



**COMMITTEE OF ADJUSTMENT
REPORT SUMMARY
MINOR VARIANCE APPLICATION
FILE NUMBERS**

**A056/22, A057/22, A058/22, A059/22, A060/22, A061/22,
A062/22, A065/22, A066/22 A067/22, A068/22, A069/22,
A070/22, A071/22, A072/22, A073/22, A074/22, A110/22**

AGENDA ITEM NUMBER: 17-33 & 35	CITY WARD #: 4																		
APPLICANT:	Vogue (Homes) Bathurst Inc.																		
AGENT:	100004813 Ontario Inc. (Evans Planning)																		
PROPERTY:	<table border="1"> <tr> <td>32 Donsgrove Court (A056/22)</td> <td>15 Donsgrove Court (A067/22)</td> </tr> <tr> <td>35 Donsgrove Court (A057/22)</td> <td>19 Donsgrove Court (A068/22)</td> </tr> <tr> <td>36 Donsgrove Court (A058/22)</td> <td>20 Donsgrove Court (A069/22)</td> </tr> <tr> <td>39 Donsgrove Court (A059/22)</td> <td>24 Donsgrove Court (A070/22)</td> </tr> <tr> <td>40 Donsgrove Court (A060/22)</td> <td>27 Donsgrove Court (A071/22)</td> </tr> <tr> <td>43 Donsgrove Court (A061/22)</td> <td>23 Donsgrove Court (A072/22)</td> </tr> <tr> <td>47 Donsgrove Court (A062/22)</td> <td>28 Donsgrove Court (A073/22)</td> </tr> <tr> <td>7 Donsgrove Court (A065/22)</td> <td>31 Donsgrove Court (A074/22)</td> </tr> <tr> <td>11 Donsgrove Court (A066/22)</td> <td>16 Donsgrove Court (A110/22)</td> </tr> </table>	32 Donsgrove Court (A056/22)	15 Donsgrove Court (A067/22)	35 Donsgrove Court (A057/22)	19 Donsgrove Court (A068/22)	36 Donsgrove Court (A058/22)	20 Donsgrove Court (A069/22)	39 Donsgrove Court (A059/22)	24 Donsgrove Court (A070/22)	40 Donsgrove Court (A060/22)	27 Donsgrove Court (A071/22)	43 Donsgrove Court (A061/22)	23 Donsgrove Court (A072/22)	47 Donsgrove Court (A062/22)	28 Donsgrove Court (A073/22)	7 Donsgrove Court (A065/22)	31 Donsgrove Court (A074/22)	11 Donsgrove Court (A066/22)	16 Donsgrove Court (A110/22)
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ZONING DESIGNATION:	<p>All properties except 7 Donsgrove Court (A065/22):</p> <p>The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.</p> <p>The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.</p> <p>7 Donsgrove Court (A065/22):</p> <p>The subject lands are zoned R4A(EN) – Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.</p> <p>The subject lands are zoned RV4, Residential Urban Village Zone Four, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.</p>																		
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ("VOP 2010"): "Low-Rise Residential"																		
RELATED DEVELOPMENT APPLICATIONS: *May include related applications for minor variance, consent, site plan, zoning amendments etc.	The subject properties are currently vacant lots that were created in 2005 through the registration of subdivision 65M-3808.																		
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is requested to permit the construction eighteen (18) proposed single family dwellings on Donsgrove Court.																		

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Received to Date

Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date**.

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant / Authorized Agent	Evans Planning	8481 Keele Street, Unit 12	02/28/2022	Justification Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None



**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATIONS
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RELATED DEVELOPMENT APPLICATIONS:	The subject properties are currently vacant lots that were created in 2005 through the registration of subdivision 65M-3808.																		
PROPOSAL:	Relief from the Zoning By-law is requested to permit the construction eighteen (18) proposed single family dwellings on Donsgrove Court.																		

The following variances are being requested from the City's Zoning By-law to accommodate the above proposal:

32 Donsgrove Court (A056/22):

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v)(1)]	To permit a minimum of 47% of the front yard to be landscaped.

35 Donsgrove Court (A057/22):

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v)(1)]	To permit a minimum of 44.13% of the front yard to be landscaped.

36 Donsgrove Court (A058/22):

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v)(1)]	To permit a minimum of 47.02% of the front yard to be landscaped.

39 Donsgrove Court (A059/22):

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v)(1)]	To permit a minimum of 46.61%% of the front yard to be landscaped.

40 Donsgrove Court (A060/22):

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v)(1)]	To permit a minimum of 46.68% of the front yard to be landscaped.

43 Donsgrove Court (A061/22):

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v)(1)]	To permit a minimum of 46.61% of the front yard to be landscaped.

47 Donsgrove Court (A062/22)

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f) v)(1)]	To permit a minimum of 44.82% of the front yard to be landscaped.

7 Donsgrove Court (A065/22):

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

11 Donsgrove Court (A066/22):

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

15 Donsgrove Court (A067/22):

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

19 Donsgrove Court (A068/22):

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

20 Donsgrove Court (A069/22)

	Zoning By-law 1-88	Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v)(1)]	To permit a minimum of 47.61% of the front yard to be landscaped.

24 Donsgrove Court (A070/22)

	Zoning By-law 1-88	Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v)(1)]	To permit a minimum of 47.2% of the front yard to be landscaped.

27 Donsgrove Court (A071/22)

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

23 Donsgrove Court (A072/22)

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

28 Donsgrove Court (A073/22)

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

31 Donsgrove Court (A074/22)

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).
2	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v)(1)]	To permit a minimum of 45.95% of the front yard to be landscaped.

16 Donsgrove Court (A110/22)

#	Zoning By-law 1-88	Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v)(1)]	To permit a minimum of 47.51% of the front yard to be landscaped.

HEARING INFORMATION

Date & Time of Hearing:	Thursday, May 5, 2022 at 6:00 p.m.
Watch the hearing live at: Vaughan.ca/LiveCouncil	

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

INTRODUCTION

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	April 21, 2022
Date Applicant Confirmed Posting of Sign:	April 4, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Front yard landscaping reduced due to curve in road.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

**See Schedule B for Development Engineering Comments

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments no concerns.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments no concerns

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

Building Inspection Recommended Conditions of Approval:	None
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FIRE DEPARTMENT COMMENTS

No comments no concerns

Fire Department Recommended Conditions of Approval:	None
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering farzana.khan@vaughan.ca A056/22, A057/22, A058/22, A059/22, A060/22, A061/22, A062/22, A065/22, A066/22, A067/22, A068/22, A069/22, A070/22, A071/22, A072/22, A073/22, A074/22, A110/22	The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

IMPORTANT INFORMATION – PLEASE READ

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

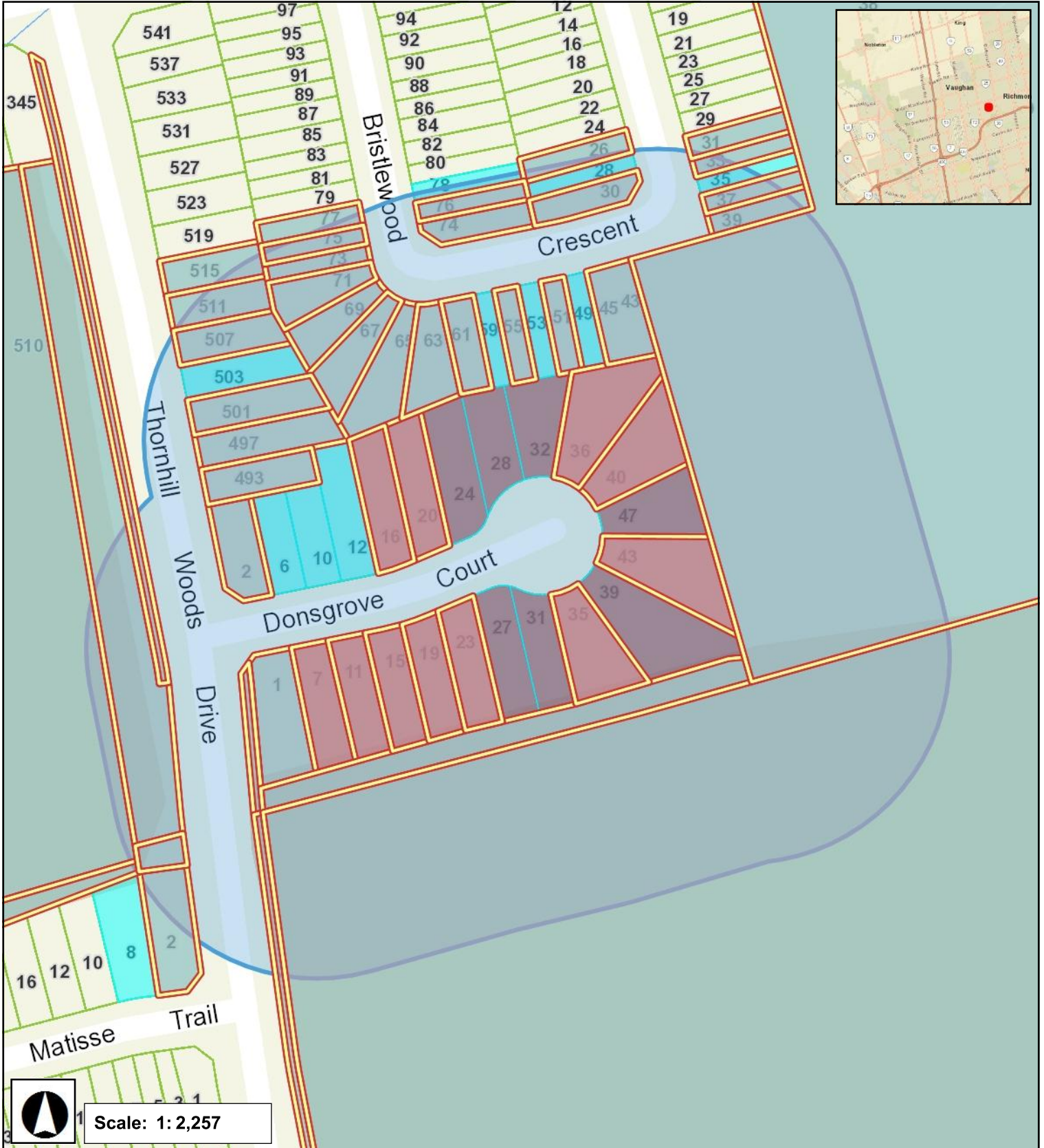
SCHEDULE A: DRAWINGS & PLANS



A056/22-A062/22 A065/22-A074/22&A110/22

7-47 16-40 DONSGROVE CRT, THORNHILL

Rutherford Road



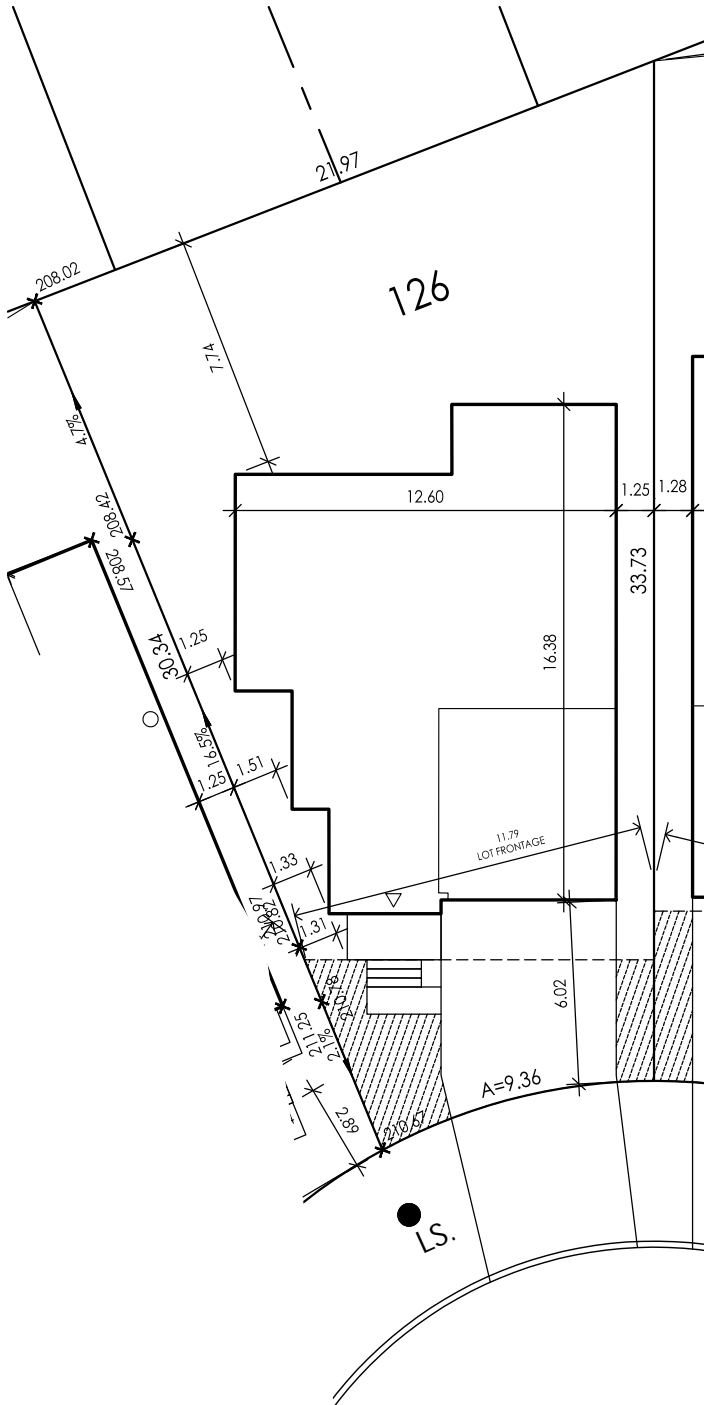
Langstaff Road

A056/22

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 126
LOT AREA(m) ²	480.98
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.79m
DECK LINE(m)	.



LEGEND

FFE FINISHED FLOOR ELEVATION TFW TOP OF FOUNDATION WALL TBS TOP OF BASEMENT SLAB USF UNDER SIDE FOOTING USFR UNDER SIDE FOOTING @ REAR USFG UNDER SIDE FOOTING @ GARAGE TEF TOP OF ENGINEERED FILL R NUMBER OF RISERS TO GRADE WOD WALKOUT DECK LOB LOOKOUT BASEMENT WOB WALK OUT BASEMENT WUB WALK UP BASEMENT REV REVERSE PLAN STD STANDARD PLAN Δ DOOR ○ WINDOW AC AIR CONDITIONING DS DOWN SPOUT TO SPLASH PAD DC DOWN SPOUT CONNECTED TO STIM → SWALE DIRECTION -X- CHAINLINK FENCE -XX- PRIVACY FENCE -XXX- SOUND BARRIER	SP SUMP PUMP BP BELL PEDESTAL CP CABLE PEDESTAL CB CATCH BASIN DBL. CATCH BASIN EF ENGINEERED FILL HC HYDRO CONNECTION FH FIRE HYDRANT SL STREET LIGHT MB MAIL BOX TR TRANSFORMER SC SEWER CONNECTIONS 2 LOTS SC1 SEWER CONNECTIONS 1 LOT WC WATER CONNECTION WVC WATER VALVE CHAMBER HYV HYDRANT AND VALVE GM GAS METER MS MANHOLE - STORM MS-S MANHOLE - SANITARY CHAINLINK FENCE PRIVACY FENCE SOUND BARRIER
---	--

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS

NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C OF A	14-JAN-22	D.H	RP
2	UPDATED STATS	16-FEB-22	D.H	RP

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 - UP TO 9" FOOTING, LOWER USF BY 0.07
 - 10" FOOTING, LOWER USF BY 0.10
 - 11" FOOTING, LOWER USF BY 0.13
 - 12" FOOTING, LOWER USF BY 0.15
 - 13" FOOTING, LOWER USF BY 0.18
 - 14" FOOTING, LOWER USF BY 0.20

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I, _____, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: _____
 FIRM BCIN: _____
 DATE: _____

SIGNATURE: _____

LANDSCAPE CALC.		
FRONT YARD AREA	50.70m ²	
LANDSCAPED AREA	24.20m ²	47.73%
SOFT LANDSCAPED	20.22m ²	83.55%
LOT FRONTAGE	11.79m	

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
**THORNHILL WOODS
 VAUGHAN**

DRAWING
SITE PLAN

DRAWN BY ---	SCALE 1:250
PROJECT No. 21080	LOT NUMBER LOT 126

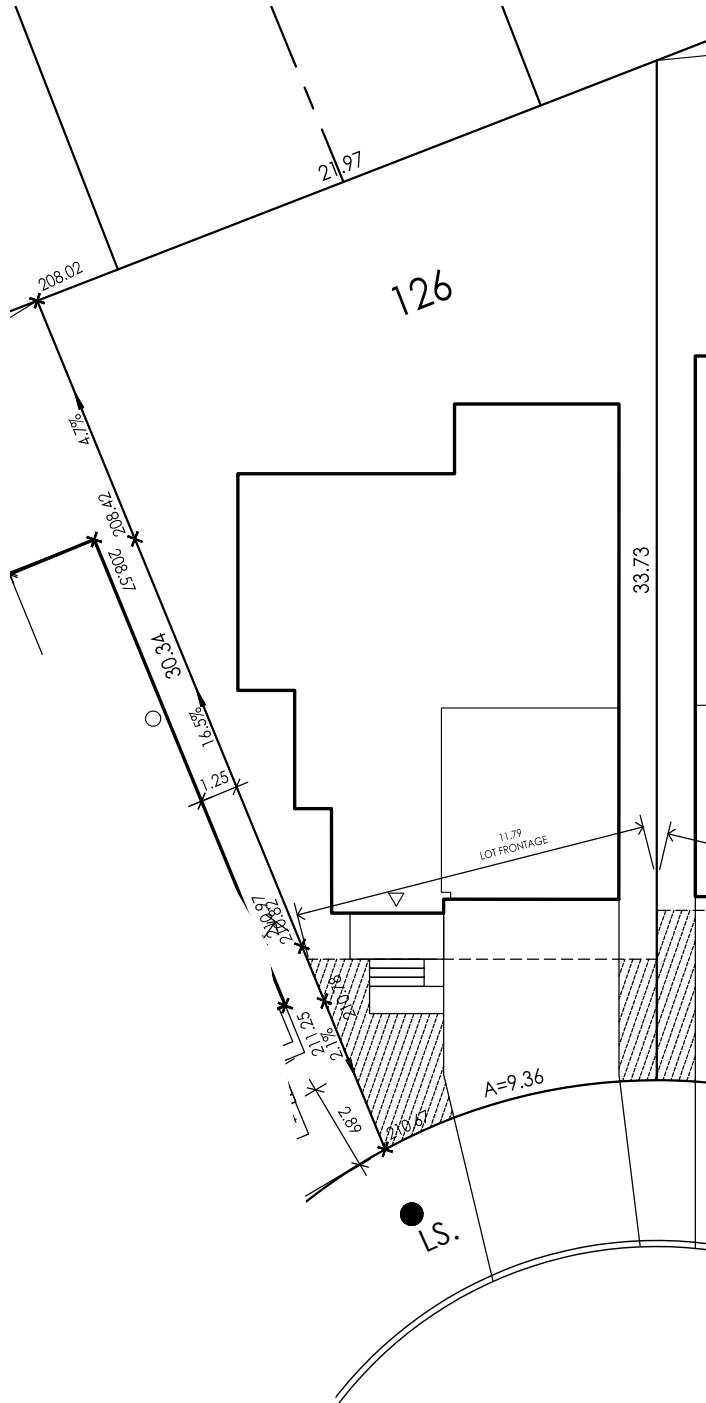
NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 126
LOT AREA(m) ²	480.98
BLDG AREA(m) ²	
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.79m
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION	SPF SUMP PUMP
TFW TOP OF FOUNDATION WALL	BP BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	CP CABLE PEDESTAL
USF UNDER SIDE FOOTING	CB CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	DBL CB DBL CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	EF ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	HC HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	HD FIRE HYDRANT
WOD WALKOUT DECK	SL STREET LIGHT
LOB LOOKOUT BASEMENT	MB MAIL BOX
WOB WALK OUT BASEMENT	TR TRANSFORMER
WUB WALK UP BASEMENT	SC2 SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	SC1 SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	WC WATER CONNECTION
△ DOOR	WVC WATER VALVE CHAMBER
○ WINDOW	HYD HYDRANT AND VALVE
AC AIR CONDITIONING	HM HYDRO METER
DS DOWN SPOUT TO SPLASH PAD	GM GAS METER
DSM DOWN SPOUT CONNECTED TO STIM	MS MANHOLE - STORM
→ SWALE DIRECTION	MS-S MANHOLE - SANITARY
-X- CHAINLINK FENCE	
-XX- PRIVACY FENCE	
-XXX- SOUND BARRIER	
	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.



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 - 11" FOOTING, LOWER USF BY 0.13
 - 12" FOOTING, LOWER USF BY 0.15
 - 13" FOOTING, LOWER USF BY 0.18
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QUALIFIED DESIGNER BCIN:
 FIRM BCIN:
 DATE:
 SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
**THORNHILL WOODS
 VAUGHAN**

DRAWING
SITE PLAN

LANDSCAPE CALC.

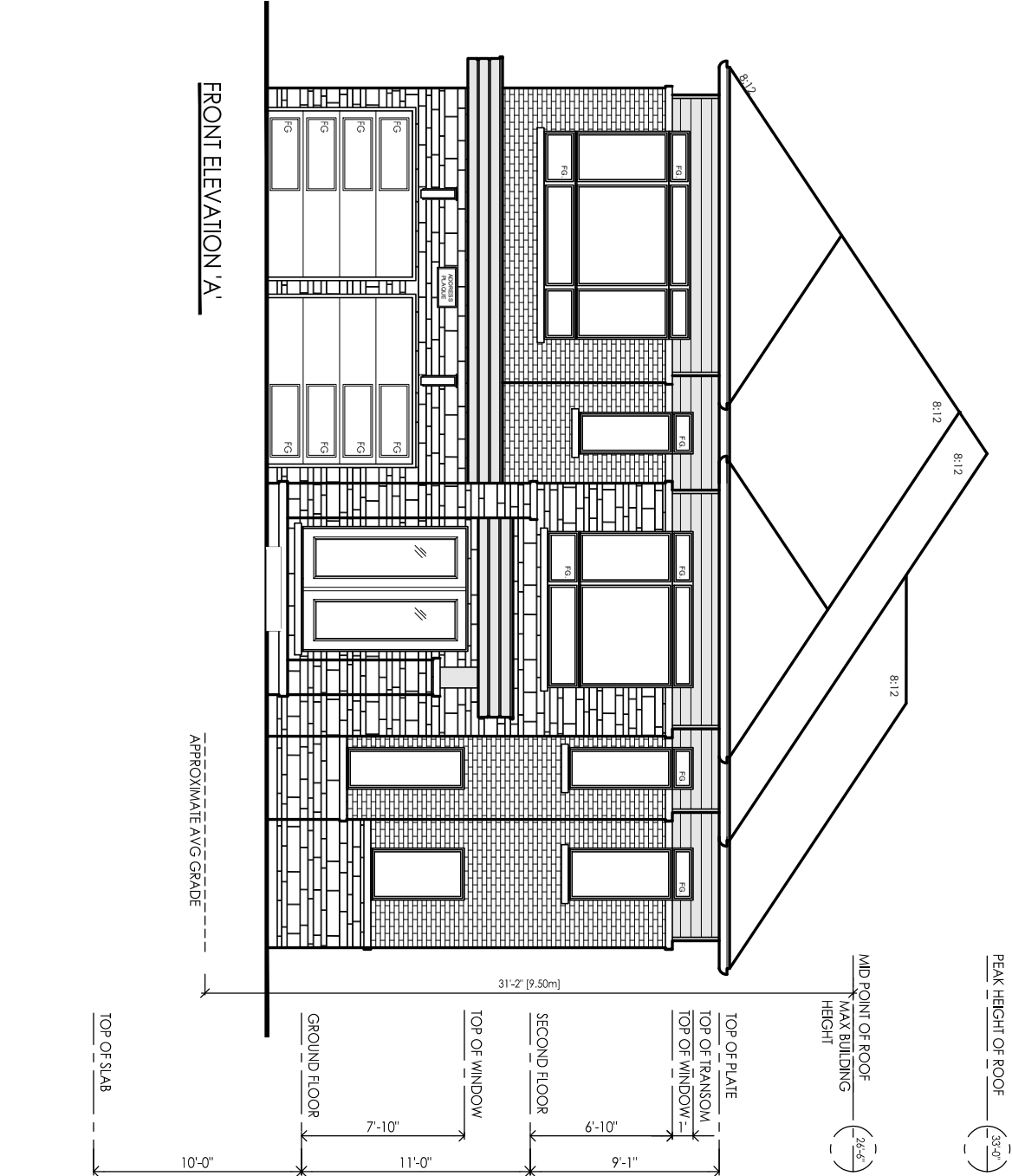
FRONT YARD AREA	50.70m ²	
LANDSCAPED AREA	24.20m ²	47.73%
SOFT LANDSCAPED	20.22m ²	83.55%
LOT FRONTAGE	11.79m	

DRAWN BY	SCALE
--	1:250
PROJECT No.	LOT NUMBER
21080	LOT 126

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY:

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revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22

Client: **Vogue Development Group**

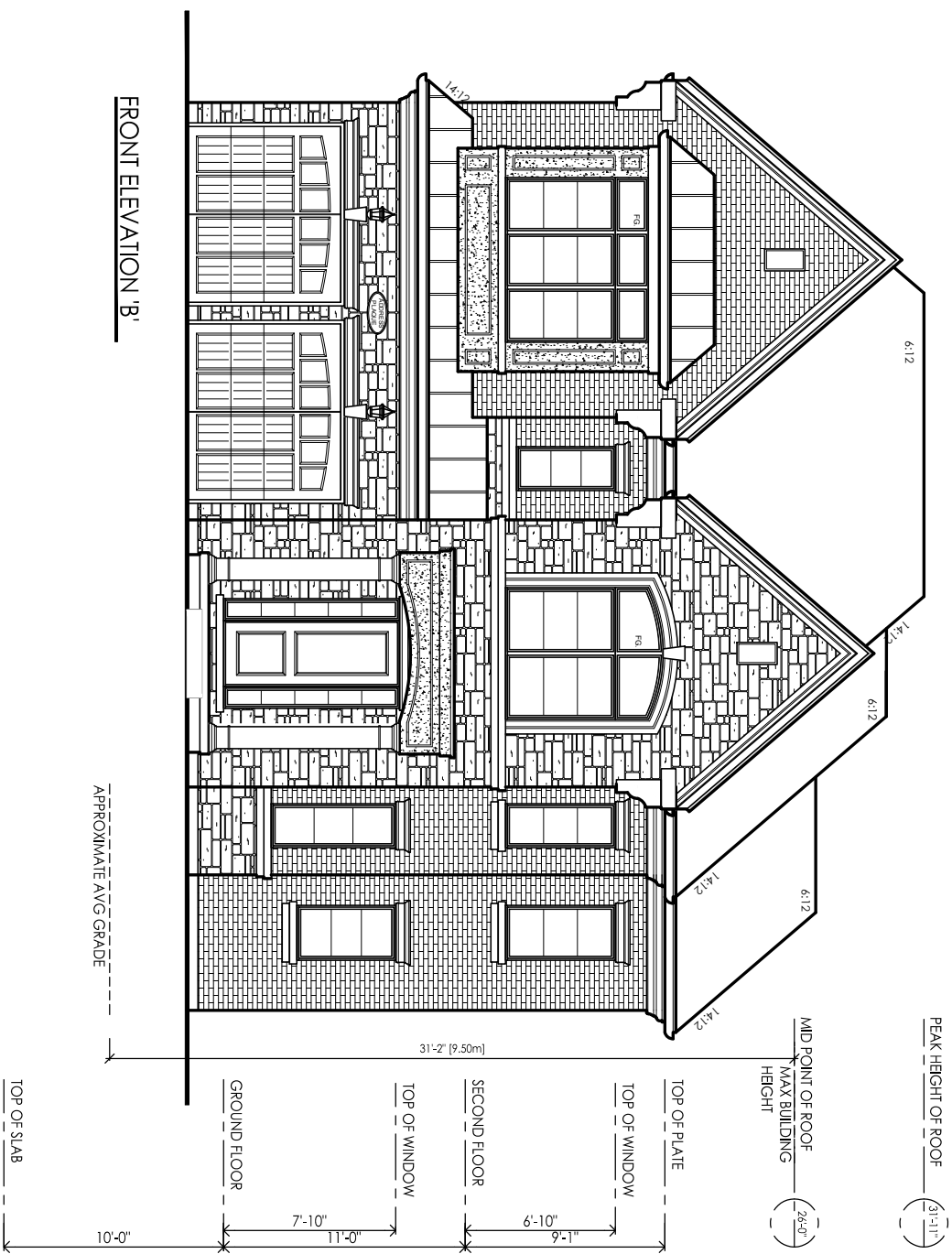
project: **Thornhill Woods**
Vaughan, City of

model: **40-23**

project #: **21080**

scale: **1/8" = 1'0"**

page: **B4**



W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: 

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client Vogue Development Group

project Thornhill Woods
Vaughan, City of

model 40-23

project # 21080

scale 1/8" = 1'0"

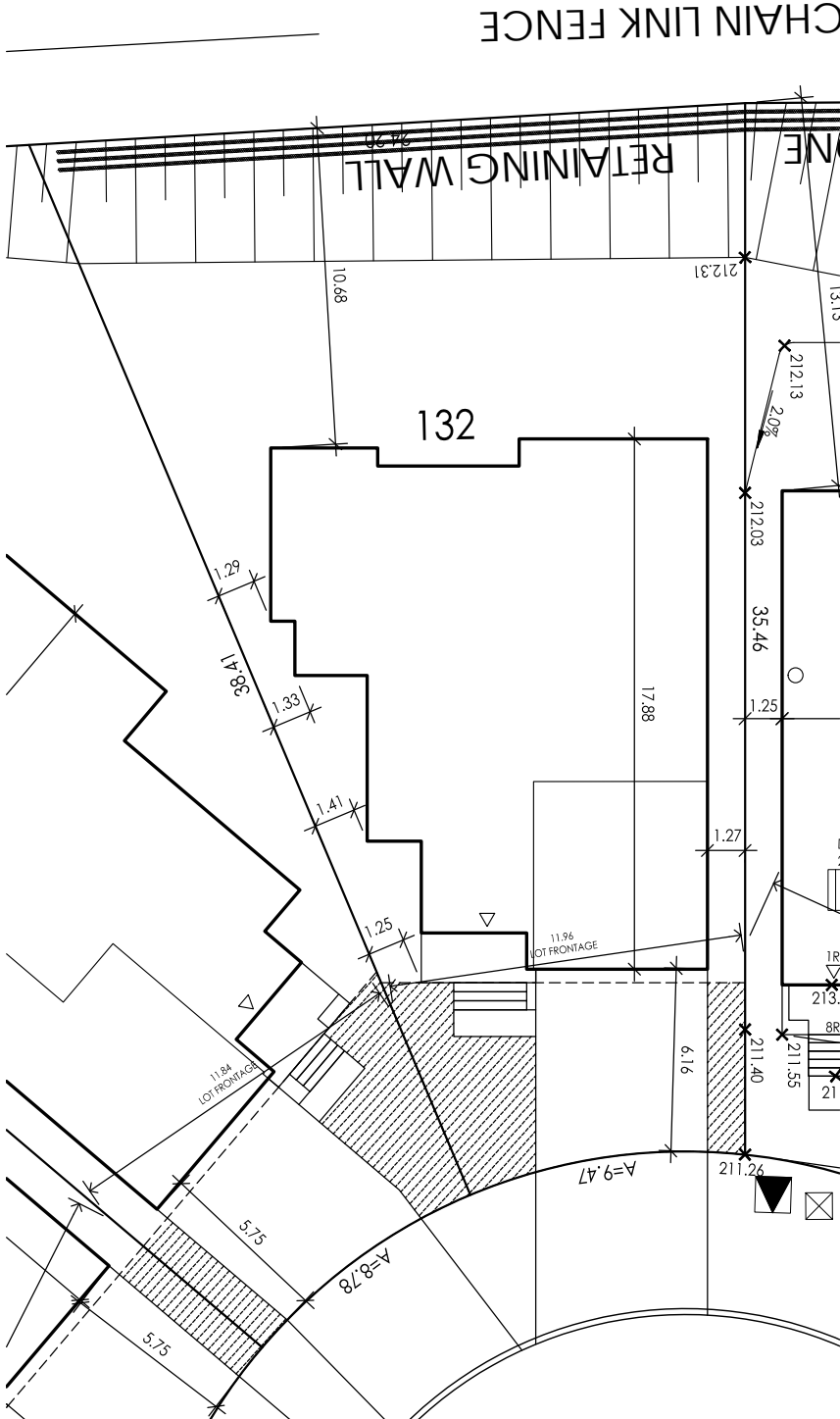
page B8

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22

A057/22

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 132
LOT AREA(m) ²	598.81
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.96
DECK LINE(m)	.



LEGEND	
FFE FINISHED FLOOR ELEVATION	SUMP PUMP
TFW TOP OF FOUNDATION WALL	BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	CABLE PEDESTAL
USF UNDER SIDE FOOTING	CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	DBL. CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	FIRE HYDRANT
WOD WALKOUT DECK	STREET LIGHT
LOB LOOKOUT BASEMENT	MAIL BOX
WOB WALK OUT BASEMENT	TRANSFORMER
WUB WALK UP BASEMENT	SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	WATER CONNECTION
△ DOOR	WATER VALVE CHAMBER
○ WINDOW	HYDRANT AND VALVE
AIR CONDITIONING	HYDRO METER
DOWN SPOUT TO SPLASH PAD	GAS METER
DOWN SPOUT CONNECTED TO STIM	MANHOLE - STORM
SWALE DIRECTION	MANHOLE - SANITARY
-X-	CHAINLINK FENCE
-XX-	PRIVACY FENCE
-XXX-	SOUND BARRIER

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
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2	UPDATED STATS	16-FEB-22	D.H	RP

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QUALIFIED DESIGNER BCIN:
 FIRM BCIN:
 DATE:

 SIGNATURE:

LANDSCAPE CALC.		
FRONT YARD AREA	67.07m2	
LANDSCAPED AREA	29.60m2	44.13%
SOFT LANDSCAPED	27.93m2	94.36%
LOT FRONTAGE	11.96m	

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
THORNHILL WOODS VAUGHAN

DRAWING
SITE PLAN

DRAWN BY ---	SCALE 1:250
PROJECT No. 21080	LOT NUMBER LOT 132

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

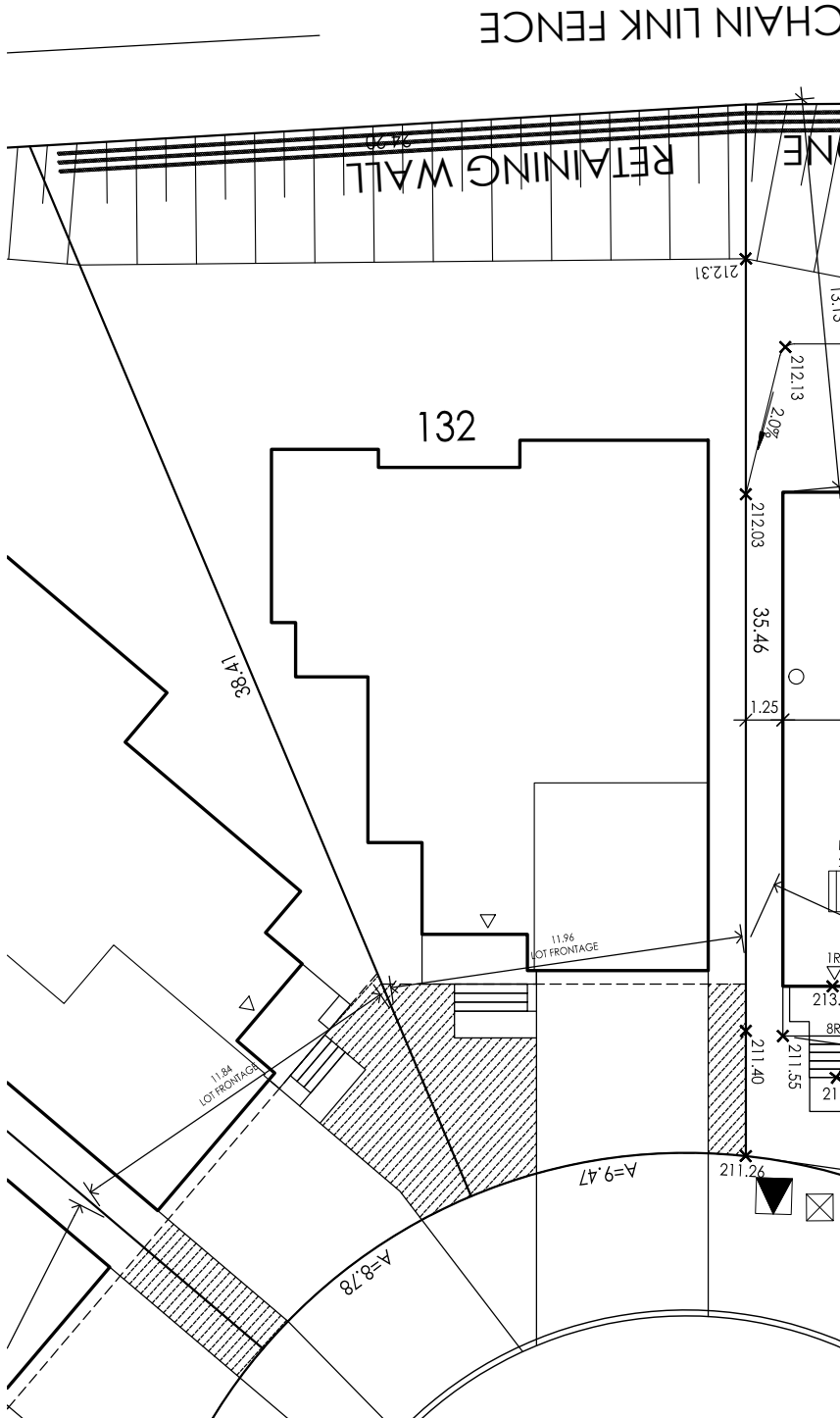
BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 132
LOT AREA(m) ²	598.81
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.96
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION	[SP] SUMP PUMP
TFW TOP OF FOUNDATION WALL	[BP] BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	[CP] CABLE PEDESTAL
USF UNDER SIDE FOOTING	[CB] CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	[DBL] DBL. CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	[EF] ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	[HC] HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	[FH] FIRE HYDRANT
WOD WALKOUT DECK	[SL] STREET LIGHT
LOB LOOKOUT BASEMENT	[MB] MAIL BOX
WOB WALK OUT BASEMENT	[TR] TRANSFORMER
WUB WALK UP BASEMENT	[SC2] SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	[SC1] SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	[WC] WATER CONNECTION
△ DOOR	[WVC] WATER VALVE CHAMBER
○ WINDOW	[HV] HYDRANT AND VALVE
[AC] AIR CONDITIONING	[HM] HYDRO METER
[DS] DOWN SPOUT TO SPLASH PAD	[GM] GAS METER
[DSC] DOWNSPOUT CONNECTED TO STIM	[MS] MANHOLE - STORM
[SD] SWALE DIRECTION	[MS-S] MANHOLE - SANITARY
---	[X] CHAINLINK FENCE
---	[XX] PRIVACY FENCE
---	[XXX] SOUND BARRIER

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.



ISSUED OR REVISION COMMENTS

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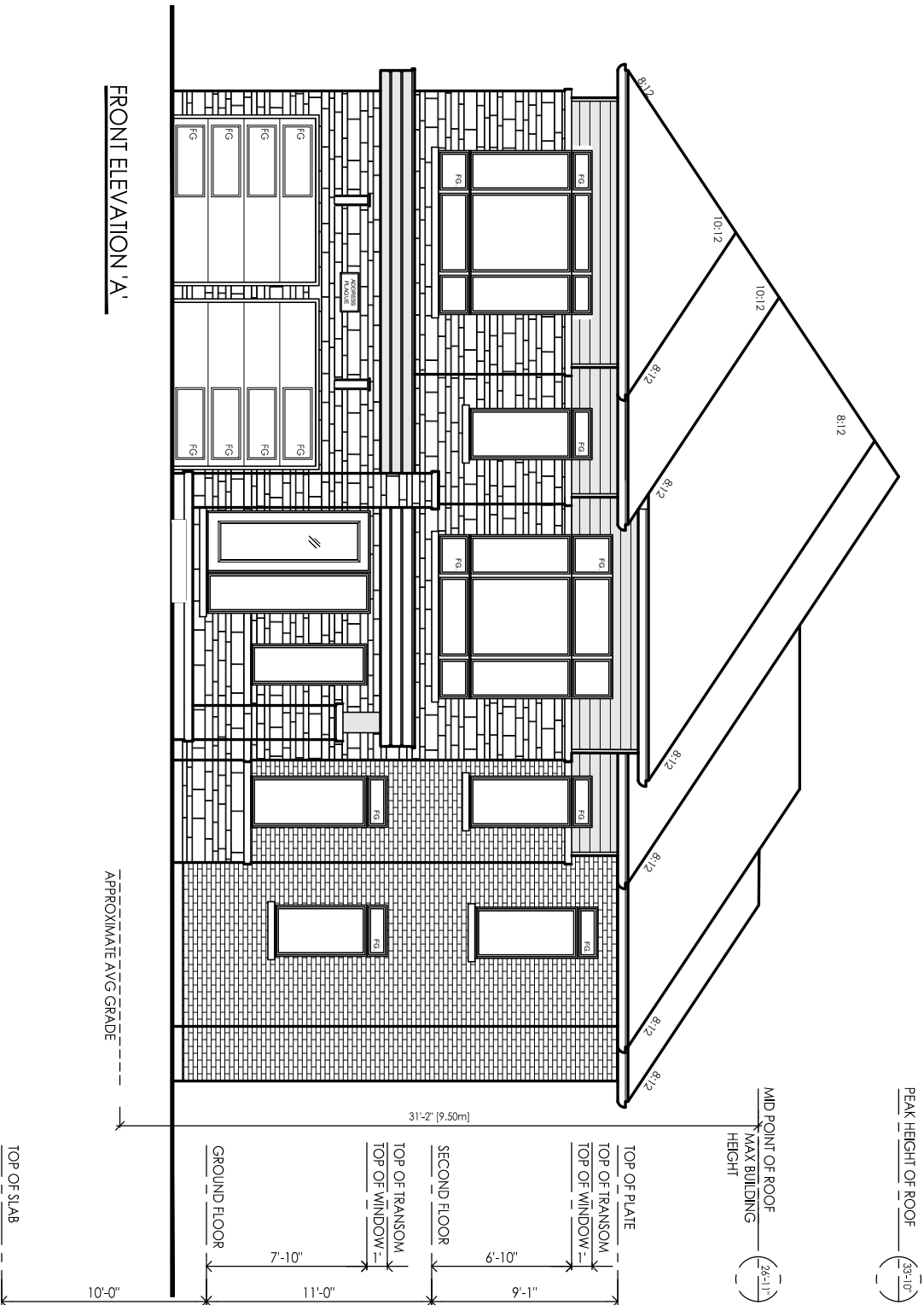
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 QUALIFIED DESIGNER BCIN:
 FIRM BCIN:
 DATE:
 SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP
 PROJECT/LOCATION
THORNHILL WOODS VAUGHAN
 DRAWING
SITE PLAN

DRAWN BY	SCALE
---	1:250
PROJECT No.	LOT NUMBER
21080	LOT 132

FRONT YARD AREA	67.07m2	
LANDSCAPED AREA	29.60m2	44.13%
SOFT LANDSCAPED	27.93m2	94.36%
LOT FRONTAGE	11.96m	



PEAK HEIGHT OF ROOF
33'-10"

MID POINT OF ROOF
MAX BUILDING HEIGHT
26'-11"

31'-2" (9.50m)

TOP OF PLATE
TOP OF TRANSOM
TOP OF WINDOW -- 9'-1"
SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW -- 11'-0"
GROUND FLOOR
TOP OF SLAB
10'-0"

FRONT ELEVATION 'A'

APPROXIMATE AVG GRADE

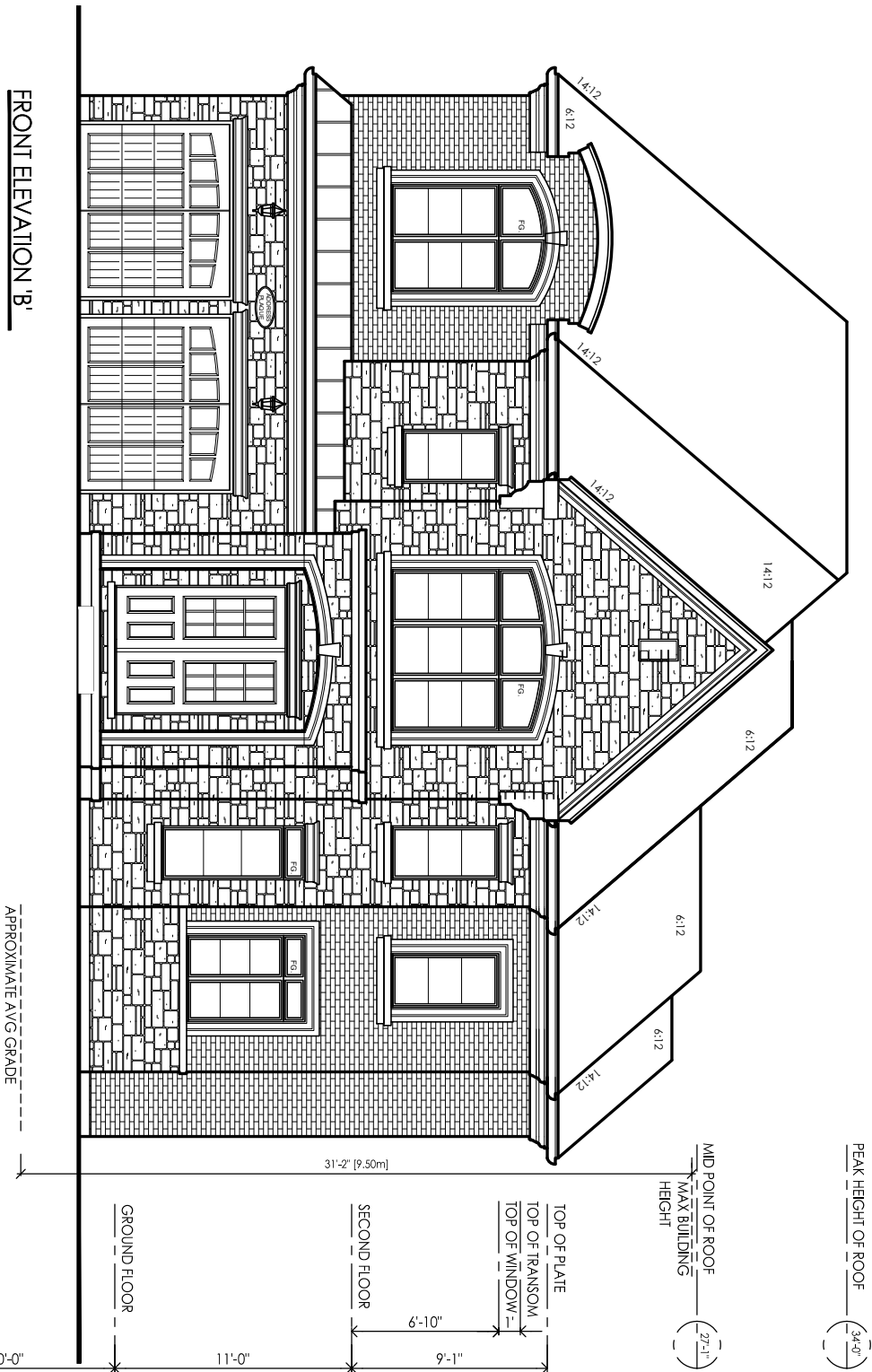


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DESIGN CONTROL REVIEW
FEB. 23, 2022
PRELIM BY: *[Signature]*
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revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-02-22

client **Vogue Development Group**
project **Thornhill Woods**
model **Vaughan, City of**
40-24
project # **21080**
scale **1/8" = 1'0"**
page **B4**



FRONT ELEVATION 'B'

APPROXIMATE AVG. GRADE

PEAK HEIGHT OF ROOF

34'-0"

MID POINT OF ROOF
MAX BUILDING
HEIGHT

27'-1"

31'-2" (9.50m)

SECOND FLOOR

11'-0"

TOP OF PLATE

TOP OF TRANSOM

TOP OF WINDOW

6'-10"

9'-1"

GROUND FLOOR

10'-0"

TOP OF SLAB

10'-0"



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Tel: 905-738-3177
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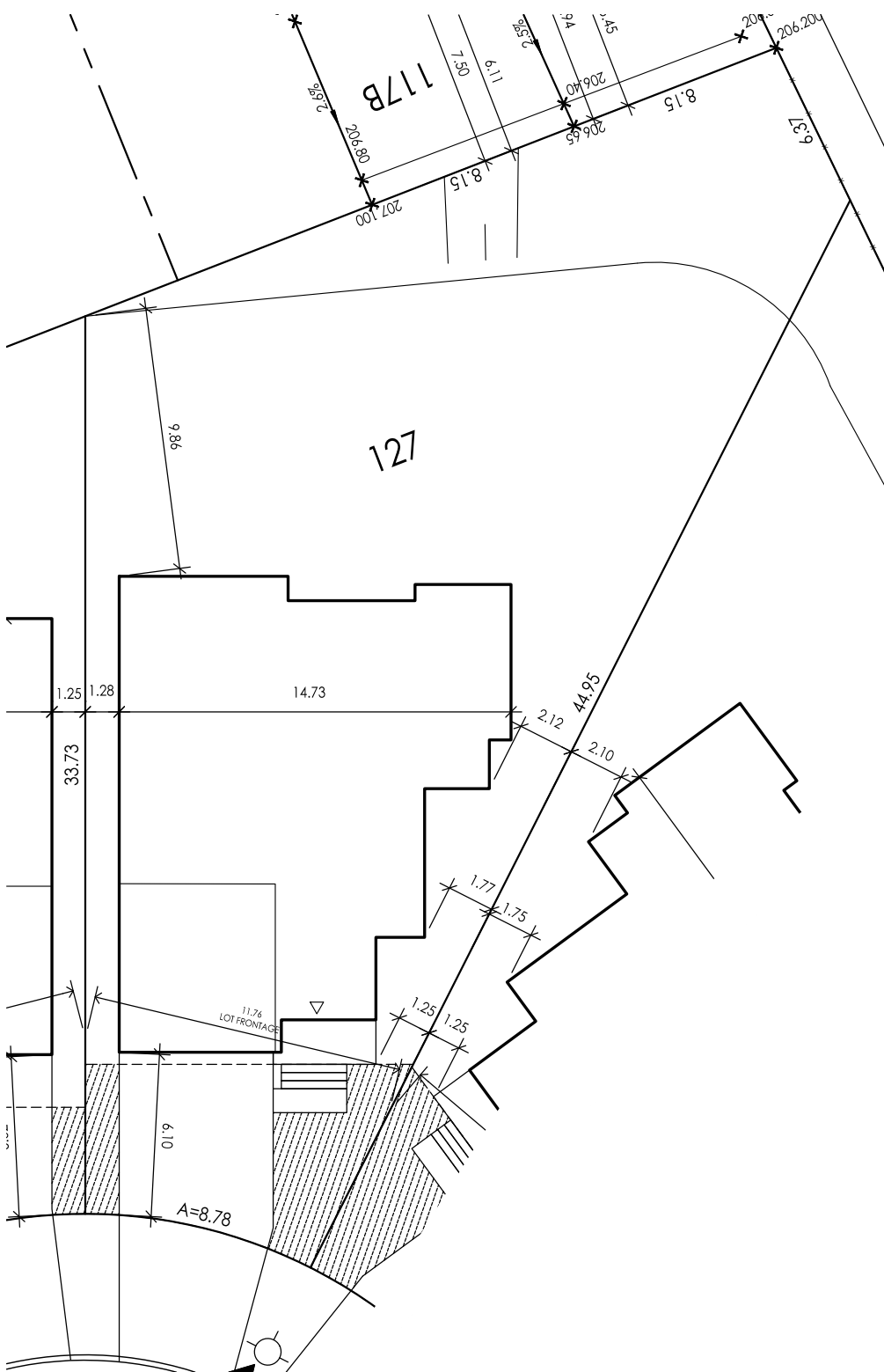
client **Vogue Development Group**
project **Thornhill Woods**
model **Vaughan, City of**
40-24
project # **21080**
scale **1/8" = 1'-0"**
page **B18**

A058/22

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BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 127
LOT AREA(m) ²	760.68
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.76
DECK LINE(m)	.



