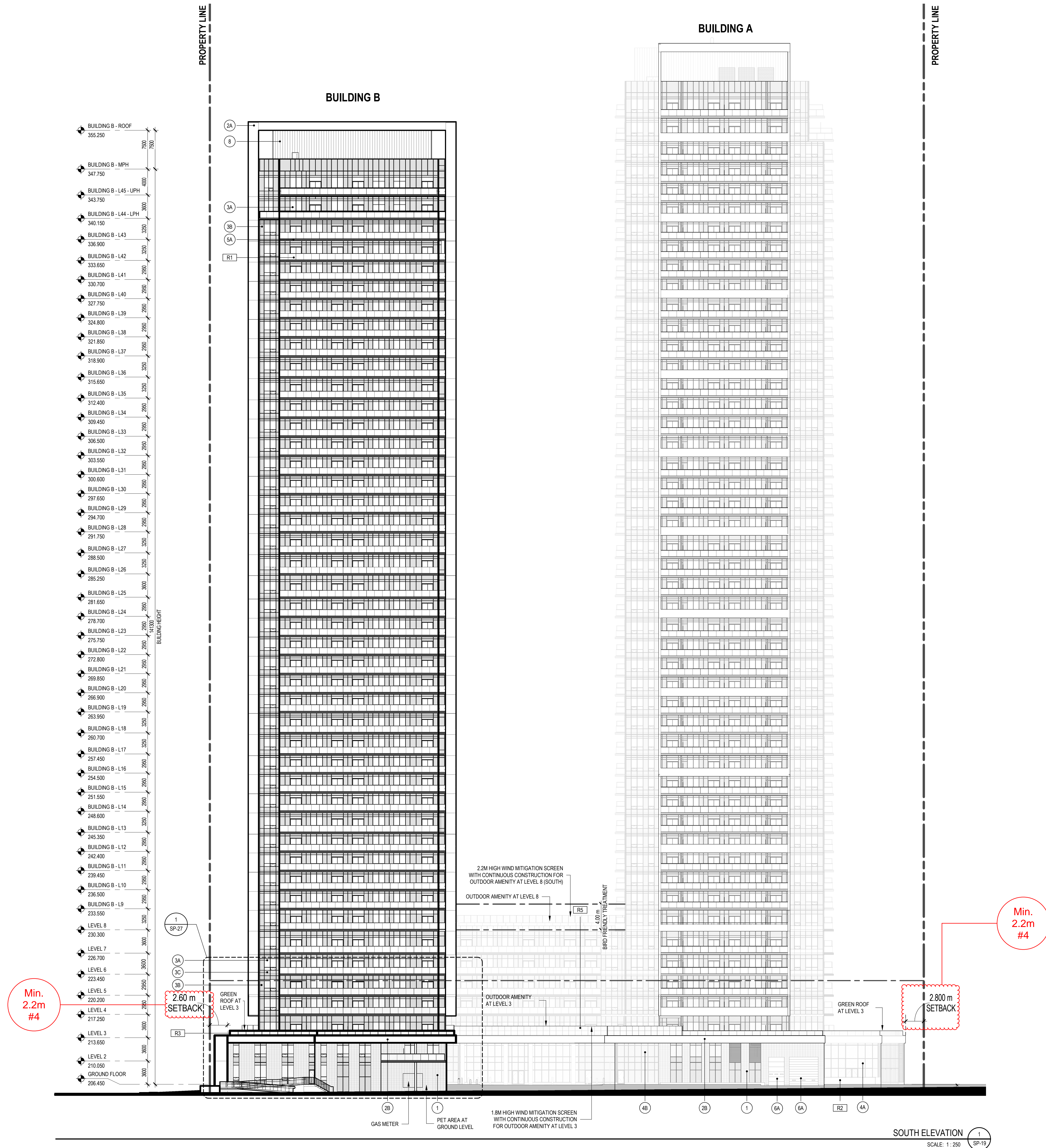
**A291/22**

**DIALOG®**

## MATERIAL SCHEDULE

- |    |   |
|----|---|
| 1  | MASONRY - GRAY  |
| 2A | PREFINISHED PERFORATED METAL CLADDING - OFF WHITE                                 |
| 2B | PREFINISHED METAL CLADDING - OFF WHITE  |
| 2C | PREFINISHED METAL CLADDING - BROWN  |
| 3A | DOUBLE GLAZED PREFINISHED ALUMINUM WINDOW WALL SYSTEM                             |
| 3B | GLASS SPANDREL PANEL ALUMINUM WINDOW WALL SYSTEM - GRAY                           |
| 3C | PREFINISHED METAL SPANDREL PANEL ALUMINUM WINDOW WALL SYSTEM - GRAY               |
| 4A | DOUBLE GLAZED CLEAR GLASS PREFINISHED ALUMINUM CURTAIN WALL SYSTEM                |
| 4B | GLASS SPANDREL ALUMINUM CURTAIN WALL SYSTEM                                       |
| 5A | PREFINISHED METAL SLAB COVER - GRAY   |
| 5B | PREFINISHED METAL SLAB COVER - OFF WHITE<br>(MATCH WITH 2B)                       |
| 6A | PREFINISHED METAL OVERHEAD GARAGE DOOR - GRAY                                     |
| 6B | PREFINISHED METAL SERVICE DOOR WITH GLASS PANEL                                   |
| 7  | PREFINISHED METAL FLASHING - GRAY(MATCH WITH 3C)                                  |
| 8  | PREFINISHED METAL PANEL SIDING - GRAY<br>(MATCH WITH 3C)                          |
| 9  | PREFINISHED METAL LOUVER - GRAY<br>(MATCH WITH 3C)                                |
| 10 | PREFINISHED ARCHITECTURAL EXHAUST LOUVER<br>(MATCH WITH 3C)                       |
| R1 | PREFINISHED ALUMINUM RAILING WITH TINTED GLASS<br>(MATCH WITH 3A)                 |
| R2 | PERFORATED METAL RAILING SYSTEM - OFF WHITE<br>(MATCH WITH 2A)                    |
| R3 | PREFINISHED ALUMINUM TERRACE RAILING WITH TINTED GLASS -<br>(MATCH WITH 3A)       |
| R4 | PERFORATED METAL WIND SCREEN WITH CUSTOM PATTERN - OFF WHITE -<br>(MATCH WITH 2A) |
| R5 | WIND SCREEN - CLEAR GLASS   |
| D1 | PREFINISHED ALUMINUM BALCONY DIVIDER WITH FROSTED GLASS                           |
| D2 | PREFINISHED ALUMINUM TERRACE DIVIDER WITH FROSTED GLASS                           |
| D3 | WOOD DIVIDER - (MATCH WITH 2C)  |
|    | BIRD FRIENDLY TREATMENT ON GLASS  |

