

ITEM #: 6.6	COMMITTEE OF ADJUSTMENT REPORT SUMMARY MINOR VARIANCE APPLICATION FILE NUMBER A004/22 36 PAINTED PONY TRAIL, KLEINBURG
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**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A004/22
36 PAINTED PONY TRAIL, KLEINBURG**

ITEM NUMBER: 6.6	CITY WARD #: 1
APPLICANT:	2179912 Ontario Inc.
AGENT:	Canvas Developments
PROPERTY:	36 Painted Pony Trail, Kleinburg
ZONING DESIGNATION:	The subject lands are zoned R1 9(1393) and subject to the provisions of Exception under By-law 1-88 as amended
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling and increased maximum driveway width.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1A, First Density Residential Zone and subject to the provisions of Exception 14.1022 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A maximum driveway width of 9 metres is permitted on a lot. [Table 6-11]	To permit a maximum driveway width of 9.14 metres on a lot.

The subject lands are zoned R1, Residential and subject to the provisions of Exception 9(1393) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	A maximum lot coverage of 35% is permitted [Schedule A]	To permit a maximum lot coverage of 38.66%.
3	A maximum driveway width of 9 metres is permitted on a lot [4.1.4 fv]	To permit a maximum driveway width of 9.14 metres on a lot.

HEARING INFORMATION

DATE OF MEETING: Thursday, January 26, 2023
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	January 12, 2023
Date Applicant Confirmed Posting of Sign:	December 8, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	To accommodate required needs of the family.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments	
Building Standards Recommended Conditions of Approval:	None

DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.	
Development Planning Recommended Conditions of Approval:	That the final Landscape Plan, which shall depict tree plantings located along either side of the driveway as to minimize the visual impact of the driveway, be approved to the satisfaction of the Development Planning Department.

DEVELOPMENT ENGINEERING COMMENTS

Link to Grading Permit Link to Pool Permit Link to Curb Curt Permit Link Culvert Installation	
The proposed work by the owner is increasing the lot coverage in the subject property. The added hardscape may have impact on City's Storm Water management system. Stuff requires the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts.	
The Development Engineering (DE) Department does not object to variance application A004/22.	
Development Engineering Recommended Conditions of Approval:	None

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning Joshua.cipolletta@vaughan.ca	That the final Landscape Plan, which shall depict tree plantings located along either side of the driveway as to minimize the visual impact of the driveway, be approved to the satisfaction of the Development Planning Department.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