LEGEND

FFE	FINISHED FLOOR ELEVATION	SP	SUMP PUMP
TFW	TOP OF FOUNDATION WALL	B	BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB	CP	CABLE PEDESTAL
USF	UNDER SIDE FOOTING	C	CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR	DBL C	DBL. CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE	E	ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL	H	HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE	FH	FIRE HYDRANT
WOD	WALKOUT DECK	SL	STREET LIGHT
LOB	LOOKOUT BASEMENT	M	MAIL BOX
WOB	WALK OUT BASEMENT	T	TRANSFORMER
WUB	WALK UP BASEMENT	SC2	SEWER CONNECTIONS 2 LOTS
REV	REVERSE PLAN	SC1	SEWER CONNECTIONS 1 LOT
STD	STANDARD PLAN	W	WATER CONNECTION
△	DOOR	WC	WATER VALVE CHAMBER
○	WINDOW	HV	HYDRANT AND VALVE
AC	AIR CONDITIONING	GM	HYDRO METER
DS	DOWN SPOUT TO SPLASH PAD	GS	GAS METER
DC	DOWN SPOUT CONNECTED TO STIM	M	MANHOLE - STORM
→	SWALE DIRECTION	MS	MANHOLE - SANITARY
-X-	CHAINLINK FENCE		
-XX-	PRIVACY FENCE		
-XXX-	SOUND BARRIER		
-	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.		

ISSUED OR REVISION COMMENTS

NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C OF A	14-JAN-22	D.H	RP
2	UPDATED STATS	16-FEB-22	D.H	RP

IMPORTANT FOOTING NOTE:
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- LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".
- IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:
- UP TO 9" FOOTING, LOWER USF BY 0.07
- 10" FOOTING, LOWER USF BY 0.10
- 11" FOOTING, LOWER USF BY 0.13
- 12" FOOTING, LOWER USF BY 0.15
- 13" FOOTING, LOWER USF BY 0.18
- 14" FOOTING, LOWER USF BY 0.20

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WWW.THEPLUSGROUP.CA

I, _____ DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.
QUALIFIED DESIGNER BCIN: _____
FIRM BCIN: _____
DATE: _____
SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP
PROJECT/LOCATION
**THORNHILL WOODS
VAUGHAN**
DRAWING
SITE PLAN

FRONT YARD AREA	67.84m ²	
LANDSCAPED AREA	31.90m ²	47.02%
SOFT LANDSCAPED	27.20m ²	85.27%
LOT FRONTAGE	11.76m	

DRAWN BY	SCALE
---	1:250
PROJECT No. 21080	LOT NUMBER LOT 127

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 127
LOT AREA(m) ²	760.68
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.76
DECK LINE(m)	.

LEGEND

FFE	FINISHED FLOOR ELEVATION	[Symbol]	SUMP PUMP
TFW	TOP OF FOUNDATION WALL	[Symbol]	BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB	[Symbol]	CABLE PEDESTAL
USF	UNDER SIDE FOOTING	[Symbol]	CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR	[Symbol]	DBL. CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE	[Symbol]	ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL	[Symbol]	HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE	[Symbol]	FIRE HYDRANT
WOD	WALKOUT DECK	[Symbol]	STREET LIGHT
LOB	LOOKOUT BASEMENT	[Symbol]	MAIL BOX
WOB	WALK OUT BASEMENT	[Symbol]	TRANSFORMER
WUB	WALK UP BASEMENT	[Symbol]	SEWER CONNECTIONS 2 LOTS
REV	REVERSE PLAN	[Symbol]	SEWER CONNECTIONS 1 LOT
STD	STANDARD PLAN	[Symbol]	WATER CONNECTION
△	DOOR	[Symbol]	WATER VALVE CHAMBER
○	WINDOW	[Symbol]	HYDRANT AND VALVE
[Symbol]	AIR CONDITIONING	[Symbol]	HYDRO METER
[Symbol]	DOWN SPOUT TO SPLASH PAD	[Symbol]	GAS METER
[Symbol]	DOWN SPOUT CONNECTED TO STM	[Symbol]	MANHOLE - STORM
→	SWALE DIRECTION	[Symbol]	MANHOLE - SANITARY
---	CHAINLINK FENCE		
- - -	PRIVACY FENCE		
- - -	SOUND BARRIER		

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
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 - 13" FOOTING, LOWER USF BY 0.18
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 FIRM BCIN: _____
 DATE: _____

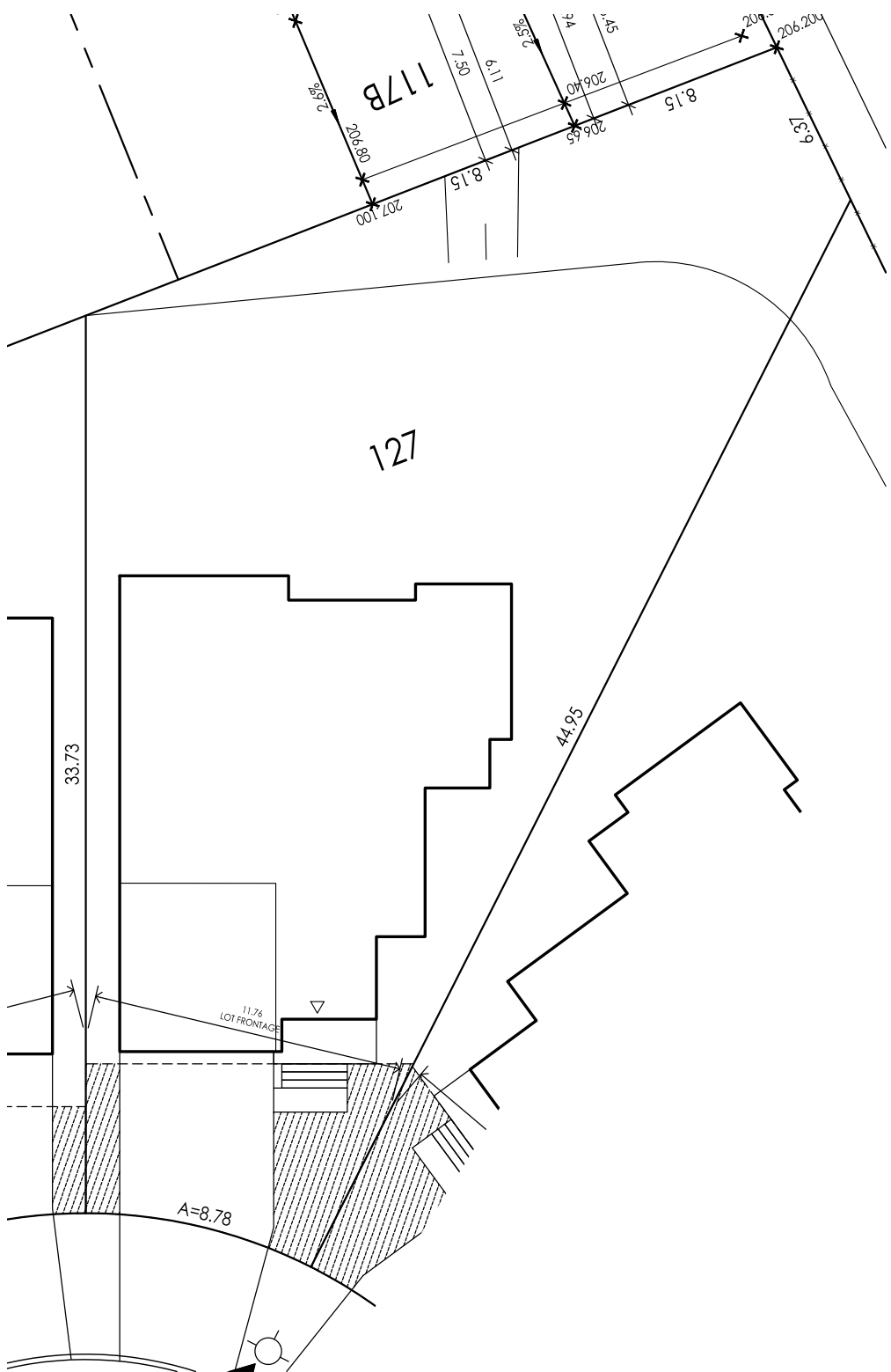
SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
THORNHILL WOODS VAUGHAN

DRAWING
SITE PLAN

DRAWN BY	SCALE
--	1:250
PROJECT No.	LOT NUMBER
21080	LOT 127

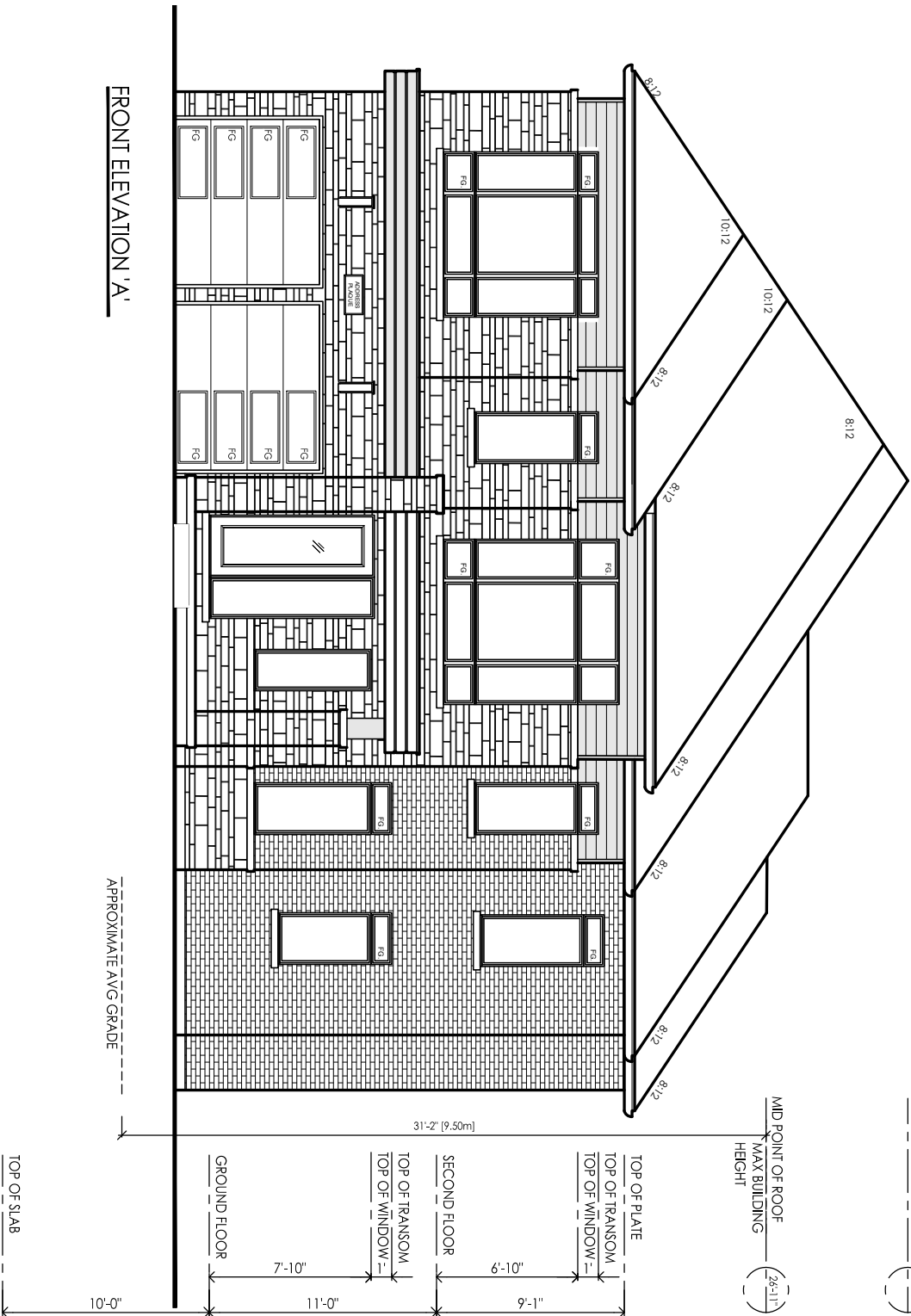


LANDSCAPE CALC.

FRONT YARD AREA	67.84m ²	
LANDSCAPED AREA	31.90m ²	47.02%
SOFT LANDSCAPED	27.20m ²	85.27%
LOT FRONTAGE	11.76m	

PEAK HEIGHT OF ROOF $(23'-10" \pm)$

MID POINT OF ROOF
MAX BUILDING HEIGHT $(26'-11" \pm)$



FRONT ELEVATION 'A'

APPROXIMATE AVG GRADE

31'-2" (9.50m)

TOP OF PLATE
TOP OF TRANSOM
TOP OF WINDOW \pm 9'-1"
SECOND FLOOR
TOP OF TRANSOM
TOP OF WINDOW \pm 6'-10"
GROUND FLOOR
TOP OF SLAB 10'-0"
7'-10"
11'-0"

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022
PRELIM BY: *[Signature]*
This stamp is only for the purposes of design control and carries no other professional obligations.

client
Vogue Development Group

project
Thornhill Woods

model
Vaughan, City of

40-24

project #
21080

scale
1/8" = 1'0"

page

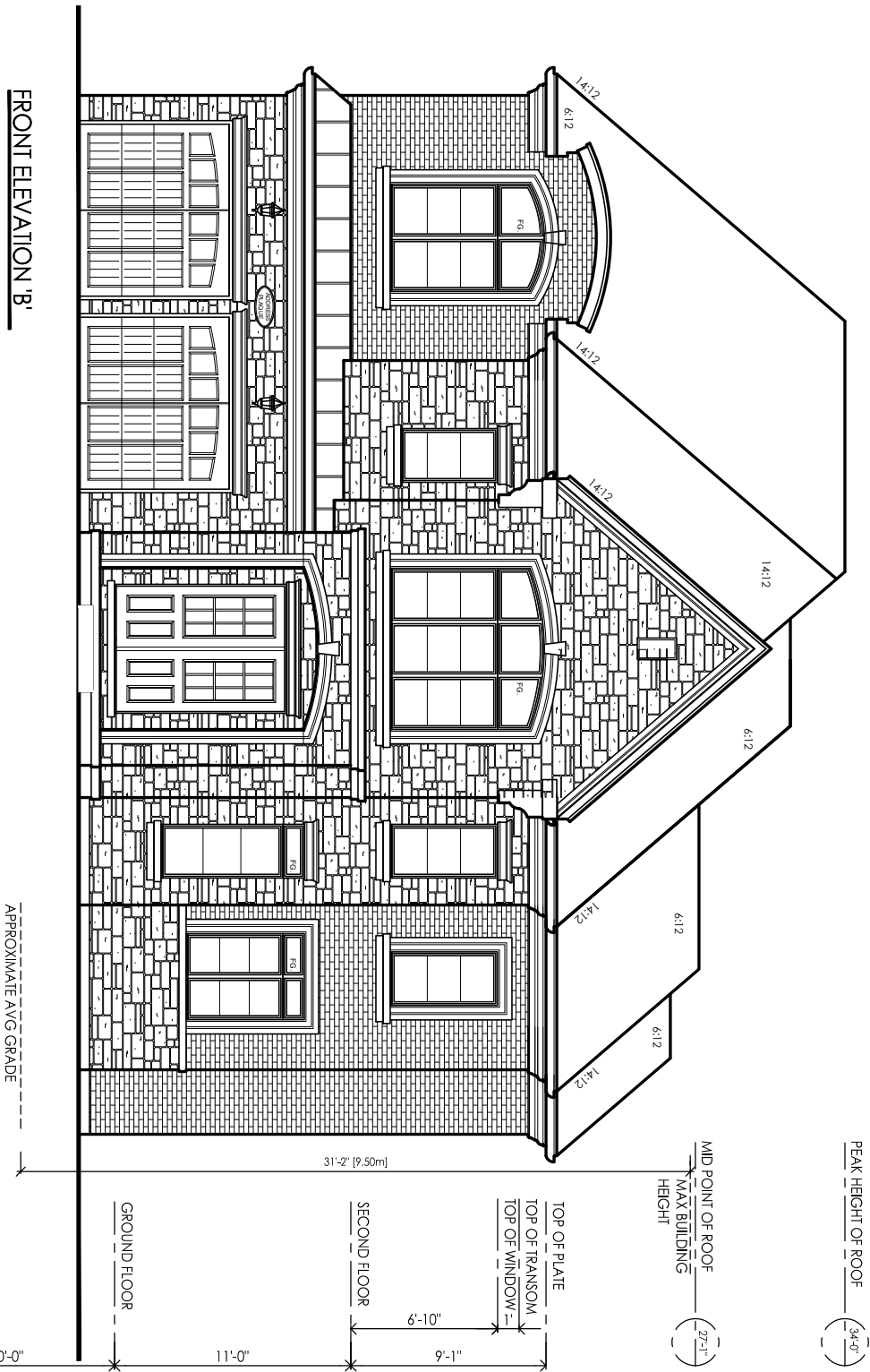
B4

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *[Signature]*

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revisions	initials	date

client **Vogue Development Group**

project **Thornhill Woods**
Vaughan, City of

model **40-24**

project # **21080**

scale **1/8" = 1'0"**

page **B18**

A059/22

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 131
LOT AREA(m) ²	908.53
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.84
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION	[Symbol]	SUMP PUMP
TFW TOP OF FOUNDATION WALL	[Symbol]	BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	[Symbol]	CABLE PEDESTAL
USF UNDER SIDE FOOTING	[Symbol]	CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	[Symbol]	DBL. CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	[Symbol]	ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	[Symbol]	FIRE HYDRANT
R NUMBER OF RISERS TO GRADE	[Symbol]	STREET LIGHT
WOD WALKOUT DECK	[Symbol]	MAIL BOX
LOB LOOKOUT BASEMENT	[Symbol]	TRANSFORMER
WOB WALK OUT BASEMENT	[Symbol]	SEWER CONNECTIONS 2 LOTS
WUB WALK UP BASEMENT	[Symbol]	SEWER CONNECTIONS 1 LOT
REV REVERSE PLAN	[Symbol]	WATER CONNECTION
STD STANDARD PLAN	[Symbol]	WATER VALVE CHAMBER
△ DOOR	[Symbol]	HYDRANT AND VALVE
○ WINDOW	[Symbol]	HYDRO METER
[Symbol] AIR CONDITIONING	[Symbol]	GAS METER
[Symbol] DOWN SPOUT TO SPLASH PAD	[Symbol]	MANHOLE - STORM
[Symbol] DOWNSPOUT CONNECTED TO STM	[Symbol]	MANHOLE - SANITARY
[Symbol] SWALE DIRECTION	[Symbol]	
[Symbol]	[Symbol]	CHAINLINK FENCE
[Symbol]	[Symbol]	PRIVACY FENCE
[Symbol]	[Symbol]	SOUND BARRIER

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS

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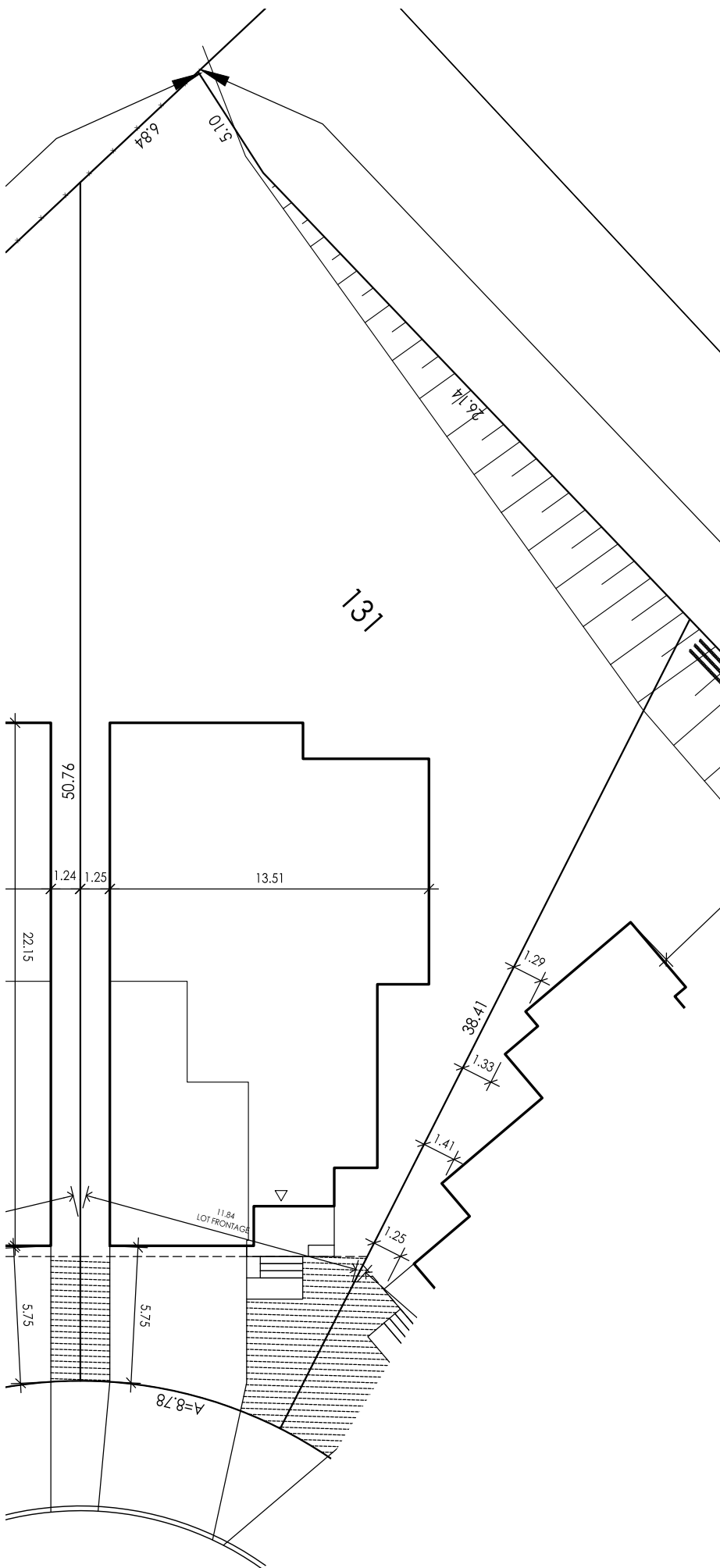
CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
THORNHILL WOODS VAUGHAN

DRAWING
SITE PLAN

DRAWN BY
 --- SCALE
 1:250

PROJECT No.
 21080 LOT NUMBER
 LOT 131



LANDSCAPE CALC.		
FRONT YARD AREA	63.51m ²	
LANDSCAPED AREA	29.60m ²	46.61%
SOFT LANDSCAPED	25.78m ²	87.09%
LOT FRONTAGE	11.84m	

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 131
LOT AREA(m) ²	908.53
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
NO. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.84
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION	[Symbol]	SUMP PUMP	[Symbol]
TFW TOP OF FOUNDATION WALL	[Symbol]	BELL PEDESTAL	[Symbol]
TBS TOP OF BASEMENT SLAB	[Symbol]	CABLE PEDESTAL	[Symbol]
USF UNDER SIDE FOOTING	[Symbol]	CATCH BASIN	[Symbol]
USFR UNDER SIDE FOOTING @ REAR	[Symbol]	DBL CATCH BASIN	[Symbol]
USFG UNDER SIDE FOOTING @ GARAGE	[Symbol]	ENGINEERED FILL	[Symbol]
TEF TOP OF ENGINEERED FILL	[Symbol]	HYDRO CONNECTION	[Symbol]
R NUMBER OF RISERS TO GRADE	[Symbol]	FIRE HYDRANT	[Symbol]
WOD WALKOUT DECK	[Symbol]	STREET LIGHT	[Symbol]
LOB LOOKOUT BASEMENT	[Symbol]	MAIL BOX	[Symbol]
WOB WALK OUT BASEMENT	[Symbol]	TRANSFORMER	[Symbol]
WUB WALK UP BASEMENT	[Symbol]	SEWER CONNECTIONS 2 LOTS	[Symbol]
REV REVERSE PLAN	[Symbol]	SEWER CONNECTIONS 1 LOT	[Symbol]
STD STANDARD PLAN	[Symbol]	WATER CONNECTION	[Symbol]
△ DOOR	[Symbol]	WATER VALVE CHAMBER	[Symbol]
○ WINDOW	[Symbol]	HYDRANT AND VALVE	[Symbol]
[Symbol] AIR CONDITIONING	[Symbol]	HYDRO METER	[Symbol]
[Symbol] DOWN SPOUT TO SPLASH PAD	[Symbol]	GAS METER	[Symbol]
[Symbol] DOWN SPOUT CONNECTED TO STM	[Symbol]	MANHOLE - STORM	[Symbol]
→ SWALE DIRECTION	[Symbol]	MANHOLE - SANITARY	[Symbol]

- - - - - X - - - - - CHAINLINK FENCE
 - - - - - XX - - - - - PRIVACY FENCE
 - - - - - XXX - - - - - SOUND BARRIER
 - - - - - FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS

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 FIRM BCIN: _____
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SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP

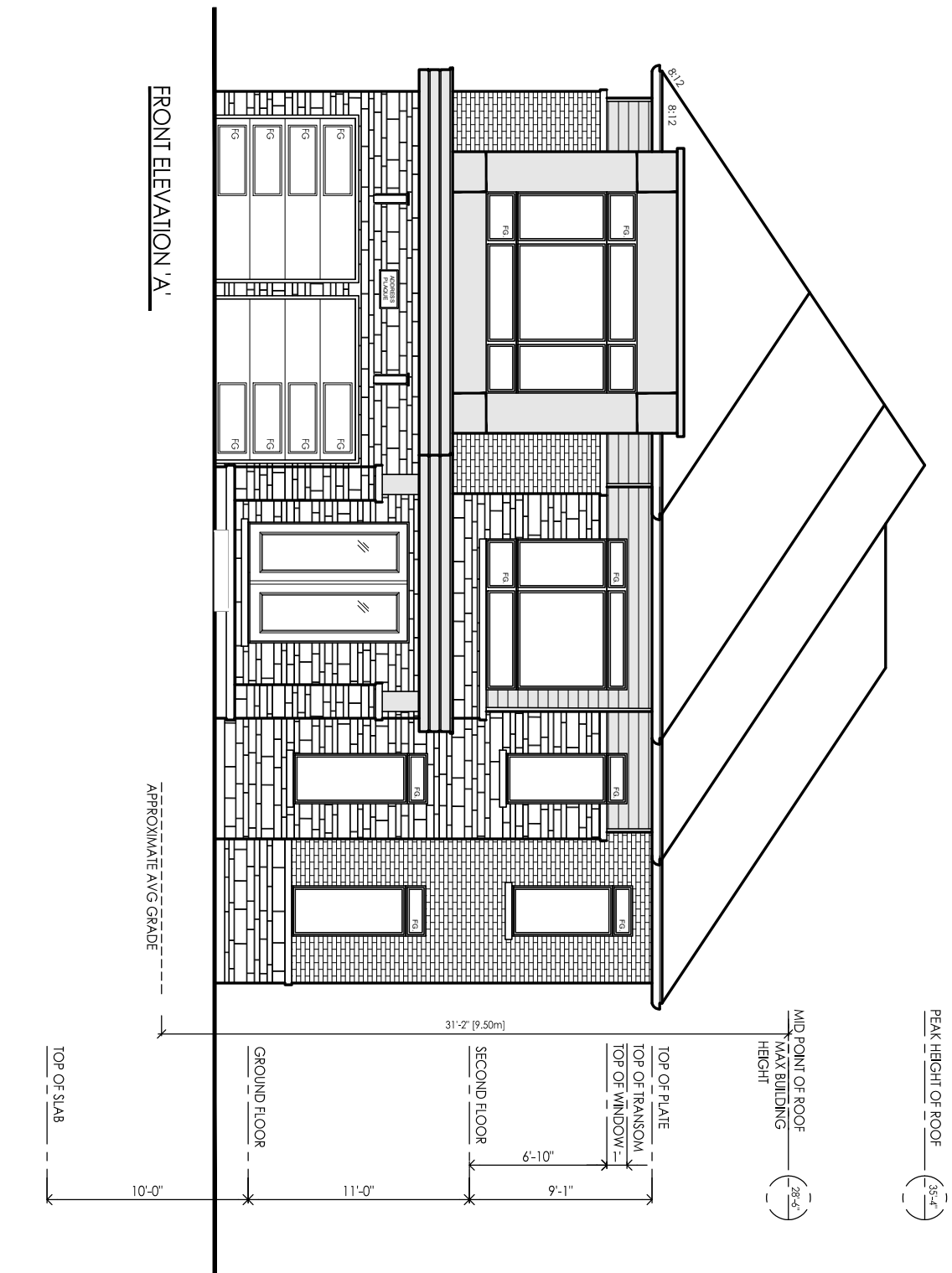
PROJECT/LOCATION
**THORNHILL WOODS
 VAUGHAN**

DRAWING
SITE PLAN

DRAWN BY	SCALE
---	1:250
PROJECT No.	LOT NUMBER
21080	LOT 131

LANDSCAPE CALC.		
FRONT YARD AREA	63.51m2	
LANDSCAPED AREA	29.60m2	46.61%
SOFT LANDSCAPED	25.78m2	87.09%
LOT FRONTAGE	11.84m	

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022
PRELIM BY: *[Signature]*
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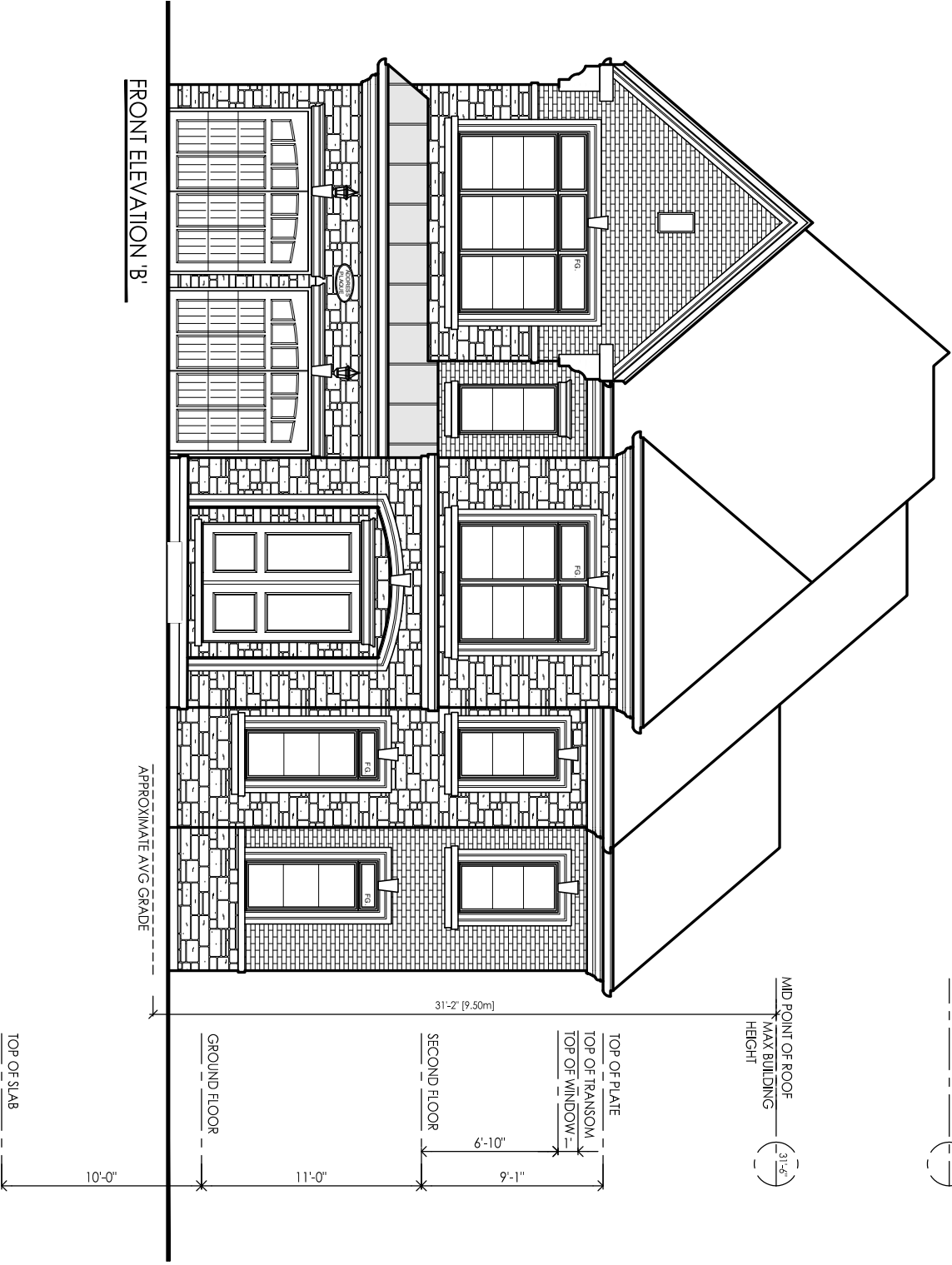


revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22
2 ISSUED FOR REVIEW	KC	23-08-22

client **Vogue Development Group**
project **Thornhill Woods**
model **Vaughan, City of**
40-25
project # **21080**
scale **1/8" = 1'0"**
page **B3**

PEAK HEIGHT OF ROOF $(40'-2")$

MID POINT OF ROOF
MAX BUILDING
HEIGHT $(31'-6")$



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DESIGN CONTROL REVIEW
FEB. 23, 2022
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client **Vogue Development Group**
project **Thornhill Woods**
model **Vaughan, City of**

40-25
project # **21080**
scale **1/8" = 1'0"**
page

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-03-22

A060/22

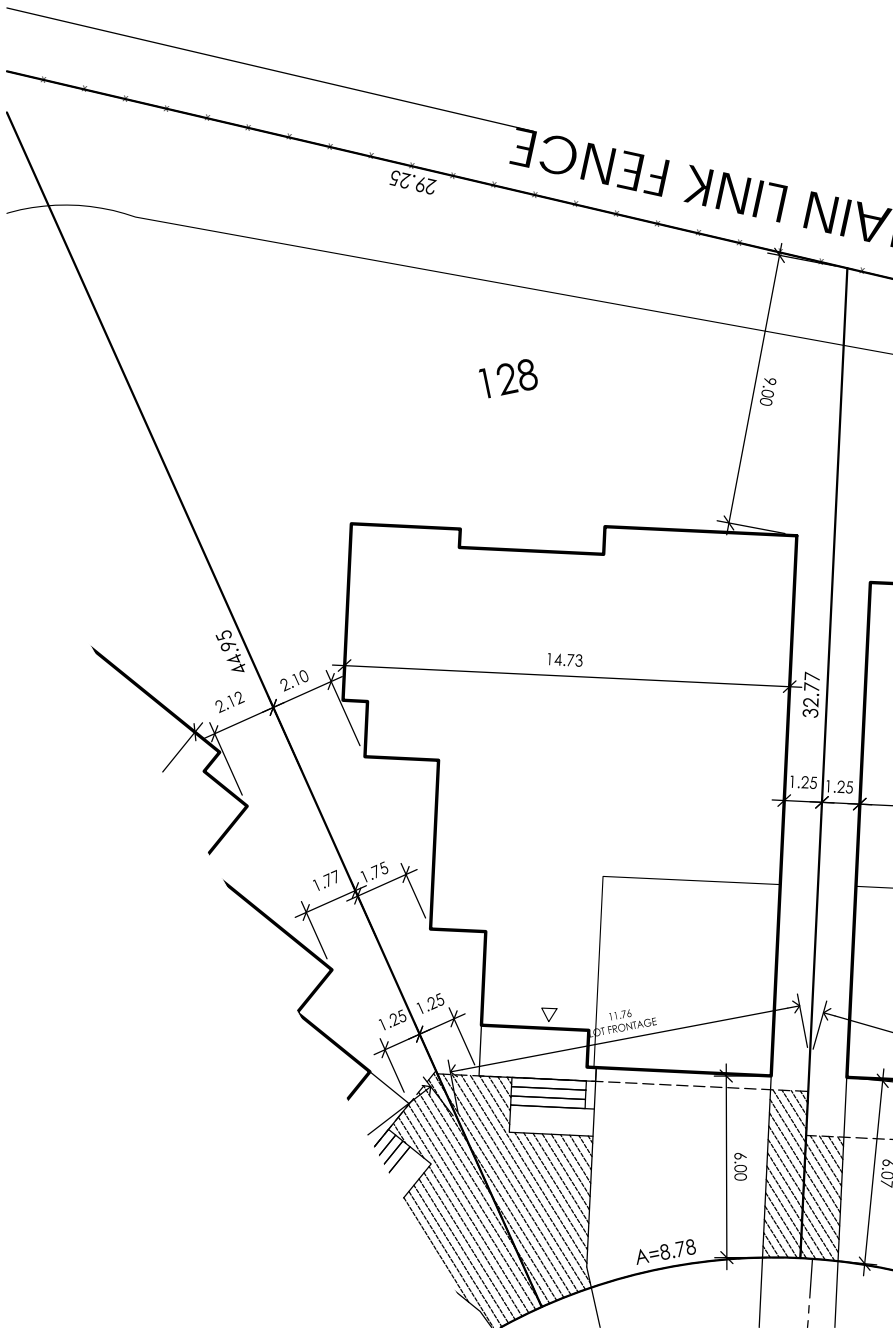
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BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 128
LOT AREA(m) ²	658.48
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.76
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION	SP SUMP PUMP
TFW TOP OF FOUNDATION WALL	BP BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	CP CABLE PEDESTAL
USF UNDER SIDE FOOTING	CB CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	DBL CB DBL. CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	EF ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	HC HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	FD FIRE HYDRANT
WOD WALKOUT DECK	SL STREET LIGHT
LOB LOOKOUT BASEMENT	MB MAIL BOX
WOB WALK OUT BASEMENT	TR TRANSFORMER
WUB WALK UP BASEMENT	SC2 SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	SC1 SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	WC WATER CONNECTION
△ DOOR	WVC WATER VALVE CHAMBER
○ WINDOW	HYD HYDRANT AND VALVE
AC AIR CONDITIONING	HM HYDRO METER
DS DOWN SPOUT TO SPLASH PAD	GM GAS METER
DC DOWN SPOUT CONNECTED TO STIM	MS MANHOLE - STORM
→ SWALE DIRECTION	MSAN MANHOLE - SANITARY
-X- CHAINLINK FENCE	
-XX- PRIVACY FENCE	
-XXX- SOUND BARRIER	
FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.	



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QUALIFIED DESIGNER BCIN:
 FIRM BCIN:
 DATE:
 SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
**THORNHILL WOODS
 VAUGHAN**

DRAWING
SITE PLAN

FRONT YARD AREA	66.62m ²	
LANDSCAPED AREA	31.10m ²	46.68%
SOFT LANDSCAPED	26.57m ²	85.43%
LOT FRONTAGE	11.76m	

DRAWN BY ---	SCALE 1:250
PROJECT No. 21080	LOT NUMBER LOT 128

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

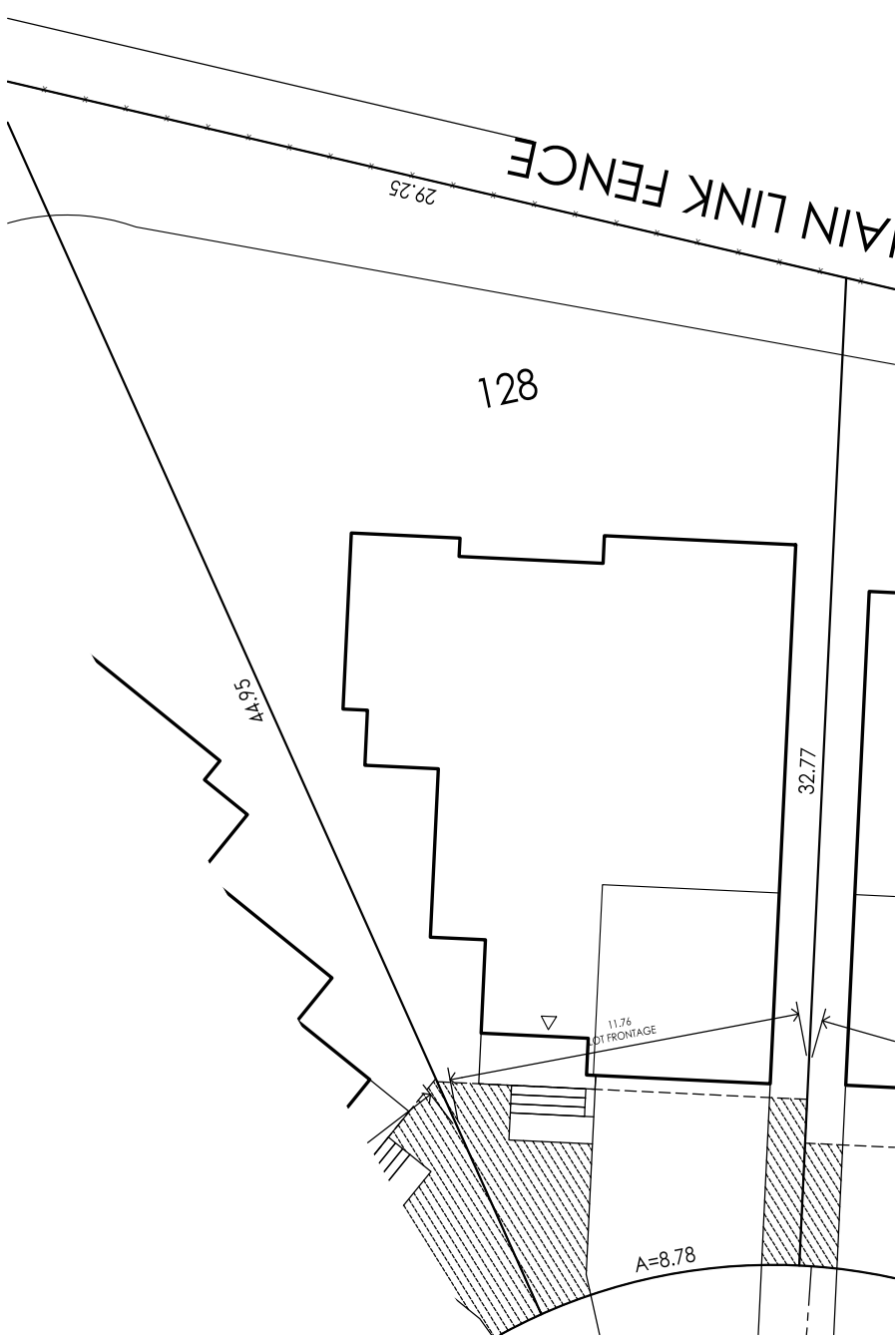
BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 128
LOT AREA(m) ²	658.48
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.76
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION	[SP] SUMP PUMP
TFW TOP OF FOUNDATION WALL	[B] BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	[C] CABLE PEDESTAL
USF UNDER SIDE FOOTING	[CB] CATCH BASIN
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LOB LOOKOUT BASEMENT	[MB] MAIL BOX
WOB WALK OUT BASEMENT	[TR] TRANSFORMER
WUB WALK UP BASEMENT	[SC2] SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	[SC1] SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	[WC] WATER CONNECTION
△ DOOR	[WVC] WATER VALVE CHAMBER
○ WINDOW	[HV] HYDRANT AND VALVE
[AC] AIR CONDITIONING	[HM] HYDRO METER
[DS] DOWN SPOUT TO SPLASH PAD	[GM] GAS METER
[DC] DOWNSPOUT CONNECTED TO STIM	[MS] MANHOLE - STORM
[SD] SWALE DIRECTION	[MSAN] MANHOLE - SANITARY
-X- CHAINLINK FENCE	
-XX- PRIVACY FENCE	
-XXX- SOUND BARRIER	

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.



ISSUED OR REVISION COMMENTS

NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C OF A	14-JAN-22	D.H	RP
2	UPDATED STATS	16-FEB-22	D.H	RP

IMPORTANT FOOTING NOTE:
 - IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED
 - LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".
 - IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:
 - UP TO 9" FOOTING, LOWER USF BY 0.07
 - 10" FOOTING, LOWER USF BY 0.10
 - 11" FOOTING, LOWER USF BY 0.13
 - 12" FOOTING, LOWER USF BY 0.15
 - 13" FOOTING, LOWER USF BY 0.18
 - 14" FOOTING, LOWER USF BY 0.20

RN DESIGN

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I, _____, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: _____
 FIRM BCIN: _____
 DATE: _____

SIGNATURE: _____

LANDSCAPE CALC.