| Zoning By-law 1-88   | Variance requested  |
|--|---|
| 1. A minimum of 0.624 parking spaces per dwelling unit is required.<br>[9](1473)   | To permit a minimum of 0.4 parking spaces per dwelling unit.  |
| 2. The minimum combined common amenity area (indoor and outdoor) shall be 5,400m <sup>2</sup> .<br>[9](1473)                                     | To permit a minimum amenity area (indoor and outdoor) of 4.1 sq.m per unit.   |
| 3. The minimum exterior side yard setback to Maplecrete Road shall be 2.5 metres.<br>[9](1473)   | To permit a minimum exterior side yard setback of 2.2 metres to Maplecrete Road.  |
| 4. The minimum setback from any lot line or right-of-way to Building A and B shall be 2.6 metres<br>[9](1473)                                    | To permit a minimum setback from any lot line or right of way to Building A and B shall be 2.2 metres.                            |
| 5. The minimum setback from any lot line or right-of-way to Building A above the building height of 7.2 metre shall be 10.7 metres.<br>[9](1473) | To permit a minimum setback of 6.0 metres from any lot line or right-of-way to Building A above the building height of 7.2 metres |
| 6. The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 metre shall be 4.3 metres.<br>[9](1473)  | To permit a minimum setback of 4.2 metres from any lot line or right-of-way to Building B above the building height of 7.2 metres |
| 7. The maximum gross floor area of 800m <sup>2</sup> for non-residential uses is permitted.<br>[9](1473)   | To permit a maximum gross floor area of 846.1m <sup>2</sup> for non-residential uses.   |



## ISSUED FOR

- 1 2018-02-20 OPA / ZBL DRAFT PLAN OF SUBDIVISION
- 2 2018-05-01 SPA SUBMISSION
- 3 2018-10-29 SPA SUBMISSION
- 4 2019-01-18 SPA REVISIONS
- 5 2021-02-26 OPA/ZBA/SPA SUBMISSION
- 6 2021-12-10 REZONING
- 7 2021-12-20 SPA SUBMISSION
- 8 2022-08-30 SPA SUBMISSION
- 9 2022-11-30 CoA SUBMISSION

## METRIC

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REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

CLIENT

1930328 Ontario Inc.

## ARCHITECT

DIALOG  
500, 35 John Street, Toronto, ON  
M5V 3G6  
Tel: 416.966.0220 Fax: (416) 966.0223

**STRUCTURAL ENGINEER**

DIALOG  
500, 35 John Street, Toronto, ON  
M5V 3G6  
Tel: (416) 966-0220 Fax: (416) 966-0222

## MECHANICAL &amp; ELECTRICAL ENGINEER

M.V.Shore Associates Limited  
1200 Eglinton Ave E, North York, ON  
M3C 1H9

**CIVIL ENGINEER**

**CIVIL ENGINEER**  
Schaeffer & Associates Ltd  
6 Ronrose, Concord, ON  
L4K 4R3

## Tel: (905) 738-6100 Fax: (905) 738-6101

**LANDSCAPE ARCHITECT**  
Land Art Design  
52 Mimico Avenue, Studio B, Toronto, ON  
M6H 4E4

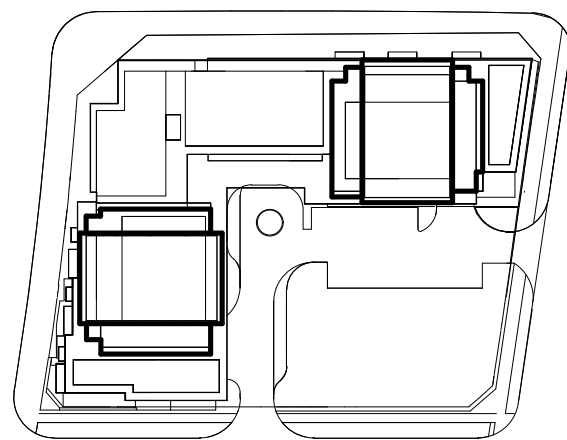
Tel: (416) 840 0039 Fax:

**TRAFFIC CONSULTANT**  
LEA CONSULTING  
625 Cochrane Drive, 9th Floor, Markham, ON

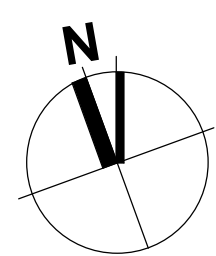
L3R 9R9  
Tel: (905) 470 0015 Fax:

KEYPLAN

KEYPLAN



SEA



2871 HIGHWAY 7

2871 HIGHWAY 7

PROPOSED MIXED-USE

SOUTH ELEVATION

DRAWN: P.S.  
PLOT DATE: 9/7/2022 9:43:21 PM

# SP-19



MATERIAL SCHEDULE

- 1

MASONRY - GRAY
- 2A

PREFINISHED PERFORATED METAL CLADDING - OFF WHITE
- 2B

PREFINISHED METAL CLADDING - OFF WHITE
- 2C

PREFINISHED METAL CLADDING - BROWN
- 3A

DOUBLE GLAZED PREFINISHED ALUMINUM WINDOW WALL SYSTEM
- 3B

GLASS SPANDREL PANEL ALUMINUM WINDOW WALL SYSTEM - GRAY
- 3C

PREFINISHED METAL SPANDREL PANEL ALUMINUM WINDOW WALL SYSTEM - GRAY
- 4A

DOUBLE GLAZED CLEAR GLASS PREFINISHED ALUMINUM CURTAIN WALL SYSTEM
- 4B

GLASS SPANDREL ALUMINUM CURTAIN WALL SYSTEM
- 5A

PREFINISHED METAL SLAB COVER - GRAY
- 5B

PREFINISHED METAL SLAB COVER - OFF WHITE  
(MATCH WITH 2B)
- 6A

PREFINISHED METAL OVERHEAD GARAGE DOOR - GRAY
- 6B

PREFINISHED METAL SERVICE DOOR WITH GLASS PANEL
- 7

PREFINISHED METAL FLASHING - GRAY(MATCH WITH 3C)
- 8

PREFINISHED METAL PANEL SIDING - GRAY  
(MATCH WITH 3C)
- 9

PREFINISHED METAL LOUVER - GRAY  
(MATCH WITH 3C)
- 10

PREFINISHED ARCHITECTURAL EXHAUST LOUVER  
(MATCH WITH 3C)
- R1

PREFINISHED ALUMINUM RAILING WITH TINTED GLASS  
(MATCH WITH 3A)
- R2

PERFORATED METAL RAILING SYSTEM - OFF WHITE  
(MATCH WITH 2A)
- R3

PREFINISHED ALUMINUM TERRACE RAILING WITH TINTED GLASS -  
(MATCH WITH 3A)
- R4

PERFORATED METAL WIND SCREEN WITH CUSTOM PATTERN - OFF WHITE -  
(MATCH WITH 2A)
- R5

WIND SCREEN - CLEAR GLASS
- D1

PREFINISHED ALUMINUM BALCONY DIVIDER WITH FROSTED GLASS
- D2

PREFINISHED ALUMINUM TERRACE DIVIDER WITH FROSTED GLASS
- D3

WOOD DIVIDER - (MATCH WITH 2C)
- BIRD FRIENDLY TREATMENT ON GLASS

| Zoning By-law 1-88  | Variance requested  |
|---|---|
| 1. A minimum of 0.624 parking spaces per dwelling unit is required. [9(1473)]   | To permit a minimum of 0.4 parking spaces per dwelling unit.  |
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| 4. The minimum setback from any lot line or right-of-way to Building A and B shall be 2.6 metres [9(1473)]                                    | To permit a minimum setback from any lot line or right of way to Building A and B shall be 2.2 metres.                            |
| 5. The minimum setback from any lot line or right-of-way to Building A above the building height of 7.2 metre shall be 10.7 metres. [9(1473)] | To permit a minimum setback of 6.0 metres from any lot line or right-of-way to Building A above the building height of 7.2 metres |
| 6. The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 metre shall be 4.3 metres. [9(1473)]  | To permit a minimum setback of 4.2 metres from any lot line or right-of-way to Building B above the building height of 7.2 metres |
| 7. The maximum gross floor area of 800m² for non-residential uses is permitted. [9(1473)]   | To permit a maximum gross floor area of 846.1m² for non-residential uses.   |

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

2.2M HIGH WIND MITIGATION SCREEN WITH CONTINUOUS CONSTRUCTION AND FACE DENSITY OF 10 KG/M² UP TO 2.2M HIGH FOR ACOUSTIC (NORTH+WEST)