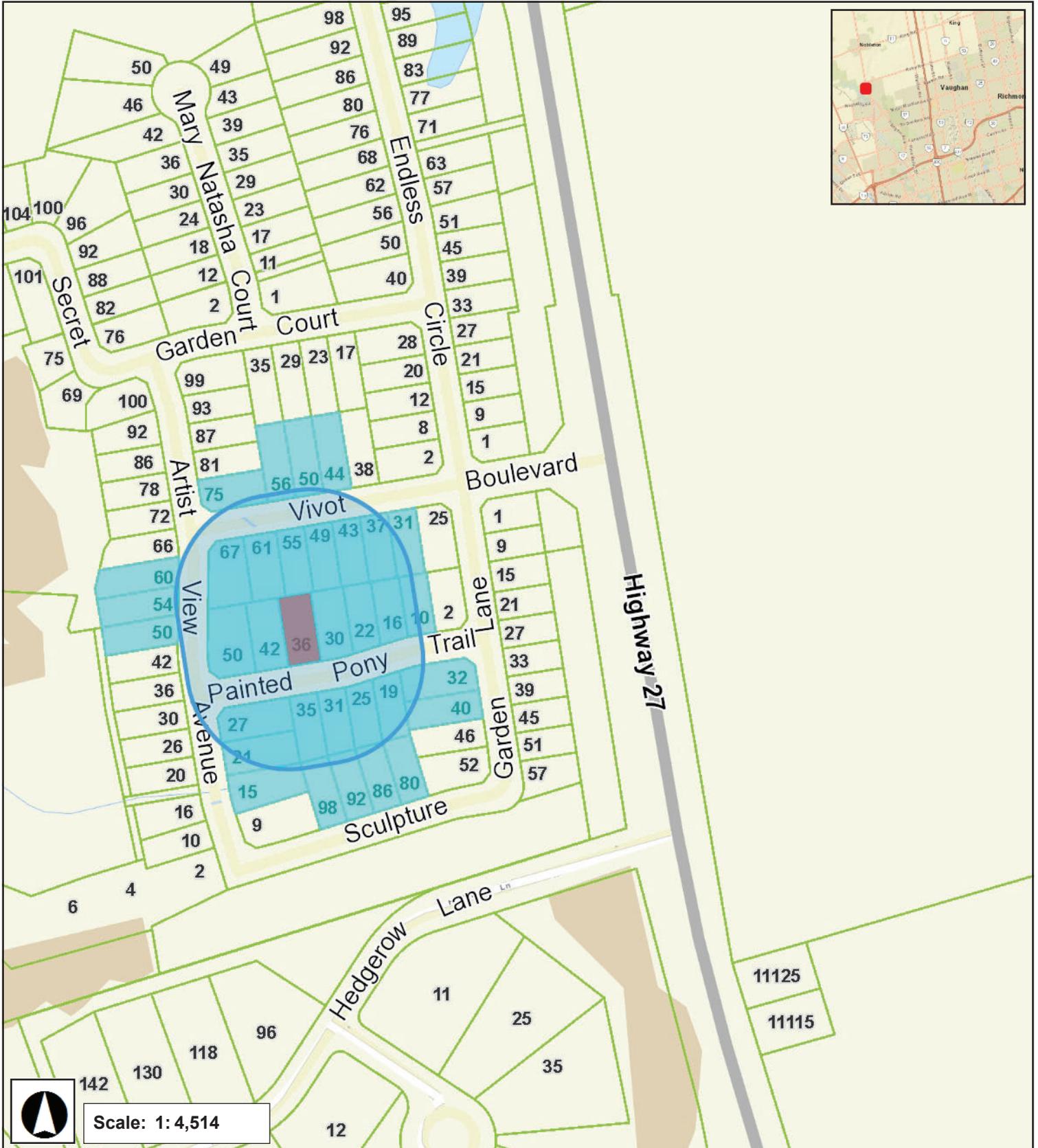
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP A004/22