FRONT YARD AREA	66.62m ²	
LANDSCAPED AREA	31.10m ²	46.68%
SOFT LANDSCAPED AREA	26.57m ²	85.43%
LOT FRONTAGE	11.76m	

CLIENT: **VOGUE DEVELOPMENT GROUP**

PROJECT/LOCATION: **THORNHILL WOODS VAUGHAN**

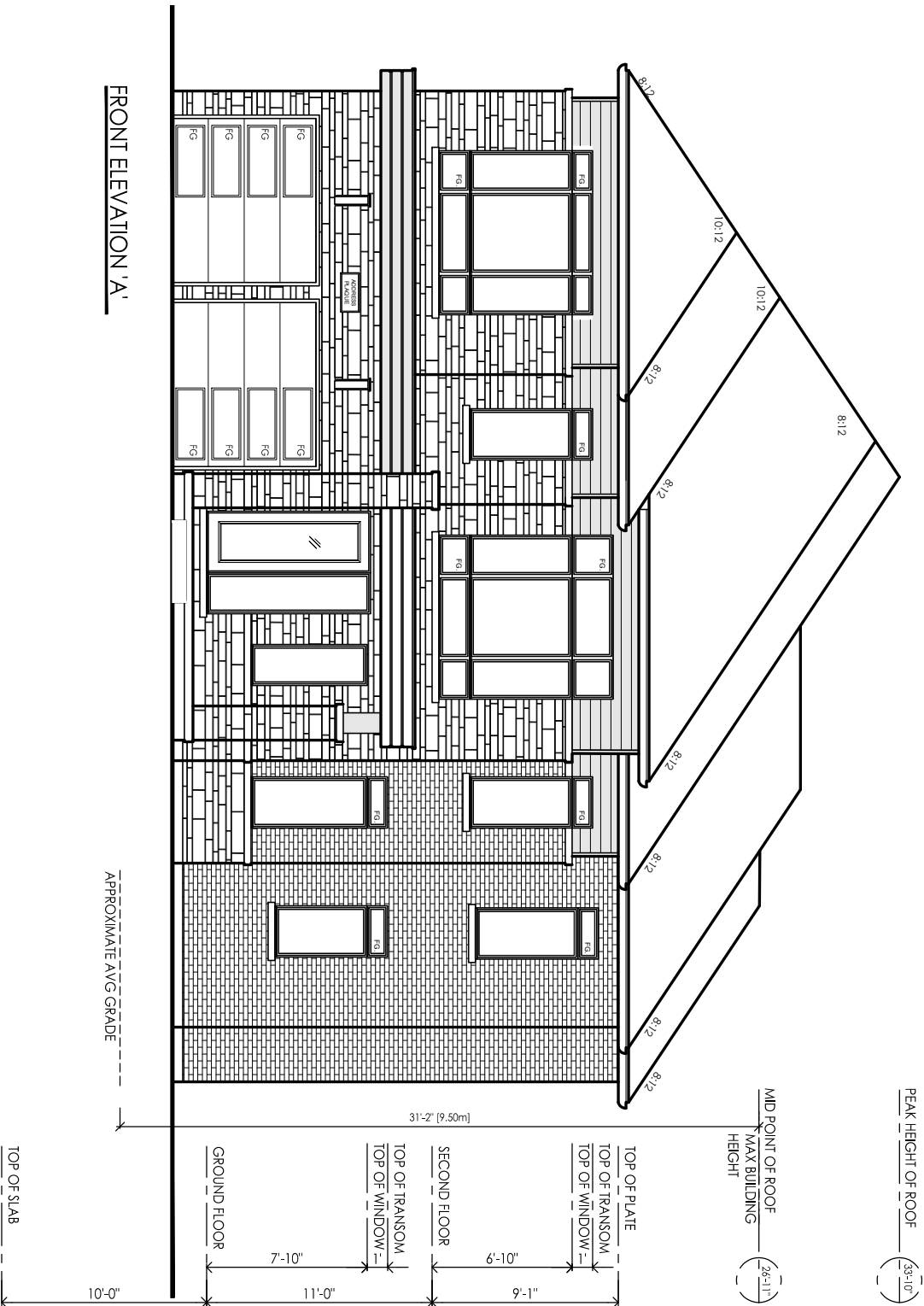
DRAWING: **SITE PLAN**

DRAWN BY: ---	SCALE: 1:250
PROJECT No. 21080	LOT NUMBER LOT 128

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DESIGN CONTROL REVIEW
FEB. 23, 2022

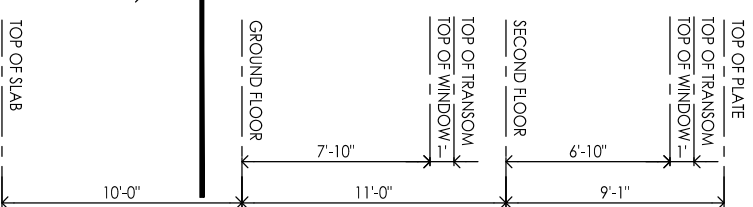
PRELIM BY: *[Signature]*

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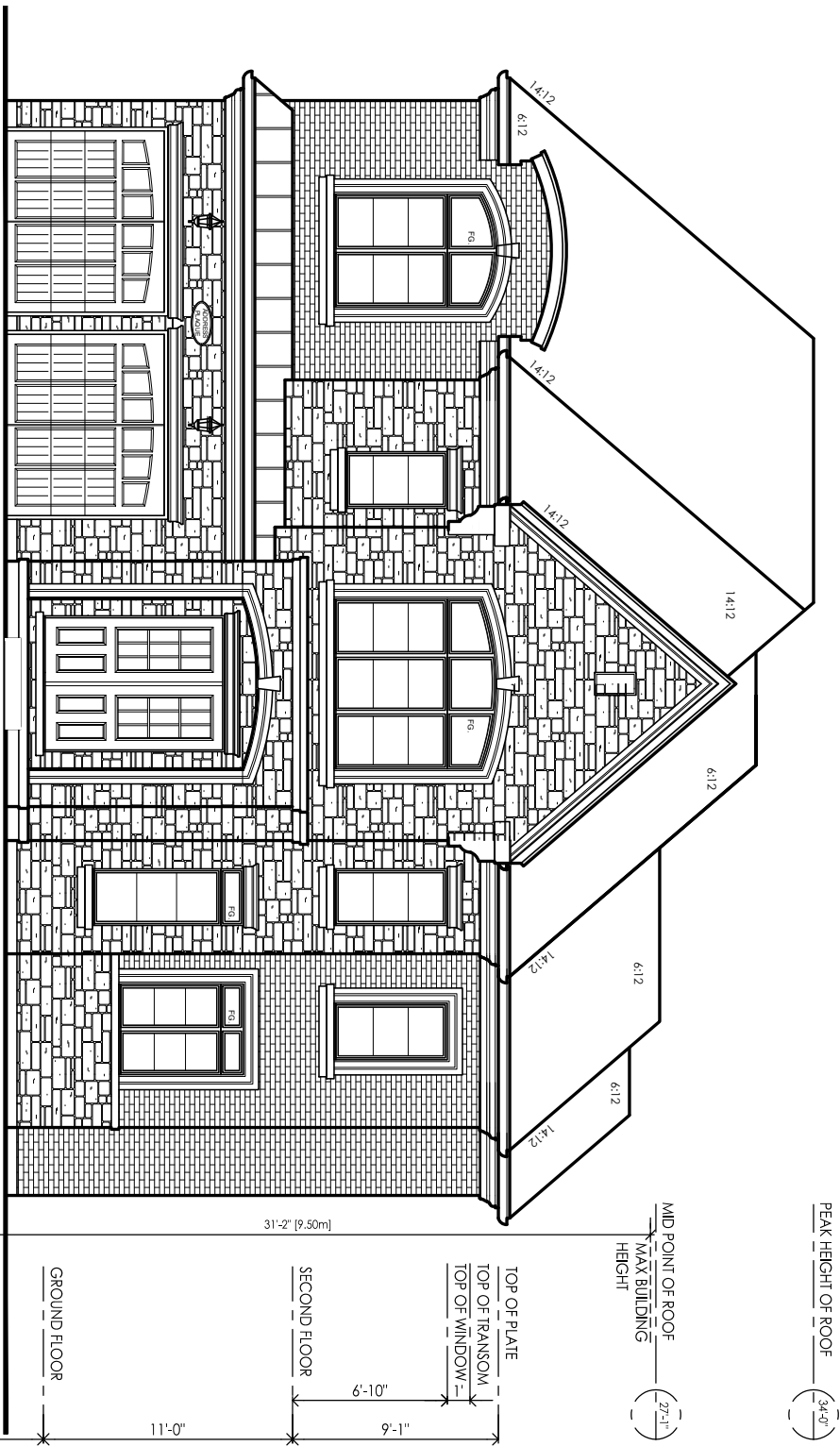
FRONT ELEVATION 'A'

APPROXIMATE AVG GRADE



revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22

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FEB. 23, 2022
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FRONT ELEVATION 'B'

APPROXIMATE AVG. GRADE

31'-2" [9.50m]
9'-1"
6'-10"
11'-0"
10'-0"
TOP OF SLAB
GROUND FLOOR
SECOND FLOOR
TOP OF WINDOW
TOP OF TRANSOM
TOP OF PLATE

PEAK HEIGHT OF ROOF (34'-0")

MID POINT OF ROOF (27'-1")
MAX BUILDING HEIGHT

revisions	initials	date

A061/22

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 130
LOT AREA(m) ²	746.23
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.76
DECK LINE(m)	.

LEGEND

FFE	FINISHED FLOOR ELEVATION	SP	SUMP PUMP
TFW	TOP OF FOUNDATION WALL	BP	BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB	CP	CABLE PEDESTAL
USF	UNDER SIDE FOOTING	CB	CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR	DBC	DBL. CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE	EF	ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL	HCON	HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE	FH	FIRE HYDRANT
WOD	WALKOUT DECK	SL	STREET LIGHT
LOB	LOOKOUT BASEMENT	MB	MAIL BOX
WOB	WALK OUT BASEMENT	T	TRANSFORMER
WUB	WALK UP BASEMENT	SC2	SEWER CONNECTIONS 2 LOTS
REV	REVERSE PLAN	SC1	SEWER CONNECTIONS 1 LOT
STD	STANDARD PLAN	WC	WATER CONNECTION
△	DOOR	WVC	WATER VALVE CHAMBER
○	WINDOW	HAY	HYDRANT AND VALVE
AC	AIR CONDITIONING	HM	HYDRO METER
DS	DOWN SPOUT TO SPLASH PAD	GM	GAS METER
DCS	DOWN SPOUT CONNECTED TO STIM	MS	MANHOLE - STORM
→	SWALE DIRECTION	MS	MANHOLE - SANITARY
---	X	CLF	CHAINLINK FENCE
---	XX	PF	PRIVACY FENCE
---	XXX	SB	SOUND BARRIER
---			FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

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2	UPDATED STATS	16-FEB-22	D.H	RP

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QUALIFIED DESIGNER BCIN: _____
 FIRM BCIN: _____
 DATE: _____

SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
THORNHILL WOODS VAUGHAN

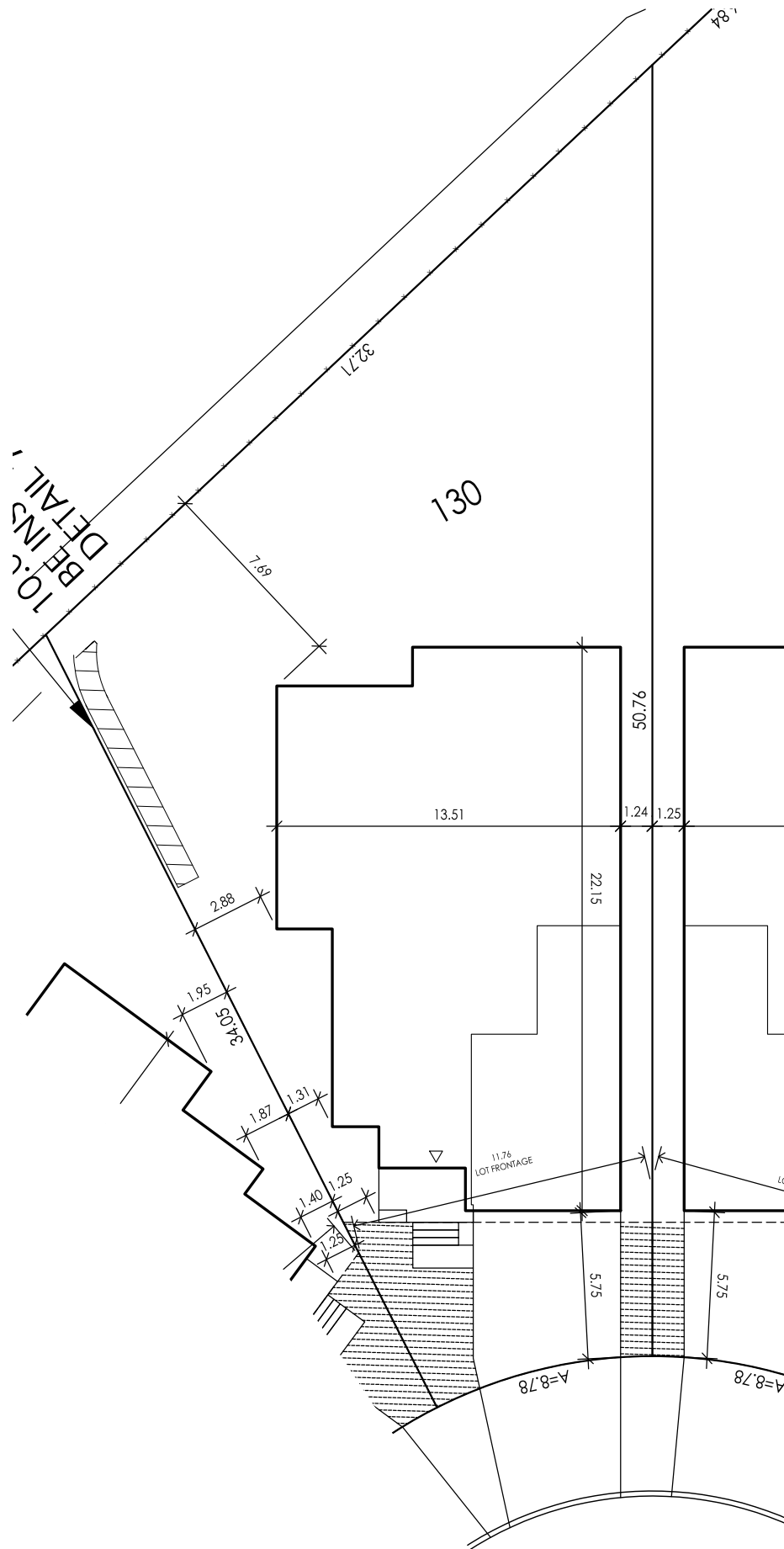
DRAWING
SITE PLAN

DRAWN BY

SCALE
 1:250

PROJECT No.
 21080

LOT NUMBER
 LOT 130



FRONT YARD AREA	63.51m2	
LANDSCAPED AREA	29.60m2	46.61%
SOFT LANDSCAPED AREA	25.78m2	87.09%
LOT FRONTAGE	11.76m	

PLANS & BLDG. Standards (Form) A-06-01/02 10/05/2018 89100-000-0111-14-14-0000-000-0000

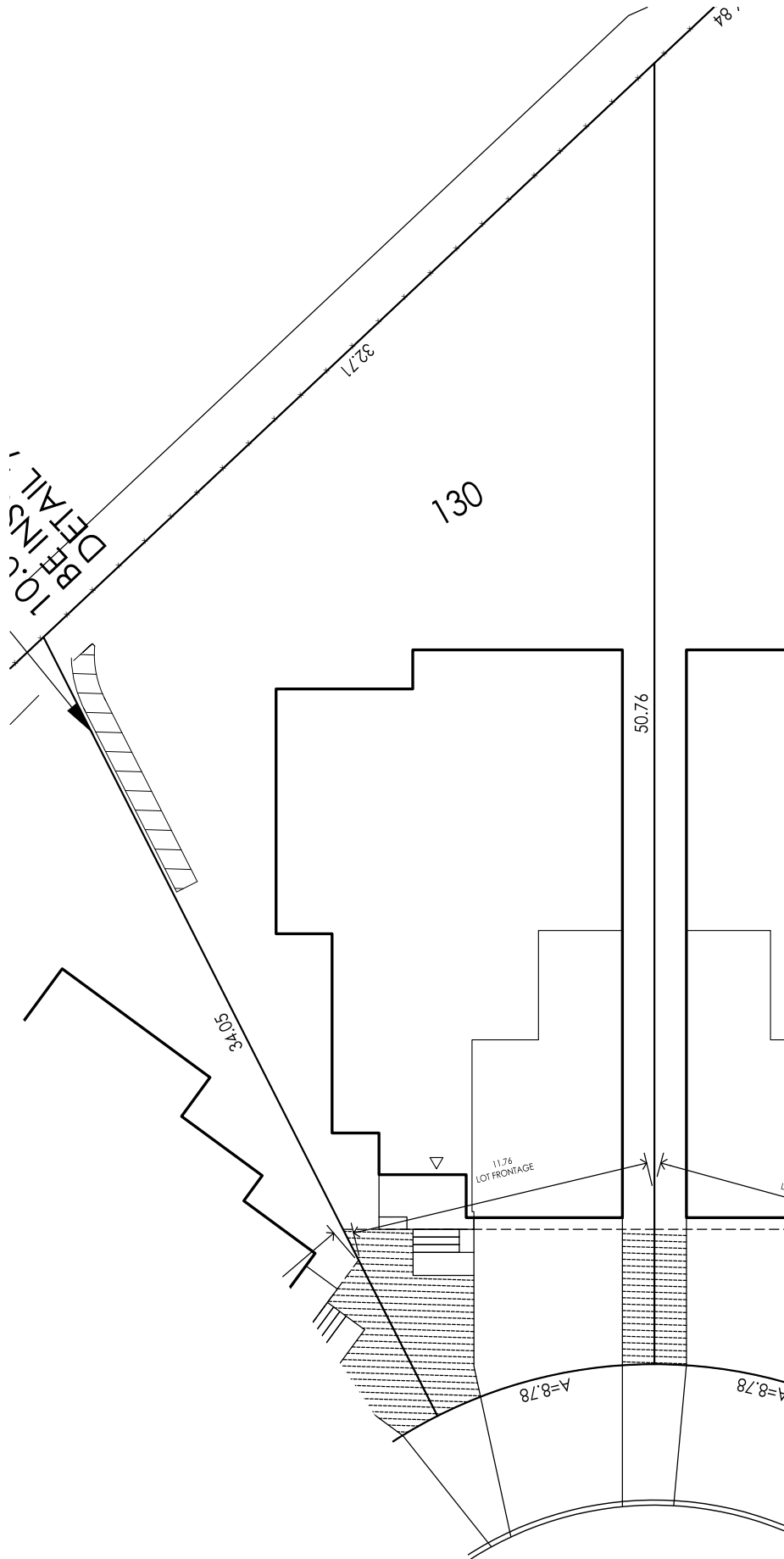
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BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 130
LOT AREA(m) ²	746.23
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.76
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION		SUMP PUMP
TFW TOP OF FOUNDATION WALL		BELL PEDESTAL
TBS TOP OF BASEMENT SLAB		CABLE PEDESTAL
USF UNDER SIDE FOOTING		CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR		DBL CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE		ENGINEERED FILL
TEF TOP OF ENGINEERED FILL		HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE		FIRE HYDRANT
WOD WALKOUT DECK		STREET LIGHT
LOB LOOKOUT BASEMENT		MAIL BOX
WOB WALK OUT BASEMENT		TRANSFORMER
WUB WALK UP BASEMENT		SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN		SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN		WATER CONNECTION
△ DOOR		WATER VALVE CHAMBER
○ WINDOW		HYDRANT AND VALVE
	AIR CONDITIONING	HYDRO METER
	DOWN SPOUT TO SPLASH PAD	GAS METER
	DOWN SPOUT CONNECTED TO STM	MANHOLE - STORM
	SWALE DIRECTION	MANHOLE - SANITARY
-X-	CHAINLINK FENCE	
-XX-	PRIVACY FENCE	
-XXX-	SOUND BARRIER	
FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.		



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 FIRM BCIN: _____
 DATE: _____

SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP

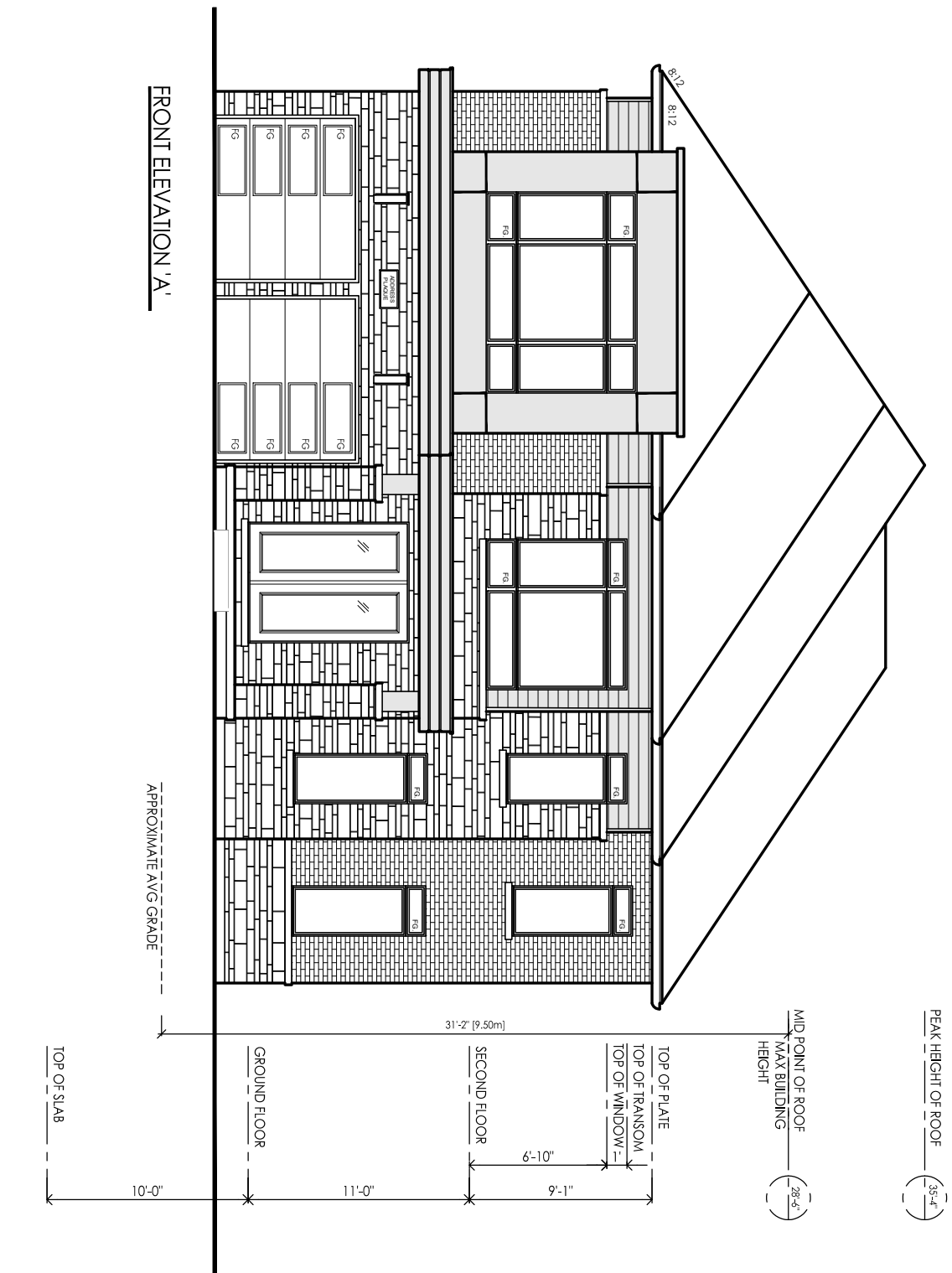
PROJECT/LOCATION
**THORNHILL WOODS
 VAUGHAN**

DRAWING
SITE PLAN

DRAWN BY --	SCALE 1:250
PROJECT No. 21080	LOT NUMBER LOT 130

LANDSCAPE CALC.		
FRONT YARD AREA	63.51m ²	
LANDSCAPED AREA	29.60m ²	46.61%
SOFT LANDSCAPED	25.78m ²	87.09%
LOT FRONTAGE	11.76m	

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022
PRELIM BY: *[Signature]*
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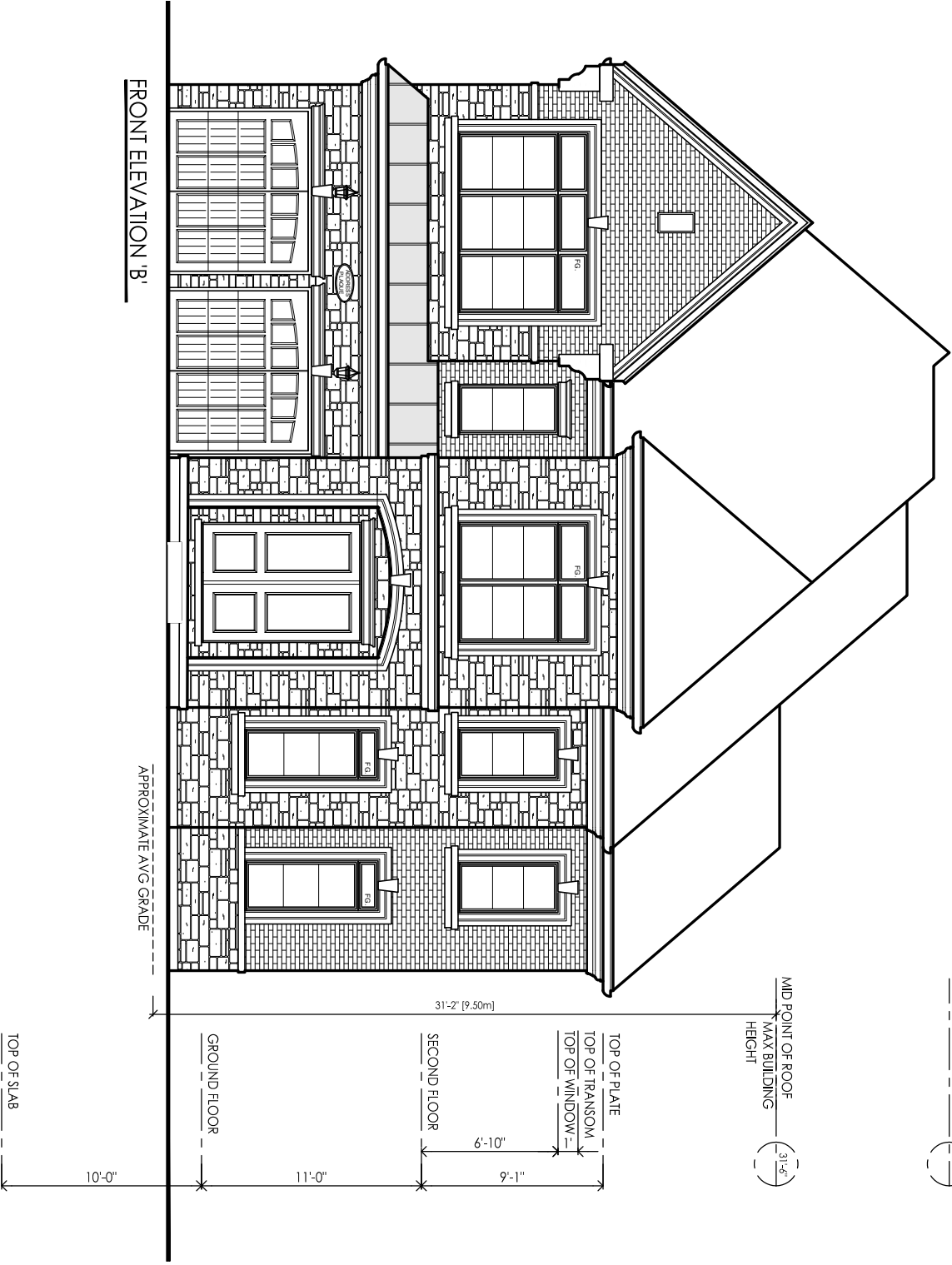


revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22
2 ISSUED FOR REVIEW	KC	23-08-22

client **Vogue Development Group**
 project **Thornhill Woods**
 model **Vaughan, City of**
40-25
 project # **21080**
 scale **1/8" = 1'0"**
 page **B3**

PEAK HEIGHT OF ROOF $(40'-2")$

MID POINT OF ROOF
MAX BUILDING
HEIGHT $(31'-6")$



W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022
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client **Vogue
Development
Group**
project **Thornhill Woods**
Vaughan, City of

model **40-25**
project # **21080**
scale **1/8" = 1'0"**
page

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-03-22

A062/22

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

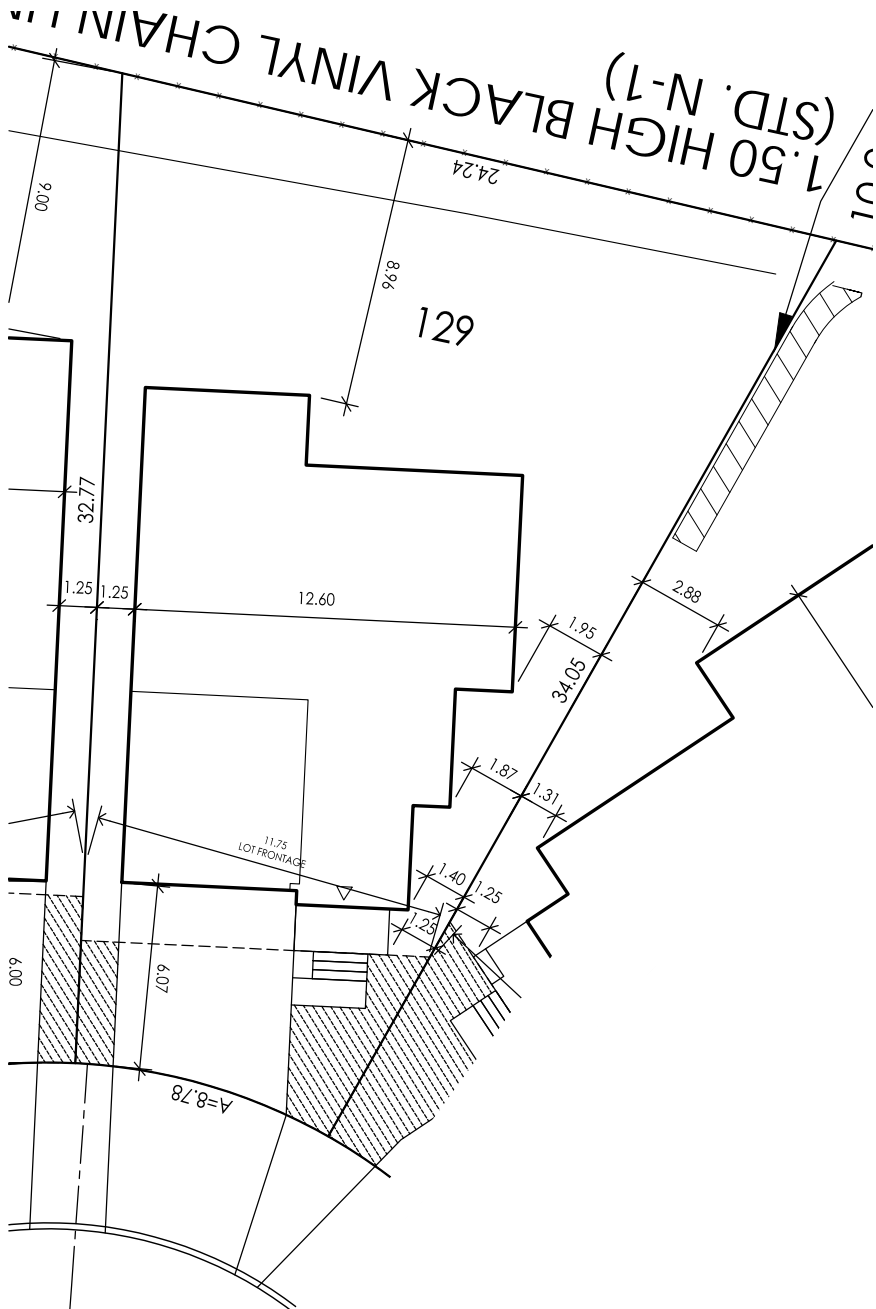
BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 129
LOT AREA(m) ²	531.78
BLDG AREA(m) ²	
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.75
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION	[Symbol]	SUMP PUMP
TFW TOP OF FOUNDATION WALL	[Symbol]	BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	[Symbol]	CABLE PEDESTAL
USF UNDER SIDE FOOTING	[Symbol]	CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	[Symbol]	DBL. CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	[Symbol]	ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	[Symbol]	HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	[Symbol]	FIRE HYDRANT
WOD WALKOUT DECK	[Symbol]	STREET LIGHT
LOB LOOKOUT BASEMENT	[Symbol]	MAIL BOX
WOB WALK OUT BASEMENT	[Symbol]	TRANSFORMER
WUB WALK UP BASEMENT	[Symbol]	SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	[Symbol]	SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	[Symbol]	WATER CONNECTION
△ DOOR	[Symbol]	WATER VALVE CHAMBER
○ WINDOW	[Symbol]	HYDRANT AND VALVE
[Symbol] AIR CONDITIONING	[Symbol]	HYDRO METER
[Symbol] DOWN SPOUT TO SPLASH PAD	[Symbol]	GAS METER
[Symbol] DOWNSPOUT CONNECTED TO STIM	[Symbol]	MANHOLE - STORM
[Symbol] SWALE DIRECTION	[Symbol]	MANHOLE - SANITARY
---X---		CHAINLINK FENCE
---XX---		PRIVACY FENCE
---XXX---		SOUND BARRIER

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.



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QUALIFIED DESIGNER BCIN:
 FIRM BCIN:
 DATE:
 SIGNATURE: _____

LANDSCAPE CALC.		
FRONT YARD AREA	49.31m ²	
LANDSCAPED AREA	22.10m ²	44.82%
SOFT LANDSCAPED	18.21m ²	82.40%
LOT FRONTAGE	11.75m	

CLIENT VOGUE DEVELOPMENT GROUP	
PROJECT/LOCATION THORNHILL WOODS VAUGHAN	
DRAWING SITE PLAN	
DRAWN BY ---	SCALE 1:250
PROJECT No. 21080	LOT NUMBER LOT 129

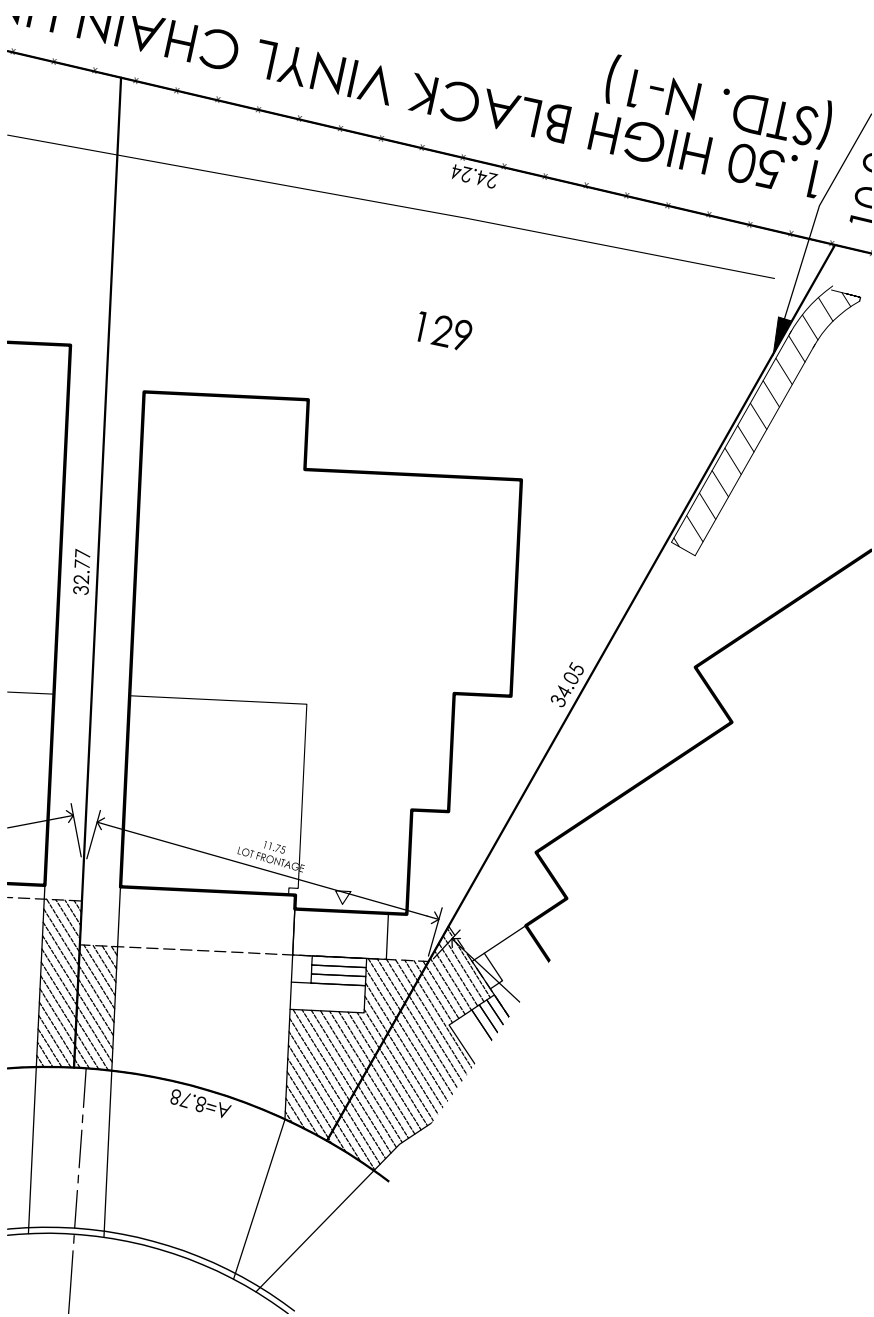
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BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 129
LOT AREA(m) ²	531.78
BLDG AREA(m) ²	
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	11.75
DECK LINE(m)	.

LEGEND

FFE	FINISHED FLOOR ELEVATION	SP	SUMP PUMP
TFW	TOP OF FOUNDATION WALL	BP	BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB	CP	CABLE PEDESTAL
USF	UNDER SIDE FOOTING	CB	CATCH BASIN
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TEF	TOP OF ENGINEERED FILL	HC	HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE	FH	FIRE HYDRANT
WOD	WALKOUT DECK	SL	STREET LIGHT
LOB	LOOKOUT BASEMENT	MB	MAIL BOX
WOB	WALK OUT BASEMENT	TR	TRANSFORMER
WUB	WALK UP BASEMENT	SC2	SEWER CONNECTIONS 2 LOTS
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○	WINDOW	HYV	HYDRANT AND VALVE
AC	AIR CONDITIONING	HM	HYDRO METER
DS	DOWN SPOUT TO SPLASH PAD	GM	GAS METER
DS*	DOWN SPOUT CONNECTED TO STIM	MS	MANHOLE - STORM
→	SWALE DIRECTION	MS*	MANHOLE - SANITARY
-X-	CHAINLINK FENCE		
-XX-	PRIVACY FENCE		
-XXX-	SOUND BARRIER		
- - - -	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.		



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QUALIFIED DESIGNER BCIN: _____
 FIRM BCIN: _____
 DATE: _____

SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
THORNHILL WOODS VAUGHAN

DRAWING
SITE PLAN

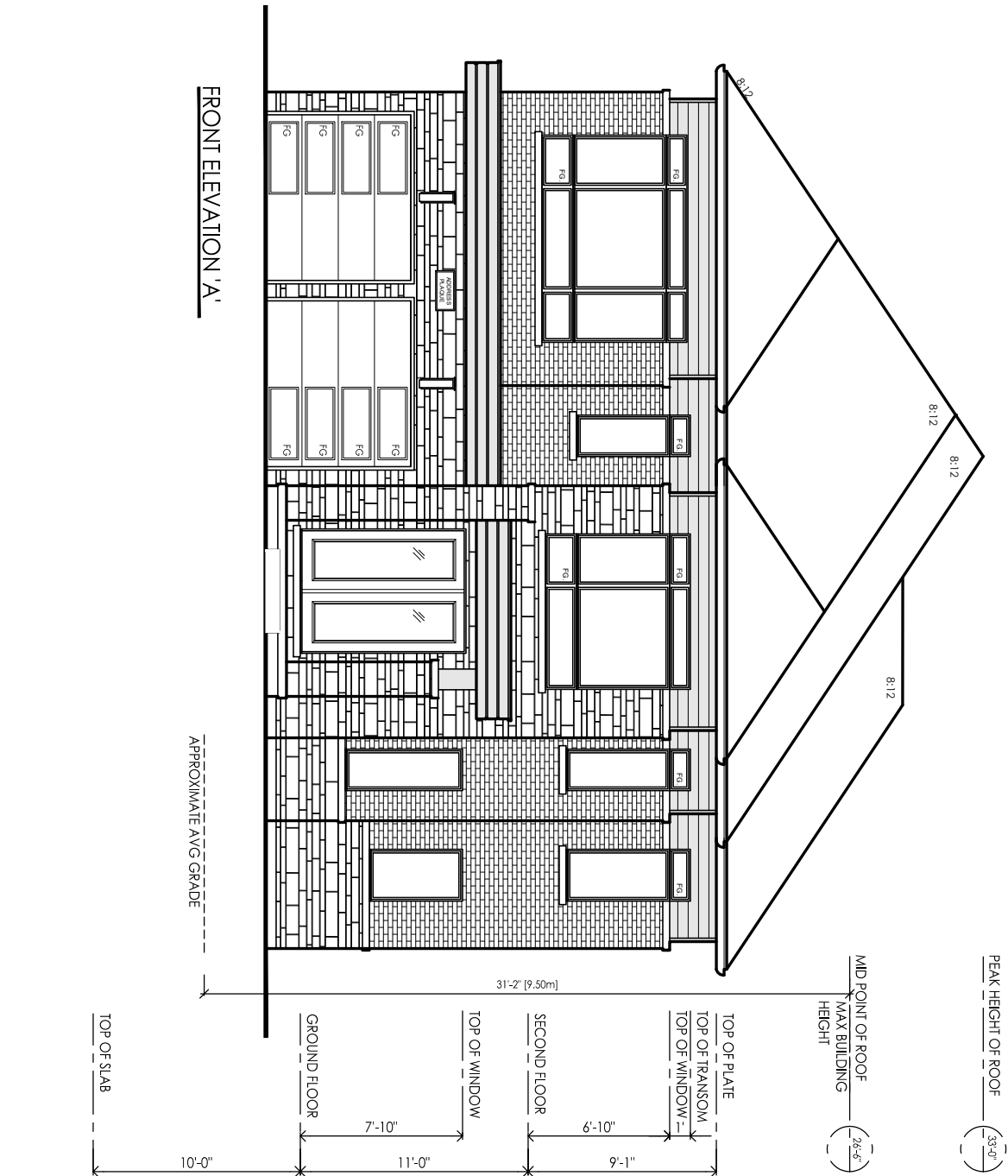
DRAWN BY ---	SCALE 1:250
PROJECT No. 21080	LOT NUMBER LOT 129

LANDSCAPE CALC.			
FRONT YARD AREA	49.31m ²		
LANDSCAPED AREA	22.10m ²	44.82%	
SOFT LANDSCAPED	18.21m ²	82.40%	
LOT FRONTAGE	11.75m		

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *[Signature]*

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revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22

Client: **Vogue Development Group**

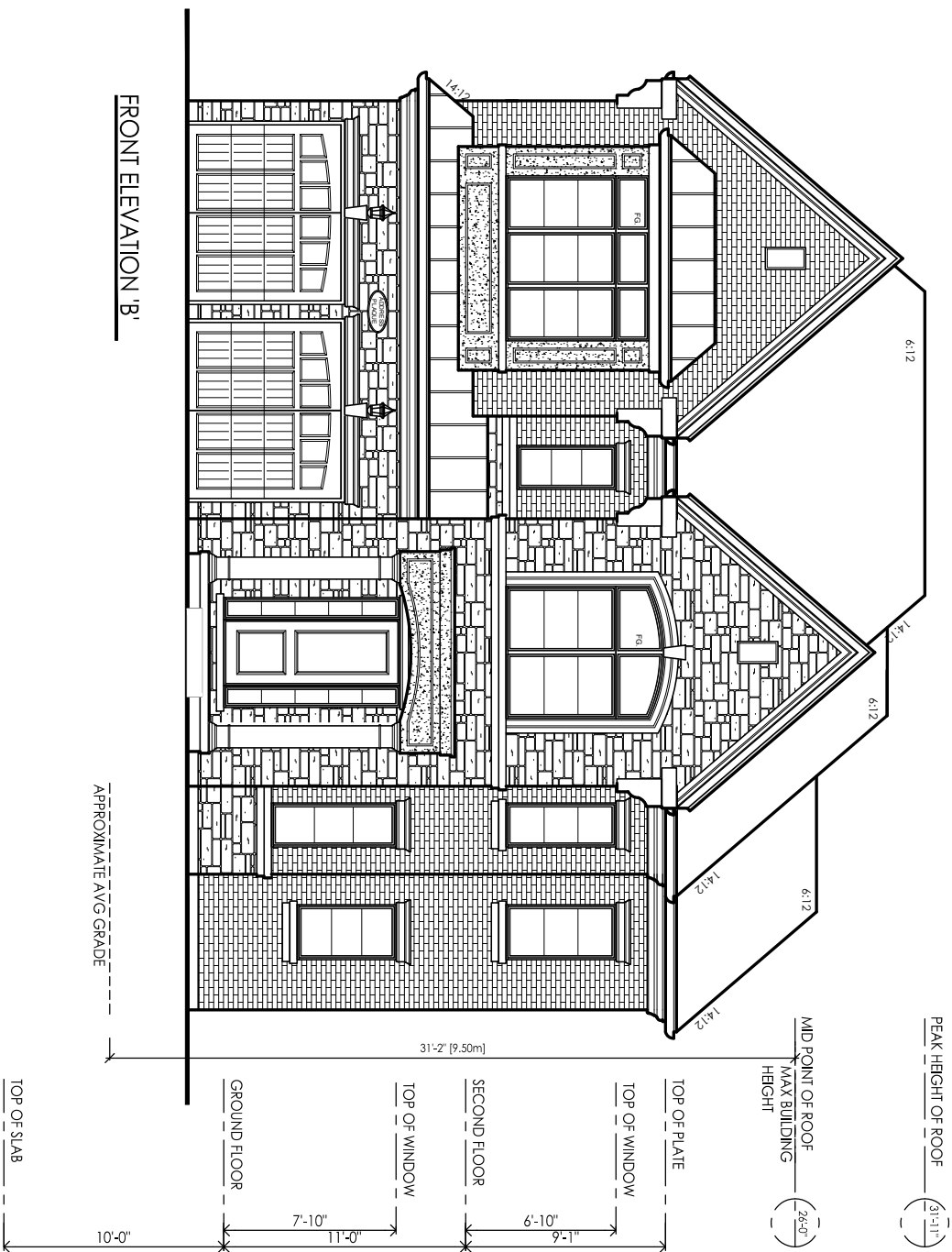
project: **Thornhill Woods**
Vaughan, City of

model: **40-23**

project #: **21080**

scale: **1/8" = 1'0"**

page: **B4**



W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *[Signature]*

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client **Vogue Development Group**

project **Thornhill Woods**
Vaughan, City of

model **40-23**

project # **21080**

scale **1/8" = 1'0"**

page

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22

A065/22

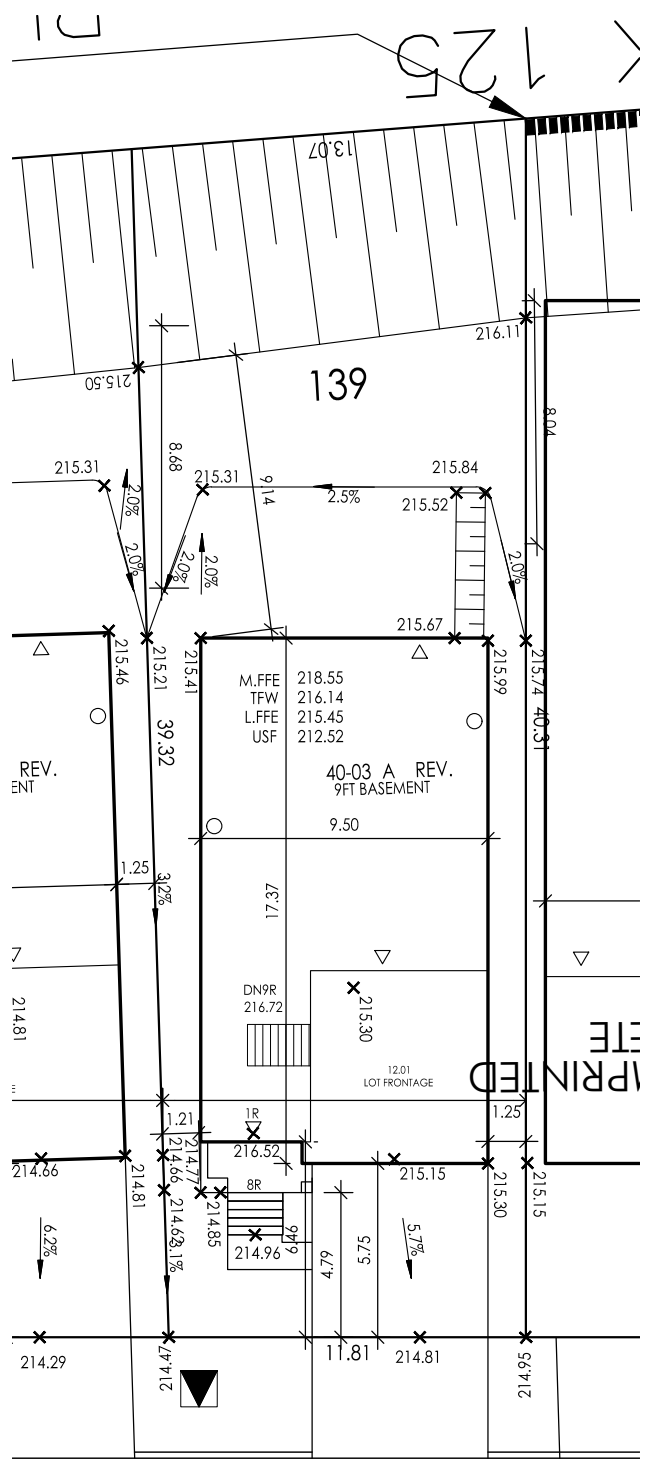
LOT 139			
ZONE: BY-LAW 1-88 : RV3 BY-LAW 001-2001 : R3A(EN)-729	REQUIRED		PROPOSED
	BY-LAW 1-88	BY-LAW 001-2021	
MIN. LOT AREA:	360.0m2	320.0m2	494.64m2
BUILDING AREA:			168.30m2
MAX. COVERAGE:	NR	55.0%	34.0%
MAX. BUILDING HEIGHT:	9.5m	9.5m	10.00 m
LOT FRONTAGE:			12.01m

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 139
LOT AREA(m) ²	.
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
PEAK HEIGHT(m)	.
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION	[Symbol]	SUMP PUMP
TFW TOP OF FOUNDATION WALL	[Symbol]	BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	[Symbol]	CABLE PEDESTAL
USF UNDER SIDE FOOTING	[Symbol]	CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	[Symbol]	DBL. CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	[Symbol]	ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	[Symbol]	FIRE HYDRANT
R NUMBER OF RISERS TO GRADE	[Symbol]	STREET LIGHT
WOD WALKOUT DECK	[Symbol]	MAIL BOX
LOB LOOKOUT BASEMENT	[Symbol]	TRANSFORMER
WOB WALK OUT BASEMENT	[Symbol]	SEWER CONNECTIONS 2 LOTS
WUB WALK UP BASEMENT	[Symbol]	SEWER CONNECTIONS 1 LOT
REV REVERSE PLAN	[Symbol]	WATER CONNECTION
STD STANDARD PLAN	[Symbol]	WATER VALVE CHAMBER
△ DOOR	[Symbol]	HYDRANT AND VALVE
○ WINDOW	[Symbol]	HYDRO METER
[Symbol] AIR CONDITIONING	[Symbol]	GAS METER
[Symbol] DOWN SPOUT TO SPLASH PAD	[Symbol]	MANHOLE - STORM
[Symbol] DOWNSPOUT CONNECTED TO STIM	[Symbol]	MANHOLE - SANITARY
[Symbol] SWALE DIRECTION	[Symbol]	
-X- CHAINLINK FENCE		
-XX- PRIVACY FENCE		
-XXX- SOUND BARRIER		
FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.		



ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C OF A	14-JAN-22	D.H	RP

IMPORTANT FOOTING NOTE:
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 - LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".
 - IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:
 - UP TO 9" FOOTING, LOWER USF BY 0.07
 - 10" FOOTING, LOWER USF BY 0.10
 - 11" FOOTING, LOWER USF BY 0.13
 - 12" FOOTING, LOWER USF BY 0.15
 - 13" FOOTING, LOWER USF BY 0.18
 - 14" FOOTING, LOWER USF BY 0.20

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QUALIFIED DESIGNER BCIN: _____
 FIRM BCIN: _____
 DATE: _____

SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
THORNHILL WOODS VAUGHAN

DRAWING
SITE PLAN

DRAWN BY ---	SCALE 1:250
PROJECT No. 21080	LOT NUMBER LOT 139

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *MB*

This stamp is only for the purposes of design control and carries no other professional obligations.

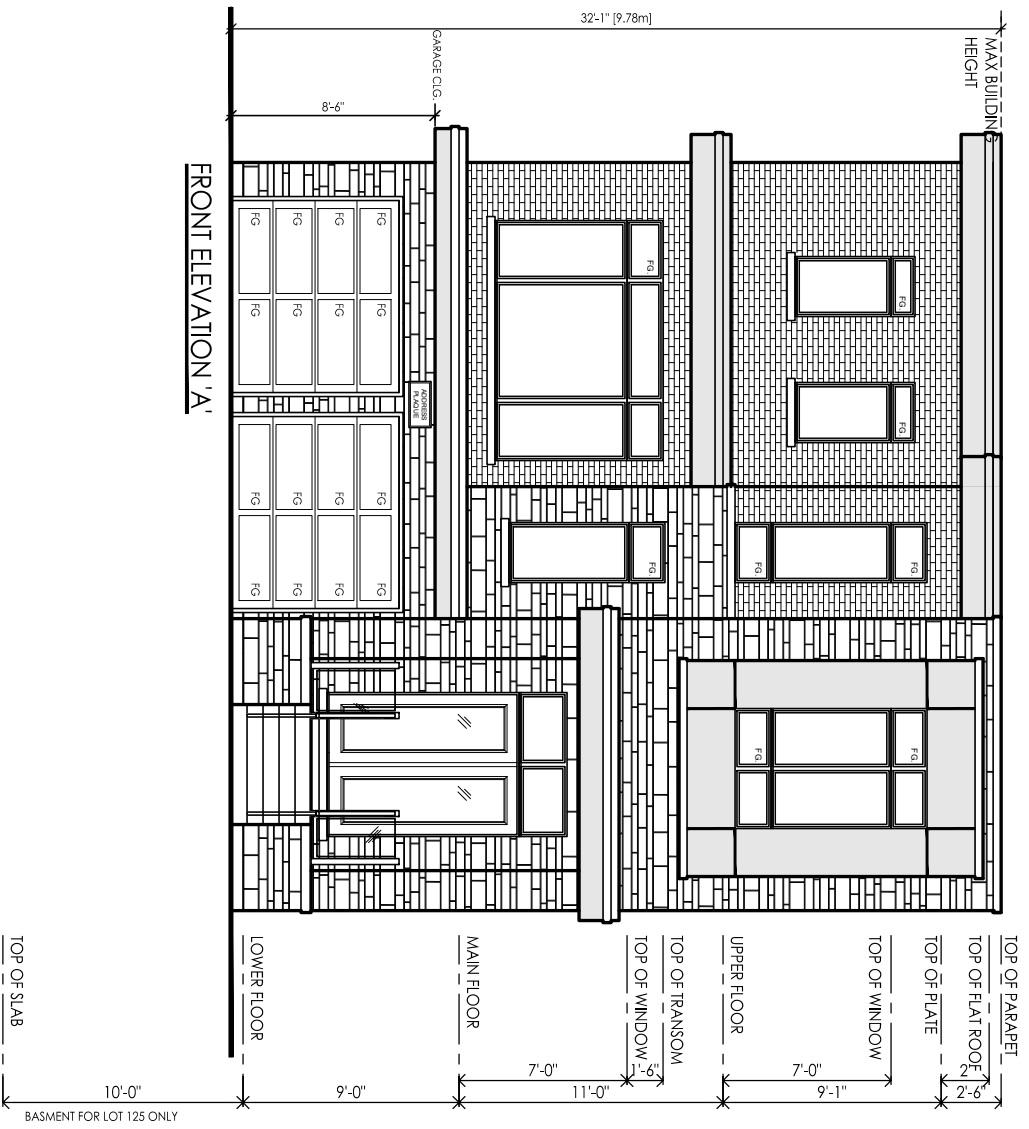
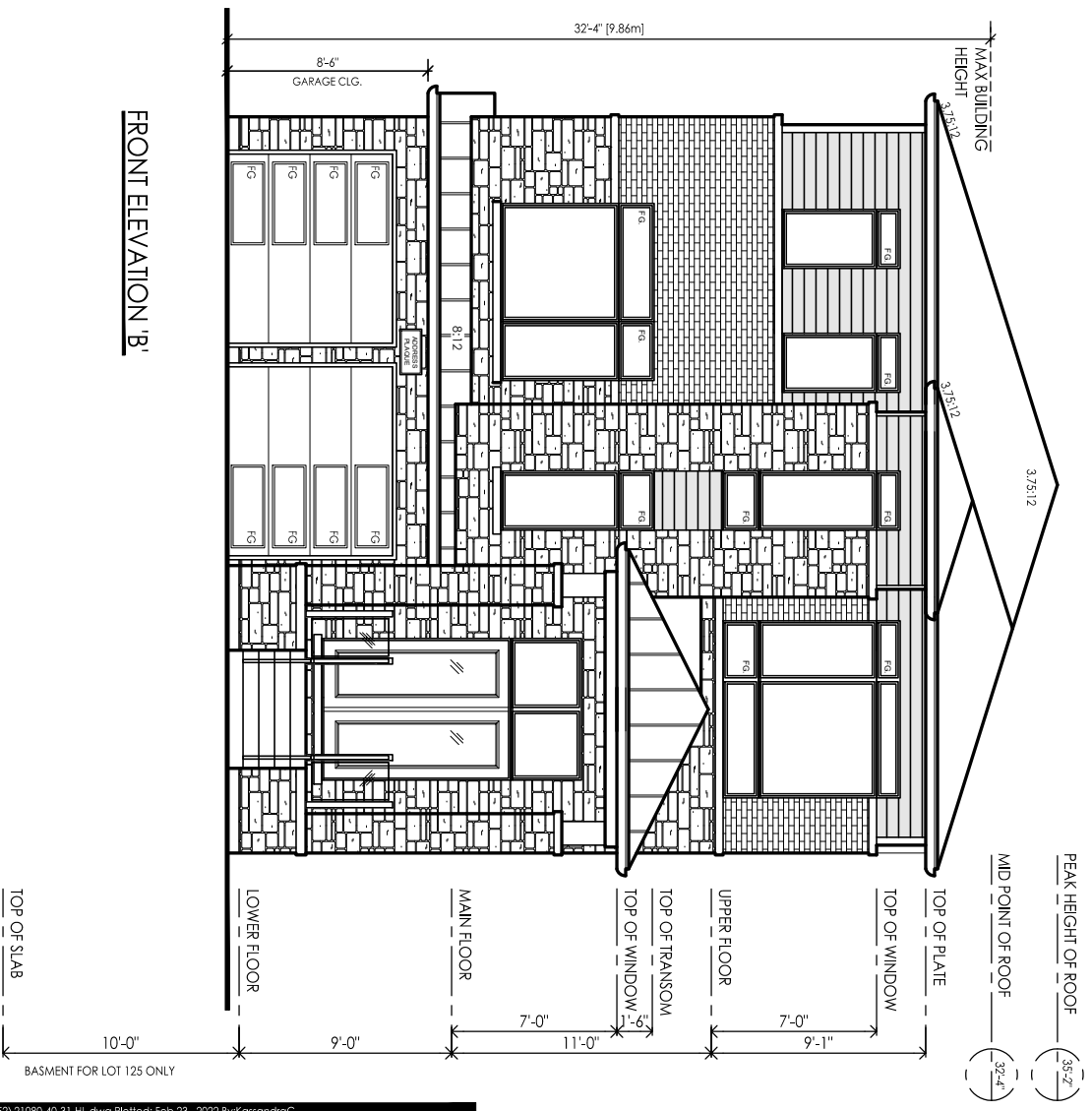
client **Vogue**
Development **Group**
project **Thornhill Woods**
Vaughan, City of

model **40-31**

project # **21080**

scale **1/8" = 1'0"**

page **B5**



revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22
2 ISSUED FOR REVIEW	KC	23-08-22

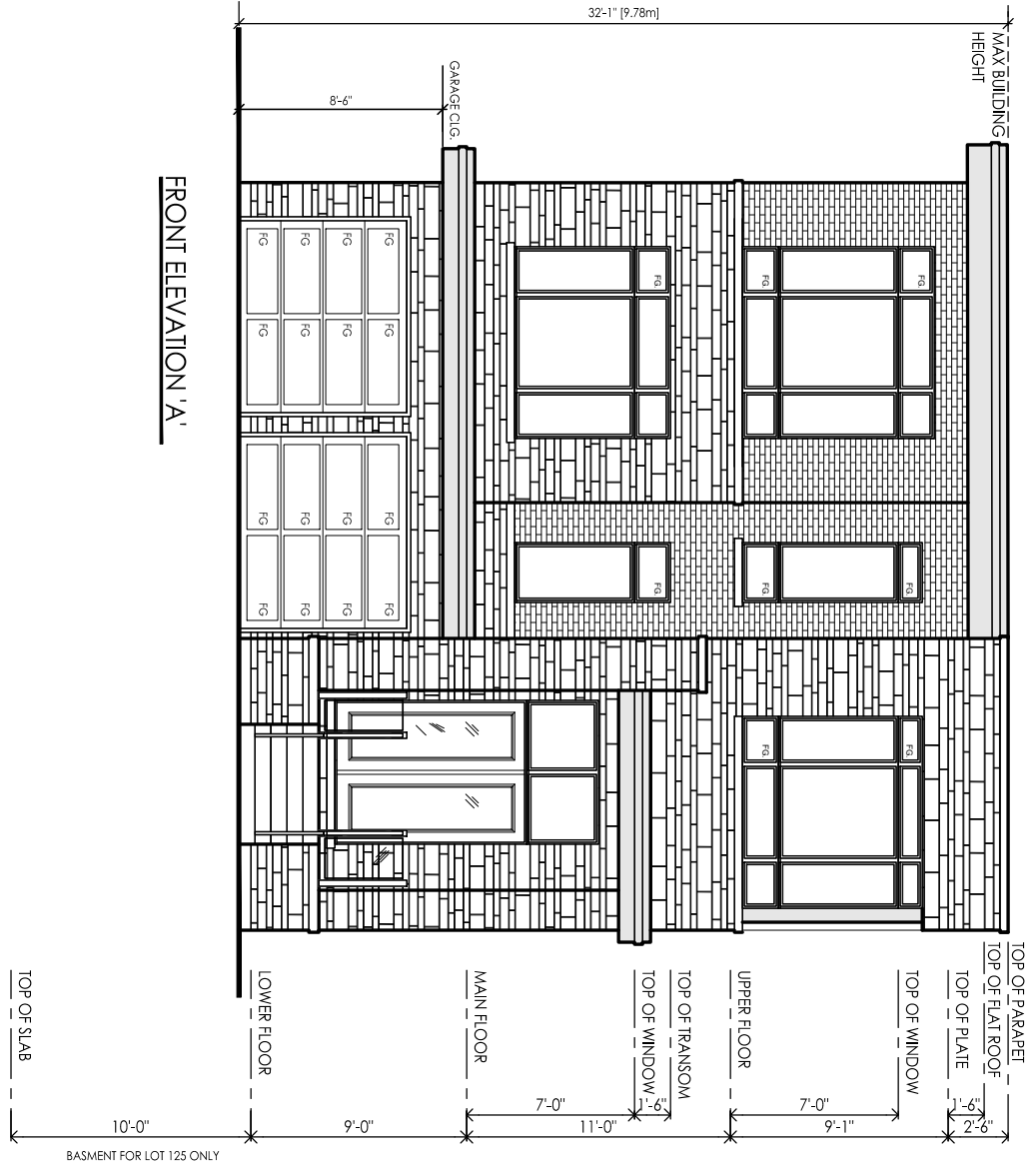
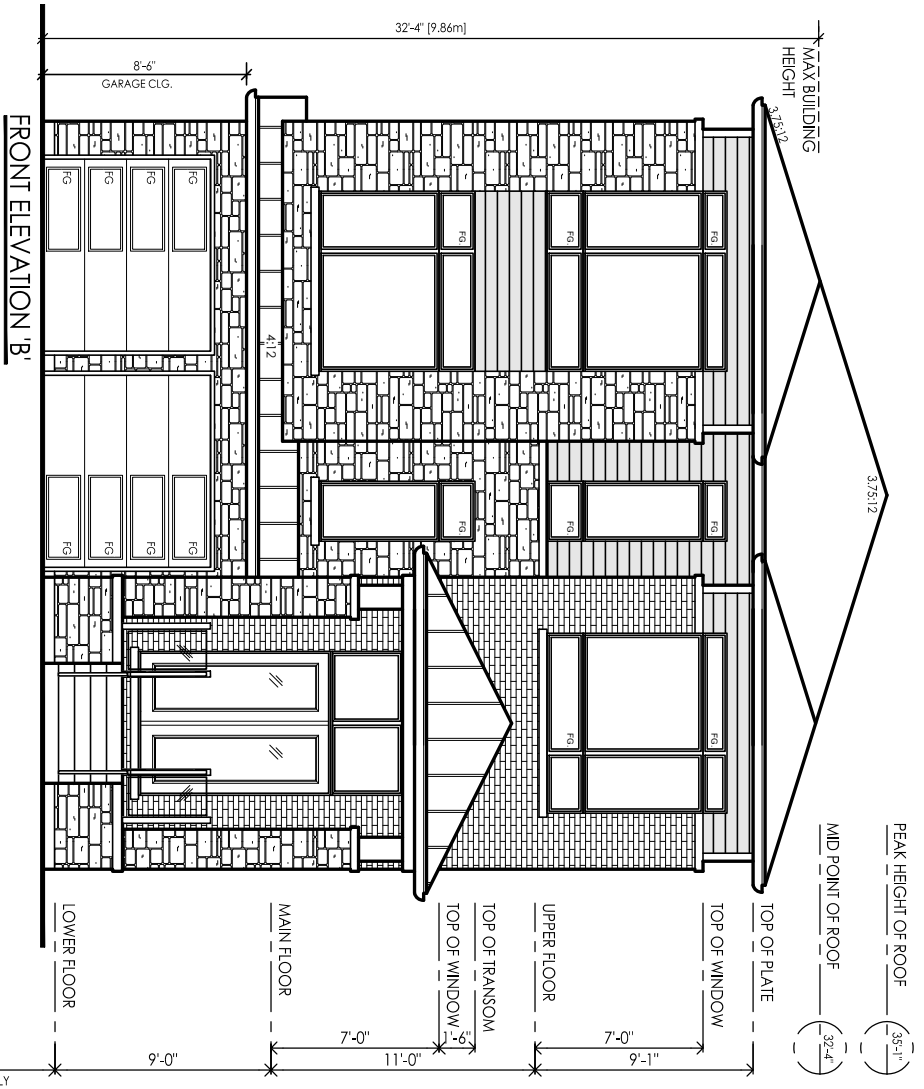
W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *[Signature]*

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client Vogue
Development Group
project Thornhill Woods
model Vaughan, City of
40-32
project # 21080
scale 1/8" = 1'0"
page **B5**

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-jan-22
2 ISSUED FOR REVIEW	KC	23-feb-22



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DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *[Signature]*

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client **Vogue Development Group**

project **Thornhill Woods**

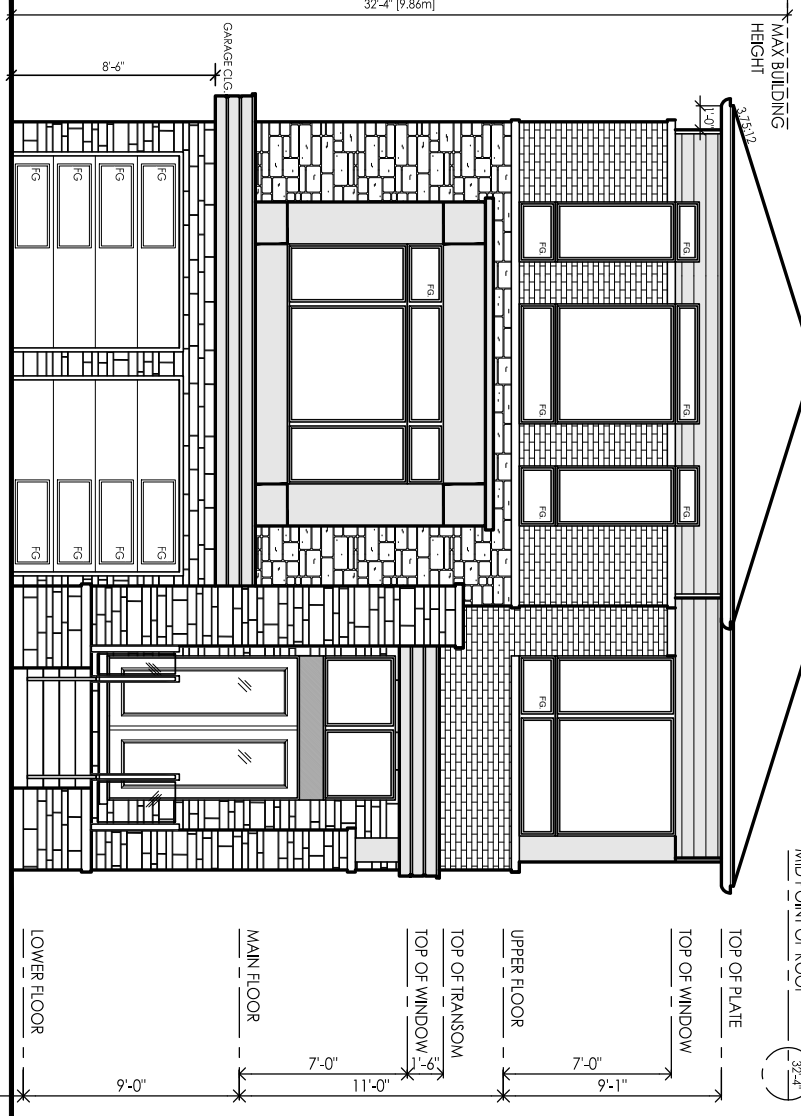
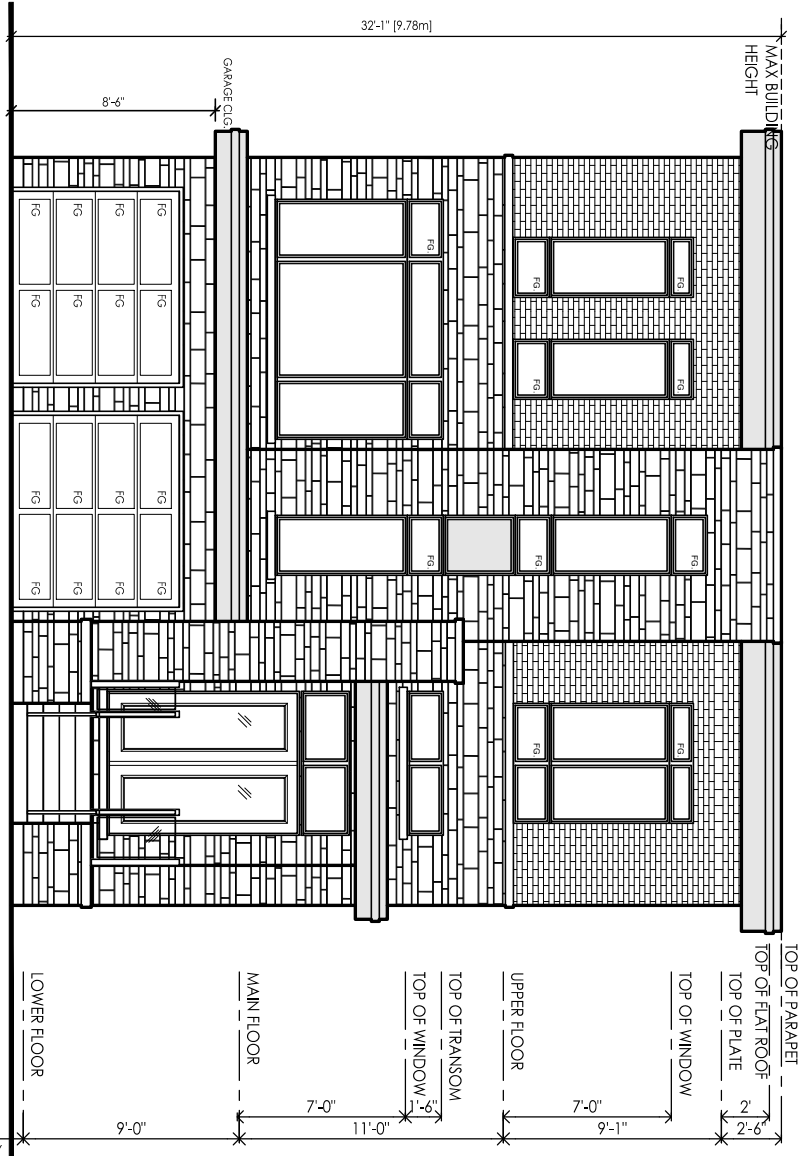
model **Vaughan, City of**

40-33

project # **21080**

scale **1/8" = 1'0"**

page **B4**



revisions

1	ISSUED FOR REVIEW	MJS	18-07-22
2	ISSUED FOR REVIEW	MJS	17-02-22

A066/22

LOT 138			
ZONE:			
BY-LAW 1-88 : RV3	REQUIRED BY-LAW 1-88	BY-LAW 001-2021	PROPOSED
BY-LAW 001-2001 : R3A(EN)-729			
MIN. LOT AREA:	360.0m ²	320.0m ²	466.24m ²
BUILDING AREA:			168.30m ²
MAX. COVERAGE:	NR	55.0%	36.0%
MAX. BUILDING HEIGHT:	9.5m	9.5m	10.00 m
LOT FRONTAGE:			12.01m

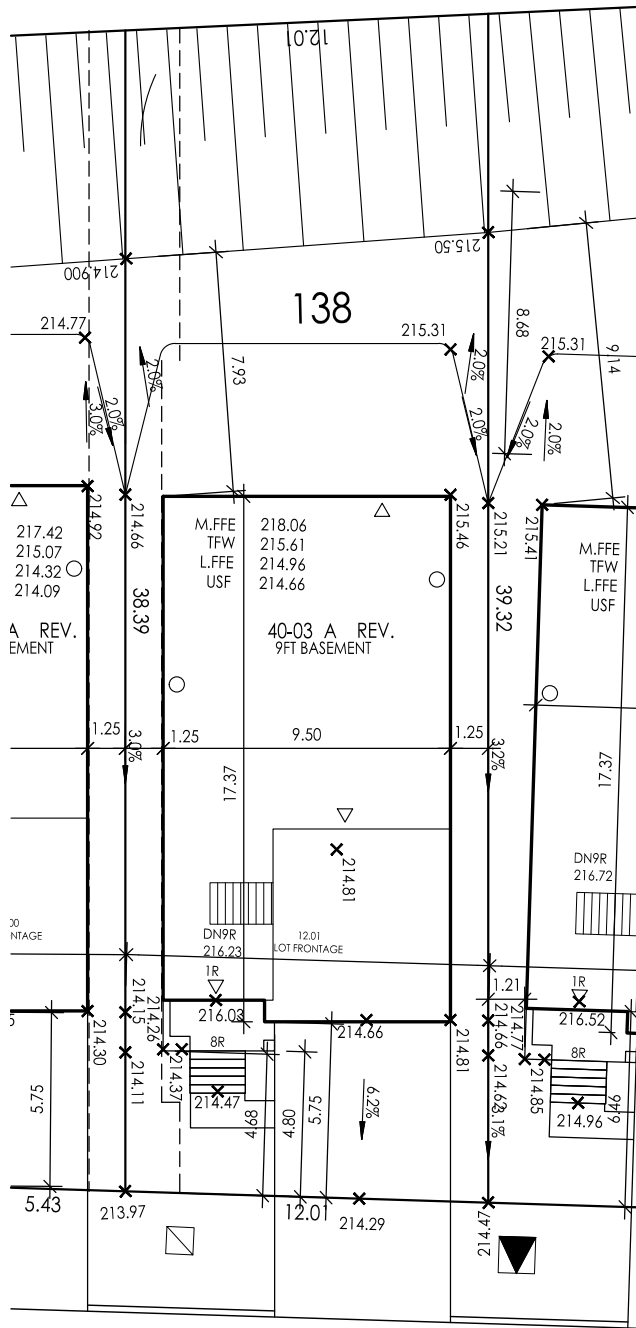
NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 138
LOT AREA(m ²)	.
BLDG AREA(m ²)	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
PEAK HEIGHT(m)	.
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION	[Symbol]	SUMP PUMP
TFW TOP OF FOUNDATION WALL	[Symbol]	BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	[Symbol]	CABLE PEDESTAL
USF UNDER SIDE FOOTING	[Symbol]	CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	[Symbol]	DBL CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	[Symbol]	ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	[Symbol]	HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	[Symbol]	FIRE HYDRANT
WOD WALKOUT DECK	[Symbol]	STREET LIGHT
LOB LOOKOUT BASEMENT	[Symbol]	MAIL BOX
WOB WALK OUT BASEMENT	[Symbol]	TRANSFORMER
WUB WALK UP BASEMENT	[Symbol]	SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	[Symbol]	SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	[Symbol]	WATER CONNECTION
△ DOOR	[Symbol]	WATER VALVE CHAMBER
○ WINDOW	[Symbol]	HYDRANT AND VALVE
[Symbol] AIR CONDITIONING	[Symbol]	HYDRO METER
[Symbol] DOWN SPOUT TO SPLASH PAD	[Symbol]	GAS METER
[Symbol] DOWNSPOUT CONNECTED TO STIM	[Symbol]	MANHOLE - STORM
[Symbol] SWALE DIRECTION	[Symbol]	MANHOLE - SANITARY
---	[Symbol]	CHAINLINK FENCE
---	[Symbol]	PRIVACY FENCE
---	[Symbol]	SOUND BARRIER

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.



ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C OF A	14-JAN-22	D.H	RP

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 - 11" FOOTING, LOWER USF BY 0.13
 - 12" FOOTING, LOWER USF BY 0.15
 - 13" FOOTING, LOWER USF BY 0.18
 - 14" FOOTING, LOWER USF BY 0.20

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QUALIFIED DESIGNER BCIN:
 FIRM BCIN:
 DATE:
 SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
THORNHILL WOODS VAUGHAN

DRAWING
SITE PLAN

DRAWN BY	SCALE
---	1:250
PROJECT No.	LOT NUMBER
21080	LOT 138

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *MB*

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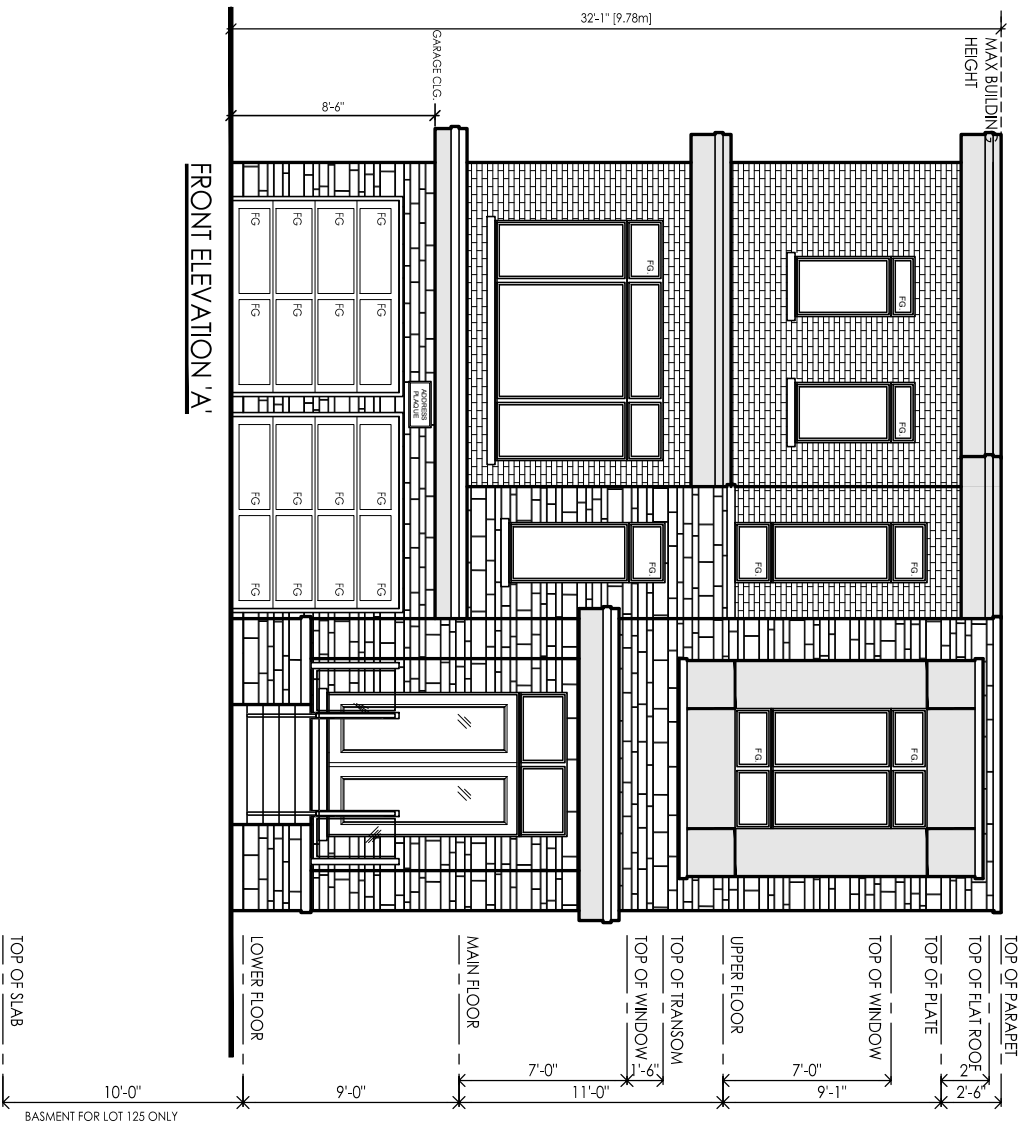
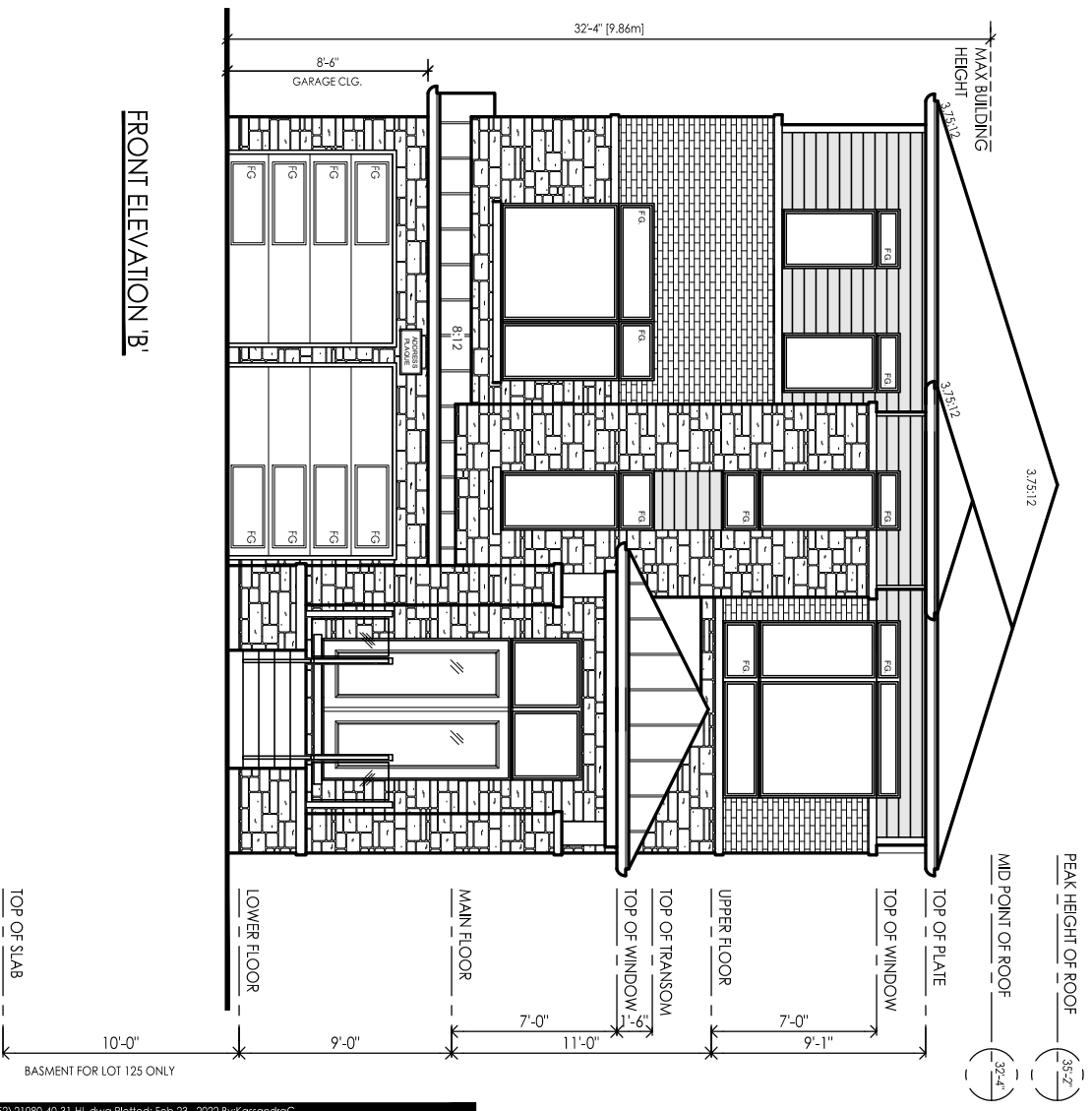
client **Vogue**
Development **Group**
project **Thornhill Woods**
Vaughan, City of

model **40-31**

project # **21080**

scale **1/8" = 1'0"**

page **B5**



revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22
2 ISSUED FOR REVIEW	KC	23-08-22

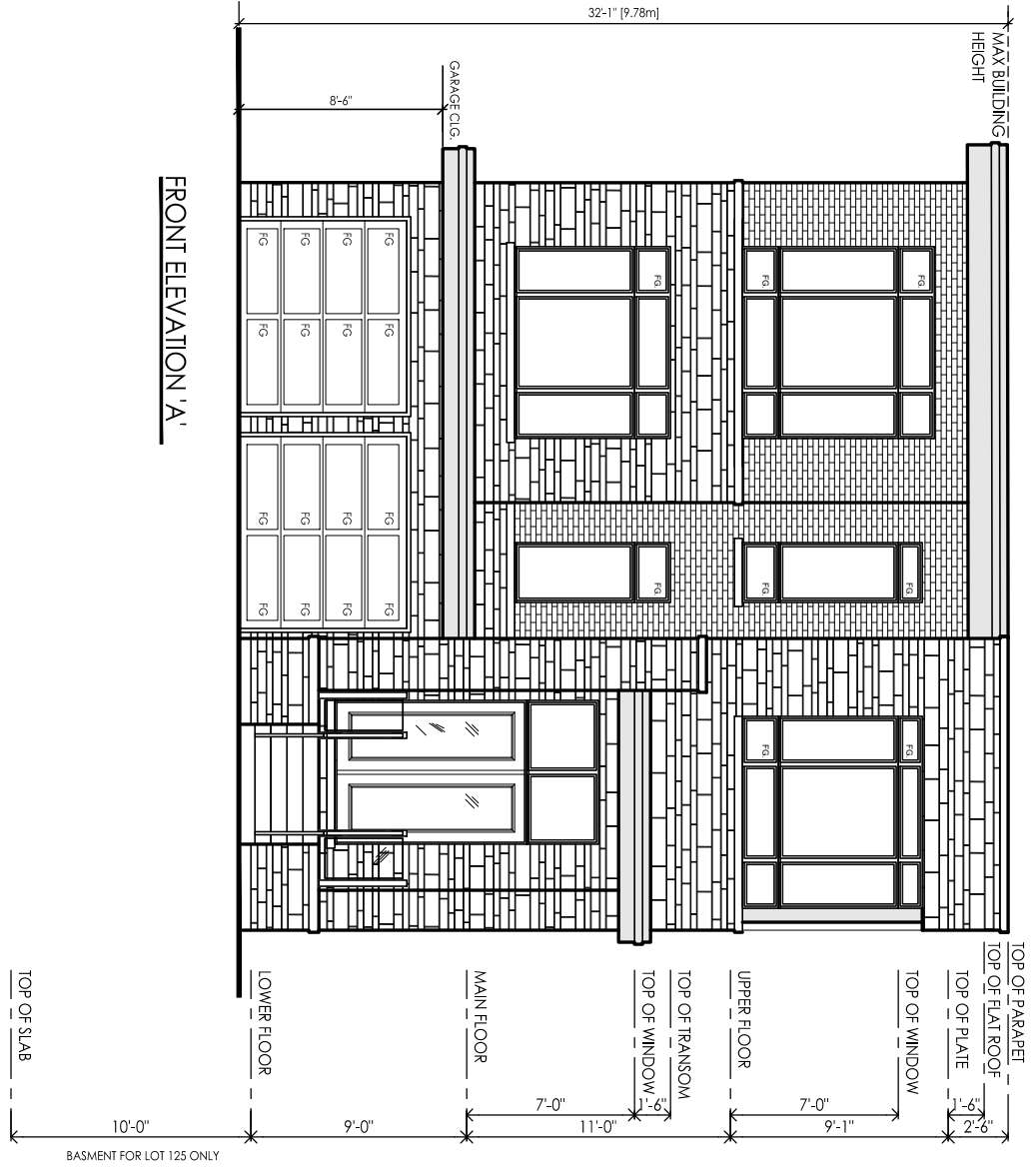
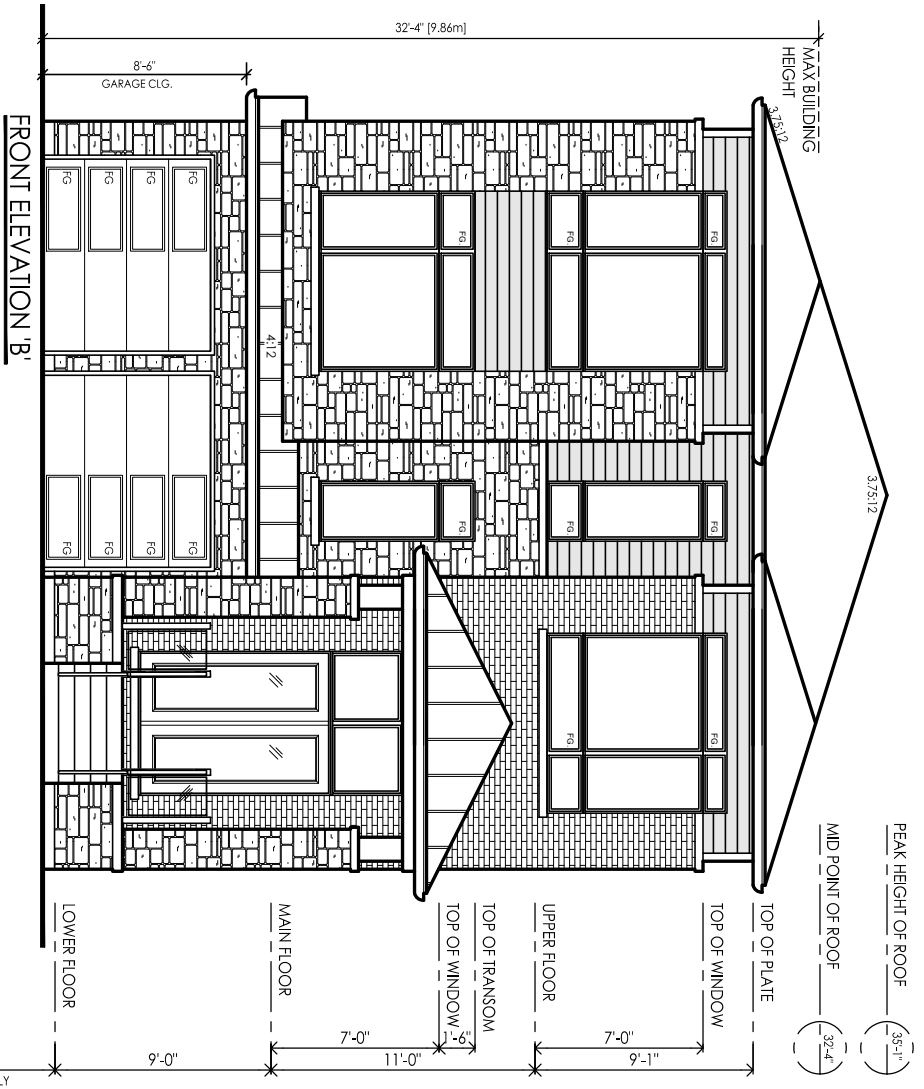
W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

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client Vogue
project Development
Group
project Thornhill Woods
model Vaughan, City of
40-32
project # 21080
scale 1/8" = 1'0"
page **B5**

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-jan-22
2 ISSUED FOR REVIEW	KC	23-feb-22



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DESIGN CONTROL REVIEW
FEB. 23, 2022

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client **Vogue Development Group**

project **Thornhill Woods**

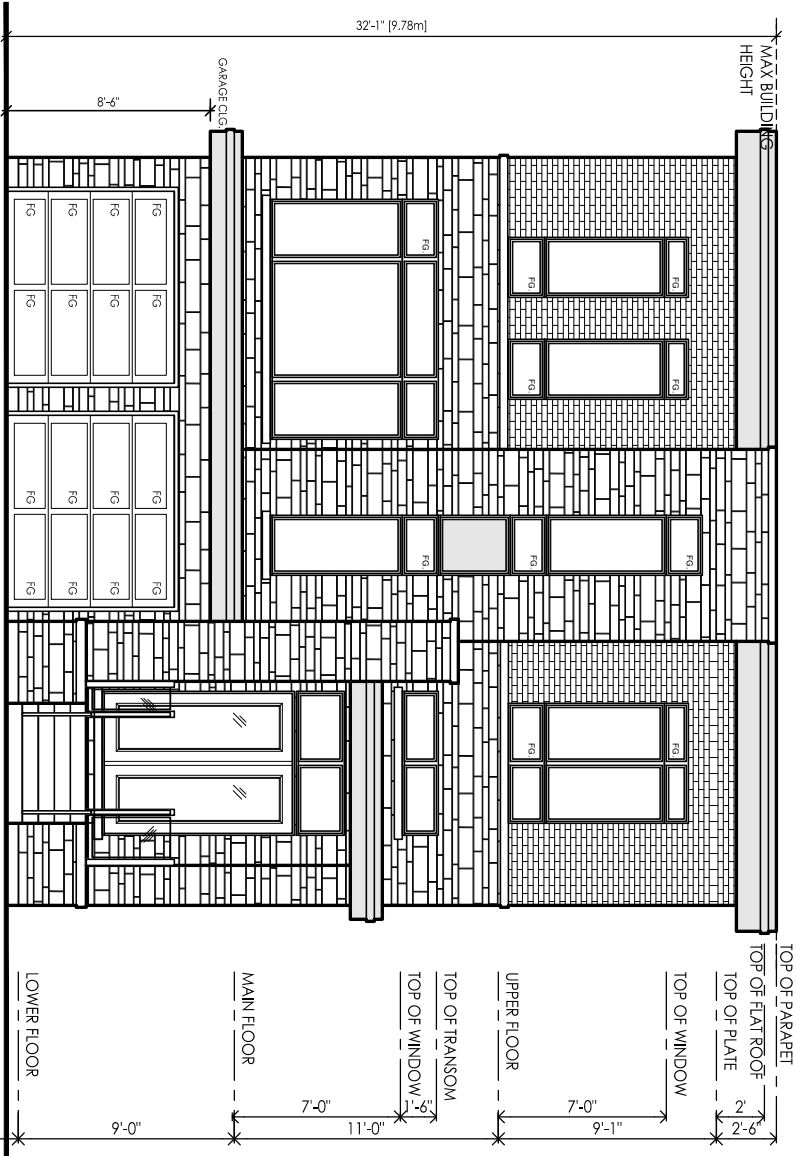
model **Vaughan, City of**

40-33

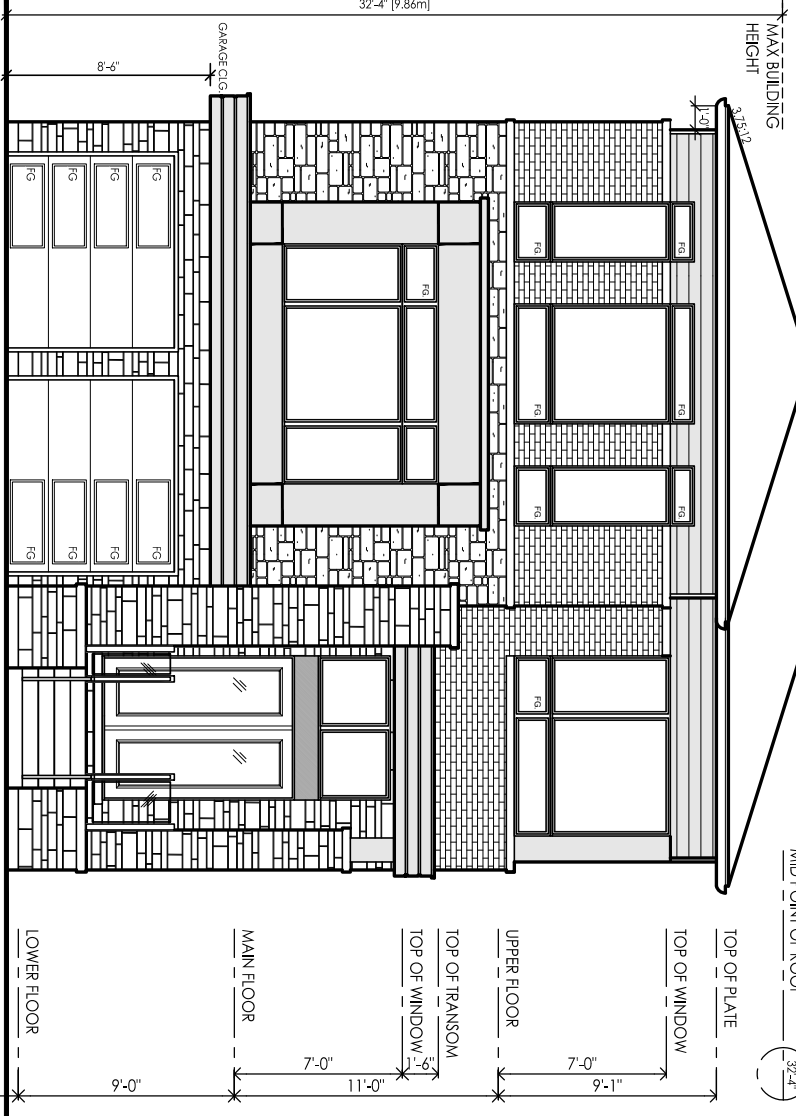
project # **21080**

scale **1/8" = 1'0"**

page **B4**



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

revisions	date
1 ISSUED FOR REVIEW	MJS 18-07-22
2 ISSUED FOR REVIEW	MJS 17-06-22

A067/22

LOT 137			
ZONE: BY-LAW 1-88 : RV3 BY-LAW 001-2001 : R3A(EN)-729	REQUIRED		PROPOSED
	BY-LAW 1-88	BY-LAW 001-2021	
MIN. LOT AREA:	360.0m2	320.0m2	455.76m2
BUILDING AREA:			168.30m2
MAX. COVERAGE:	NR	55.0%	36.9%
MAX. BUILDING HEIGHT:	9.5m	9.5m	10.00 m
LOT FRONTAGE:			12.00m