Min. 6.0m #5

6.000 m

Min. 2.2m #4

7.00 m PODIUM SETBACK

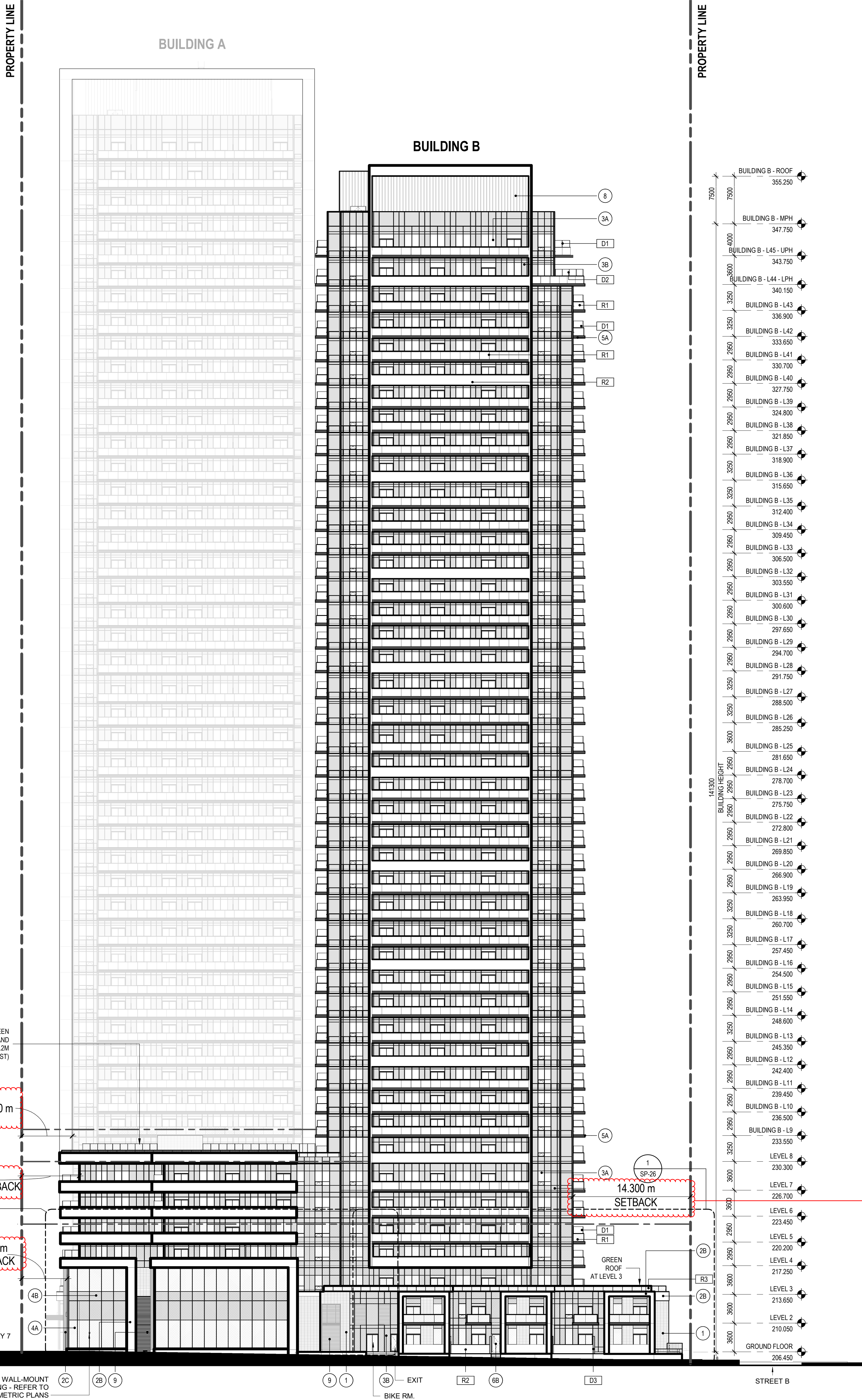
Min. 2.2m #4

5.40 m SETBACK

WALL-MOUNT LIGHTING - REFER TO PHOTOMETRIC PLANS

20C 2B 9

9 1 3B EXIT BIKE RM. R2 6B D3



Min. 4.2m #6

WEST ELEVATION 1  
SCALE: 1:250

A291/22

DIALOG®

ISSUED FOR

- 2018-02-20 OPA / ZBL DRAFT PLAN OF SUBDIVISION
- 2018-05-01 SPA SUBMISSION
- 2018-10-29 SPA SUBMISSION
- 2019-01-18 SPA REVISIONS
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- 2021-12-10 REZONING
- 2021-12-20 SPA SUBMISSION
- 2022-08-30 SPA SUBMISSION
- 2022-11-30 CoA SUBMISSION

METRIC

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CLIENT

1930328 Ontario Inc.

ARCHITECT

DIALOG  
500, 35 John Street, Toronto, ON  
M5V 3G8  
Tel: 416.966.0220 Fax: (416) 966.0223

STRUCTURAL ENGINEER

DIALOG  
500, 35 John Street, Toronto, ON  
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MECHANICAL & ELECTRICAL ENGINEER

MV Shore Associates Limited  
1200 Eglinton Ave E, North York, ON  
M6C 1H9  
Tel: 416.443.1995 Fax: (905)761-5589

CIVIL ENGINEER

Scheffer & Associates Ltd  
8 Ramoth, Concord, ON  
L4K 4R3  
Tel: (905) 738-6100 Fax: (905) 738-6875

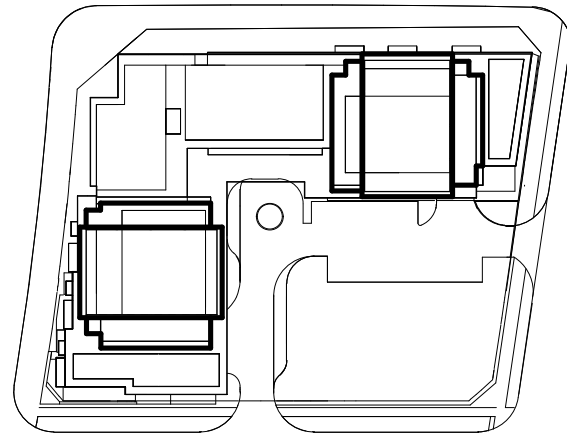
LANDSCAPE ARCHITECT

Land Art Design  
52 Mimico Avenue, Studio B, Toronto, ON  
M6V 1R1  
Tel: 416.840.0039 Fax:

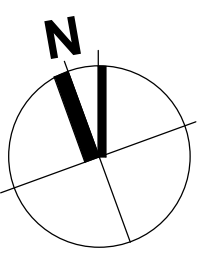
TRAFFIC CONSULTANT

LEA CONSULTING  
625 Codrane Drive, 9th Floor, Markham, ON  
L3R 9S9  
Tel: (905) 470.0015 Fax:

KEYPLAN



SEAL



2871 HIGHWAY 7  
PROPOSED MIXED-USE  
DEVELOPMENT

WEST ELEVATION

DRAWN: P.S.  
PLOT DATE: 9/7/2022 9:45:12 PM  
CHECKED: G.J.

SP-20



| SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS |                                     |                                     |                          |                                  |
|--|-------------------------------------|-------------------------------------|--------------------------|----------------------------------|
| DEPT/AGENCY  | Circulated                          | Comments Received                   | Conditions               | Nature of Comments               |
| TRCA *Schedule B                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | No Comments Received to Date     |
| Ministry of Transportation (MTO) *Schedule B       | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | No Comments Received to Date     |
| Region of York *Schedule B                         | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments                 |
| Alectra *Schedule B                                | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments                 |
| Bell Canada *Schedule B                            | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| YRDSB *Schedule B                                  | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| YCDSB *Schedule B                                  | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| CN Rail *Schedule B                                | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| CP Rail *Schedule B                                | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| TransCanada Pipeline *Schedule B                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | No Comments Received to Date     |
| Metrolinx *Schedule B                              | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| Propane Operator *Schedule B                       | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> |                                  |
| Development Planning                               | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Recommend Approval/no conditions |
| Building Standards (Zoning)                        | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments                 |