36 PAINTED PONY TRAIL, KLEINBURG

Kirby Road



 Scale: 1:4,514

Nashville Road

March 16, 2022 3:28 PM

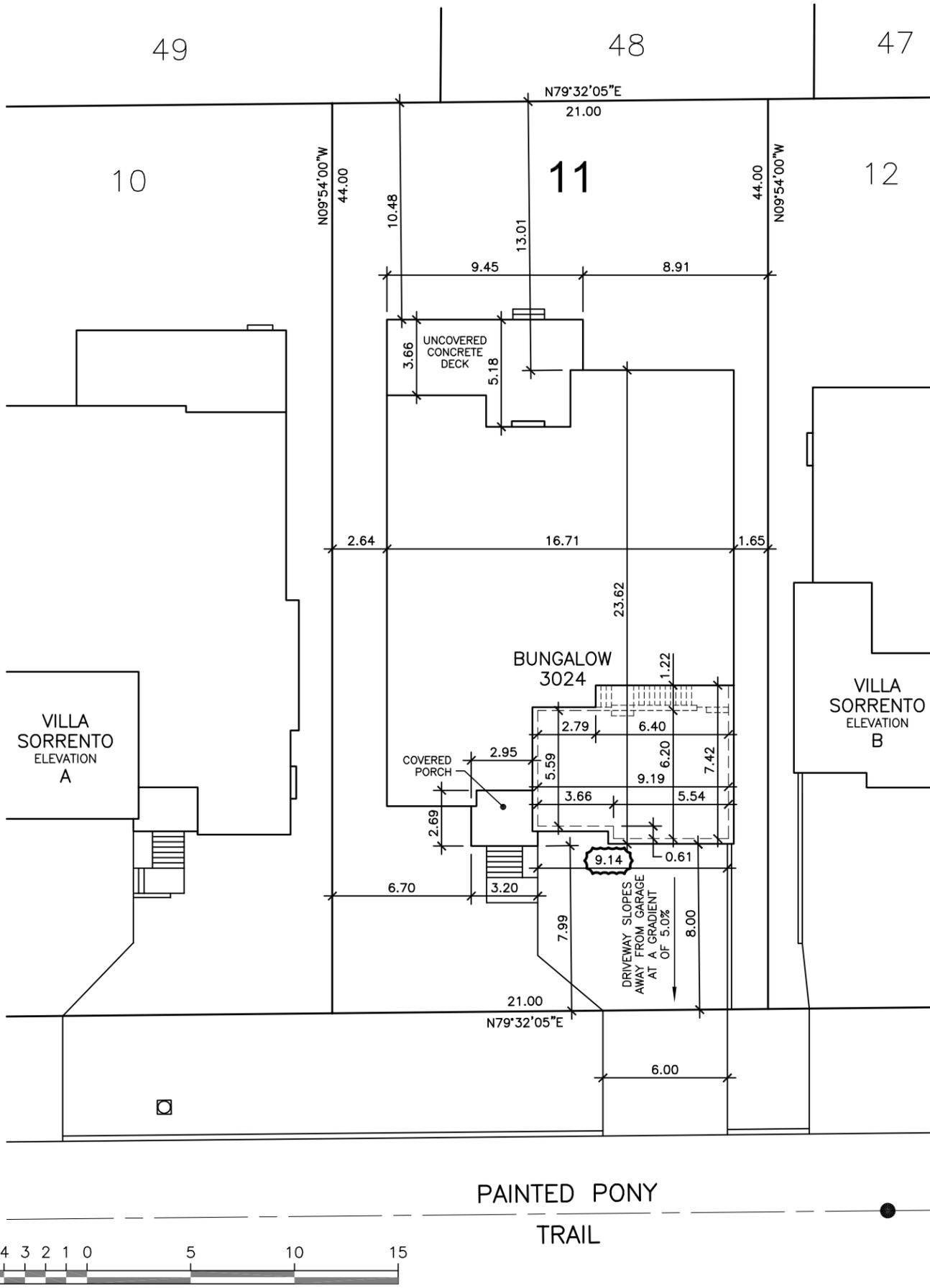


FRONT YARD LANDSCAPING

TOTAL YARD AREA	167.72 m ²	
	REQUIRED	PROPOSED
MIN LANDSCAPED AREA	83.86 m ²	99.30 m ²
PERCENTAGE	50.00 %	59.21 %
MIN SOFT LANDSCAPING	50.32 m ²	92.08 m ²
PERCENTAGE	60.00 %	92.73 %

LEGEND

- SINGLE CATCHBASIN
- DOUBLE CATCHBASIN
- SANITARY MH
- STORM MH
- SANITARY FDC
- STORM
- WATER SERVICE
- HYDRO SERVICE
- FLOW DIRECTION
- HYDRANT & VALVE
- VALVE AND BOX
- LIGHT STANDARD
- BELL PEDESTAL
- CABLE PEDESTAL
- HYDRO TRANSFORMER
- ENGINEERED FILL LOT
- SUPER MAILBOX
- 000.00 EXISTING ELEVATION
- 000.00 PROPOSED ELEVATION
- SW SWALE
- FFF FINISHED 1ST FLOOR
- TW TOP FOUNDATION WALL
- FS FINISHED SLAB
- USF UNDERSIDE FOOTING
- SUMP PUMP
- ROOF DOWNSPOUT



REGISTERED PLAN NUMBER
65M-4437
 DRAFT PLAN OF SUBDIVISION FILE
19T-08V06

SITE INFORMATION

THIS PLAN IS BASED ON PLAN OF SUBDIVISION OF PART OF LOT 29, CONCESSION 9 (GEOGRAPHIC TOWNSHIP OF VAUGHAN) CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK
 SURVEY PREPARED BY RADY-PENTEK & EDWARD SURVEYING LTD. DATED AUGUST 19, 2013



ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND CANNOT BE USED OR REPRODUCED WITHOUT HIS APPROVAL

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT

DRAWINGS MUST NOT BE SCALED

ARCHITECTURAL DESIGN INC.