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 137
LOT AREA(m) ²	.
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
PEAK HEIGHT(m)	.
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION	[Symbol]	SUMP PUMP
TFW TOP OF FOUNDATION WALL	[Symbol]	BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	[Symbol]	CABLE PEDESTAL
USF UNDER SIDE FOOTING	[Symbol]	CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	[Symbol]	DBL CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	[Symbol]	ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	[Symbol]	HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	[Symbol]	FIRE HYDRANT
WOD WALKOUT DECK	[Symbol]	STREET LIGHT
LOB LOOKOUT BASEMENT	[Symbol]	MAIL BOX
WOB WALK OUT BASEMENT	[Symbol]	TRANSFORMER
WUB WALK UP BASEMENT	[Symbol]	SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	[Symbol]	SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	[Symbol]	WATER CONNECTION
△ DOOR	[Symbol]	WATER VALVE CHAMBER
○ WINDOW	[Symbol]	HYDRANT AND VALVE
AC AIR CONDITIONING	[Symbol]	HYDRO METER
DS DOWN SPOUT TO SPLASH PAD	[Symbol]	GAS METER
DS DOWN SPOUT CONNECTED TO STIM	[Symbol]	MANHOLE - STORM
SD SWALE DIRECTION	[Symbol]	MANHOLE - SANITARY
X CHAINLINK FENCE		
XX PRIVACY FENCE		
XXX SOUND BARRIER		

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C OF A	14-JAN-22	D.H	RP

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 - 11" FOOTING, LOWER USF BY 0.13
 - 12" FOOTING, LOWER USF BY 0.15
 - 13" FOOTING, LOWER USF BY 0.18
 - 14" FOOTING, LOWER USF BY 0.20

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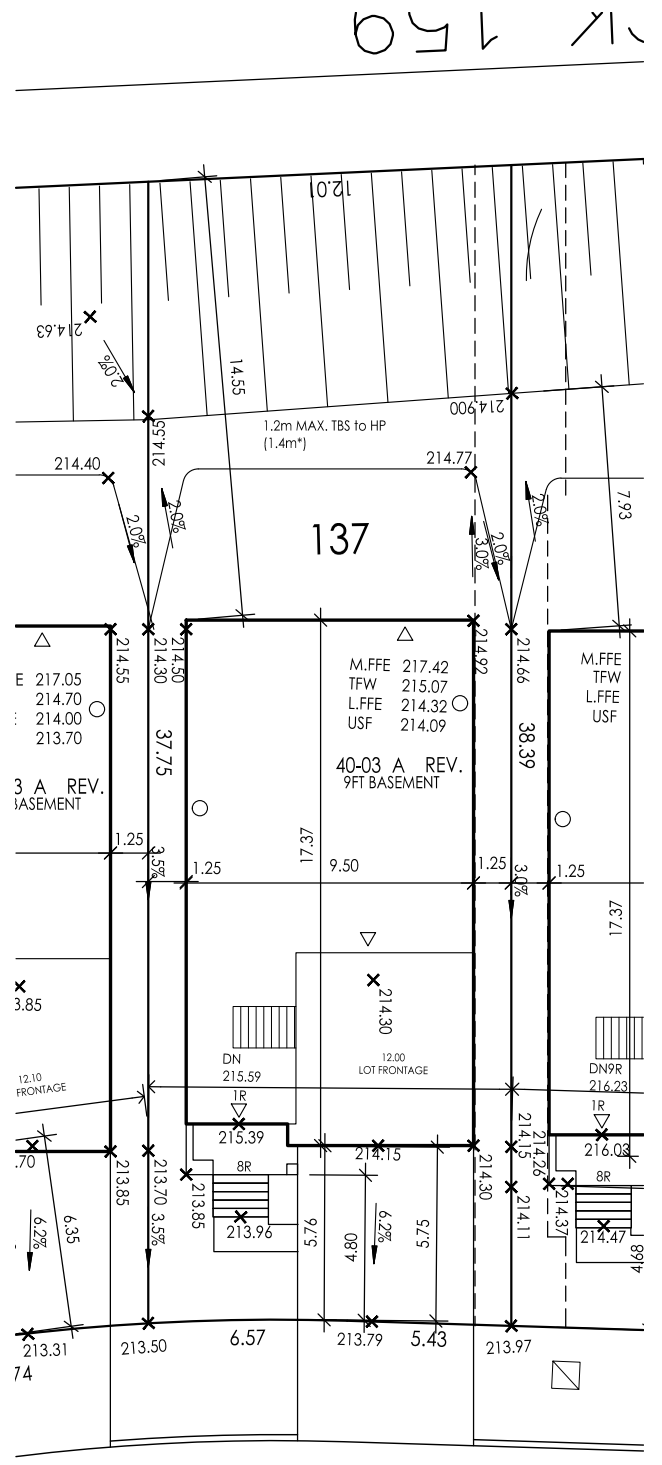
QUALIFIED DESIGNER BCIN:
 FIRM BCIN:
 DATE:
 SIGNATURE:

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
**THORNHILL WOODS
 VAUGHAN**

DRAWING
SITE PLAN

DRAWN BY ---	SCALE 1:250
PROJECT No. 21080	LOT NUMBER LOT 137



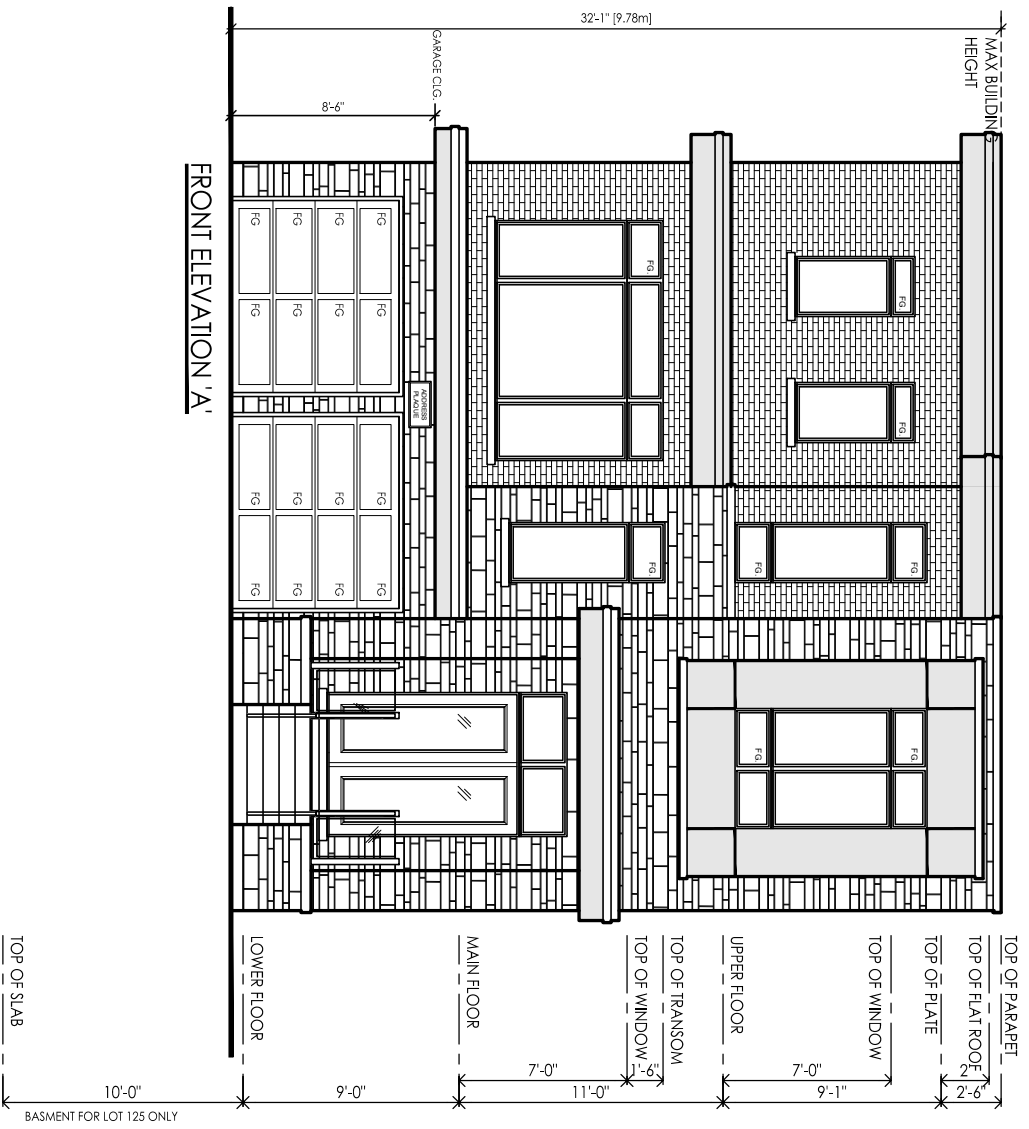
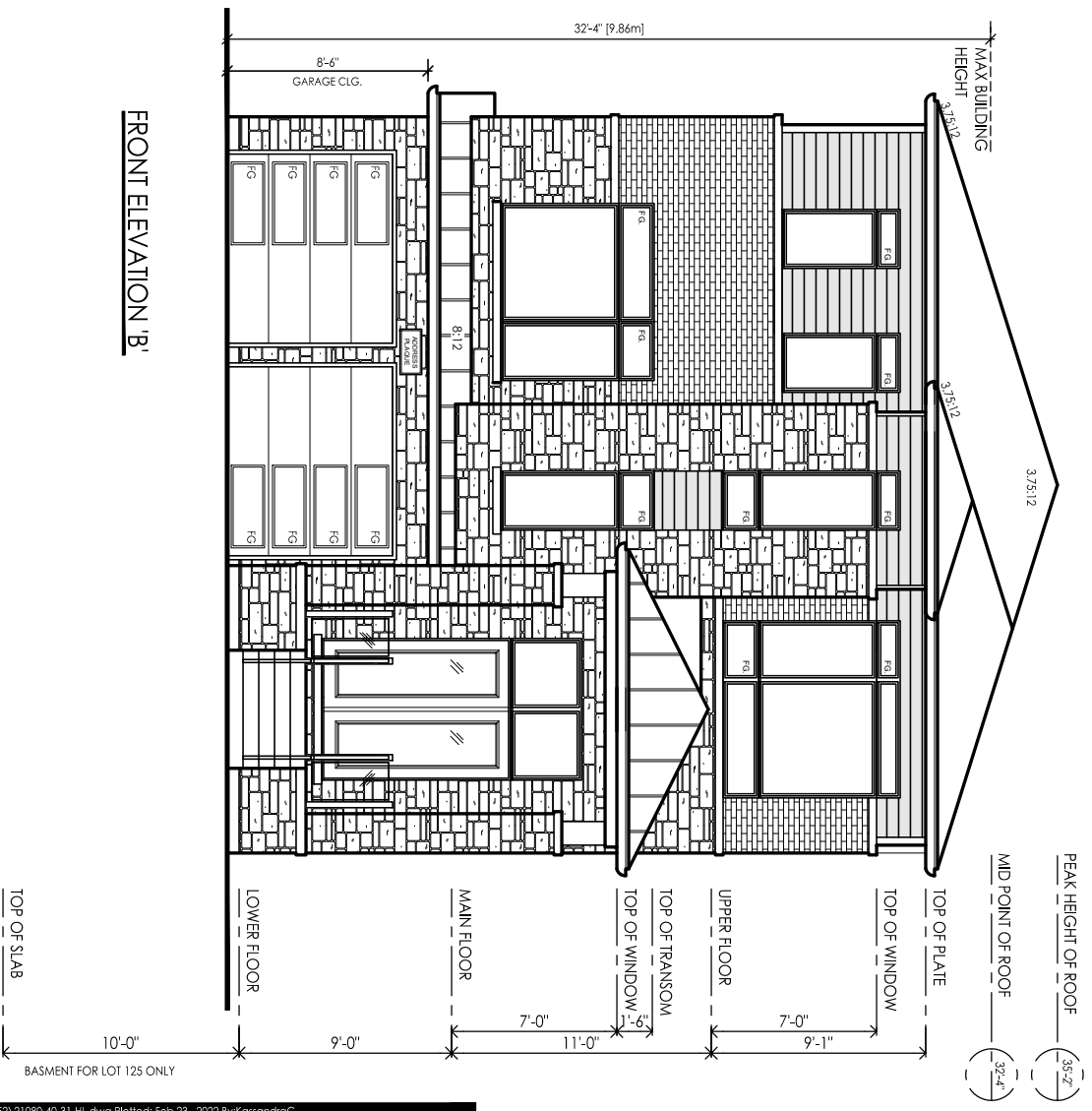


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DESIGN CONTROL REVIEW
FEB. 23, 2022
PRELIM BY: *MB*

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client **Vogue Development Group**
project **Thornhill Woods**
model **Vaughan, City of**
40-31
project # **21080**
scale **1/8" = 1'0"**
page **B5**



revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22
2 ISSUED FOR REVIEW	KC	23-08-22

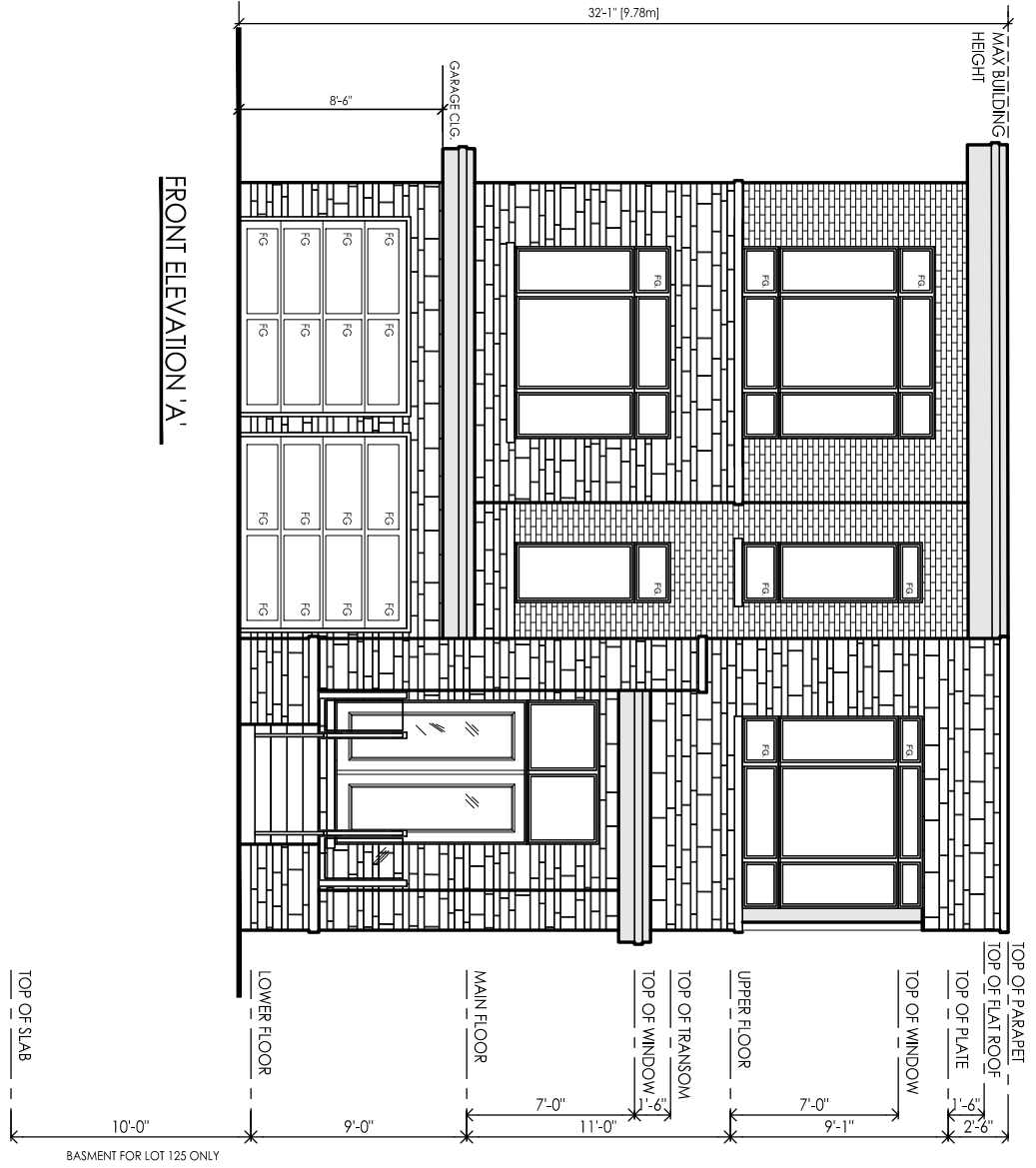
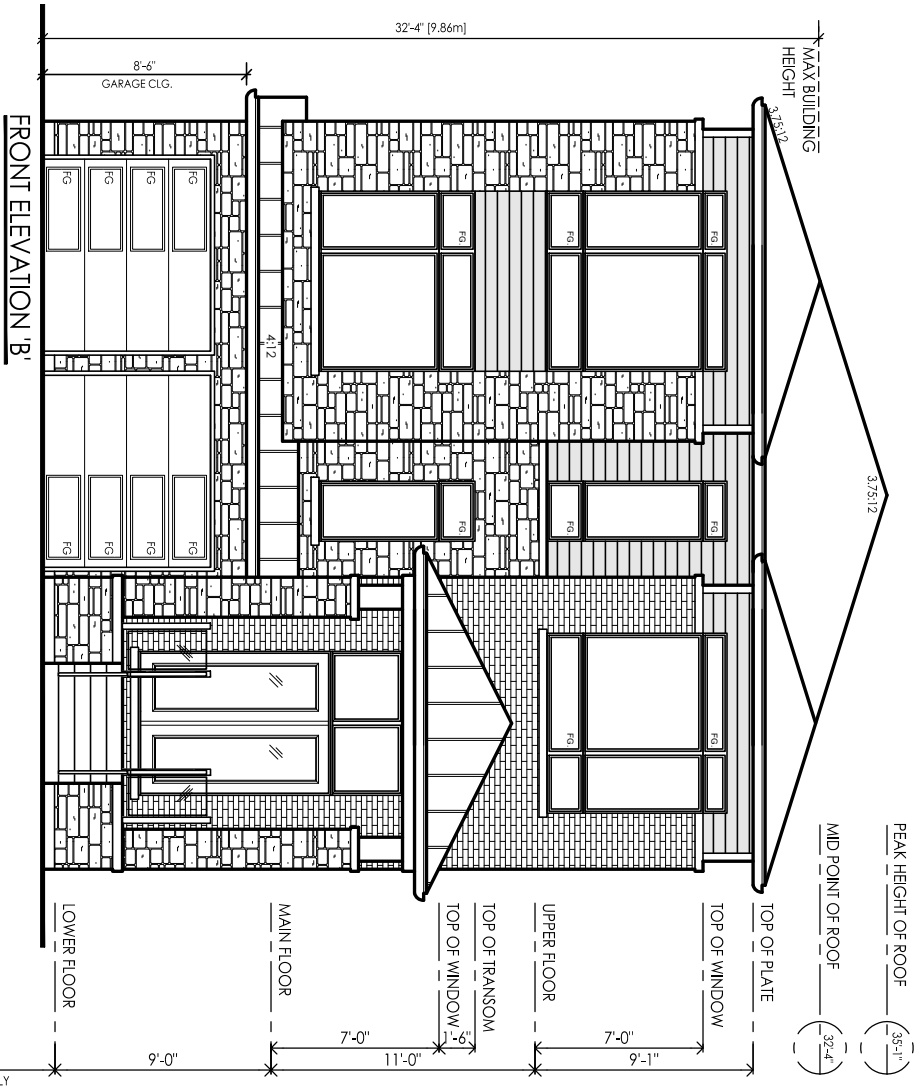
W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *[Signature]*

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client Vogue
project Development Group
project Thornhill Woods
model Vaughan, City of
40-32
project # 21080
scale 1/8" = 1'0"
page B5

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-jan-22
2 ISSUED FOR REVIEW	KC	23-feb-22



W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *AKB*

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client **Vogue Development Group**

project **Thornhill Woods**

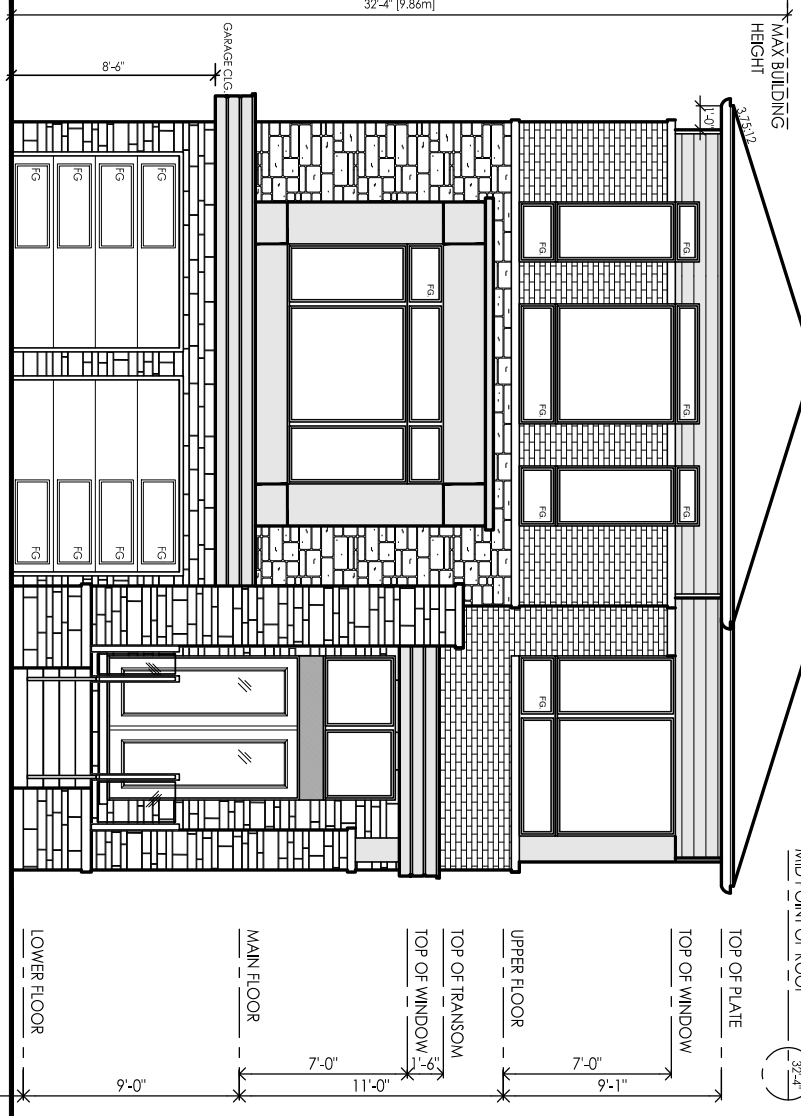
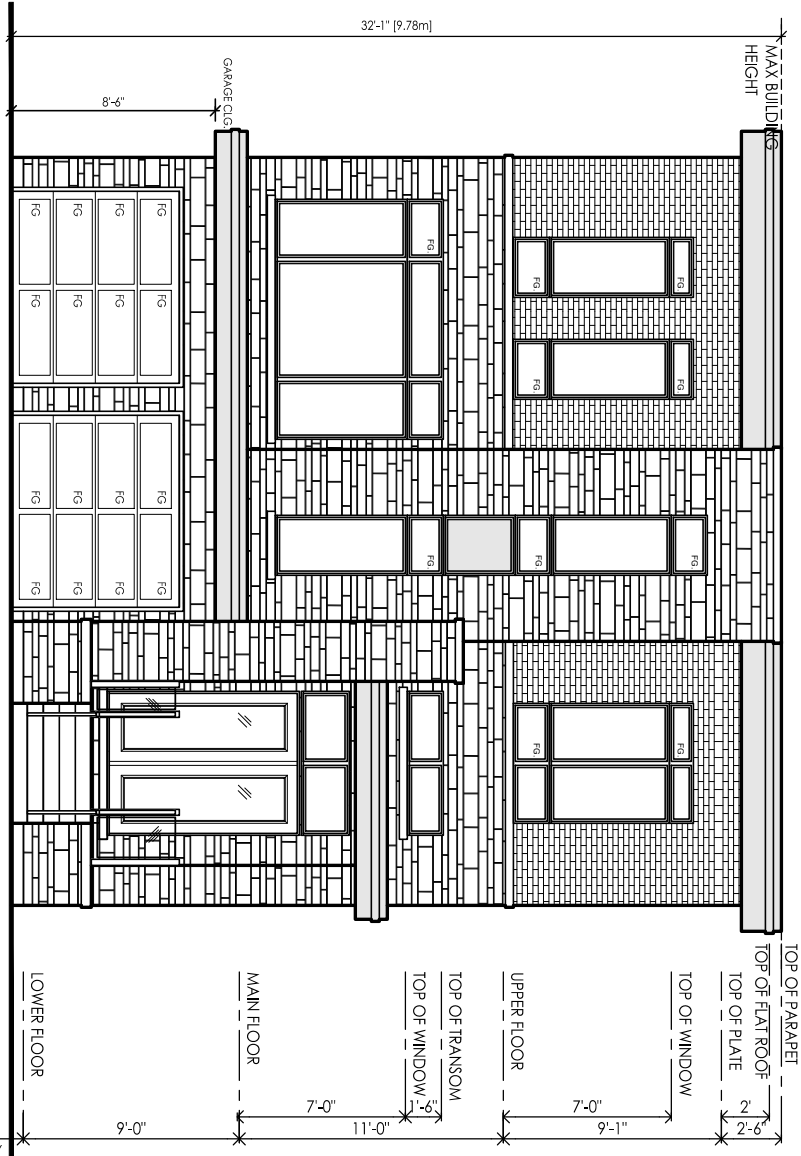
model **Vaughan, City of**

40-33

project # **21080**

scale **1/8" = 1'0"**

page **B4**



revisions	date
1 ISSUED FOR REVIEW	MJS 18-07-22
2 ISSUED FOR REVIEW	MJS 17-06-22

A068/22

LOT 136			
ZONE:	REQUIRED		PROPOSED
	BY-LAW 1-88	BY-LAW 001-2021	
BY-LAW 1-88 : RV3 BY-LAW 001-2001 : R3A(EN)-729	360.0m2	320.0m2	457.64m2
MIN. LOT AREA:			168.30m2
BUILDING AREA:			168.30m2
MAX. COVERAGE:	NR	55.0%	36.7%
MAX. BUILDING HEIGHT:	9.5m	9.5m	10.00 m
LOT FRONTAGE:			12.10m

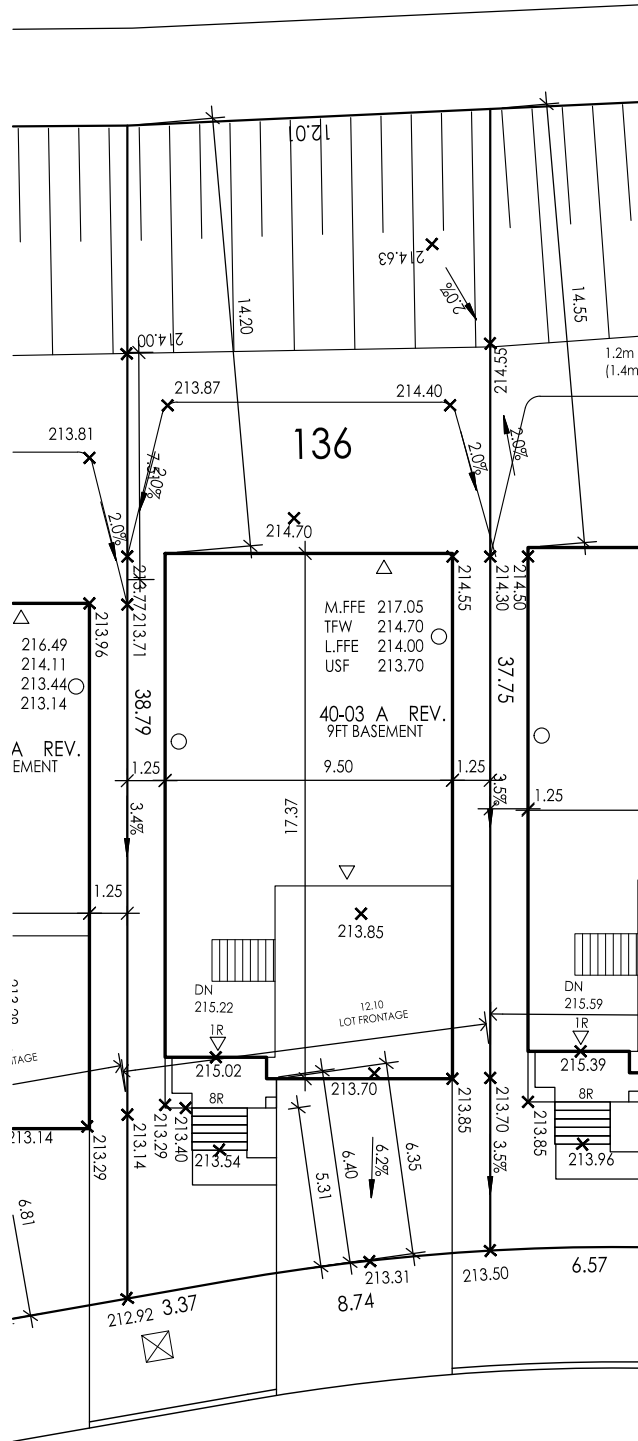
NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS

REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 136
LOT AREA(m) ²	.
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
PEAK HEIGHT(m)	.
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION	[SP]	SUMP PUMP
TFW TOP OF FOUNDATION WALL	[X]	BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	[■]	CABLE PEDESTAL
USF UNDER SIDE FOOTING	[□]	CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	[*]	DBL CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	[+]	ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	[○]	HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	[SL]	FIRE HYDRANT
WOD WALKOUT DECK	[▽]	STREET LIGHT
LOB LOOKOUT BASEMENT	[▽]	MAIL BOX
WOB WALK OUT BASEMENT	[▽]	TRANSFORMER
WUB WALK UP BASEMENT	[▽]	SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	[+]	SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	[+]	WATER CONNECTION
△ DOOR	[○]	WATER VALVE CHAMBER
○ WINDOW	[○]	HYDRANT AND VALVE
[AC] AIR CONDITIONING	[○]	HYDRO METER
[DS] DOWN SPOUT TO SPLASH PAD	[○]	GAS METER
[DC] DOWNSPOUT CONNECTED TO STIM	[○]	MANHOLE - STORM
[SD] SWALE DIRECTION	[○]	MANHOLE - SANITARY
-X-	-X-	CHAINLINK FENCE
-XX-	-XX-	PRIVACY FENCE
-XXX-	-XXX-	SOUND BARRIER
---	---	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.



ISSUED OR REVISION COMMENTS

NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C OF A	14-JAN-22	D.H	RP

IMPORTANT FOOTING NOTE:
IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED
- LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".
- IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:
- UP TO 9" FOOTING, LOWER USF BY 0.07
- 10" FOOTING, LOWER USF BY 0.10
- 11" FOOTING, LOWER USF BY 0.13
- 12" FOOTING, LOWER USF BY 0.15
- 13" FOOTING, LOWER USF BY 0.18
- 14" FOOTING, LOWER USF BY 0.20

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QUALIFIED DESIGNER BCIN: _____
 FIRM BCIN: _____
 DATE: _____

SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
THORNHILL WOODS VAUGHAN

DRAWING
SITE PLAN

DRAWN BY ---	SCALE 1:250
PROJECT No. 21080	LOT NUMBER LOT 136

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *MB*

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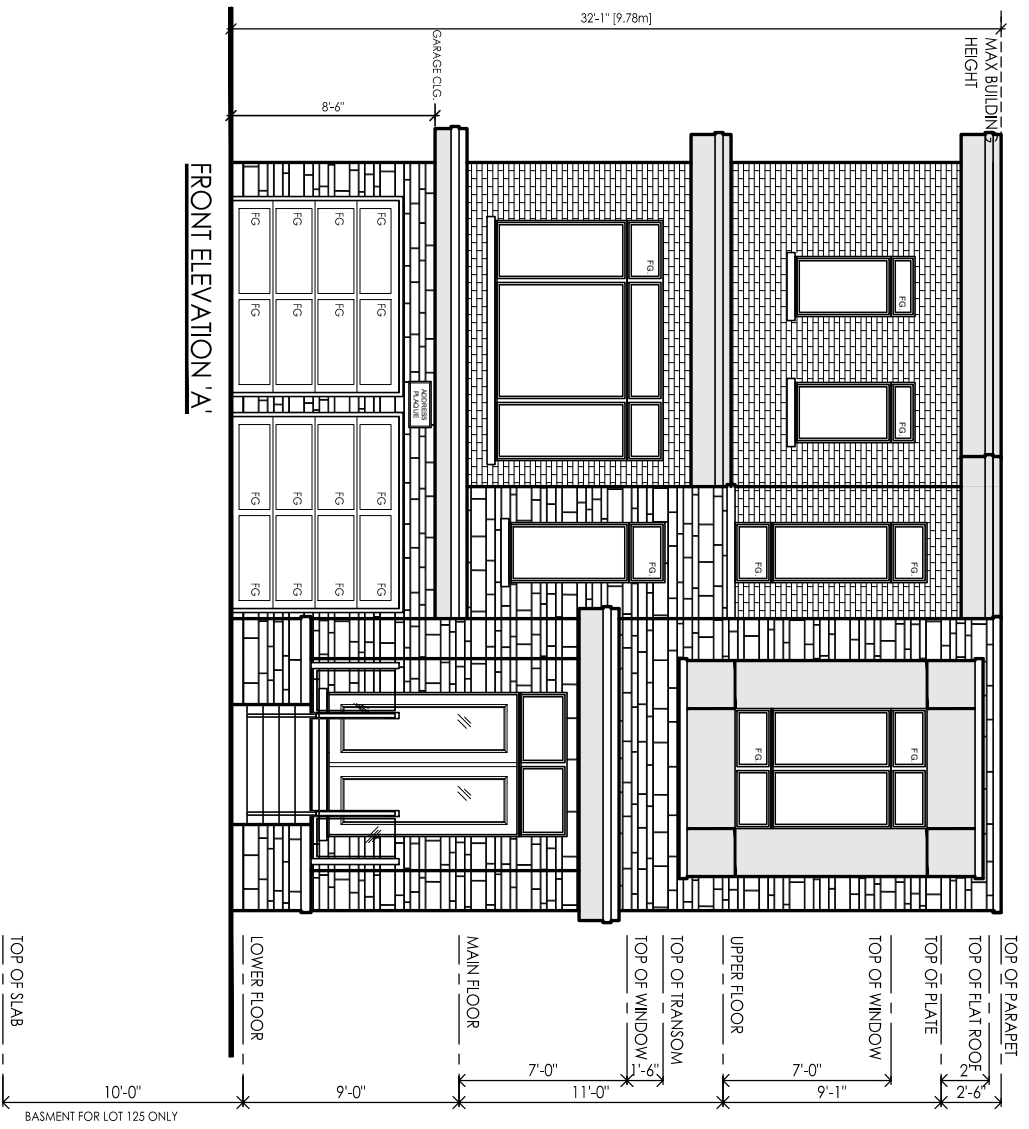
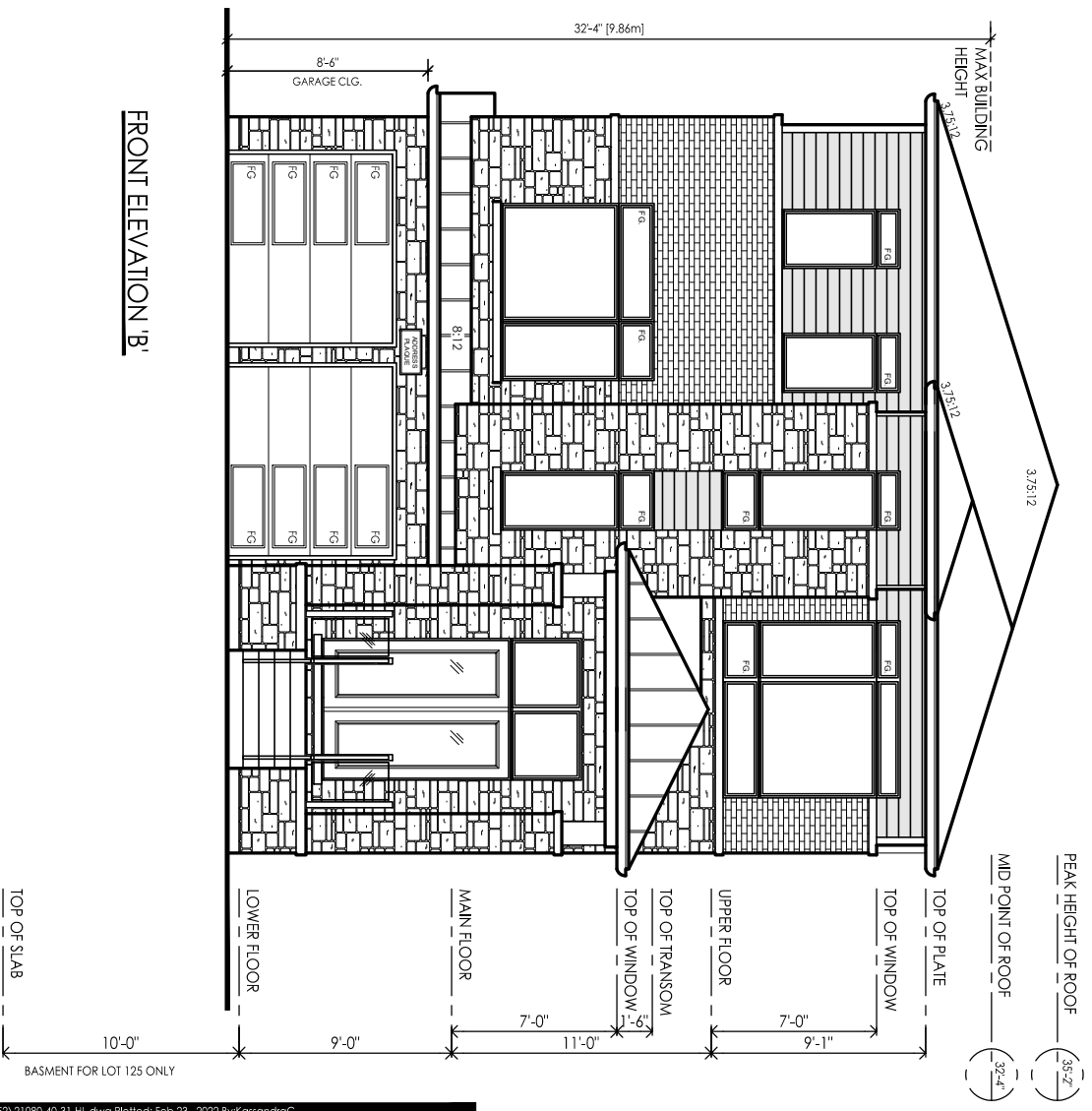
client **Vogue**
Development **Group**
project **Thornhill Woods**
Vaughan, City of

model **40-31**

project # **21080**

scale **1/8" = 1'0"**

page **B5**



revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22
2 ISSUED FOR REVIEW	KC	23-08-22

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *[Signature]*

The stamp is only for the purposes of design control and carries no other professional obligations.

client Vogue
Development
Group

project Thornhill Woods
Vaughan, City of

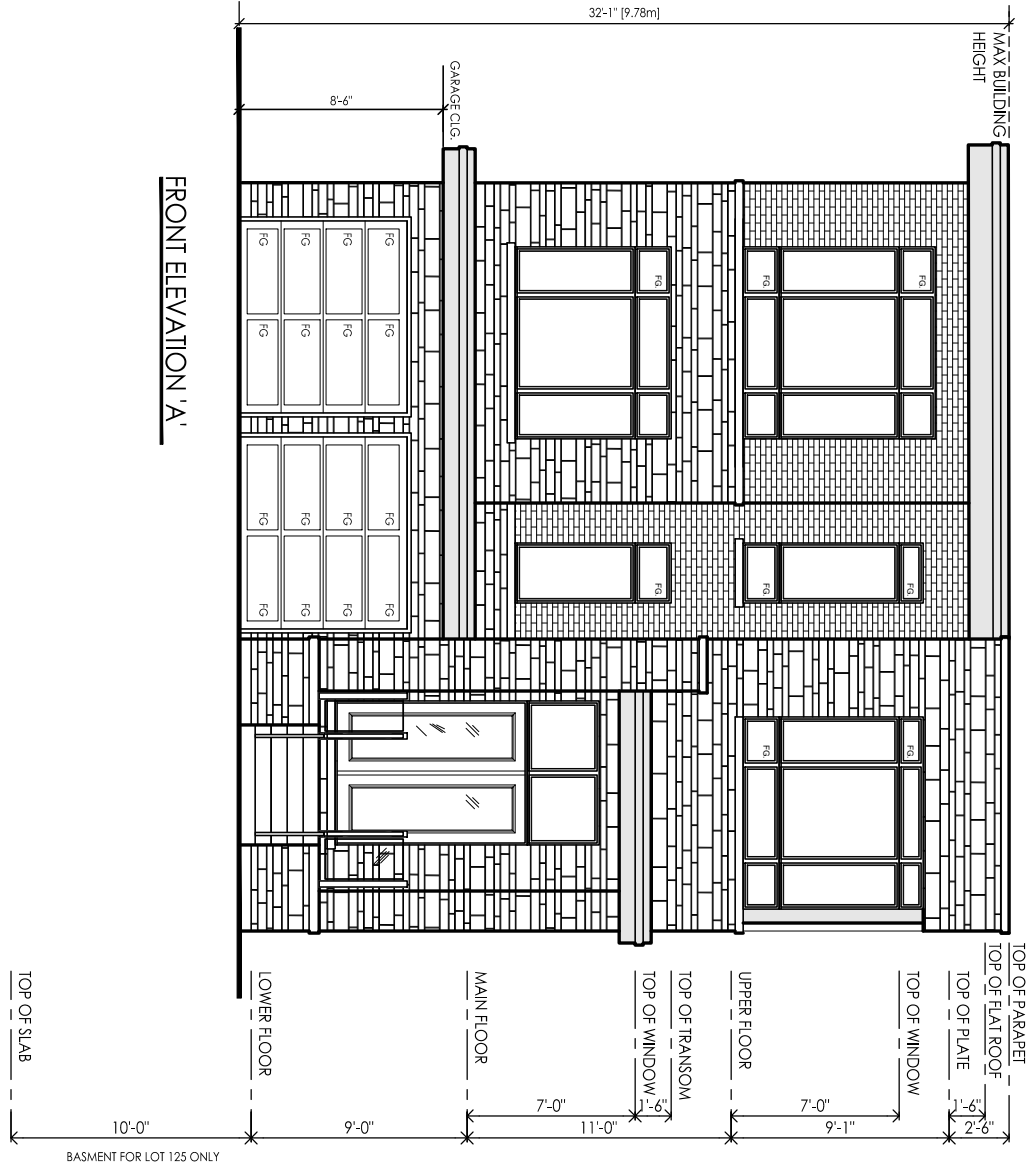
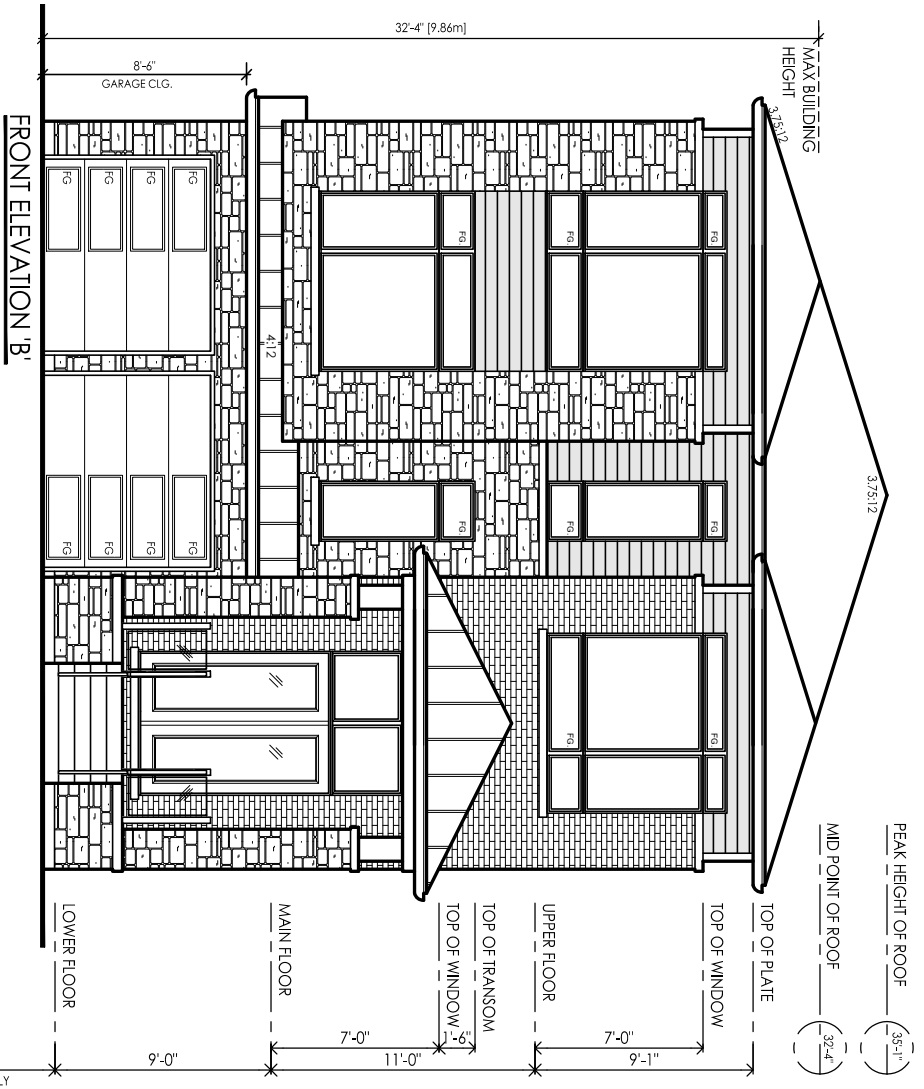
model 40-32

project # 21080

scale 1/8" = 1'0"

page B5

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-jan-22
2 ISSUED FOR REVIEW	KC	23-feb-22



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DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *AKB*