**Date:** December 6<sup>th</sup> 2022

**Attention:** **Christine Vigneault**

**RE:** Request for Comments

**File No.:** **A291-22**

**Related Files:**

**Applicant** 1930328 Ontario Inc.

**Location** 2871 Highway 7



**COMMENTS:**

- |                                     |  |
|-------------------------------------|--|
| <input type="checkbox"/>            | We have reviewed the proposed Variance Application and have no comments or objections to its approval.   |
| <input checked="" type="checkbox"/> | We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below). |
| <input type="checkbox"/>            | We have reviewed the proposed Variance Application and have the following concerns (attached below).   |

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI & Layouts (North)  
**Phone:** 1-877-963-6900 ext. 31297

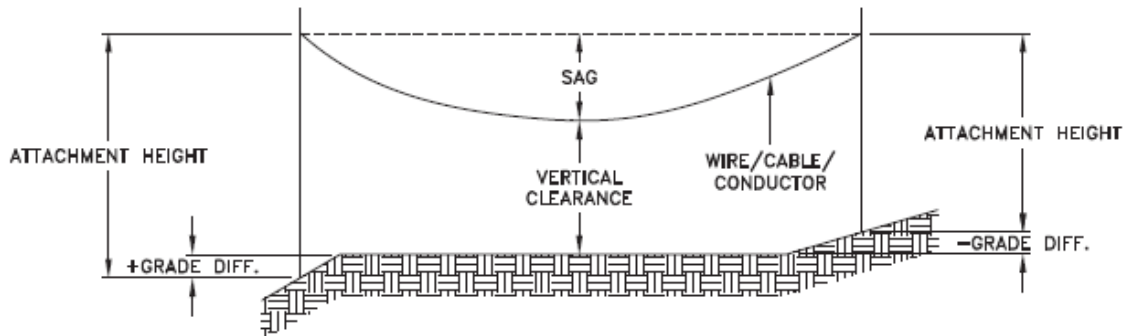
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mitchell Penner  
Supervisor, Distribution Design-Subdivisions  
**Phone:** 416-302-6215

**Email:** [Mitchell.Penner@alectrautilities.com](mailto:Mitchell.Penner@alectrautilities.com)



| LOCATION OF WIRES, CABLES OR CONDUCTORS                                   | SYSTEM VOLTAGE                           |                        |                                      |       |
|---|--|------------------------|--------------------------------------|-------|
|   | SPAN GUYS AND COMMUNICATIONS WIRES       | UP TO 600V AND NEUTRAL | 4.16/2.4kV TO 27.6/16kV (SEE NOTE 1) | 44kV  |
|   | MINIMUM VERTICAL CLEARANCES (SEE NOTE 2) |                        |                                      |       |
| OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u> | 442cm                                    | 442cm                  | 480cm                                | 520cm |
| OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>            | 250cm                                    | 310cm                  | 340cm                                | 370cm |
| ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>                             | 730cm                                    | 730cm                  | 760cm                                | 810cm |



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG  
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)  
 + GRADE DIFFERENCE  
 + 0.3m (VEHICLE OR RAILWAY LOCATION)  
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

**NOTES:**

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

| CONVERSION TABLE |                   |
|------------------|-------------------|
| METRIC           | IMPERIAL (APPROX) |
| 810cm            | 27'-0"            |
| 760cm            | 25'-4"            |
| 730cm            | 24'-4"            |
| 520cm            | 17'-4"            |
| 480cm            | 16'-0"            |
| 442cm            | 15'-5"            |
| 370cm            | 12'-4"            |
| 340cm            | 11'-4"            |
| 310cm            | 10'-4"            |
| 250cm            | 8'-4"             |

**REFERENCES**

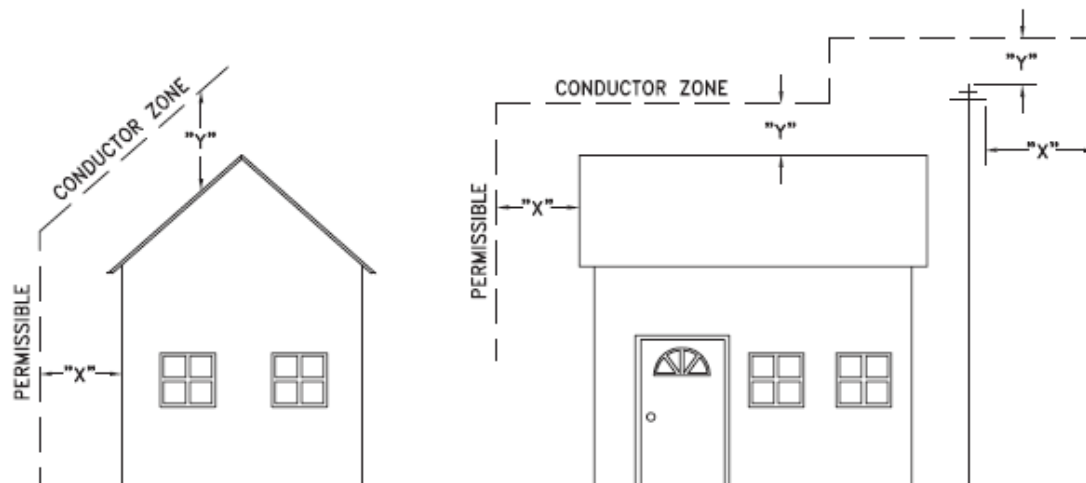
SAGS AND TENSIONS | SECTION 02

**MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS**

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

| Certificate of Approval   |             |
|---|-------------|
| This construction Standard meets the safety requirements of Section 4 of Regulation 22/04 |             |
| Joe Crozier, P.Eng.   | 2012-JAN-09 |
| Name  | Date        |
| P.Eng. Approval By:   | Joe Crozier |





| VOLTAGE            | MINIMUM HORIZONTAL CLEARNACE<br>UNDER MAXIMUM SWING CONDITIONS<br>DIMENSION "X"<br>(SEE NOTES 1, 3 & 4) | MINIMUM VERTICAL CLEARANCE<br>UNDER MAXIMUM DESIGN SAG CONDITIONS<br>DIMENSION "Y"<br>(SEE NOTES 1, 2, 4 & 5) |
|--------------------|---|---|
| 0-600V AND NEUTRAL | 100cm   | 250cm   |
| 4.16/2.4 TO 44kV   | 300cm   | 480cm   |

### NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

| CONVERSION TABLE |                   |
|------------------|-------------------|
| METRIC           | IMPERIAL (APPROX) |
| 480cm            | 16'-0"            |
| 300cm            | 10'-0"            |
| 250cm            | 8'-4"             |
| 100cm            | 3'-4"             |

### MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:

PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working folder\Section 3\3-4\DWG 03-4 R0 May 5, 2010.dwg, 5/5/2010 8:22:02 AM, Adobe PDF

**Certificate of Approval**  
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04  
Debbie Dadwani, P.Eng. 2010-MAY-05  
Name Date  
P.Eng. Approval By: D. Dadwani



**To:** Committee of Adjustment  
**From:** Sarah Scauzillo, Building Standards Department  
**Date:** December 1, 2022  
**Applicant:** 1930328 Ontario Inc.  
**Location:** 2871 Hwy 7  
PLAN RP7977 Lot 3  
**File No.(s):** A291/22

**Zoning Classification:**

The subject lands are zoned C9(H) - Corporate Centre Zone and subject to the provisions of Exception 9(1473) under Zoning By-law 1-88, as amended.

| Zoning By-law 1-88 |   | Variance requested  |
|--------------------|---|---|
| 1.                 | A minimum of 0.624 parking spaces per dwelling unit is required.<br>[9(1473)]   | To permit a minimum of 0.4 parking spaces per dwelling unit.  |
| 2.                 | The minimum combined common amenity area (indoor and outdoor) shall be 5,400m <sup>2</sup> .<br>[9(1473)]                                     | To permit a minimum amenity area (indoor and outdoor) of 4.1 sq.m per unit.   |
| 3.                 | The minimum exterior side yard setback to Maplecrete Road shall be 2.5 metres.<br>[9(1473)]   | To permit a minimum exterior side yard setback of 2.2 metres to Maplecrete Road.  |
| 4.                 | The minimum setback from any lot line or right-of-way to Building A and B shall be 2.6 metres<br>[9(1473)]                                    | To permit a minimum setback from any lot line or right of way to Building A and B shall be 2.2 metres.                            |
| 5.                 | The minimum setback from any lot line or right-of-way to Building A above the building height of 7.2 metre shall be 10.7 metres.<br>[9(1473)] | To permit a minimum setback of 6.0 metres from any lot line or right-of-way to Building A above the building height of 7.2 metres |
| 6.                 | The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 metre shall be 4.3 metres.<br>[9(1473)]  | To permit a minimum setback of 4.2 metres from any lot line or right-of-way to Building B above the building height of 7.2 metres |
| 7.                 | The maximum gross floor area of 800m <sup>2</sup> for non-residential uses is permitted.<br>[9(1473)]   | To permit a maximum gross floor area of 846.1m <sup>2</sup> for non-residential uses.   |

**Staff Comments:**

**Stop Work Order(s) and Order(s) to Comply:**

There are no outstanding Orders on file

**Building Permit(s) Issued:**

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m<sup>2</sup>

**Other Comments:**

| Zoning By-law 1-88 |  |
|--------------------|--|
| 1.                 | Based on the proposed unit count of 1132 Units and 846 sq.m of non-residential uses, a minimum of 646 parking spaces are required. |

| General Comments |   |
|------------------|---|
| 2.               | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval. Additional items have been identified through the Site Plan process and additional relief will may required. |



**Conditions of Approval:**

If the committee finds merit in the application, the following conditions of approval are recommended.

\* Comments are based on the review of documentation supplied with this application.



**To:** Christine Vigneault, Committee of Adjustment Secretary Treasurer

**From:** Nancy Tuckett, Director of Development Planning Department

**Date:** January 13, 2022

**Name of Owner:** 1930328 Ontario Inc.

**Location:** 2871 Highway 7

**File No.(s):** A291/22

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**Proposed Variance(s) (By-law 1-88):**

- 1) To permit a minimum of 0.4 parking spaces per dwelling unit.
- 2) To permit a minimum amenity area (indoor and outdoor) of 4.1 sq.m. per unit.
- 3) To permit a minimum exterior side yard setback of 2.2 m to Maplecrete Road.
- 4) To permit a minimum setback from any lot line or right of way to Building A and B shall be 2.2 m.
- 5) To permit a minimum setback of 6.0 m from any lot line or right-of-way to Building A above the building height of 7.2 m.
- 6) To permit a minimum setback of 4.2 m from any lot line or right-of-way to Building B above the building height of 7.2 m.
- 7) To permit a maximum gross floor area of 846.1 m<sup>2</sup> for non-residential uses.

**By-Law Requirement(s) (By-law 1-88):**

- 1) A minimum of 0.62 parking spaces per dwelling unit is required. [9(1473)]
- 2) The minimum combined common amenity area (indoor and outdoor) shall be 5,400 m<sup>2</sup>. [9(1473)]
- 3) The minimum exterior side yard setback to Maplecrete Road shall be 2.5 m. [9(1473)]
- 4) The minimum setback from any lot line or right-of-way to Building A and B shall be 2.6 m. [9(1473)]
- 5) The minimum setback from any lot line or right-of-way to Building A above the building height of 7.2 m shall be 10.7 m. [9(1473)]
- 6) The minimum setback from any lot line or right-of-way to Building B above the building height of 7.2 m shall be 4.3 m. [9(1473)]
- 7) The maximum gross floor area of 800 m<sup>2</sup> for non-residential uses is permitted. [9(1473)]

**Official Plan:**

Vaughan Official Plan 2010 ('VOP 2010'): "Station Precinct" by Volume 2, Section 11.12  
Vaughan Metropolitan Centre ('VMC') Secondary Plan.