56 PENNSYLVANIA AVE. UNIT 1
 CONCORD, ONT. L4K 3V9
 TEL 905 660-9393
 FAX 905 660-9419

SITE STATISTICS
 Zoning R1 per By-law 1-88 and Exception 9(1393)

LOT AREA 923.96 m²
 DWELLING AREA 349.28 m² = 37.80% COVERAGE
 COVERED PORCH AREA 7.92 m² = 0.86% COVERAGE
 TOTAL BUILDING AREA 357.20 m² = 38.66% COVERAGE

LOT COVERAGE, MAXIMUM PROPOSED **35.00 %**
38.66 %

HEIGHT, MAXIMUM PROPOSED 10.60 m
 8.68 m

DRIVEWAY WIDTH, MAXIMUM PROPOSED **9.00 m**
9.14 m

NOTE: TOTAL BUILDING AREA INCLUDES GARAGE AND COVERED PORCH

SITE STATISTICS
 Zoning R1A per By-law 01-2021 and Exception 14(1022)

LOT AREA 923.96 m²
 DWELLING AREA 349.28 m² = 37.80% COVERAGE
 COVERED PORCH AREA 7.92 m² = 0.86% COVERAGE
 EAVES AND GUTTER AREA 42.42 m² = 4.59% COVERAGE
 TOTAL BUILDING AREA 399.62 m² = 43.25% COVERAGE

LOT COVERAGE, MAXIMUM PROPOSED **40.00 %**
43.25 %

HEIGHT, MAXIMUM PROPOSED 10.60 m
 8.68 m

DRIVEWAY WIDTH, MAXIMUM PROPOSED **9.00 m**
9.14 m

NOTE: TOTAL BUILDING AREA INCLUDES GARAGE, COVERED PORCH, EAVES AND GUTTERS

PROJECT
PROPOSED DWELLING FOR: KLEINVALLEY ESTATES INC AT: 36 PAINTED PONY TRAIL VAUGHAN

DRAWING
MINOR VARIANCE DATA LOT 11

DATE **NOV '22**

DRAWN **T.P.**

SCALE **1:250**

PROJECT NO
13-43

DRAWING NO
COA

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X		General Comments
Ministry of Transportation (MTO) *Schedule B				
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X	X		General Comments
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X	X	Recommend approval w/conditions
Building Standards (Zoning)	X	X		General Comments

Pravina Attwala

Subject: FW: [External] RE: City of Vaughan Request for Comments: A004/22 (36 Painted Pony Trail)

From: Gordon, Carrie <carrie.gordon@bell.ca>

Sent: March-14-22 3:44 PM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Subject: [External] RE: City of Vaughan Request for Comments: A004/22 (36 Painted Pony Trail)

Hi Pravina,

Bell Canada has no comments for this minor variance.

Kind regards,

Carrie Gordon

Carrie Gordon



Associate, External Liaison
Right of Way Control Centre
140 Bayfield St, Fl 2
Barrie ON, L4M 3B1
T: 705-722-2244/844-857-7942
F :705-726-4600

To: Committee of Adjustment
From: Catherine Saluri, Building Standards Department
Date: November 30, 2022
Applicant: 2179912 Ontario Inc.
Location: 36 Painted Pony Trail
 PLAN 65M4437 Lot 11
File No.(s): A004/22

Zoning Classification:

The subject lands are zoned R1A, First Density Residential Zone and subject to the provisions of Exception 14.1022 under Zoning By-law 001-2021.

#	Zoning By-law 001-2021	Variance requested
1	A maximum driveway width of 9 metres is permitted on a lot. [Table 6-11]	To permit a maximum driveway width of 9.14 metres on a lot.

The subject lands are zoned R1, Residential and subject to the provisions of Exception 9(1393) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
2	A maximum lot coverage of 35% is permitted [Schedule A]	To permit a maximum lot coverage of 38.66%.
3	A maximum driveway width of 9 metres is permitted on a lot [4.1.4 fv]	To permit a maximum driveway width of 9.14 metres on a lot.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

A building permit application has not been submitted.