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client **Vogue Development Group**

project **Thornhill Woods**

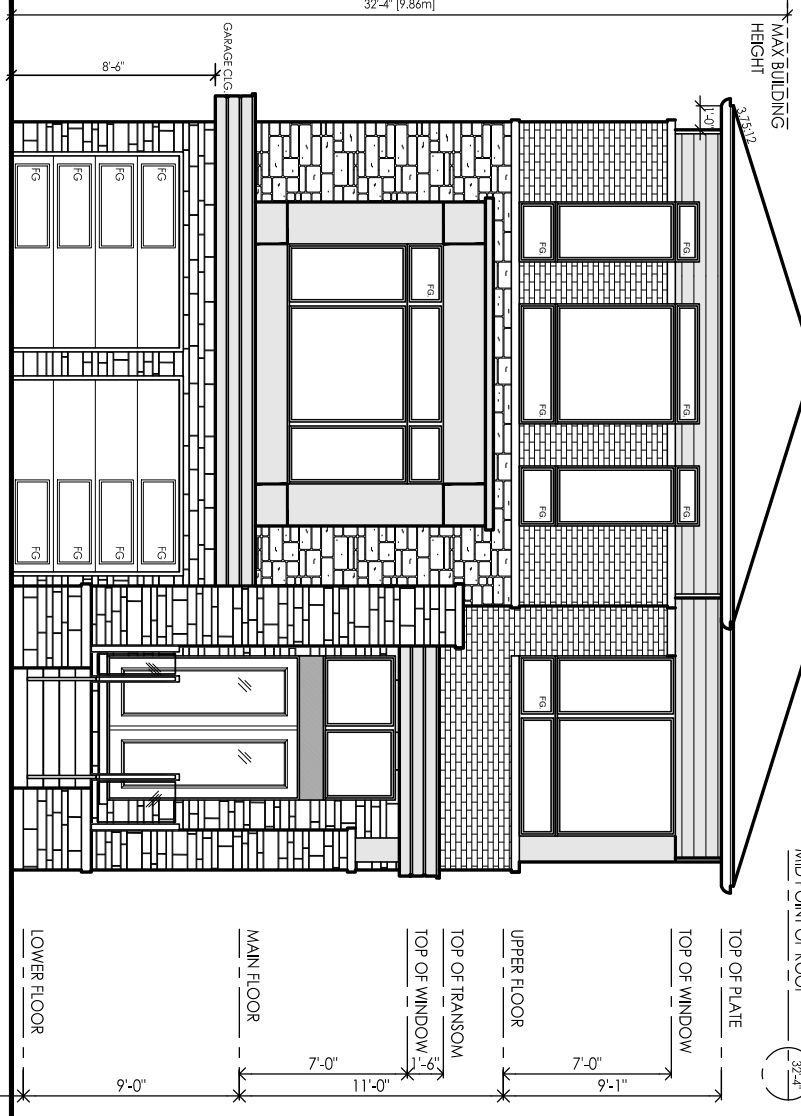
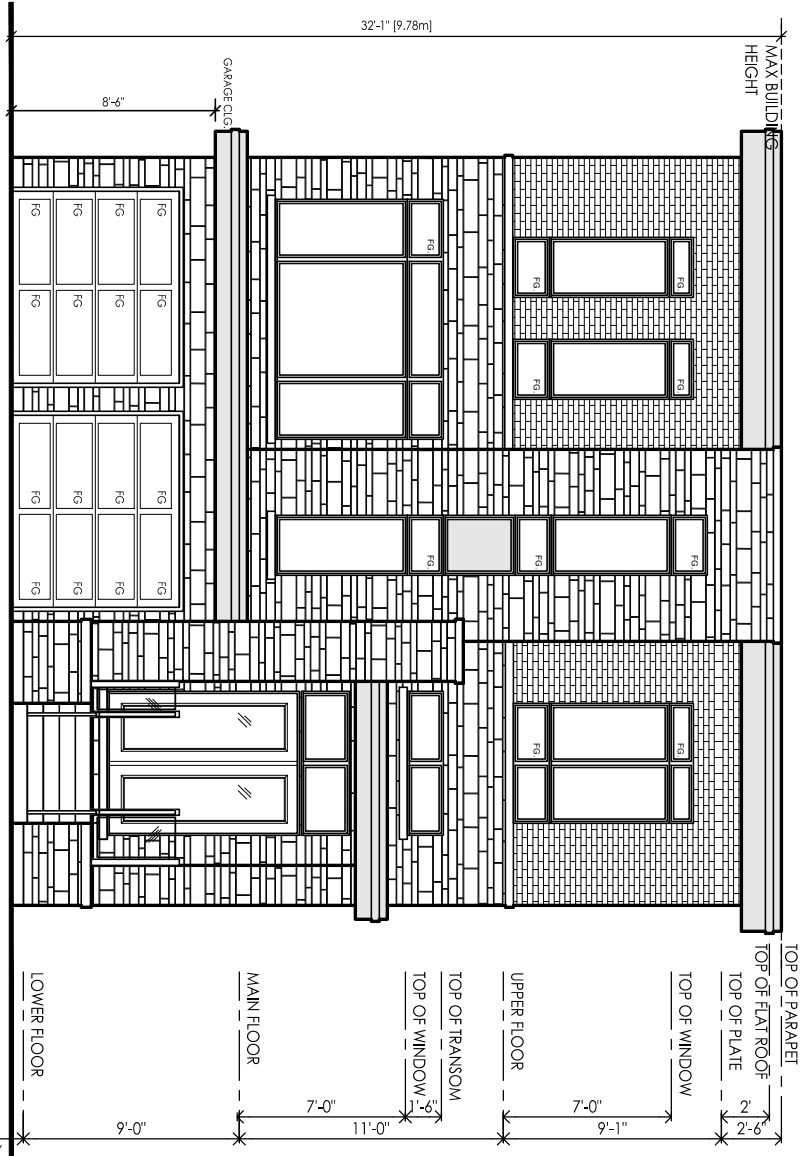
model **Vaughan, City of**

40-33

project # **21080**

scale **1/8" = 1'0"**

page **B4**

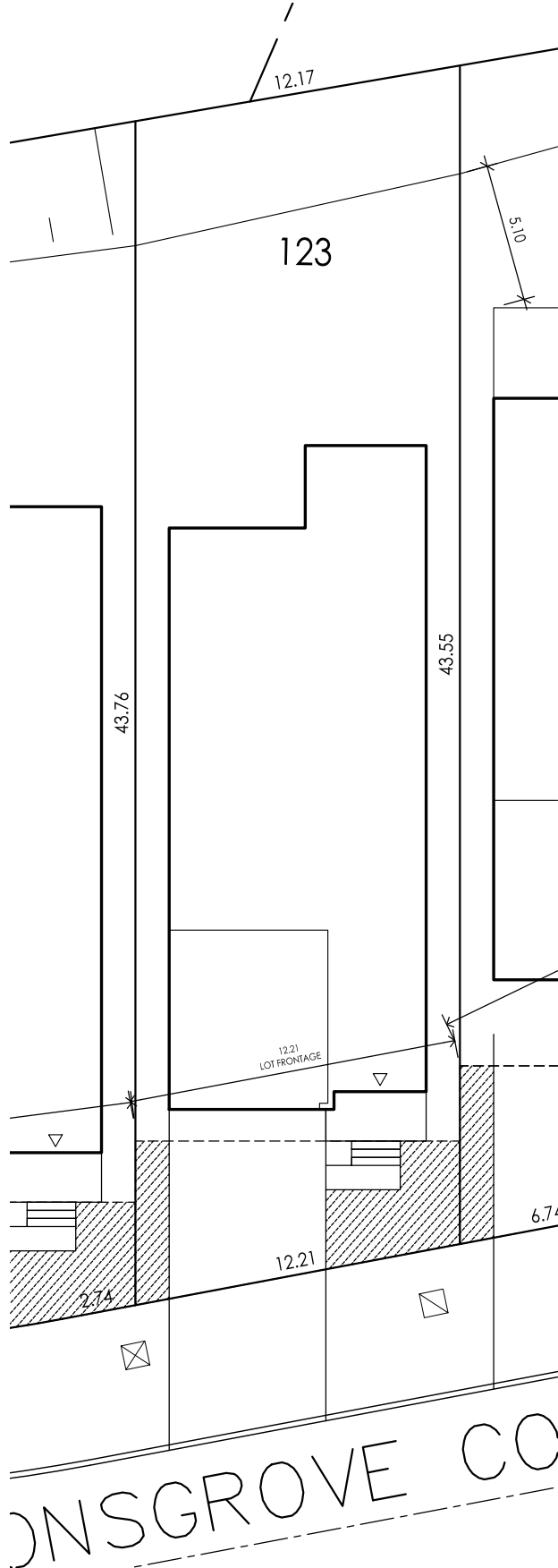


revisions	date
1 ISSUED FOR REVIEW	MJS 18-07-22
2 ISSUED FOR REVIEW	MJS 17-06-22

A069/22

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 123
LOT AREA(m) ²	523.85
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	12.21
DECK LINE(m)	.



LEGEND	
FFE FINISHED FLOOR ELEVATION	[SP] SUMP PUMP
TFW TOP OF FOUNDATION WALL	[X] BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	[□] CABLE PEDESTAL
USF UNDER SIDE FOOTING	[□] CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	[□] DBL. CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	[*] ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	[H] HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	[H] FIRE HYDRANT
WOD WALKOUT DECK	[SL] STREET LIGHT
LOB LOOKOUT BASEMENT	[M] MAIL BOX
WOB WALK OUT BASEMENT	[T] TRANSFORMER
WUB WALK UP BASEMENT	[▽] SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	[▽] SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	[+] WATER CONNECTION
△ DOOR	[e] WATER VALVE CHAMBER
○ WINDOW	[H] HYDRANT AND VALVE
[AC] AIR CONDITIONING	[M] HYDRO METER
[SP] DOWN SPOUT TO SPLASH PAD	[G] GAS METER
[□] DOWNSPOUT CONNECTED TO STIM	[M] MANHOLE - STORM
[→] SWALE DIRECTION	[M] MANHOLE - SANITARY
---	[X] CHAINLINK FENCE
---	[XX] PRIVACY FENCE
---	[XXX] SOUND BARRIER

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C OF A	14-JAN-22	D.H	RP
2	UPDATED STATS	16-FEB-22	D.H	RP

IMPORTANT FOOTING NOTE:
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 - 10" FOOTING, LOWER USF BY 0.10
 - 11" FOOTING, LOWER USF BY 0.13
 - 12" FOOTING, LOWER USF BY 0.15
 - 13" FOOTING, LOWER USF BY 0.18
 - 14" FOOTING, LOWER USF BY 0.20

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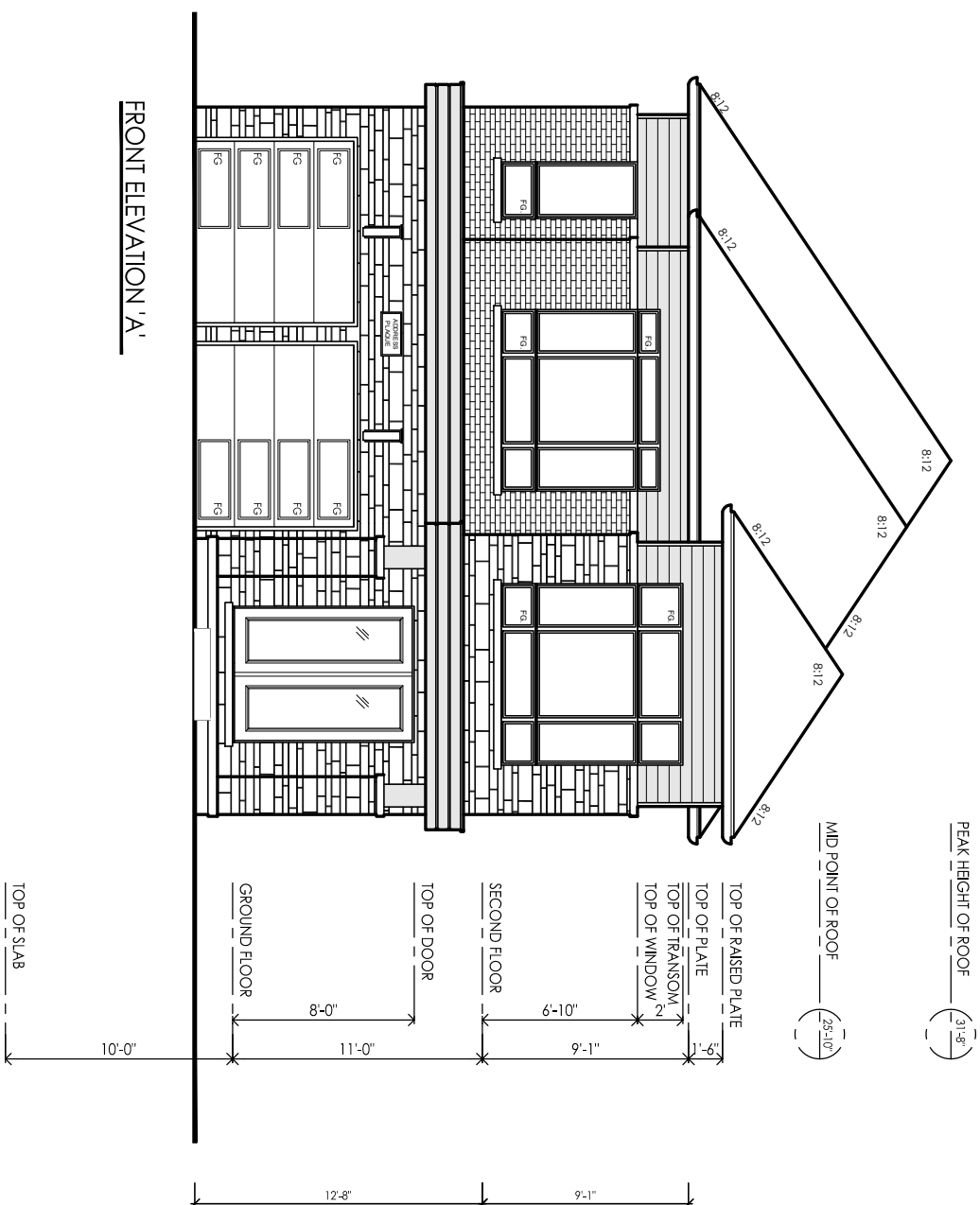
QUALIFIED DESIGNER BCIN: _____
 FIRM BCIN: _____
 DATE: _____

SIGNATURE: _____

CLIENT	VOGUE DEVELOPMENT GROUP
PROJECT/LOCATION	THORNHILL WOODS VAUGHAN
DRAWING	SITE PLAN

DRAWN BY	SCALE
---	1:250
PROJECT No.	LOT NUMBER
21080	LOT 123

LANDSCAPE CALC.		
FRONT YARD AREA	59.23m ²	
LANDSCAPED AREA	28.20m ²	47.61%
SOFT LANDSCAPED	23.66m ²	83.90%
LOT FRONTAGE	12.21m	



FRONT ELEVATION 'A'

W Architect Inc.
DESIGN CONTROL REVIEW
 FEB. 23, 2022
PRELIM BY: *[Signature]*
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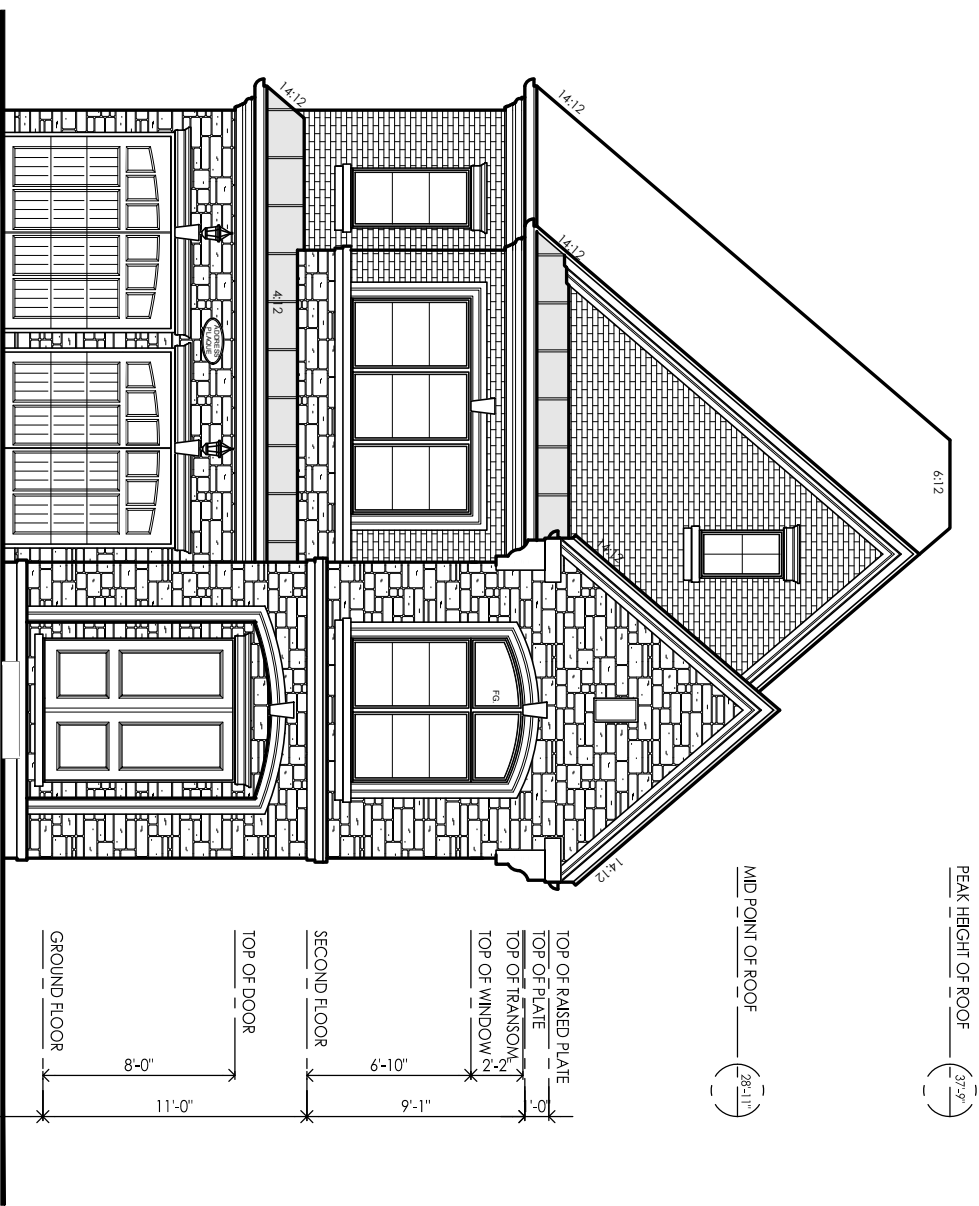
client/ **Vogue Development Group**
 project/ **Thornhill Woods**
 model/ **Vaughan, City of**

project # **21080**

scale **1/8" = 1'0"**

page **B4**

revisions	initials	date



FRONT ELEVATION B'

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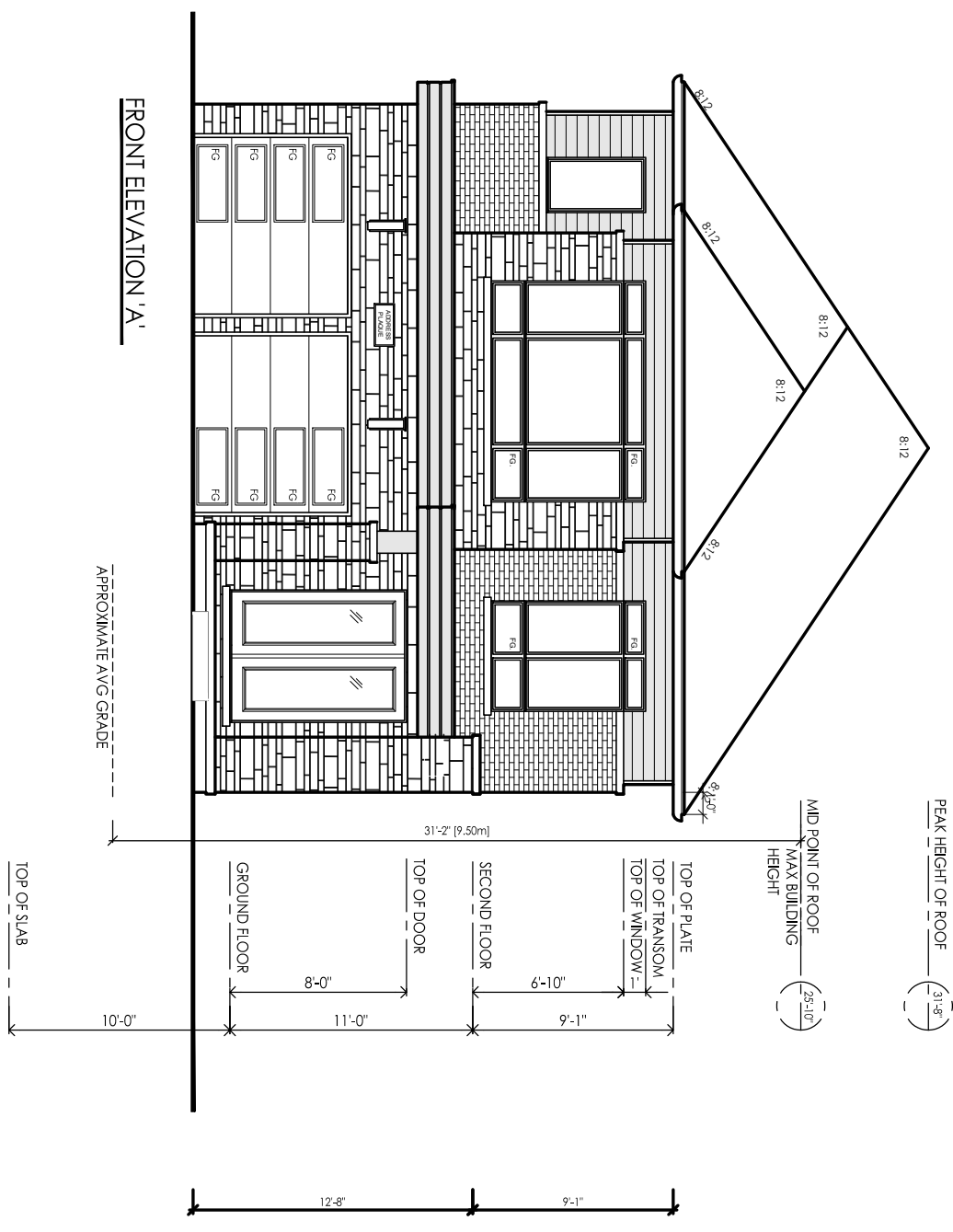
client/ Vogue
 Development Group
 project/ Thornhill Woods
 Vaughan, City of
 model/ 40-22
 project #/ 21080
 scale/ 1/8" = 1'0"
 page/ B 11

revisions	initials	date

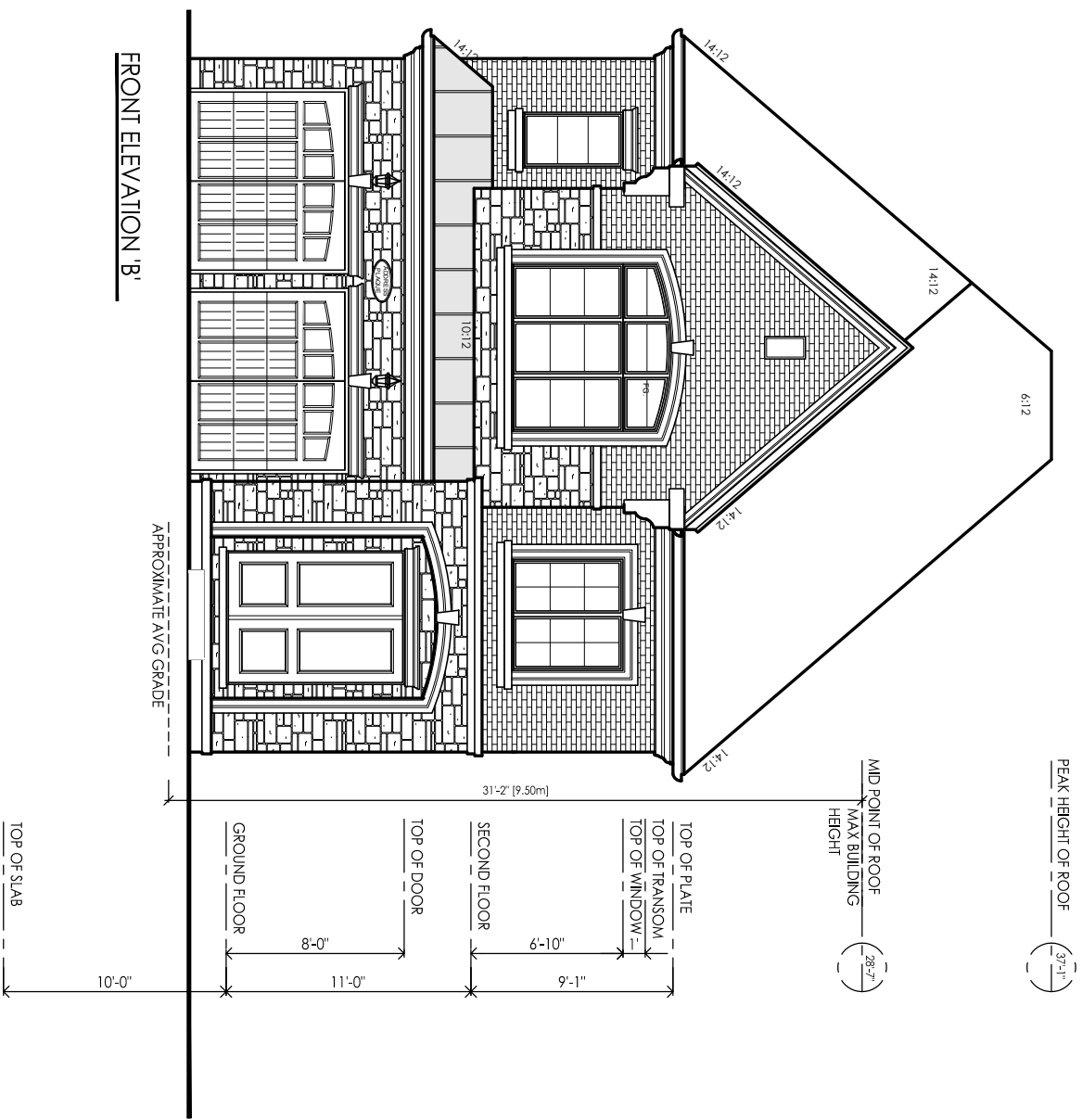
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DESIGN CONTROL REVIEW
 FEB. 23, 2022
PRELIM BY: *[Signature]*
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client | Vogue
 Development
 Group
 project | Thornhill Woods
 Vaughan, City of
 model |

project # | 21080
 scale | 1/8" = 1'0"
 page |



revisions	initials	date

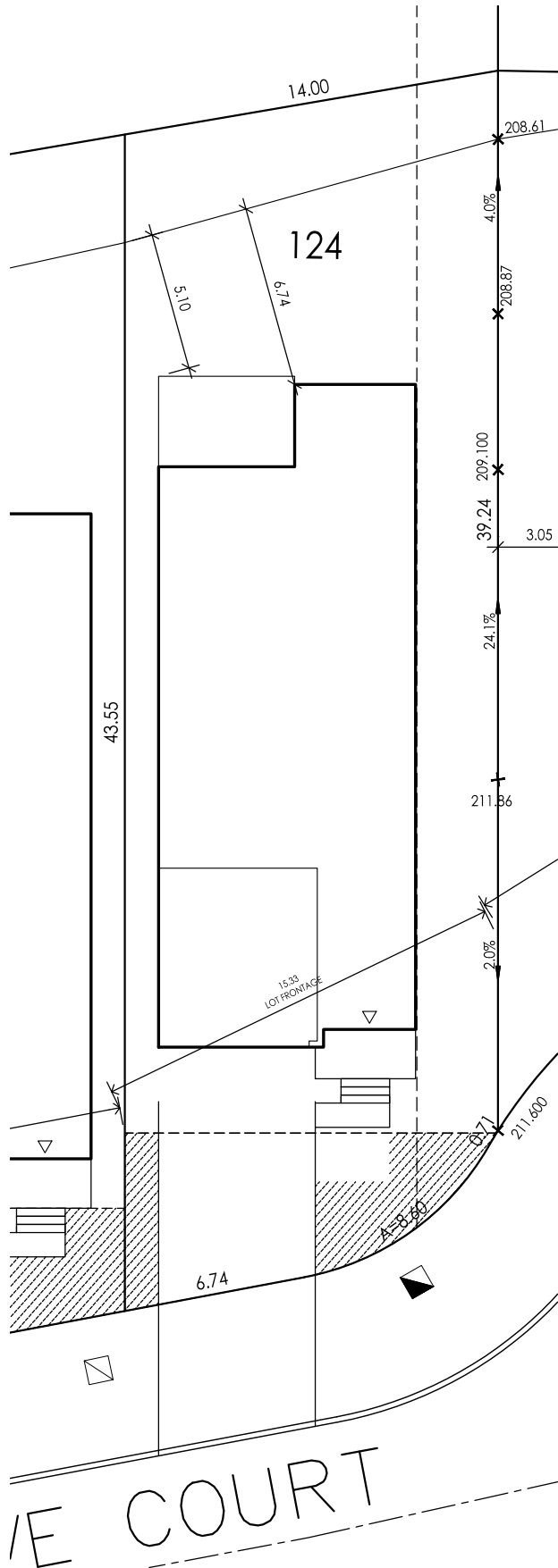


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DESIGN CONTROL REVIEW
 FEB. 23, 2022
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client/ **Vogue Development Group**
 project/ **Thornhill Woods**
 model/ **Vaughan, City of**
40-21
 project #/ **21080**
 scale/ **1/8" = 1'0"**
 page/ **B11**

revisions	initials	date

A070/22



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 124
LOT AREA(m) ²	591.05
BLDG AREA(m) ²	
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	
LOT FRONTAGE (m)	15.33
DECK LINE(m)	.

LEGEND

FFE FINISHED FLOOR ELEVATION	SPF SUMP PUMP
TFW TOP OF FOUNDATION WALL	BP BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	CP CABLE PEDESTAL
USF UNDER SIDE FOOTING	CB CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	DBL CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	EF ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	HC HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	FH FIRE HYDRANT
WOD WALKOUT DECK	SL STREET LIGHT
LOB LOOKOUT BASEMENT	MB MAIL BOX
WOB WALK OUT BASEMENT	T TRANSFORMER
WUB WALK UP BASEMENT	SC2 SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	SC1 SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	WC WATER CONNECTION
△ DOOR	WVC WATER VALVE CHAMBER
○ WINDOW	HYD HYDRANT AND VALVE
AC AIR CONDITIONING	HM HYDRO METER
DS DOWN SPOUT TO SPLASH PAD	GM GAS METER
DC DOWN SPOUT CONNECTED TO STIM	MS MANHOLE - STORM
→ SWALE DIRECTION	MS-S MANHOLE - SANITARY
---X--- CHAINLINK FENCE	
---XX--- PRIVACY FENCE	
---XXX--- SOUND BARRIER	

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C OF A	14-JAN-22	D.H	RP
2	UPDATED STATS	16-FEB-22	D.H	RP

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 - 12" FOOTING, LOWER USF BY 0.15
 - 13" FOOTING, LOWER USF BY 0.18
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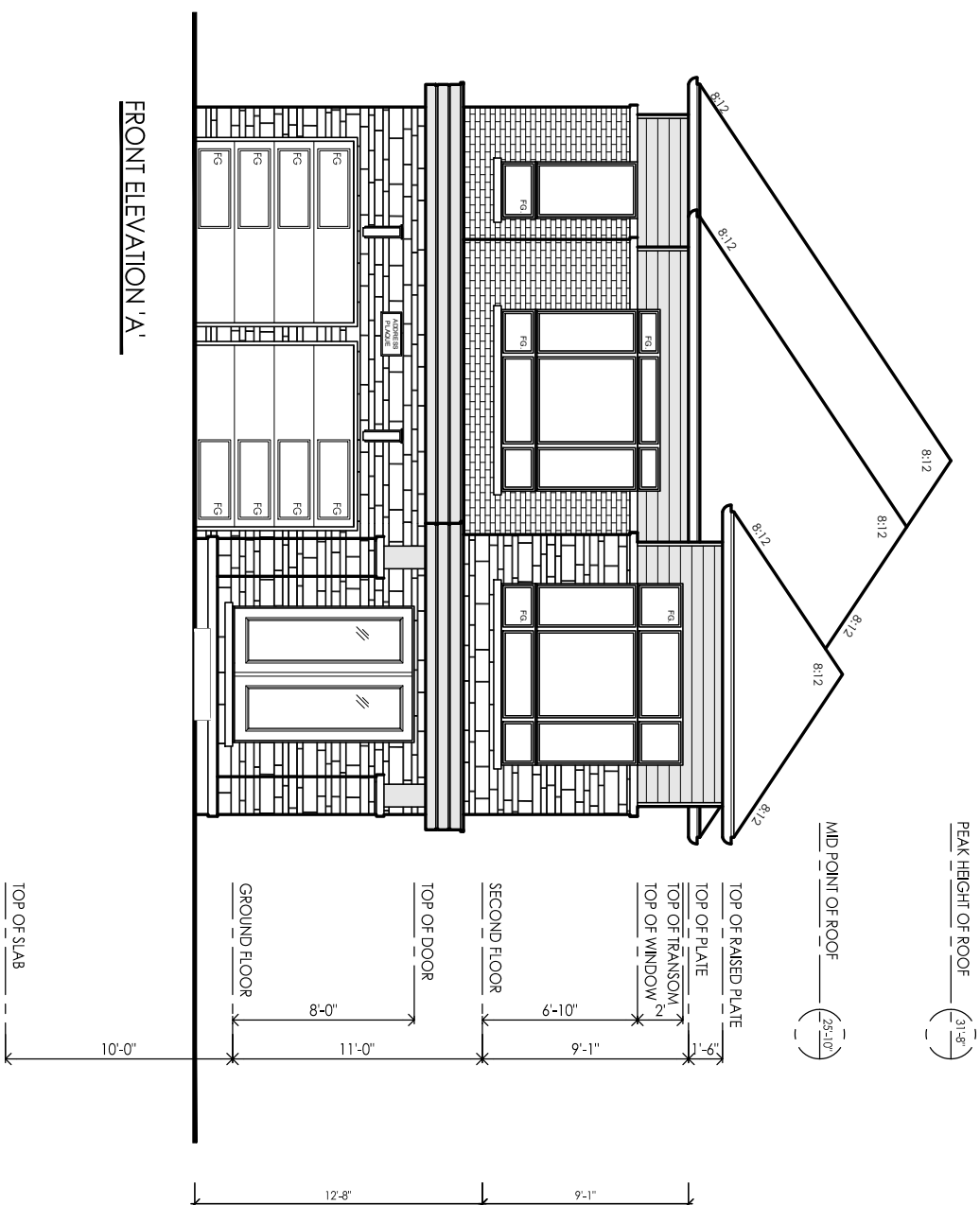
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 QUALIFIED DESIGNER BCIN: _____
 FIRM BCIN: _____
 DATE: _____
 SIGNATURE: _____

CLIENT VOGUE DEVELOPMENT GROUP
PROJECT/LOCATION THORNHILL WOODS VAUGHAN
DRAWING SITE PLAN

DRAWN BY ---	SCALE 1:250
PROJECT No. 21080	LOT NUMBER LOT 124

LANDSCAPE CALC.		
FRONT YARD AREA	64.62m ²	
LANDSCAPED AREA	30.50m ²	47.20%
LANDSCAPED SOFT	26.04m ²	85.38%
LOT FRONTAGE	15.33m	

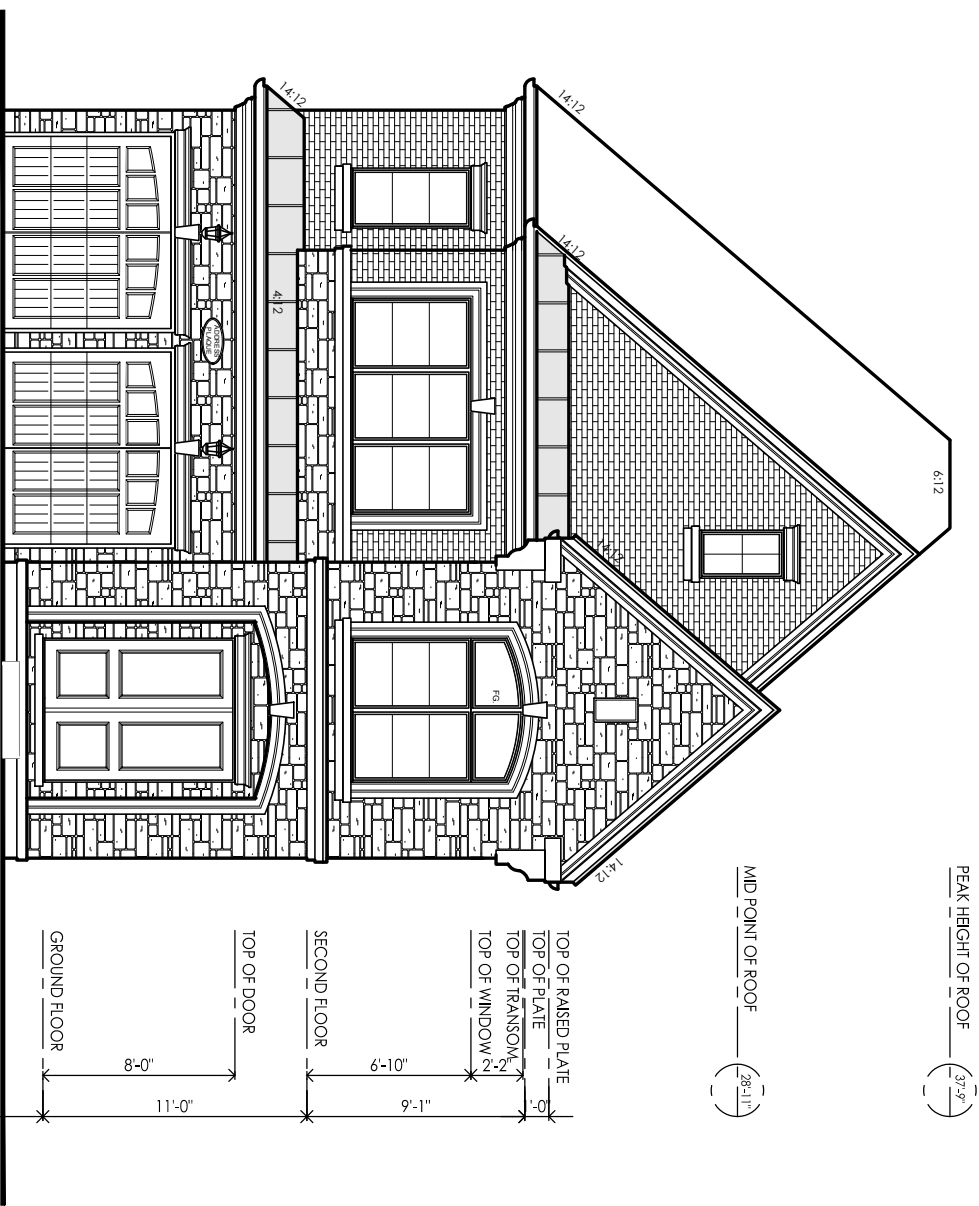


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 FEB. 23, 2022
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client/ Vogue
 Development
 Group
 project/ Thornhill Woods
 Vaughan, City of
 model/ 40-22

project # 21080
 scale 1/8" = 1'0"
 page

revisions	initials	date



FRONT ELEVATION 'B'

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 FEB. 23, 2022
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client/ Vogue
 Development
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 project/ Thornhill Woods
 Vaughan, City of
 model/ 40-22

project #/ 21080

scale/ 1/8" = 1'0"
 page/

revisions	initials	date

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DESIGN CONTROL REVIEW
 FEB. 23, 2022

PRELIM BY: *[Signature]*

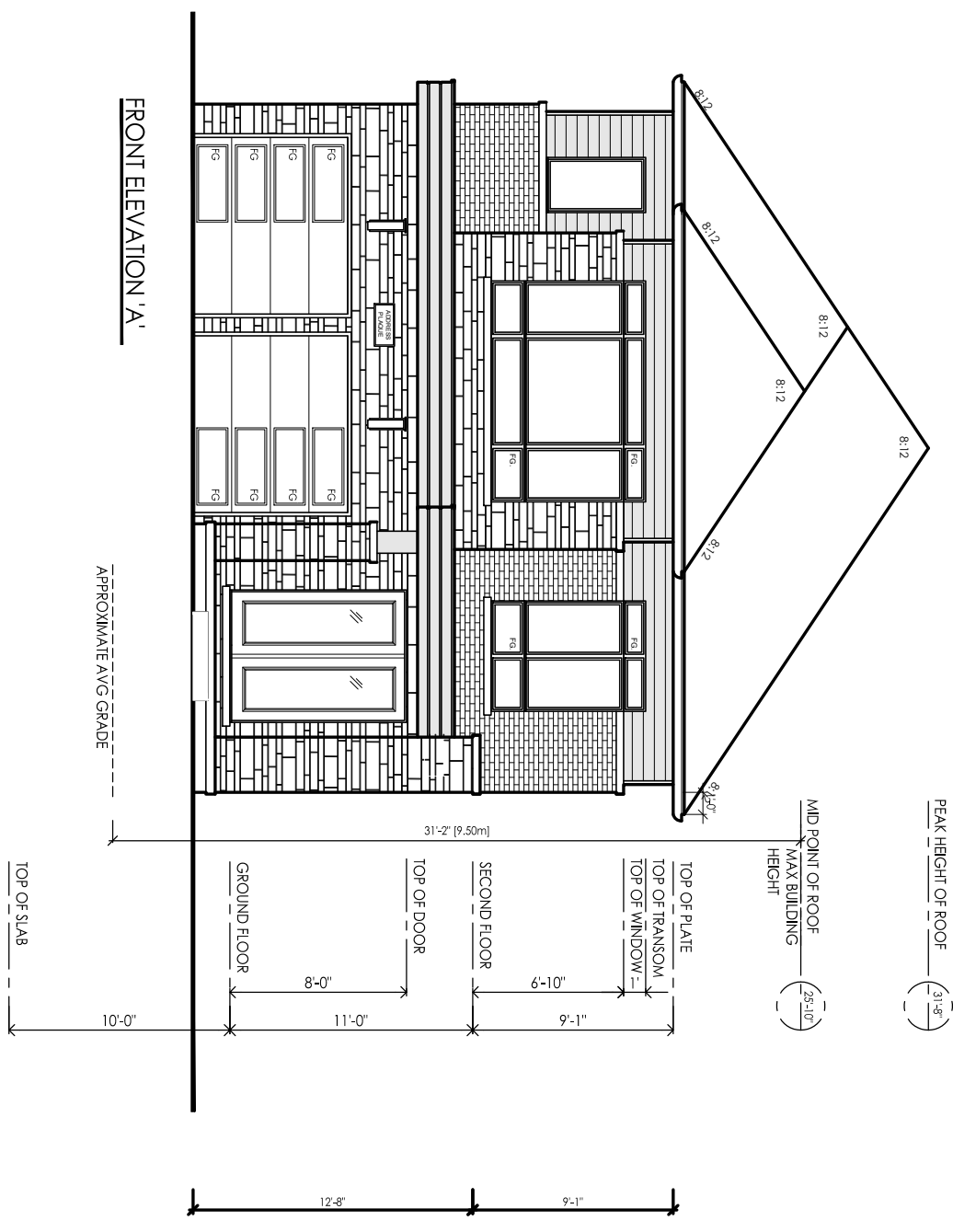
This stamp is only for the purpose of design control and cannot be used for professional design.

client/ Vogue
 Development Group
 project/ Thornhill Woods
 model/ Vaughan, City of

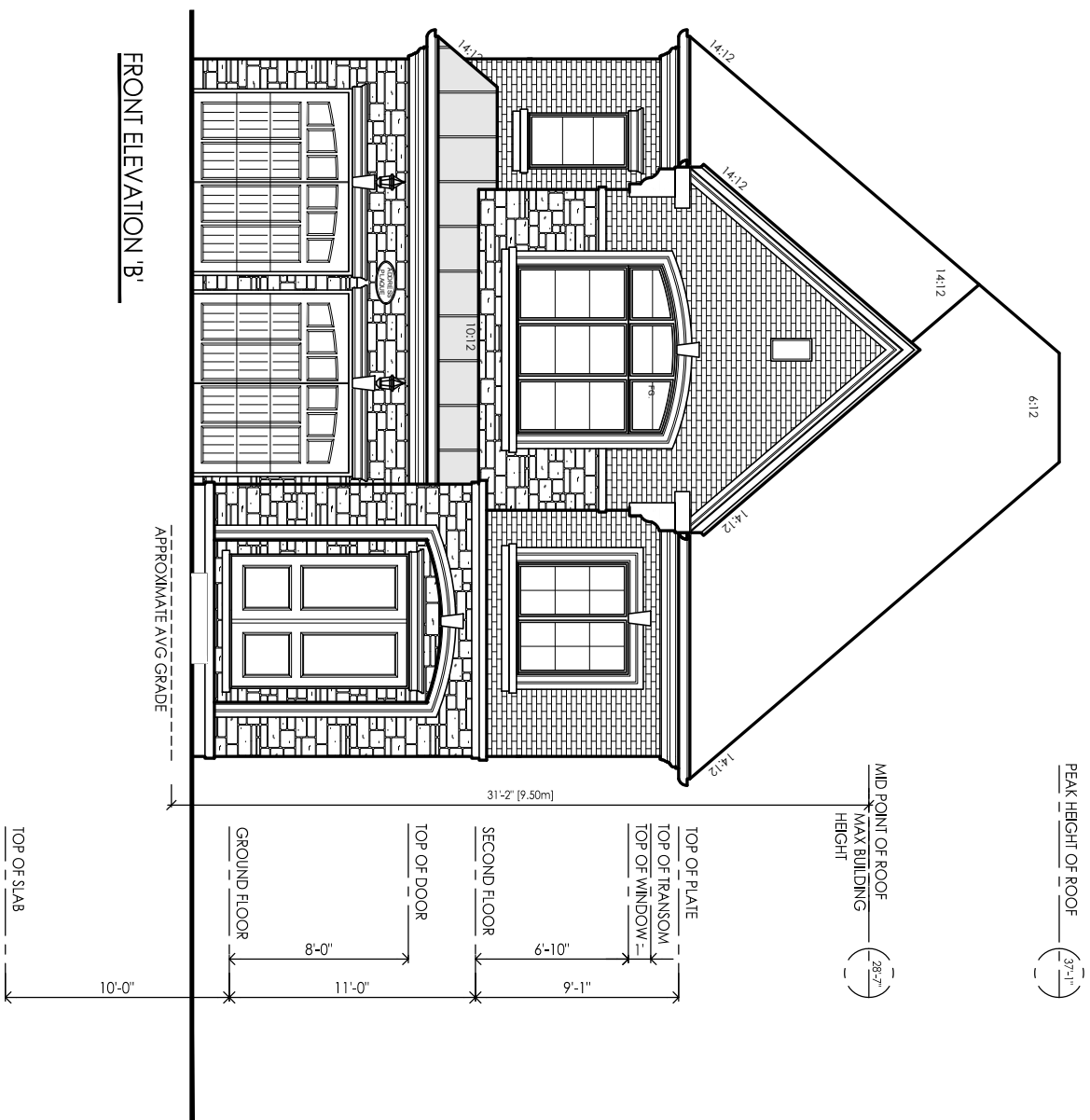
project #/ 21080

scale/ 1/8" = 1'0"

page/ B4



revisions	initials	date



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DESIGN CONTROL REVIEW
 FEB. 23, 2022
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client/ **Vogue Development Group**
 project/ **Thornhill Woods**
 model/ **Vaughan, City of**
40-21
 project #/ **21080**
 scale/ **1/8" = 1'0"**
 page/ **B11**

revisions	initials	date

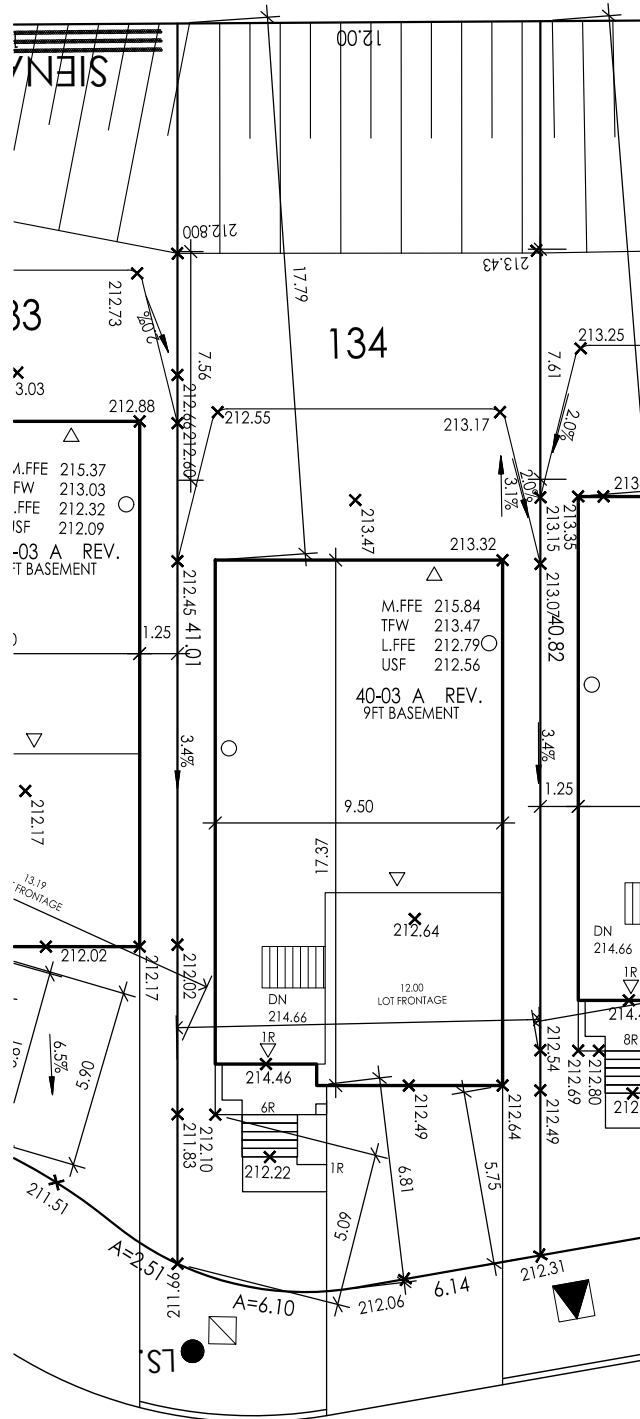
A071/22

LOT 134			
ZONE: BY-LAW 1-88 : RV3 BY-LAW 001-2001 : R3A(EN)-729	REQUIRED		
	BY-LAW 1-88	BY-LAW 001-2021	PROPOSED
MIN. LOT AREA:	360.0m2	320.0m2	498.36m2
BUILDING AREA:			168.30m2
MAX. COVERAGE:	NR	55.0%	33.7%
MAX. BUILDING HEIGHT:	9.5m	9.5m	10.00 m
LOT FRONTAGE:			12.00m

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 134
LOT AREA(m) ²	.
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
NO. OF STOREYS	X
MEAN HEIGHT(m)	.
PEAK HEIGHT(m)	.
DECK LINE(m)	.