**Comments:**Background

The Owner obtained Council's approval in 2019 for a mixed-use development consisting of ground floor commercial uses and 935 residential units across 3 buildings: Building A – 40-storeys, Building B – 34-storeys and Building C – 7-storeys, at a maximum FSI of 5.66, and a 22 m wide east-west public road. Since the original proposal (the "Original Development") the Owner submitted Official Plan and Zoning By-law Amendment Files OP.21.007 and Z.21.010 (the "New Development") to increase in the maximum building heights and adjust the width and ownership of the east-west road. Following public consultation and discussions with the VMC Program staff, Council approved the New Development in 2022 consisting of ground floor commercial and community uses and 1,257 residential units within 3 buildings: Building A – 49-storeys, Building B – 22-storeys, and Building C – 7-storeys with a new FSI of 6.97. The New Development also included changing the ownership of the required east-west local road from public to private and reduced its width from 22 m to 20 m.

Proposal

Since Council's approval of the New Development the Owner has decided to not proceed with Building C. The removal of Building C allows for the enlargement of Buildings A and B and the reconfiguration of the ground level landscaping, driveway access and surface parking. This current development revision (the "Proposal") is



reflected in Development Application File DA.18.037. During the VMC Program's review of the DA file the above noted variance were identified.

VMC GP Inc. (the 'Owner') is requesting permission to amend the approved mixed-use development in the VMC with the above noted variances. In support of this minor variance application the Owner has submitted a Planning Opinion Letter, prepared by MHBC Plan, dated November 1, 2022.

As application numbers OP.21.007, Z.21.010, 19T-18V005, and DA.18.037 for the Proposal were filed and deemed complete prior to October 20, 2021, being the date Council enacted Zoning By-law 001-2021, compliance with Zoning By-law 001-2021 is not required as per 1.6.3.3 of By-law 039-2022.

The Subject Lands are within the Vaughan Metropolitan Centre Secondary Plan ('VMCSP'). The vision of the VMCSP is to create a downtown area with a high population density guided by principles such as being transit-oriented, walkable, and accessible. Within the VMCSP, it is stated that transit-supportive parking standards for residential and non-residential uses are to be adopted by the City to promote non-automobile travel. To assist in implementing this policy direction, Section 3.8.1 of By-law 1-88 includes parking requirements recognizing the VMC as a high density and transit-orientated area. Development Planning and the VMC Program Staff are of the opinion that a parking rate of 0.40 spaces per dwelling unit (Variance 1) effectively utilizes existing infrastructure and is considered desirable and appropriate for the development of the land as it will encourage high-order transit and be aligned with the standards established in the VMCSP to help support high-density development.

To provide the Proposal with a degree of flexibility and reflect the residential units proposed per phase, Variance 2 requests the minimum amenity area be calculated per unit. Development Planning staff acknowledges the 5,400 m<sup>2</sup> represents the total amenity area across the entire Proposal site for a fixed number of units and that adjusting this number to a per unit calculation is a more accurate representation of the amenity space each unit requires and allows for a phased approach to construction. Additionally, Variances 3 to 7 deal with adjustments to building setbacks and maximum gross floor area for non-commercial uses. Development Planning and VMC Program staff have reviewed the reductions in setbacks, as well as the slight increase in gross floor area for non-residential uses and are of the opinion the integrity of the Development that Council approved is still intact. The variances are minor modifications that permit the overall design of the Proposal to function appropriately and maintain a setback distance that is consistent with other developments in the VMC.

The Development Planning Department has reviewed the application and is of the opinion that it is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

**Recommendation:**

The Development Planning Department recommends approval of the application.

**Condition of Approval:**

If the Committee finds merit in the application, the following condition of approval is recommended:

None

**Comments Prepared by:**

Roberto Simbana, Planner I  
David Harding, Senior Planner  
Monica Wu, Planner, VMC Program



**From:** [Development Services](#)  
**To:** [Lenore Providence](#); [Committee of Adjustment](#)  
**Subject:** [External] RE: A291/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN  
**Date:** Monday, January 2, 2023 10:26:35 AM  
**Attachments:** [image002.png](#)  
[image004.png](#)

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Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

*Our working hours may be different. Please do not feel obligated to reply outside of your scheduled working hours. Let's work together to help foster healthy work-life boundaries.*

**Niranjan Rajevan, M.Pl.** | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

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The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1  
1-877-464-9675 ext. 71521 | [niranjan.rajevan@york.ca](mailto:niranjan.rajevan@york.ca) | [www.york.ca](http://www.york.ca)

*Our Values: Integrity, Commitment, Accountability, Respect, Excellence*





| SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE |      |         |                               |                      |
|---|------|---------|-------------------------------|----------------------|
| Correspondence Type                           | Name | Address | Date Received<br>(mm/dd/yyyy) | Summary              |
| Applicant (Agent)                             | MHBC |         | 11/01/23                      | Justification Letter |



November 1, 2022

Committee of Adjustment  
Office of the City Clerk  
Vaughan City Hall, Level 100  
2141 Major Mackenzie Dr.  
Vaughan, ON L6A 1T1

**RE: MINOR VARIANCE APPLICATIONS**  
**2871 HIGHWAY 7, VAUGHAN**  
**RELATED FILE NOS: OP.21.007 / Z.21.010 / 19T-18V005 / OP.18.005 / Z.18.009**  
**OUR FILE: 1512D**

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On behalf of our client, 1930328 Ontario Inc., we are pleased to submit materials in support of the application for Minor Variances for the lands municipally addressed as 2871 Highway 7 (hereinafter the "Subject Lands").