Other Comments:

Zoning By-law 001-2021	
1	Eaves and gutters are permitted to encroach to a maximum of 0.5 metres into a required yard [4.13].
2	The Applicant confirms that the proposed building height is 8.68 m, as per Site Plan dated November 21, 2022. An amended front elevation drawing has not been provided for our review. A maximum building height of 10.60 m is permitted. [Exception 14.1022]

Zoning By-law 1-88	
1	Minimum interior garage dimensions of 3 m width x 6 m length shall be provided. A maximum of one step/two risers are permitted to encroach into the minimum required interior garage length.
2	Eaves and gutters are permitted to encroach to a maximum of 0.5 metres into a required yard [3.14].
3	The Applicant confirms that the proposed building height is 8.68 m, as per Site Plan dated November 21, 2022. An amended front elevation drawing has not been provided for our review. A maximum building height of 10.55 m is permitted. [Exception 9(1393)]

General Comments

- | | |
|---|---|
| 1 | The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit. |
|---|---|

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None

* Comments are based on the review of documentation supplied with this application.

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: January 18, 2023
Name of Owner: 2179912 Ontario Inc.
Location: 36 Painted Pony Trail
File No.(s): A004/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum driveway width of 9.14 m on a lot.

By-Law Requirement(s) (By-law 001-2021):

1. A maximum driveway width of 9 m is permitted on a lot.

Proposed Variance(s) (By-law 1-88):

2. To permit a maximum lot coverage of 38.66%.
3. To permit a maximum driveway width of 9.14 m on a lot.

By-Law Requirement(s) (By-law 1-88):

2. A maximum lot coverage of 35% is permitted.
3. A maximum driveway width of 9 m is permitted on a lot.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting relief to permit the construction of a single storey detached dwelling with the above noted variances.

The Development Planning Department has no objection to Variances 1 and 3 for the proposed 9.14 m driveway width. The proposed driveway width is for the portion directly in front of the dwelling to provide access to the three-car garage. The driveway will taper down to 6.0 m where it connects with the road. The 0.14 m increase in width is minor in nature and will not have adverse impacts to the existing streetscape, provided that the recommended Condition of Approval is implemented to provide tree plantings within the front yard around the driveway.

The dwelling and covered porch propose lot coverages of 37.80% and 0.86% respectively. The total lot coverage is appropriate for the size of the lot and will not pose a significant adverse impact to neighbourhood character. The total lot coverage also complies with Zoning By-law 001-2021, which was enacted by Vaughan Council on October 20, 2021, but has been appealed to the Ontario Land Tribunal and is not in-effect. As such, the Development Planning Department has no objection to Variance 2 for the increase in lot coverage.

Accordingly, the Development Planning Department can support the requested variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-laws, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application, subject to the following condition:

Condition of Approval:

If the Committee finds merit in the application, the following condition of approval is recommended:

1. That the final Landscape Plan, which shall depict tree plantings located along either side of the driveway as to minimize the visual impact of the driveway, be approved to the satisfaction of the Development Planning Department.

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

Pravina Attwala

Subject: FW: [External] RE: City of Vaughan Request for Comments: A004/22 (36 Painted Pony Trail)

From: York Plan <yorkplan@trca.ca>

Sent: March-14-22 3:46 PM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

Subject: [External] RE: City of Vaughan Request for Comments: A004/22 (36 Painted Pony Trail)

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property.

Although the site is located within the Well Head Protection Area for Quantity control (WHPA-Q2) per the Source Protection Plan, no water balance would be required recognizing this requirement would have been addressed through the subdivision approvals process.

Should further clarification be required, please contact the undersigned at your convenience.

Mark Howard, BES, MLA, MCIP, RPP

Senior Planner – Vaughan Review Area

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:4166616600) ext 5269

E: mark.howard@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



From: [Development Services](#)
To: [Christine Vigneault](#)
Cc: [Committee of Adjustment](#)
Subject: [External] RE: A003/22, A004/22, A005/22 (30, 36, 42 Painted Pony Trail) - Request for Comments (City of Vaughan)
Date: Wednesday, November 30, 2022 4:41:37 PM
Attachments: [image001.png](#)
[image003.png](#)

Hi Christine,

The Regional Municipality of York has completed its review of the above 3 minor variances and has no comment.

Many thanks,

Christine Meehan, B.U.R.PL. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 x73012 | christine.meehan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None