LEGEND	
FFE FINISHED FLOOR ELEVATION	SPF SUMP PUMP
TFW TOP OF FOUNDATION WALL	BEL PEDESTAL
TBS TOP OF BASEMENT SLAB	CABLE PEDESTAL
USF UNDER SIDE FOOTING	CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	DBL CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	FIRE HYDRANT
WOD WALKOUT DECK	STREET LIGHT
LOB LOOKOUT BASEMENT	MAIL BOX
WOB WALK OUT BASEMENT	TRANSFORMER
WUB WALK UP BASEMENT	SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	WATER CONNECTION
△ DOOR	WATER VALVE CHAMBER
○ WINDOW	HYDRANT AND VALVE
AC AIR CONDITIONING	HYDRO METER
DS DOWN SPOUT TO SPLASH PAD	GAS METER
DSC DOWN SPOUT CONNECTED TO STIM	MANHOLE - STORM
→ SWALE DIRECTION	MANHOLE - SANITARY
-X- CHAINLINK FENCE	
-XX- PRIVACY FENCE	
-XXX- SOUND BARRIER	
FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.	



ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C.O.F.A	14-JAN-22	D.H	RP

IMPORTANT FOOTING NOTE:
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- LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".
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 - 12" FOOTING, LOWER USF BY 0.15
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 - 14" FOOTING, LOWER USF BY 0.20

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I, **DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF RN DESIGN LTD. UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.**

QUALIFIED DESIGNER BCIN: _____
FIRM BCIN: _____
DATE: _____

SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
THORNHILL WOODS VAUGHAN

DRAWING
SITE PLAN

DRAWN BY
-- SCALE
1:250

PROJECT No.
21080 LOT NUMBER
LOT 134

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *MB*

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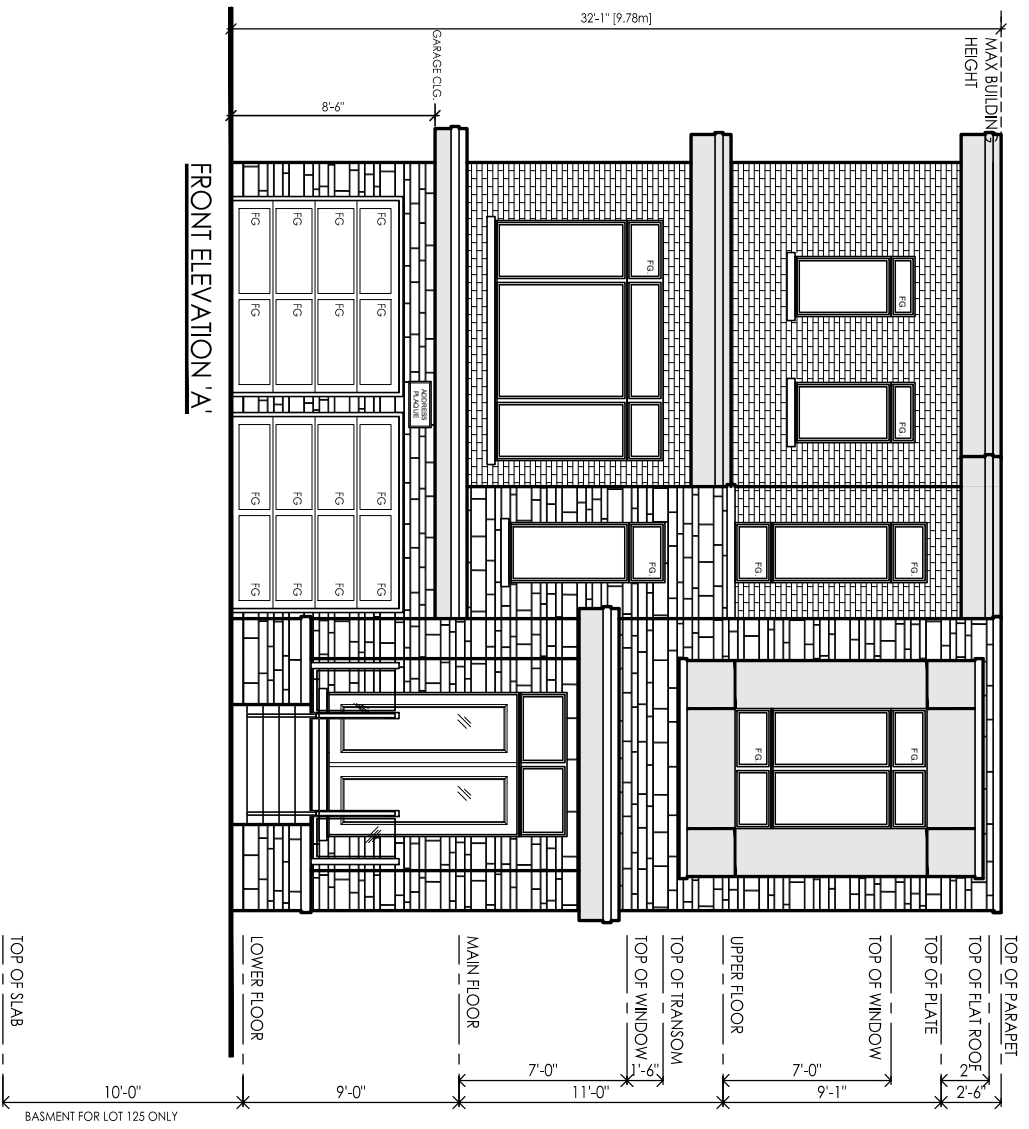
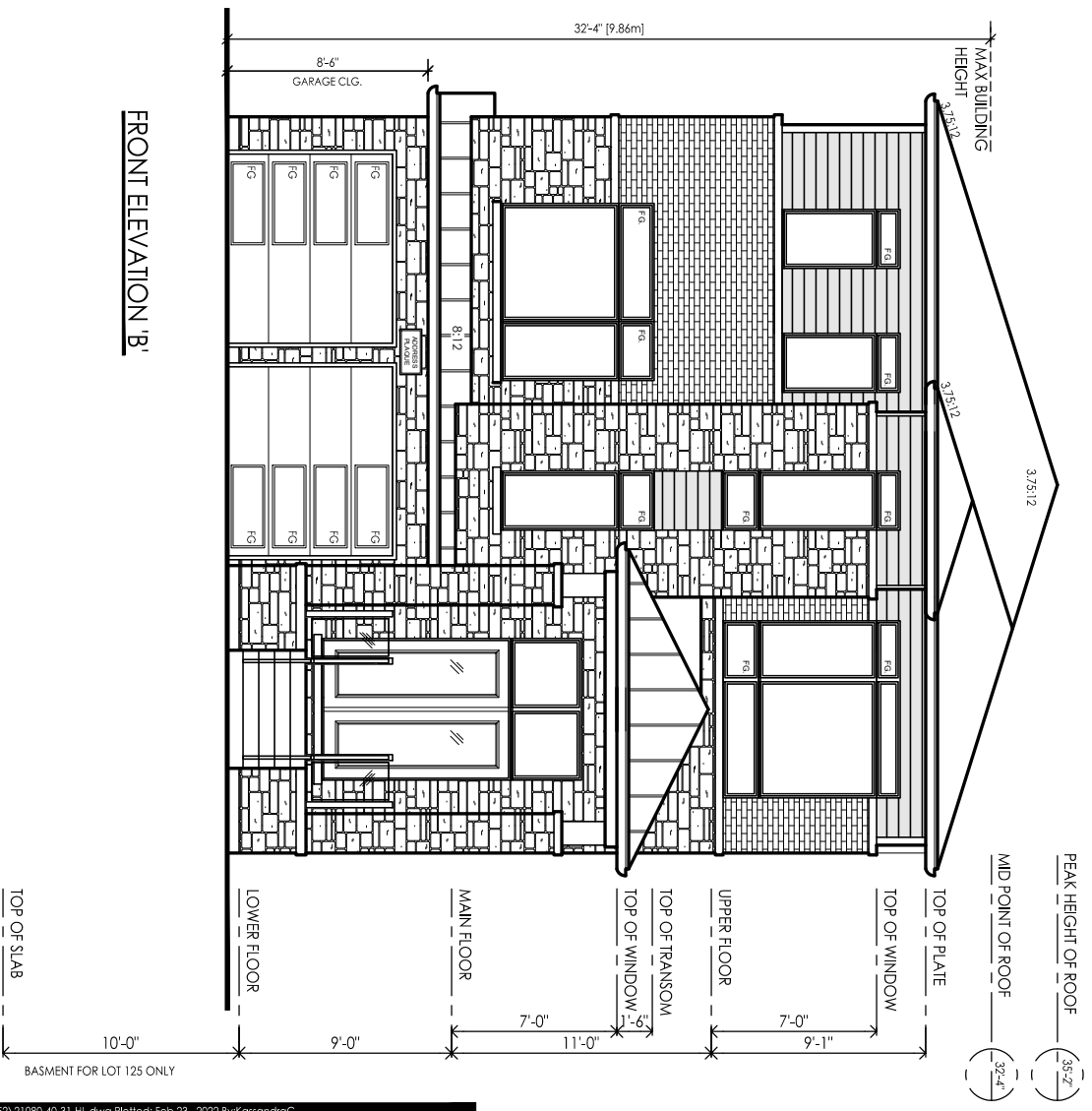
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Development **Group**
project **Thornhill Woods**
Vaughan, City of

model **40-31**

project # **21080**

scale **1/8" = 1'0"**

page **B5**



revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22
2 ISSUED FOR REVIEW	KC	23-08-22

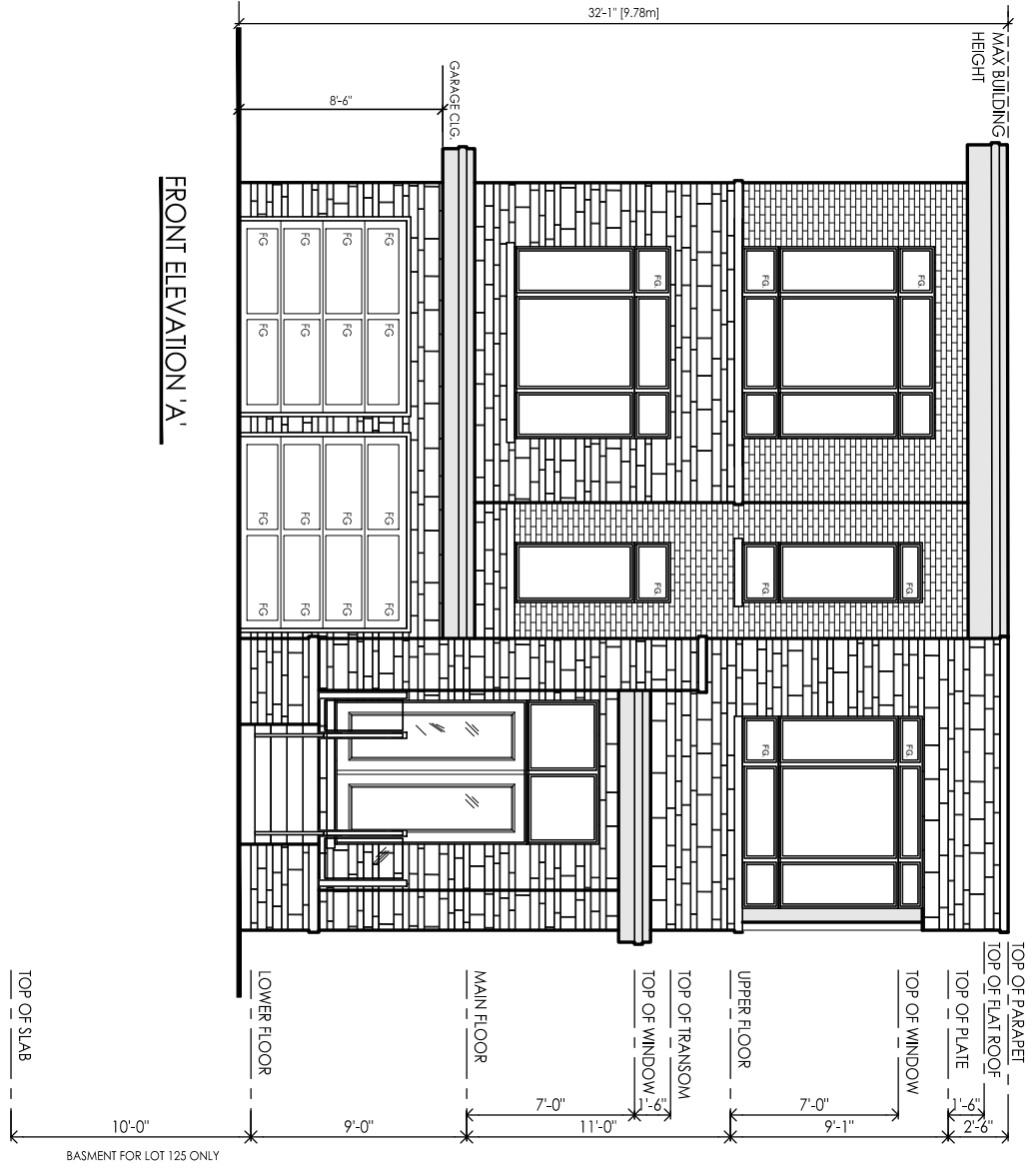
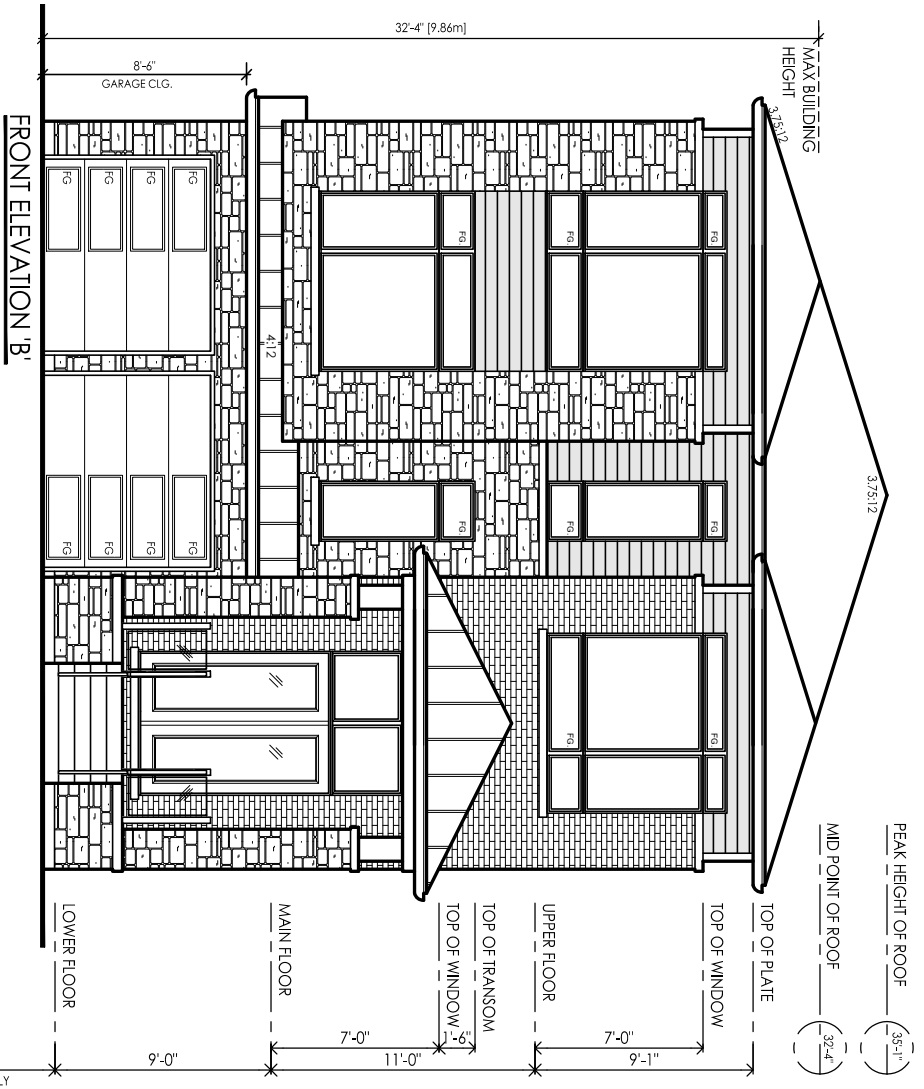
W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *[Signature]*

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client Vogue
project Development
Group
project Thornhill Woods
model Vaughan, City of
40-32
project # 21080
scale 1/8" = 1'0"
page **B5**

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-jan-22
2 ISSUED FOR REVIEW	KC	23-feb-22



W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *[Signature]*

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client **Vogue Development Group**

project **Thornhill Woods**

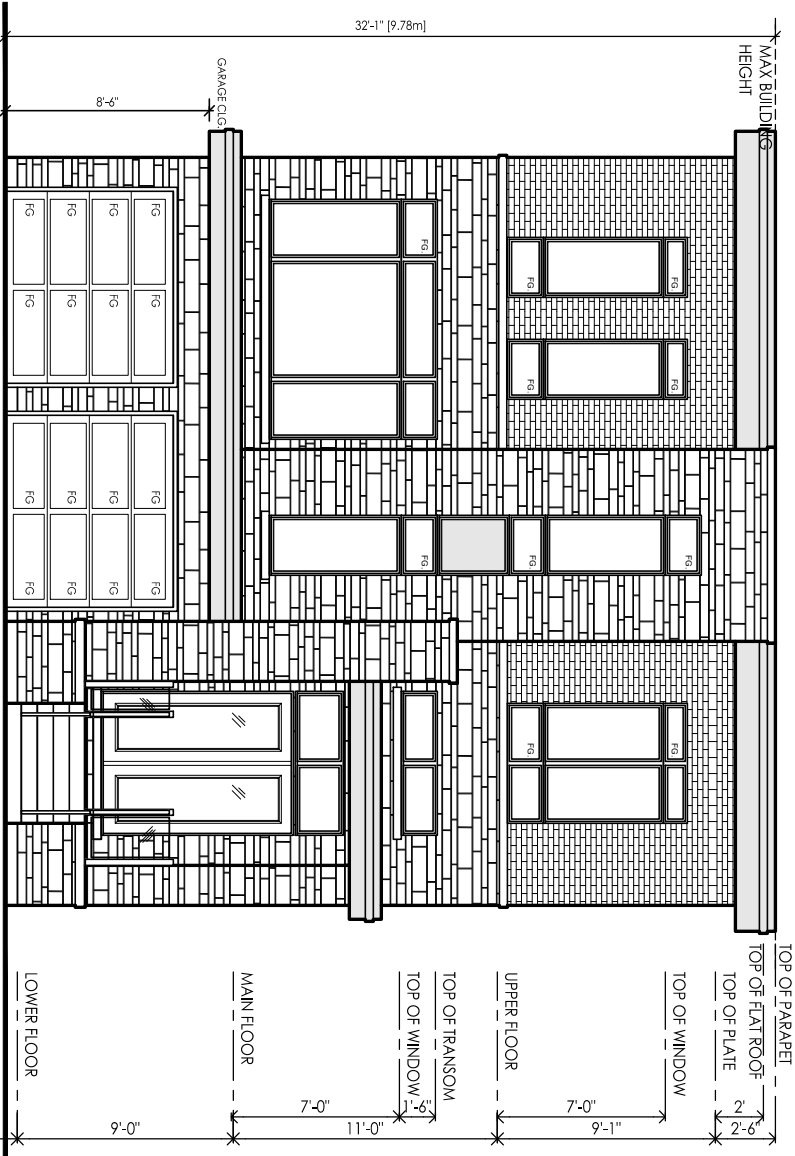
model **Vaughan, City of**

40-33

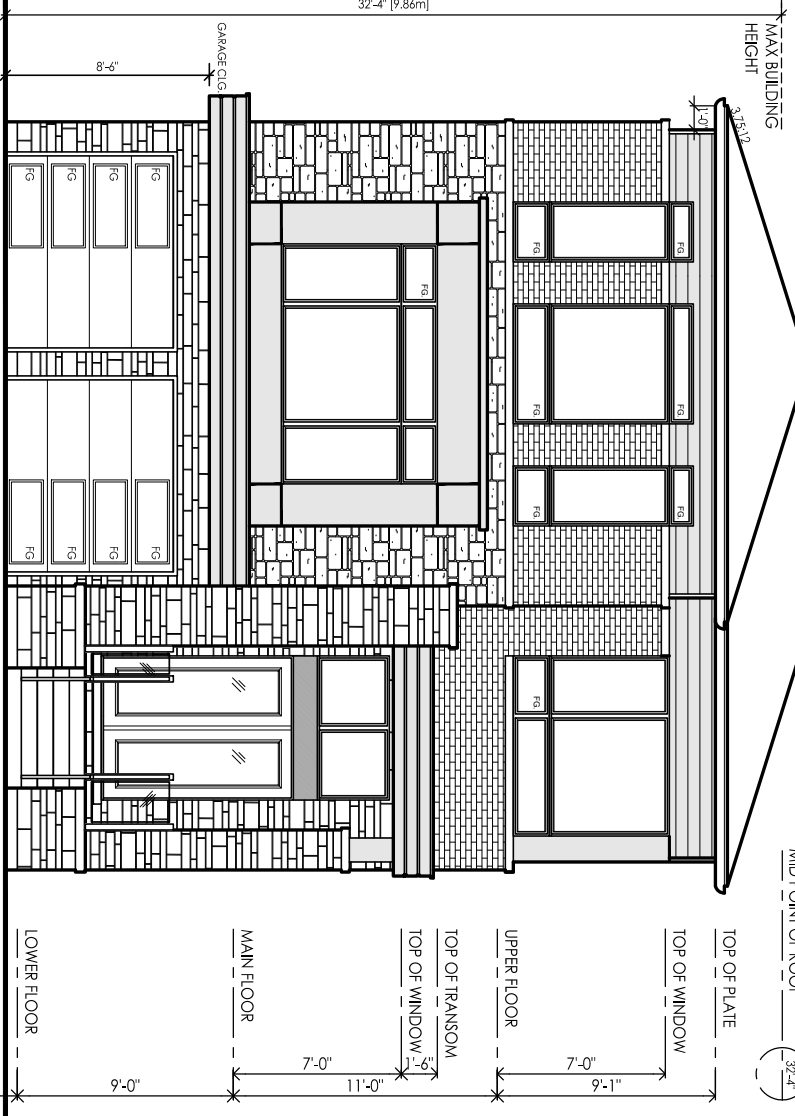
project # **21080**

scale **1/8" = 1'0"**

page **B4**



FRONT ELEVATION 'A'



FRONT ELEVATION 'B'

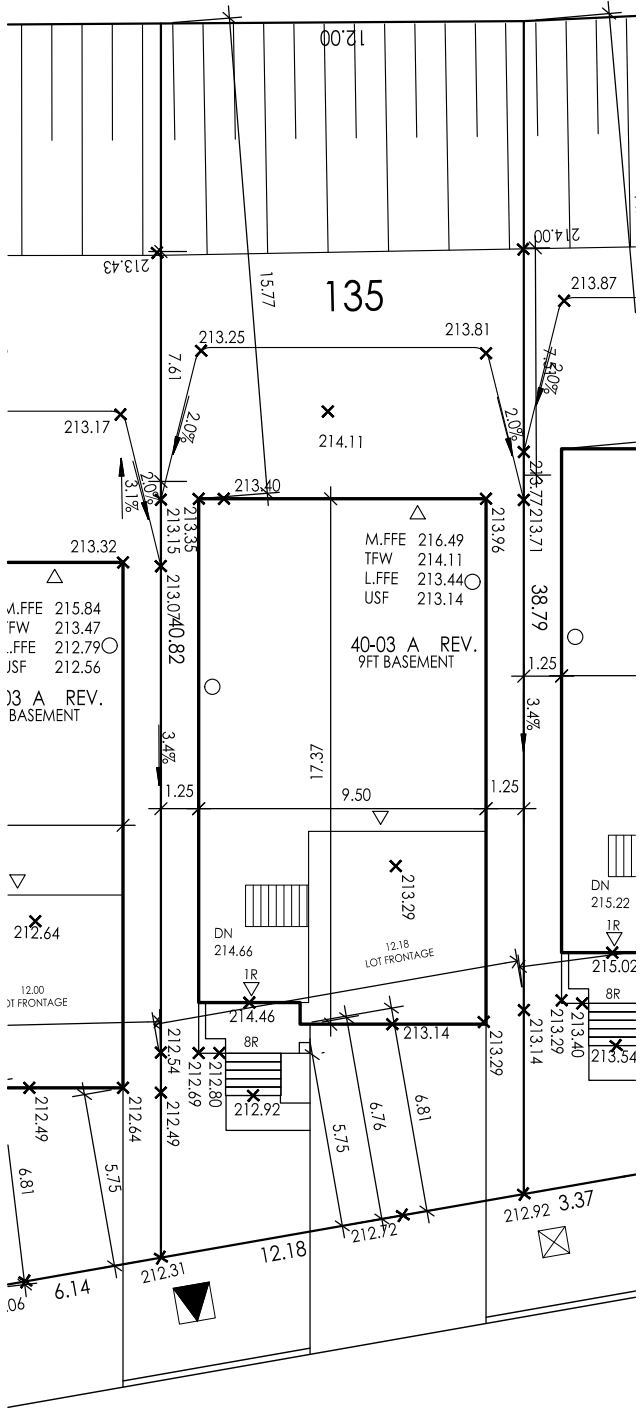
revisions	date
1 ISSUED FOR REVIEW	MJS 18-07-22
2 ISSUED FOR REVIEW	MJS 17-06-22

A072/22

LOT 135			
ZONE:	REQUIRED		
BY-LAW 1-88 : RV3 BY-LAW 001-2001 : R3A(EN)-729	BY-LAW 1-88	BY-LAW 001-2021	PROPOSED
MIN. LOT AREA:	360.0m ²	320.0m ²	477.62m ²
BUILDING AREA:			168.30m ²
MAX. COVERAGE:	NR	55.0%	35.2%
MAX. BUILDING HEIGHT:	9.5m	9.5m	10.00 m
LOT FRONTAGE:			12.18m

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 135
LOT AREA(m) ²	.
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
PEAK HEIGHT(m)	.
DECK LINE(m)	.



LEGEND			
FFE	FINISHED FLOOR ELEVATION	SP	SUMP PUMP
TFW	TOP OF FOUNDATION WALL	BP	BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB	CP	CABLE PEDESTAL
USF	UNDER SIDE FOOTING	CB	CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR	DBL CB	DBL CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE	E	ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL	H	HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE	HY	FIRE HYDRANT
WOD	WALKOUT DECK	SL	STREET LIGHT
LOB	LOOKOUT BASEMENT	MB	MAIL BOX
WOB	WALK OUT BASEMENT	T	TRANSFORMER
WUB	WALK UP BASEMENT	SC1	SEWER CONNECTIONS 2 LOTS
REV	REVERSE PLAN	SC2	SEWER CONNECTIONS 1 LOT
STD	STANDARD PLAN	WC	WATER CONNECTION
Δ	DOOR	WVC	WATER VALVE CHAMBER
○	WINDOW	HAV	HYDRANT AND VALVE
AC	AIR CONDITIONING	HM	HYDRO METER
DS	DOWN SPOUT TO SPLASH PAD	GM	GAS METER
DS-STM	DOWN SPOUT CONNECTED TO STM	MS	MANHOLE - STORM
→	SWALE DIRECTION	MS-S	MANHOLE - SANITARY
-X-	CHAINLINK FENCE		
-XX-	PRIVACY FENCE		
-XXX-	SOUND BARRIER		
	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.		

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C OF A	14-JAN-22	D.H	RP

IMPORTANT FOOTING NOTE:
 IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY FROM THE ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION, WHETHER ADDITIONAL THICKNESS MAY BE REQUIRED.
 - LOT GRADING PLANS ASSUME A TBS TO USF DISTANCE OF 0.23, BASED ON FOOTING THICKNESS UP TO 6".
 - IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:
 - UP TO 9" FOOTING, LOWER USF BY 0.07
 - 10" FOOTING, LOWER USF BY 0.10
 - 11" FOOTING, LOWER USF BY 0.13
 - 12" FOOTING, LOWER USF BY 0.15
 - 13" FOOTING, LOWER USF BY 0.18
 - 14" FOOTING, LOWER USF BY 0.20

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I, _____, DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN:
 FIRM BCIN:
 DATE:
 SIGNATURE: _____

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
THORNHILL WOODS VAUGHAN

DRAWING
SITE PLAN

DRAWN BY ---	SCALE 1:250
PROJECT No. 21080	LOT NUMBER LOT 135

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *MB*

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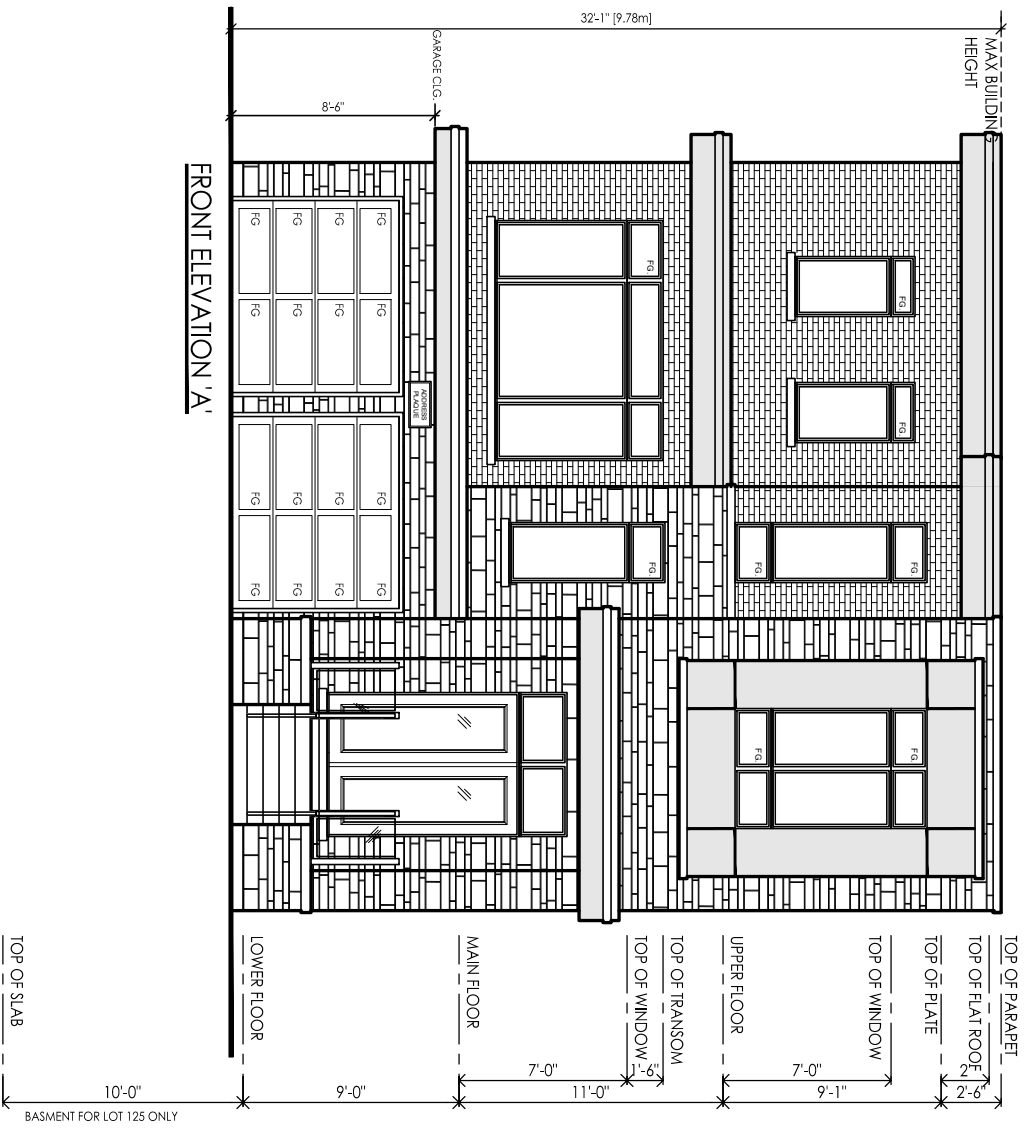
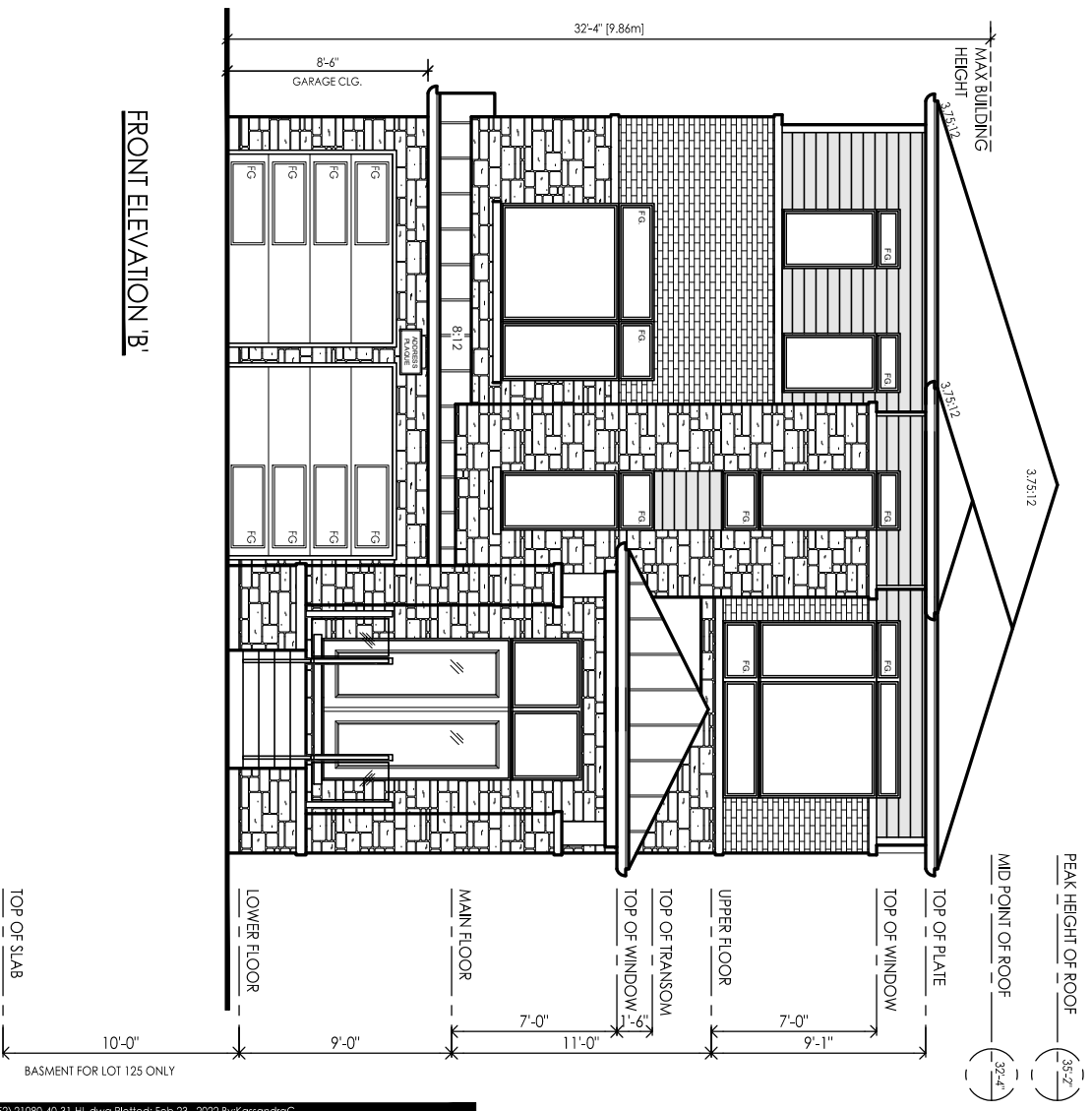
client **Vogue**
Development **Group**
project **Thornhill Woods**
Vaughan, City of

model **40-31**

project # **21080**

scale **1/8" = 1'0"**

page **B5**



revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22
2 ISSUED FOR REVIEW	KC	23-08-22

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *[Signature]*

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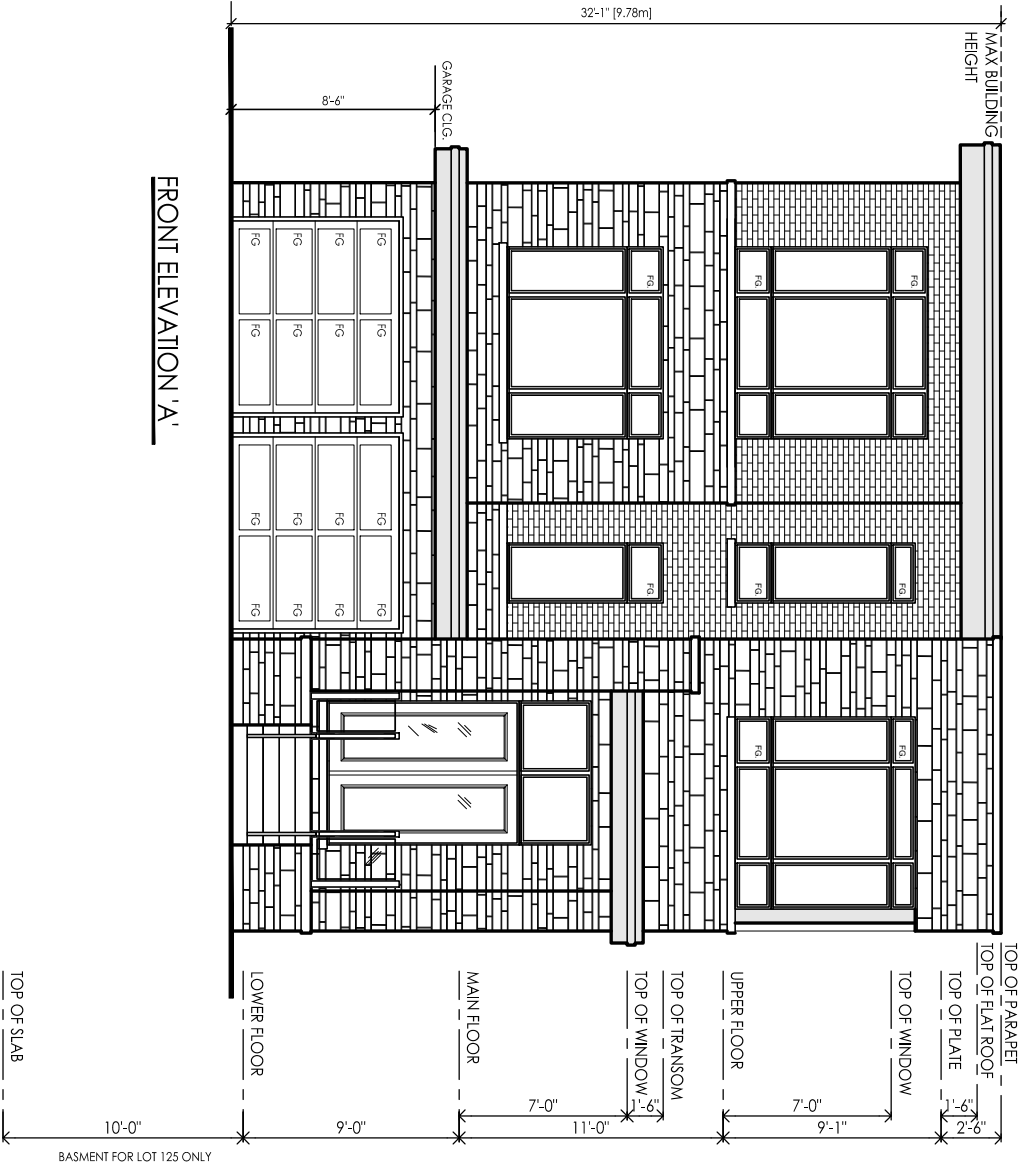
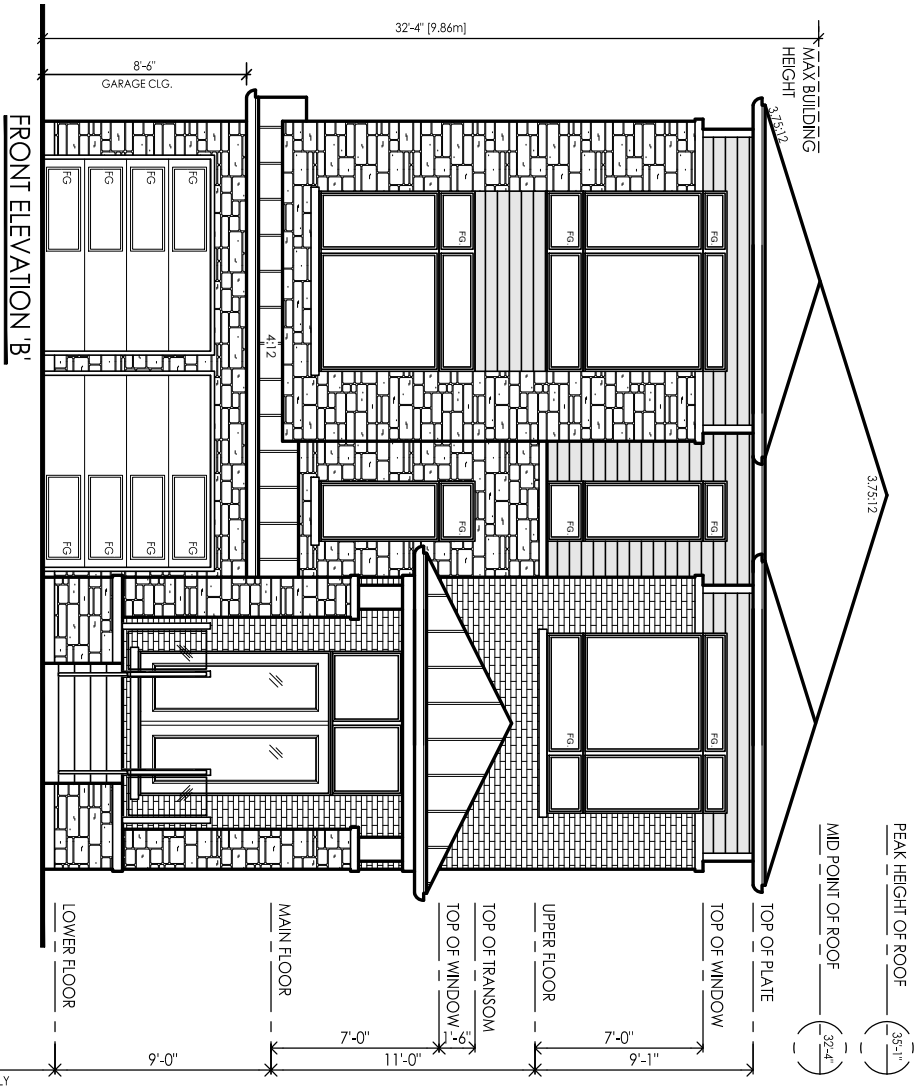
client Vogue
Development Group
project Thornhill Woods
model Vaughan, City of

project # 40-32

scale 1/8" = 1'0"

page B5

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-jan-22
2 ISSUED FOR REVIEW	KC	23-feb-22



W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

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client **Vogue Development Group**

project **Thornhill Woods**

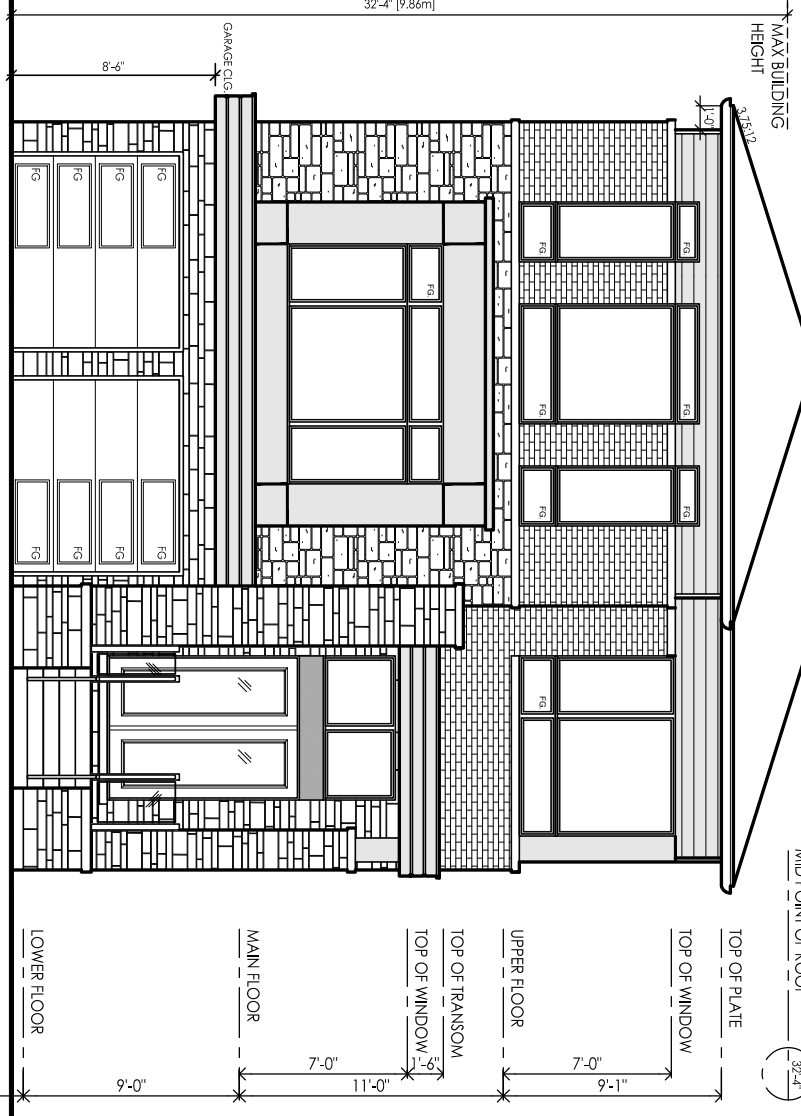
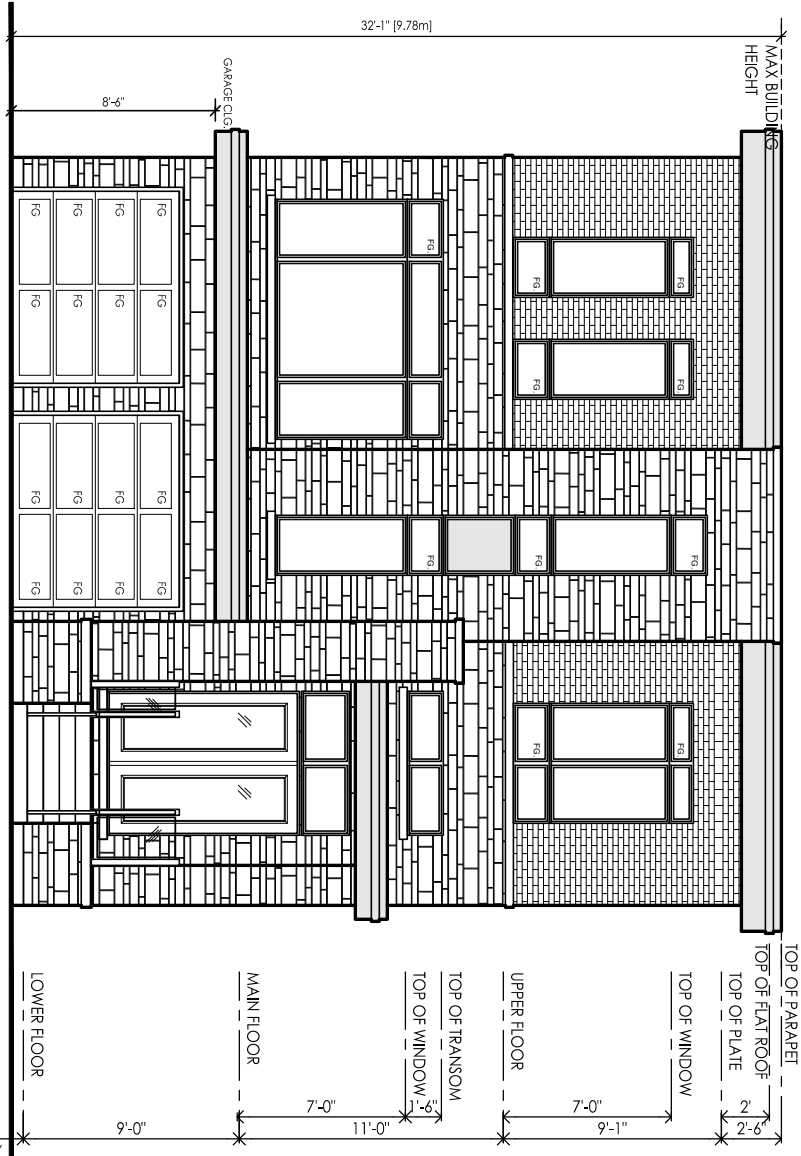
model **Vaughan, City of**