A number of performance standards were included as part of the site-specific Zoning By-law (No. 157-2022), which require modification in order to be able to move forward with the development of this site. These standards reflect further refinements of the development that would afford a certain level of flexibility. It recognizes the changing condition of added units, residential and visitor parking, setbacks and step backs, modifying amenity areas and utilizing a gross floor area requirement on a per unit basis rather than having a total combined gross floor area denoting the amenity area.

### **Items Requiring Relief from the By-law**

The matters requiring further review and modification through minor variance include:

- the definition of gross floor area
- the minimum parking rate per dwelling unit
- the minimum parking rate for visitor parking
- to specifically identify parking for the Community Hub, per Section 37
- to separate out the dwelling unit numbers in Buildings A/B from Building C
- to provide a minimum amenity area requirement per dwelling unit
- the minimum exterior setback from Maplecrete
- the minimum step back from Buildings A/B
- the minimum step back from Building B to the west property line



## **Proposed Committee of Adjustment “Variance Request” Wording & Rationale**

### Gross Floor Area

Whereas the definition of Gross Floor Area (“GFA”) in Zoning By-law 1-88 means “the aggregate of the floor areas of all storeys of a building, measured to the exterior of the outside walls, but not including the areas of any cellar, or car parking area above or below grade within the building or within a separate structure;”, **in order to permit** the definition of GFA from Zoning By-law 001-2021, (*Ed. Note- as proposed to be modified below, shown in red*), meaning “the aggregate of the floor areas of all storeys of a building measured from the outside of the exterior walls, but excluding any basement, attic, mechanical room **and shafts**, electrical room, elevator shaft, refuse chute **and rooms**, escalators, **exit stairs**, vehicle and bicycle parking areas, loading areas located above or below grade, **ramps, as well as excluding the mezzanine for non-residential uses.**”

*Rationale:* It is appropriate and reasonable to align the current by-law affecting the site to the approved By-law 001-2021 definition of GFA. This will ensure consistency in approach when applying the definition.

### Residential Parking Requirement

Whereas site-specific Zoning By-law 157-2022 requires residential parking spaces be provided at 0.624 spaces per dwelling unit; **in order to permit** a minimum of 0.40 spaces per dwelling unit.

*Rationale:* The reduced parking ratio reflects recently granted permissions in the VMC as well as the ratio found in By-law 001-2021 for apartment dwelling units.

### Visitor Parking Requirement

Whereas site-specific Zoning By-law 157-2022 requires residential visitor parking spaces to be provided at 0.155 spaces per dwelling unit; **in order to permit** a minimum of 0.15 spaces per dwelling unit.

*Rationale:* The reduced parking ratio reflects recently granted permissions in the VMC as well as the ratio found in By-law 001-2021 for apartment dwelling units.

Whereas site-specific Zoning By-law 157-2022 requires non-residential parking spaces to be provided at 2 spaces per 100 m<sup>2</sup> of gross floor area and does not specify a parking requirement for the Community Hub; **in order to permit** a maximum of 6 parking spaces for the Community Hub per Section 37.

*Rationale:* As a specific requirement for this property, a Community Hub was provided for in the Section 37 agreement. The specific parking requirements for this use were not identified in the by-law amendment. Six parking spaces for this use is appropriate and reasonable.

### Dwelling Units in Buildings A/B

Whereas site-specific Zoning By-law 157-2022 permits a maximum of 1,257 dwelling units on the Subject Lands without identifying a unit count for each building; **in order to permit** a maximum of 1,140 dwelling units in Buildings A/B.

*Rationale:* The intent of this request is to specify the specific permission for Buildings A and B within the overall unit cap of 1,257 dwelling units. This specificity will assist in the phasing of the development.



### Amenity Area

Whereas site-specific Zoning By-law 157-2022 permits a minimum combined common amenity area (indoor and outdoor) of 5,400 m<sup>2</sup>; **in order to permit** an amenity area (indoor and outdoor) of 4 m<sup>2</sup> per residential dwelling unit.

*Rationale:* The requirement specified a specific amount be provided, which does not lend itself to a phased development of the lands (i.e. to meet the by-law requirement the entirety of the 5,400 m<sup>2</sup> would need to be provided in the first phase). As such it is proposed to provide this on a per dwelling unit basis to ensure an appropriate amount is provided for through the phasing and spread across all phases of development.

### Setbacks

Whereas site-specific Zoning By-law 157-2022 requires a minimum exterior yard setback of 2.5 metres from Maplecrete Road; **in order to permit** a minimum exterior yard setback of 2.2 metres from Maplecrete Road.

Whereas site-specific Zoning By-law 157-2022 requires a minimum setback of 2.6 metres from any lot line or right-of-way to Buildings A/B; **in order to permit** a minimum setback of 2.2 metres from any lot line or right-of-way to Buildings A/B.

Whereas site-specific Zoning By-law 157-2022 requires a minimum setback from any lot line or right-of-way of 10.7 metres above a building height of 7.2 metres for Building A; **in order to permit** a minimum setback from any lot line or right-of-way of 6.0 metres above a building height of 7.2 metres for Building A.

Whereas site-specific Zoning By-law 157-2022 requires a minimum setback from any lot line or right-of-way of 4.3 metres above a building height of 7.2 metres for Building B; **in order to permit** a minimum setback from any lot line or right-of-way of 6.0 metres above a building height of 7.2 metres for Building B.

*Rationale:* Through the ongoing design review minor modifications to the setbacks are required. These changes do not change the overall design intent of the building and continue to maintain the intent and purpose of the by-law to provide for appropriate setbacks for the intensification of the site in the VMC.

Overall, it is our opinion that the proposed variances, individually and collectively, meet the four criteria for approval as set out in Section 45(1) of the *Planning Act*.

If you have any questions or require anything further, please do not hesitate to contact the undersigned at your convenience.

Yours truly,

**MHBC**



David A. McKay, MSc, MLAI, MCIP, RPP  
Vice President and Partner



Maire Stea, BES  
Intermediate Planner



Encl.

cc: Clients