40-33

project # **21080**

scale **1/8" = 1'0"**

page **B4**



revisions

1	ISSUED FOR REVIEW	MJS	18-07-22
2	ISSUED FOR REVIEW	MJS	17-02-22

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *MB*

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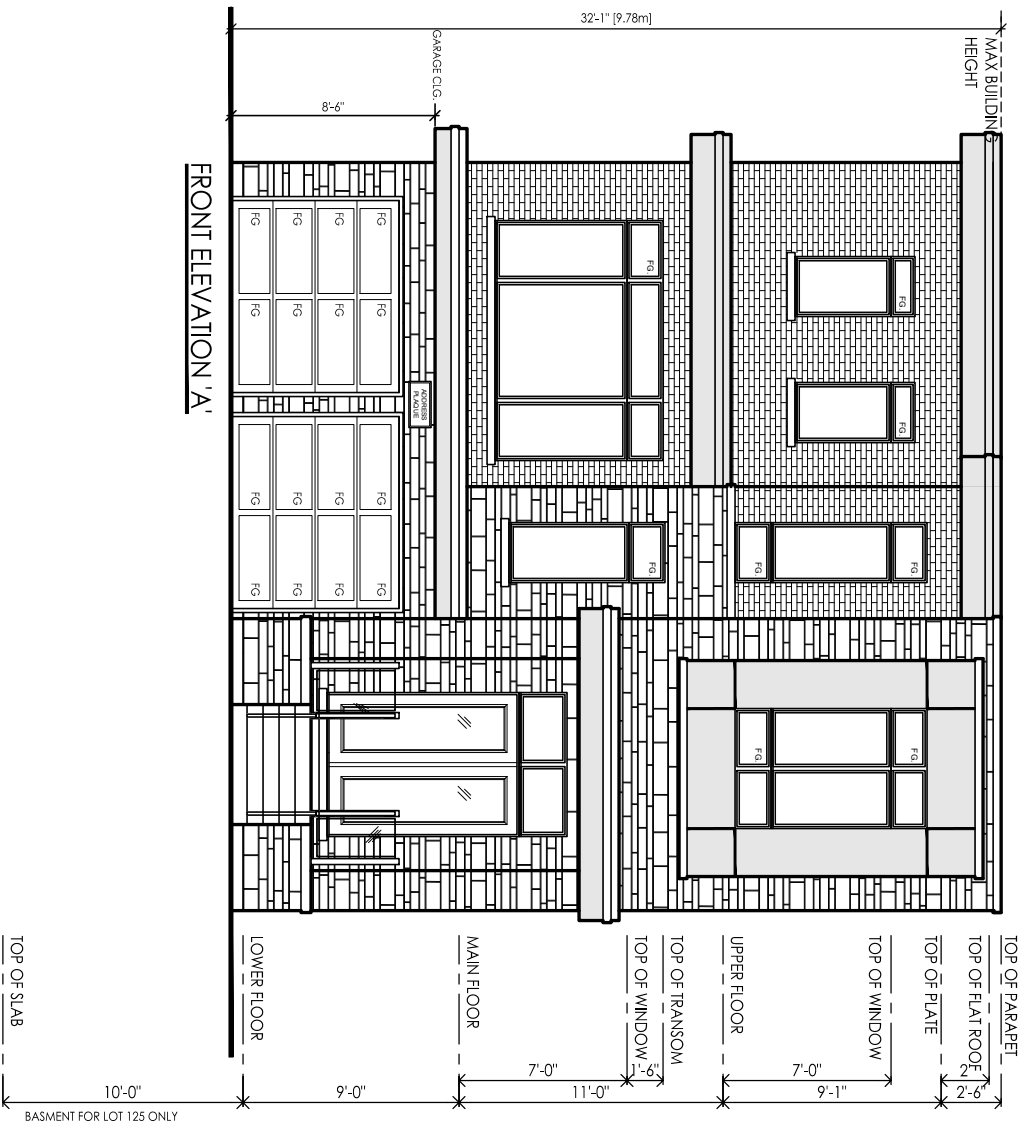
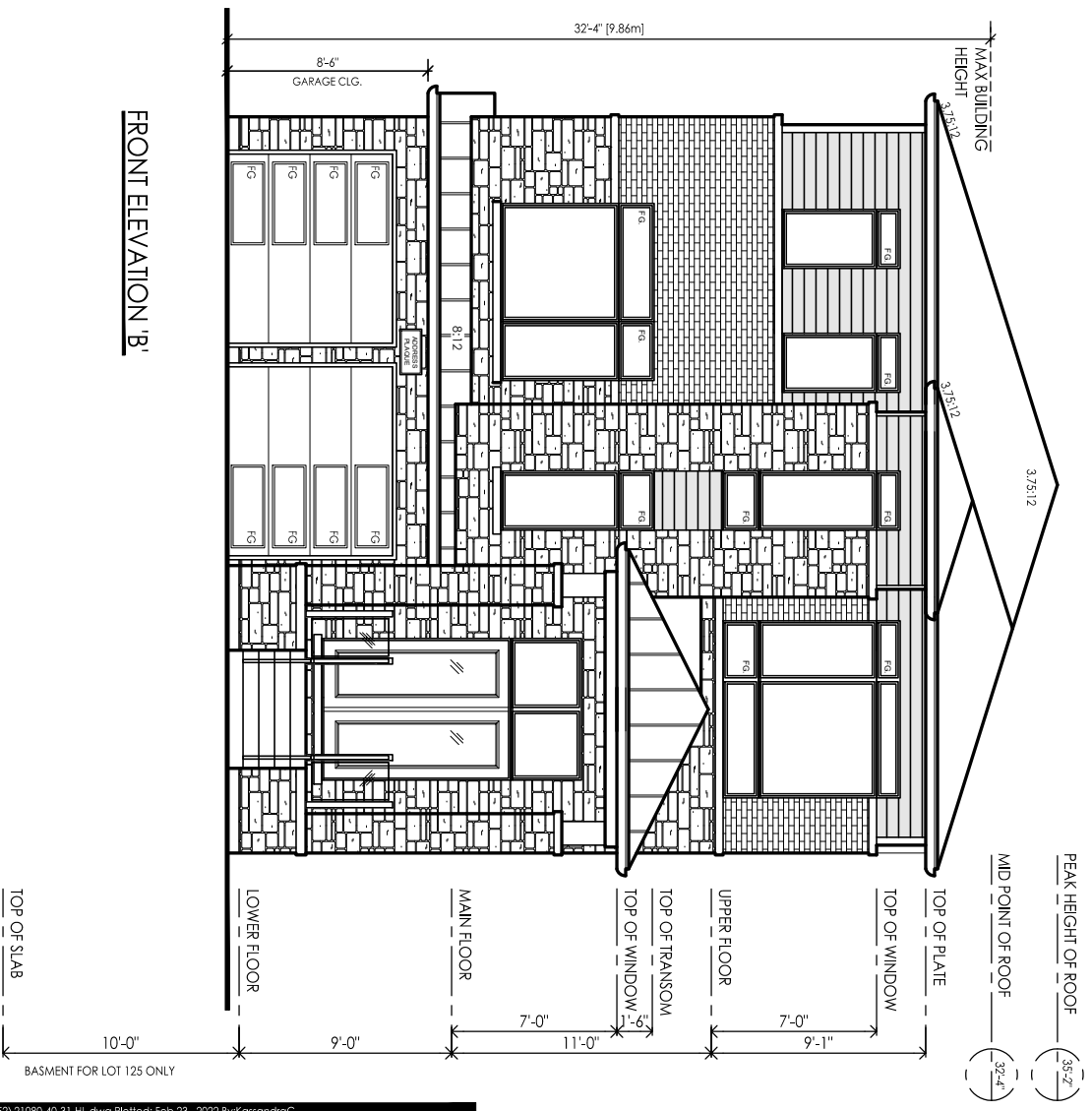
Client **Vogue**
Development **Group**
project **Thornhill Woods**
Vaughan, City of

model **40-31**

project # **21080**

scale **1/8" = 1'0"**

page **B5**



revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22
2 ISSUED FOR REVIEW	KC	23-08-22

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DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *[Signature]*

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client **Vogue Development Group**

project **Thornhill Woods**
Vaughan, City of

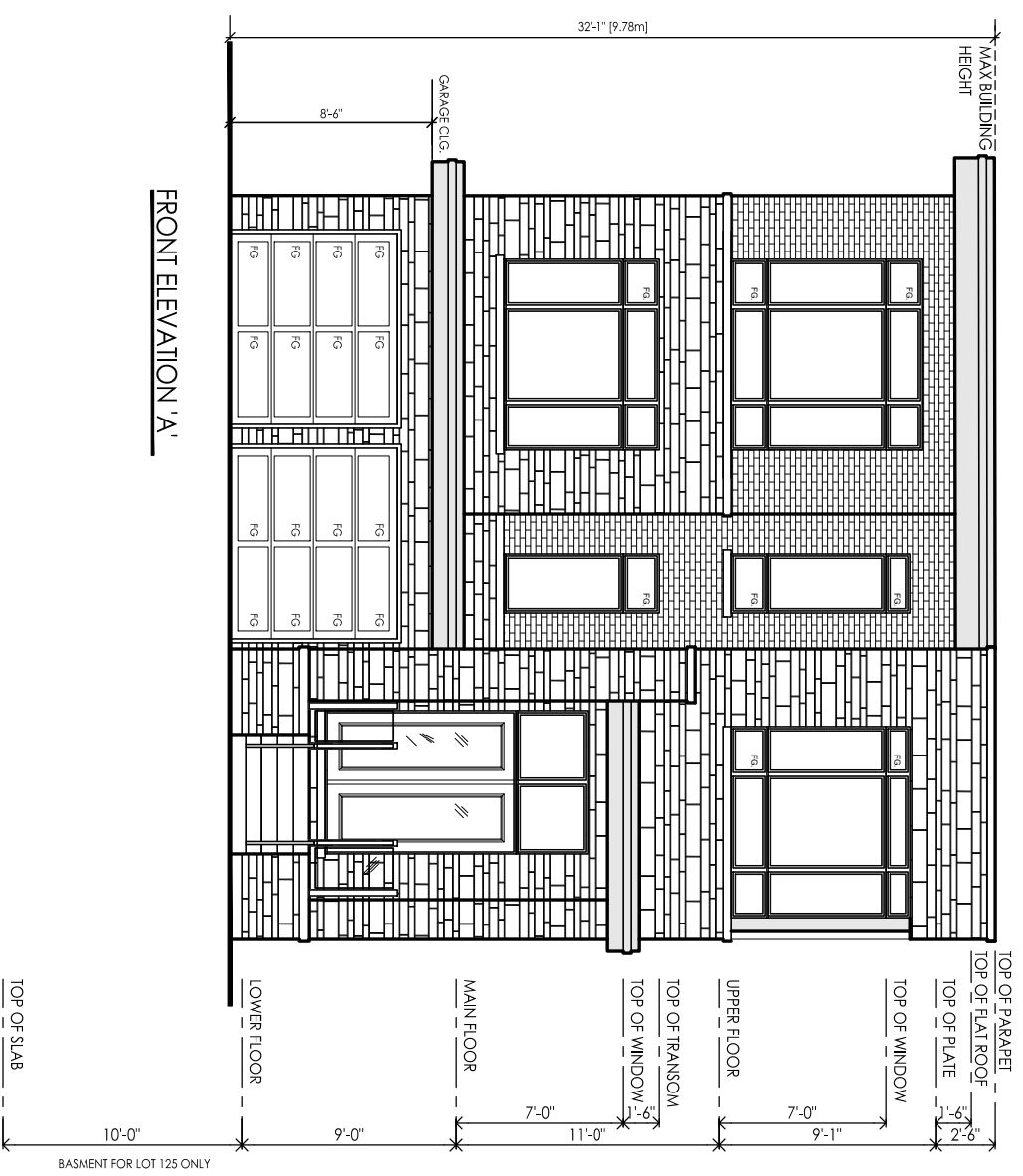
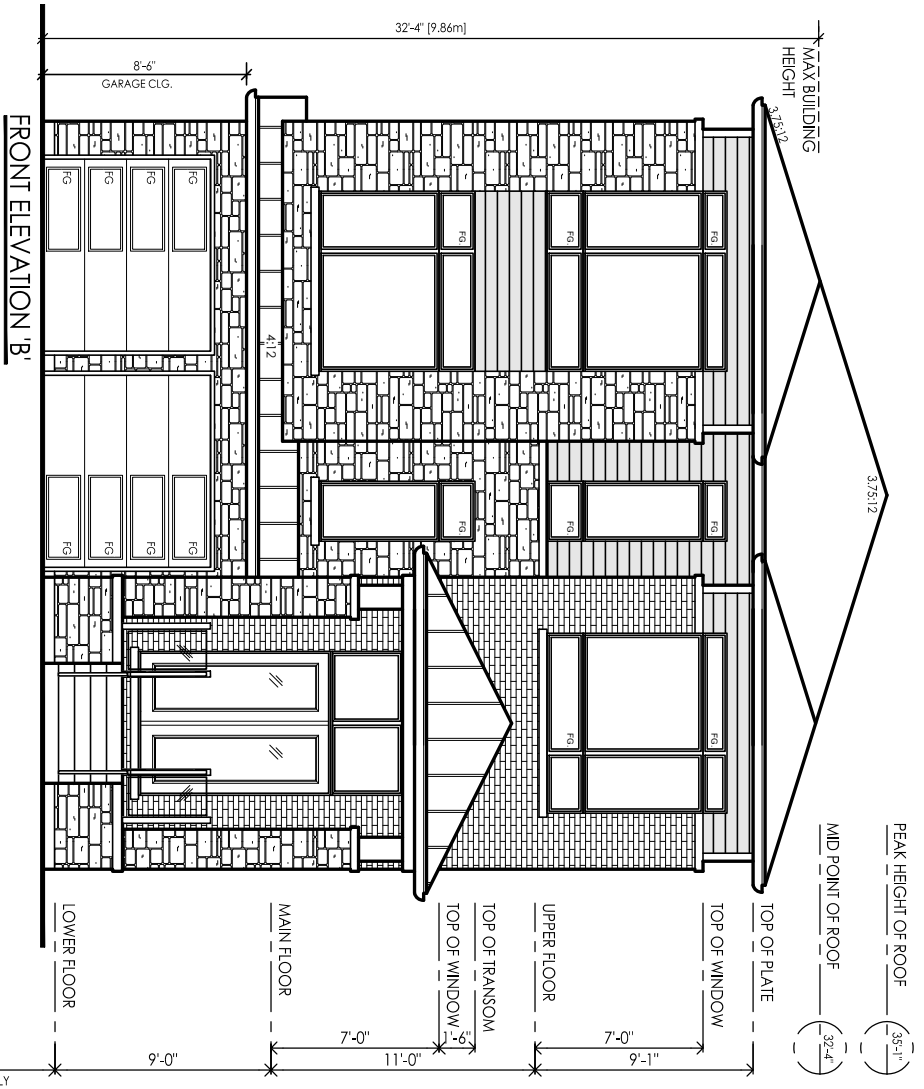
model **40-32**

project # **21080**

scale **1/8" = 1'0"**

page **B5**

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-jan-22
2 ISSUED FOR REVIEW	KC	23-feb-22



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DESIGN CONTROL REVIEW
FEB. 23, 2022

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client **Vogue Development Group**

project **Thornhill Woods**

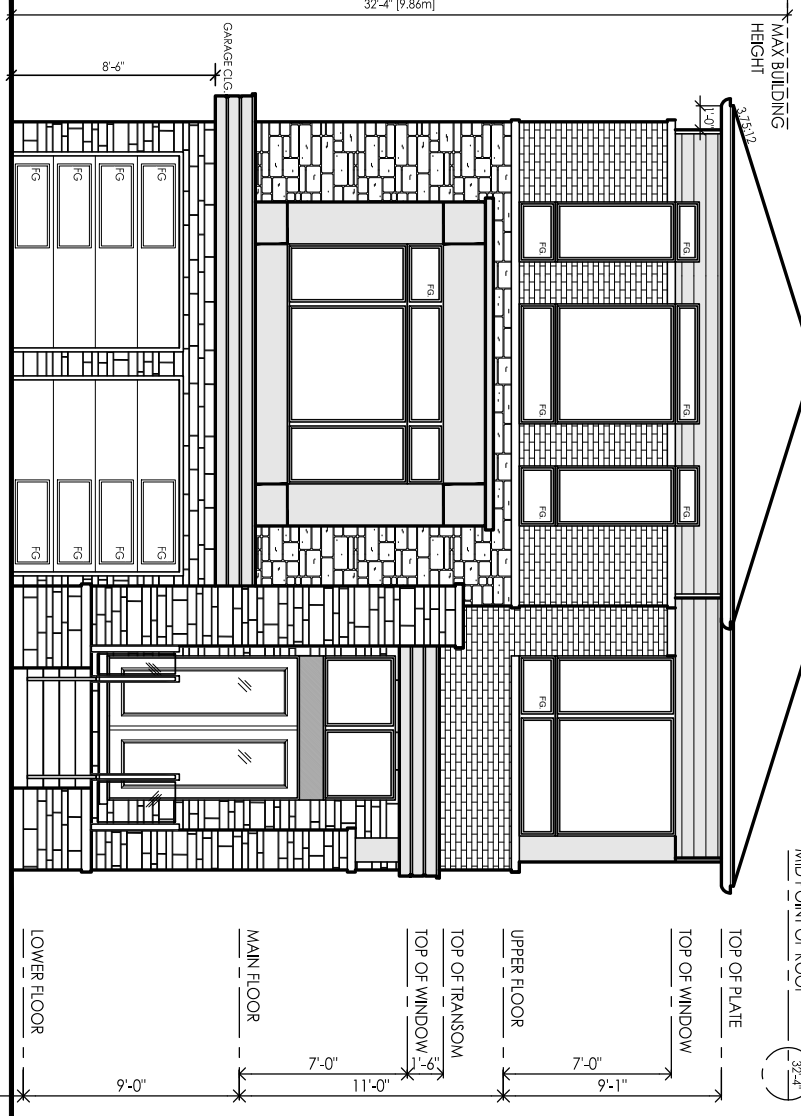
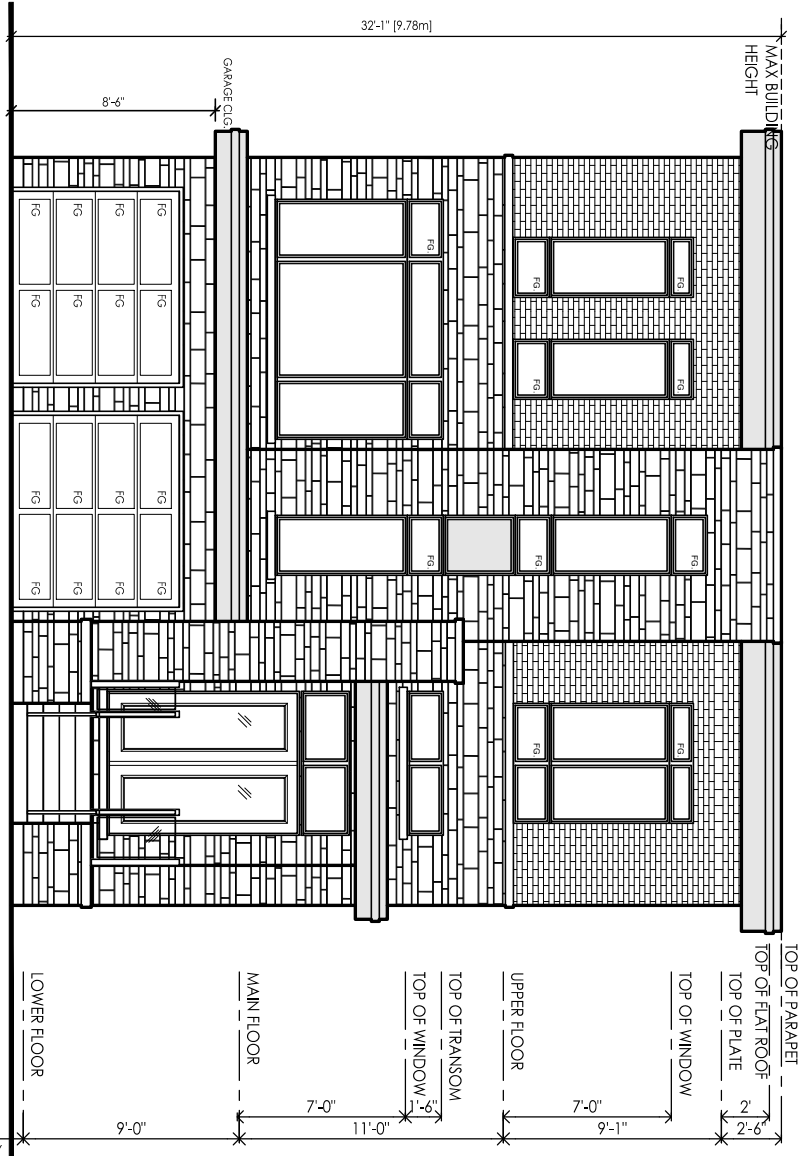
model **Vaughan, City of**

40-33

project # **21080**

scale **1/8" = 1'0"**

page **B4**



revisions

1	ISSUED FOR REVIEW	MJS	18-07-22
2	ISSUED FOR REVIEW	MJS	17-02-22

A074/22

LOT 133			
ZONE:	REQUIRED		
	BY-LAW 1-88 : RV3 BY-LAW 001-2001 : R3A(EN)-729	BY-LAW 1-88	BY-LAW 001-2021
MIN. LOT AREA:	360.0m ²	320.0m ²	451.19m ²
BUILDING AREA:			168.30m ²
MAX. COVERAGE:	NR	55.0%	37.3%
MAX. BUILDING HEIGHT:	9.5m	9.5m	10.00 m
LOT FRONTAGE:			13.19m

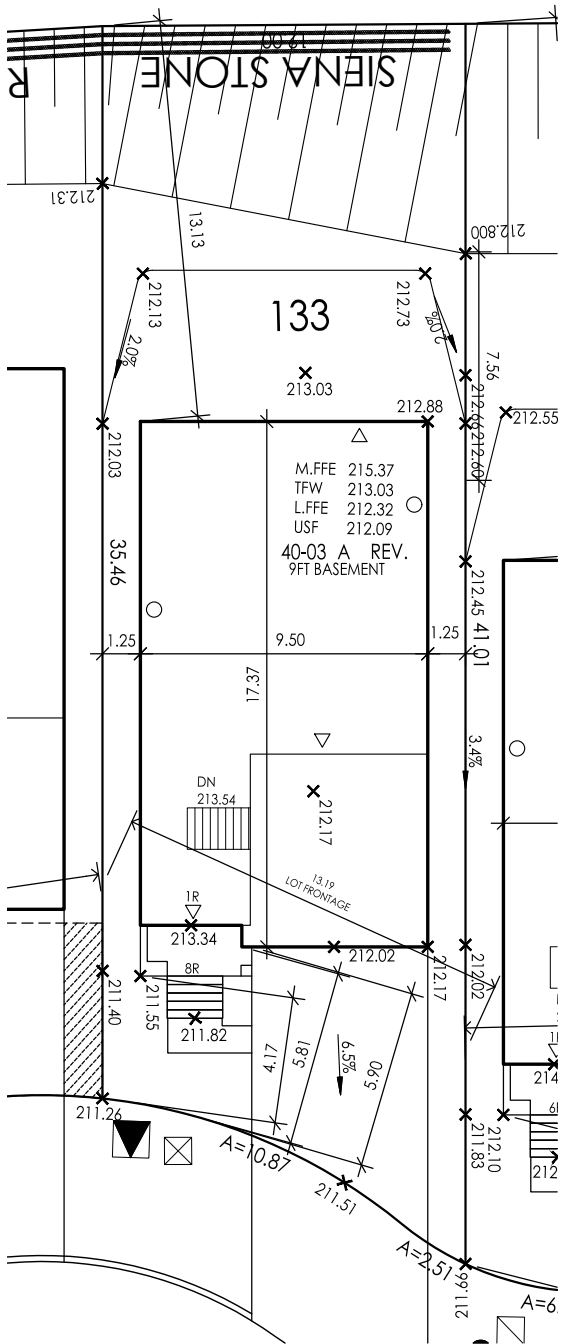
LANDSCAPE CALC.		
FRONT YARD AREA	73.75m ²	
LANDSCAPED AREA	33.89m ²	45.95%
SOFT LANDSCAPED	26.80m ²	79.08%

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 133
LOT AREA(m) ²	.
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	X
MEAN HEIGHT(m)	.
PEAK HEIGHT(m)	.
DECK LINE(m)	.

LEGEND		
FFE FINISHED FLOOR ELEVATION	[Symbol]	SUMP PUMP
TFW TOP OF FOUNDATION WALL	[Symbol]	BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	[Symbol]	CABLE PEDESTAL
USF UNDER SIDE FOOTING	[Symbol]	CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	[Symbol]	DBL. CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	[Symbol]	ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	[Symbol]	HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	[Symbol]	FIRE HYDRANT
WOD WALKOUT DECK	[Symbol]	STREET LIGHT
LOB LOOKOUT BASEMENT	[Symbol]	MAIL BOX
WOB WALK OUT BASEMENT	[Symbol]	TRANSFORMER
WUB WALK UP BASEMENT	[Symbol]	SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	[Symbol]	SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	[Symbol]	WATER CONNECTION
△ DOOR	[Symbol]	WATER VALVE CHAMBER
○ WINDOW	[Symbol]	HYDRANT AND VALVE
[Symbol] AIR CONDITIONING	[Symbol]	HYDRO METER
[Symbol] DOWN SPOUT TO SPLASH PAD	[Symbol]	GAS METER
[Symbol] DOWNSPOUT CONNECTED TO STIM	[Symbol]	MANHOLE - STORM
[Symbol] SWALE DIRECTION	[Symbol]	MANHOLE - SANITARY
---X--- CHAINLINK FENCE	---	
---XX--- PRIVACY FENCE	---	
---XXX--- SOUND BARRIER	---	
FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.		

HIGH BLACK VINYL CHAIN LINK



ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C.O.F.A	14-JAN-22	D.H	R.P

IMPORTANT FOOTING NOTE:
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- IF ADDITIONAL FOOTING THICKNESS IS REQUIRED THE USF IS TO BE LOWERED BY THE FOLLOWING AMOUNTS:
- UP TO 9" FOOTING, LOWER USF BY 0.07
- 10" FOOTING, LOWER USF BY 0.10
- 11" FOOTING, LOWER USF BY 0.13
- 12" FOOTING, LOWER USF BY 0.15
- 13" FOOTING, LOWER USF BY 0.18
- 14" FOOTING, LOWER USF BY 0.20

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QUALIFIED DESIGNER BCIN:
FIRM BCIN:
DATE:
SIGNATURE:

CLIENT
VOGUE DEVELOPMENT GROUP

PROJECT/LOCATION
THORNHILL WOODS
VAUGHAN

DRAWING
SITE PLAN

DRAWN BY ---	SCALE 1:250
PROJECT No. 21080	LOT NUMBER LOT 133

W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *MB*

This stamp is only for the purposes of design control and carries no other professional obligations.

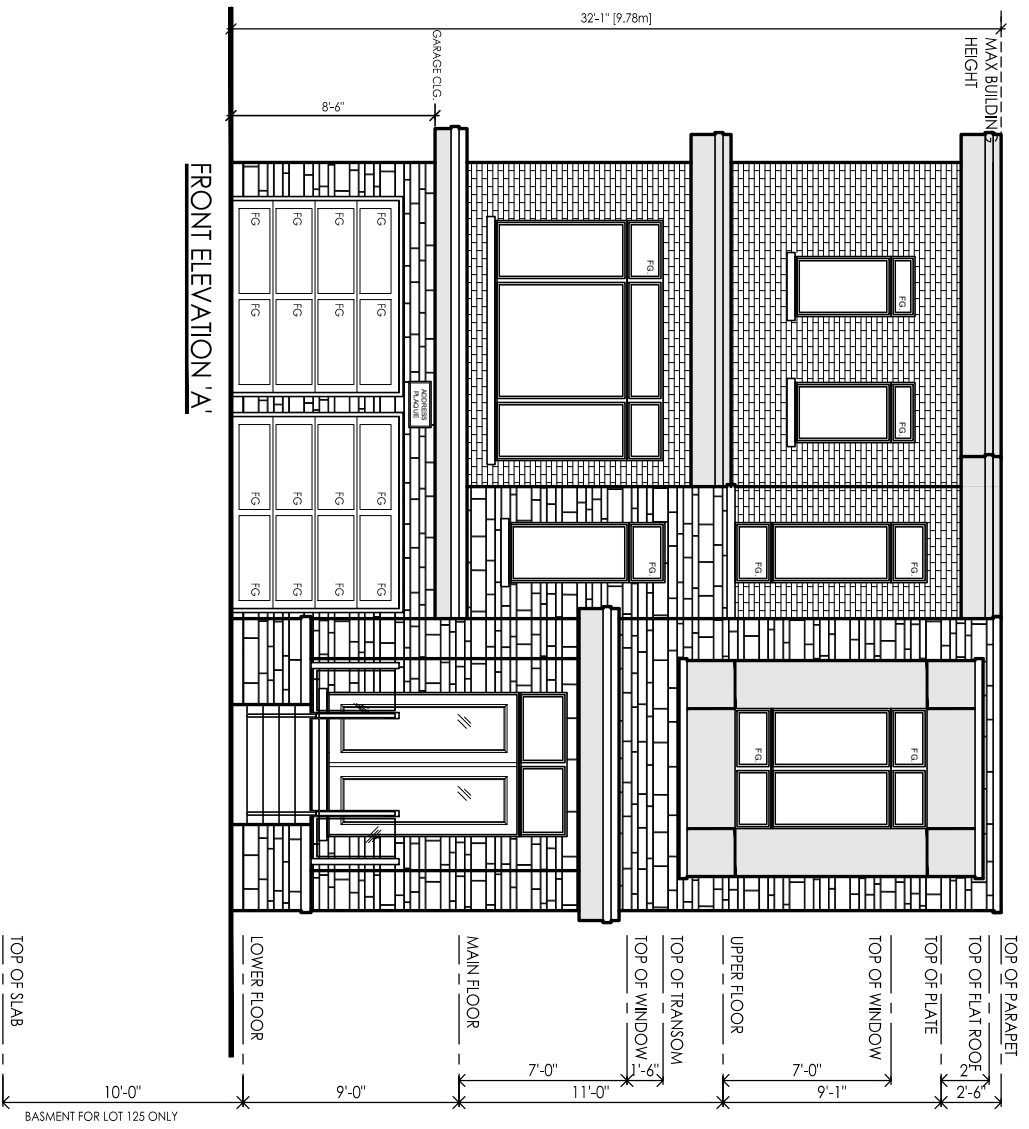
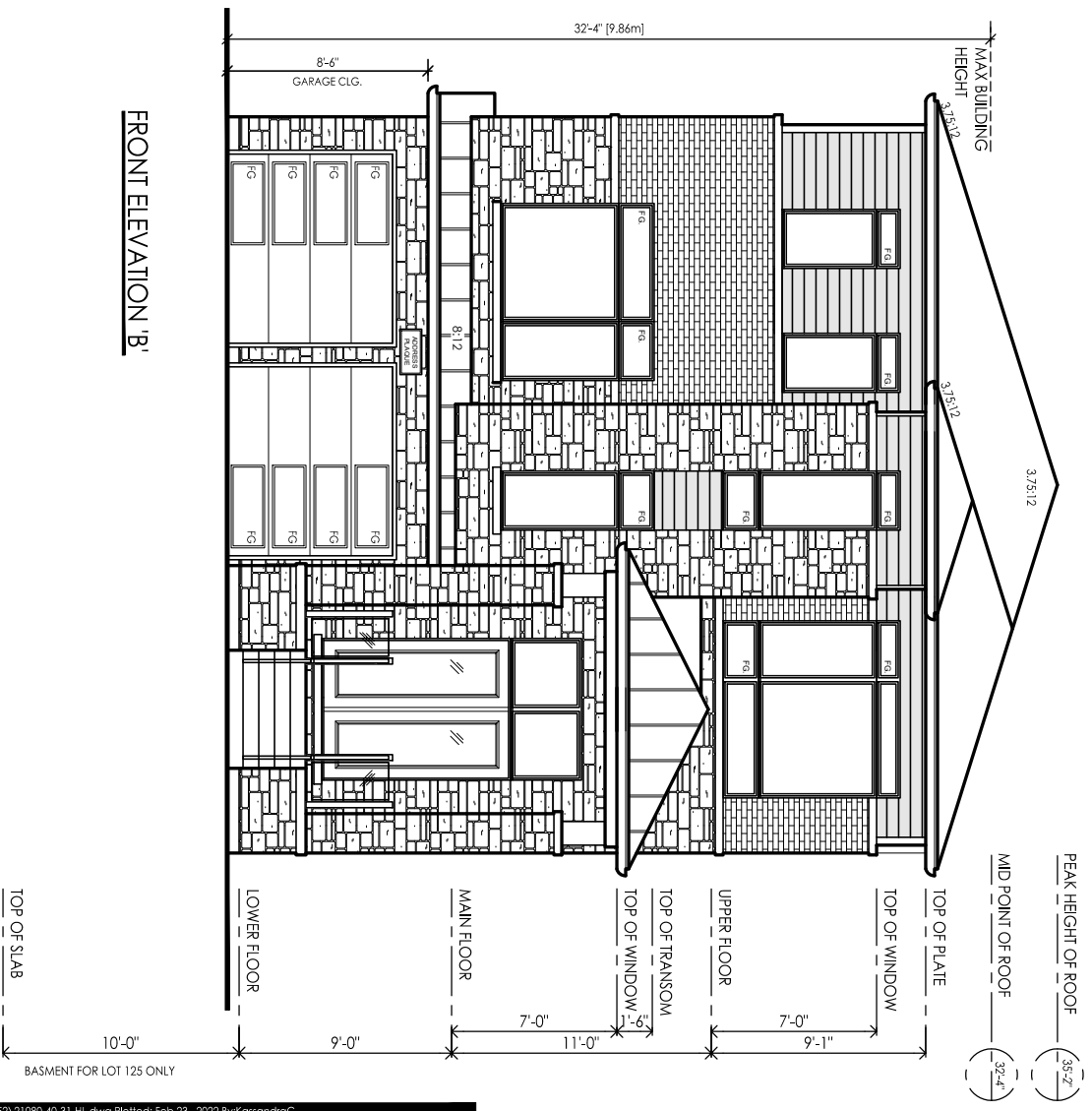
client **Vogue**
Development **Group**
project **Thornhill Woods**
Vaughan, City of

model **40-31**

project # **21080**

scale **1/8" = 1'0"**

page **B5**



revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-07-22
2 ISSUED FOR REVIEW	KC	23-08-22

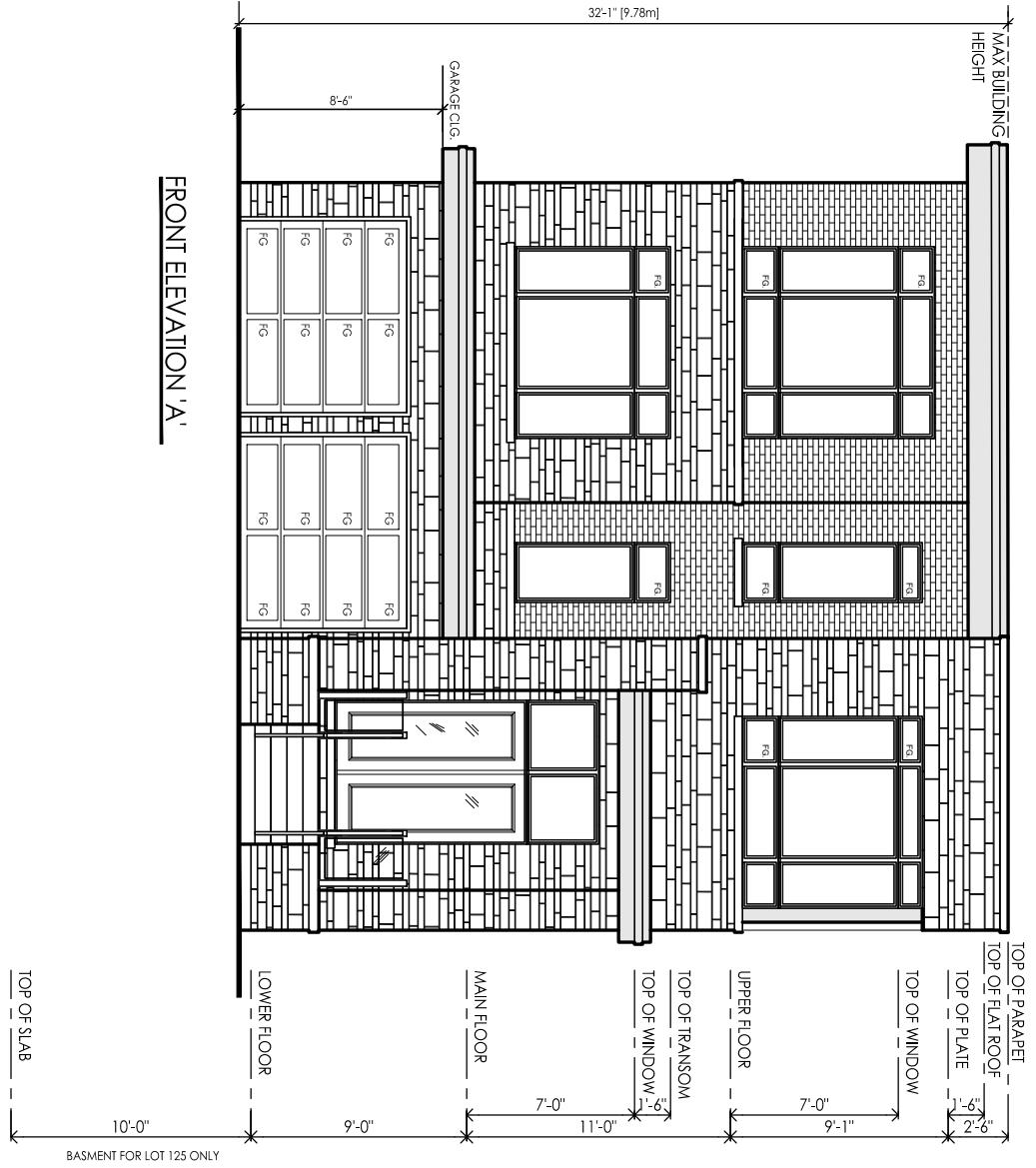
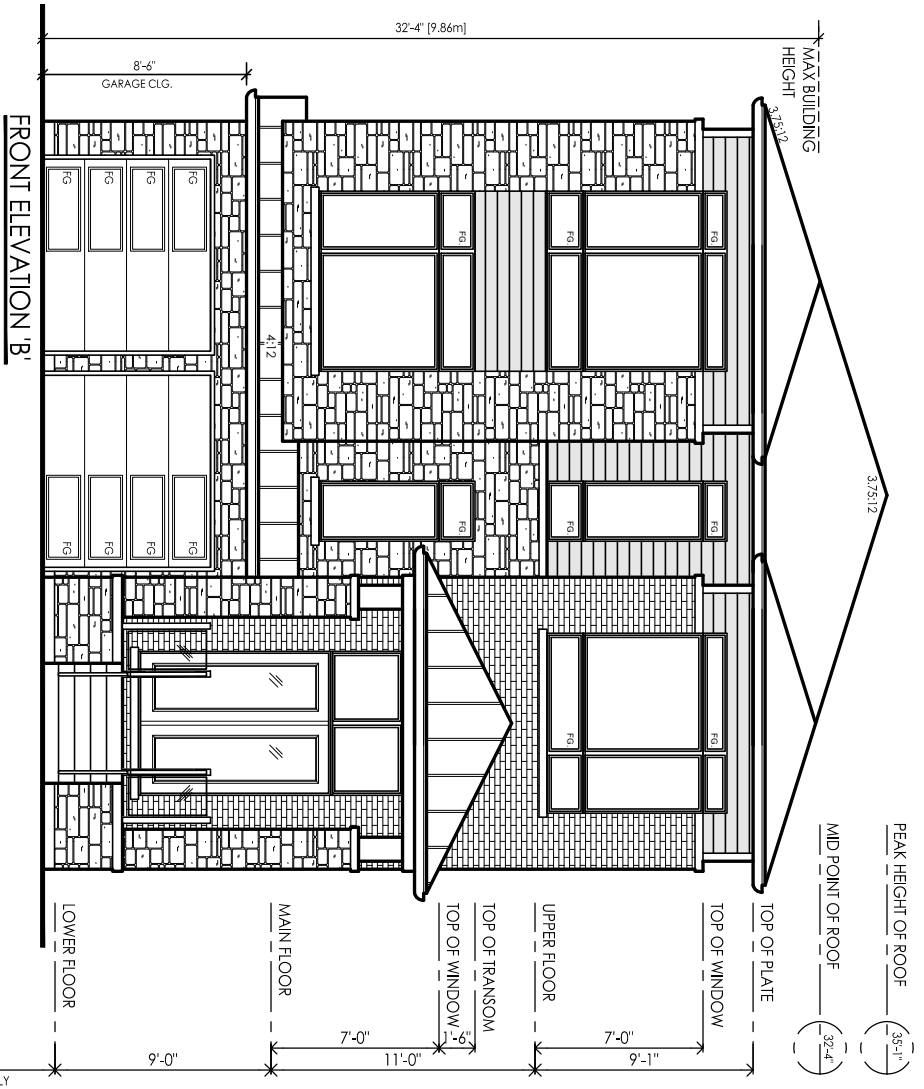
W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *[Signature]*

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client Vogue
project Development Group
project Thornhill Woods
model Vaughan, City of
40-32
project # 21080
scale 1/8" = 1'0"
page B5

revisions	initials	date
1 ISSUED FOR REVIEW	MJS	18-jan-22
2 ISSUED FOR REVIEW	KC	23-feb-22



W Architect Inc.
DESIGN CONTROL REVIEW
FEB. 23, 2022

PRELIM BY: *AKB*

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client **Vogue Development Group**

project **Thornhill Woods**

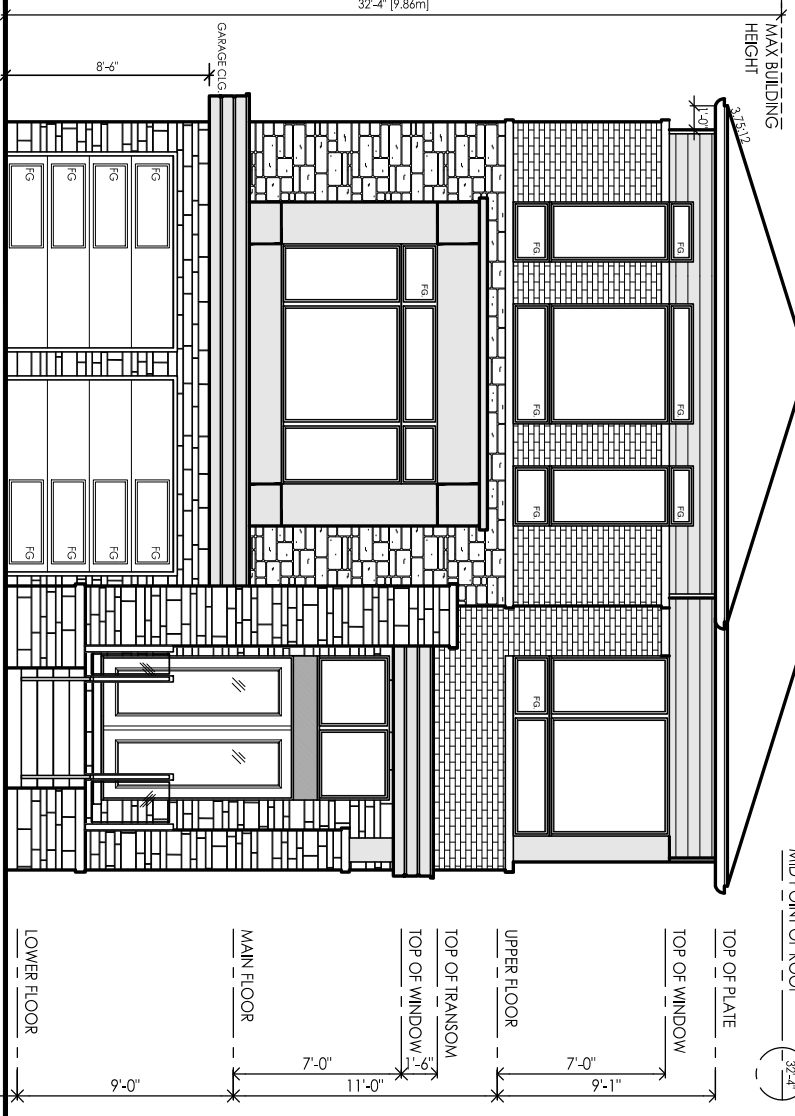
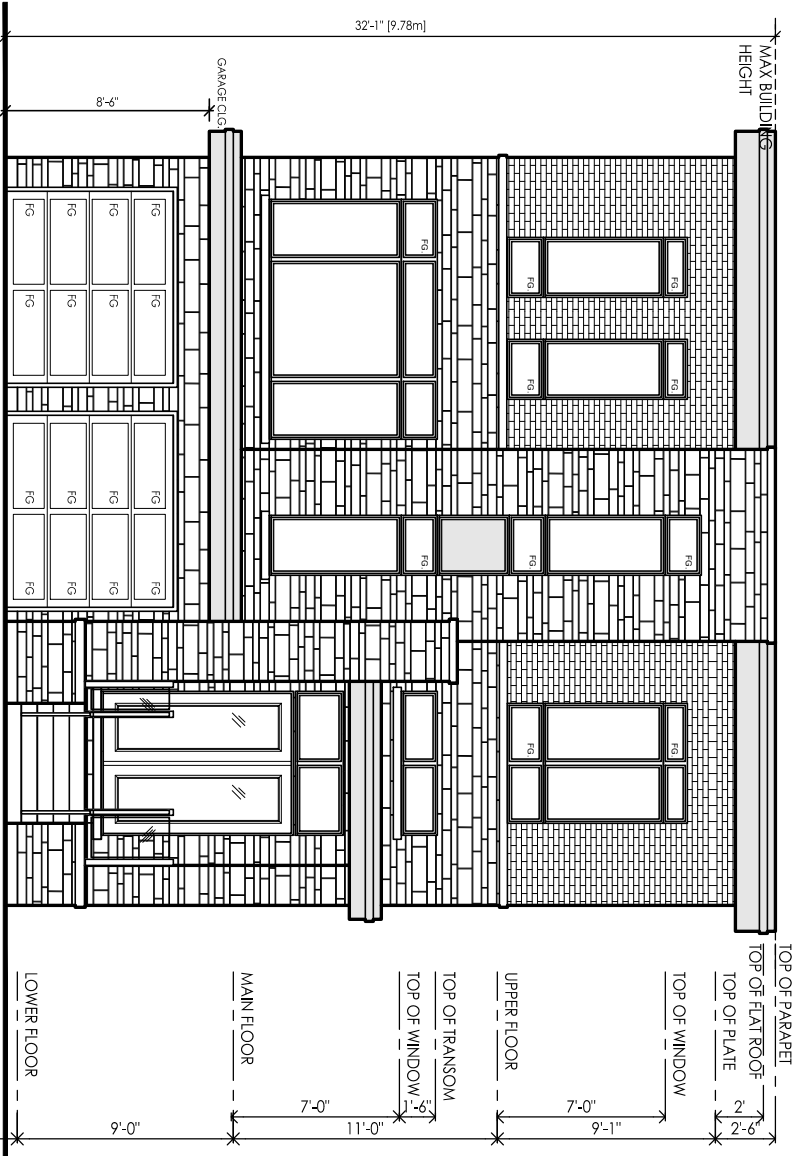
model **Vaughan, City of**

project # **40-33**

project # **21080**

scale **1/8" = 1'0"**

page **B4**



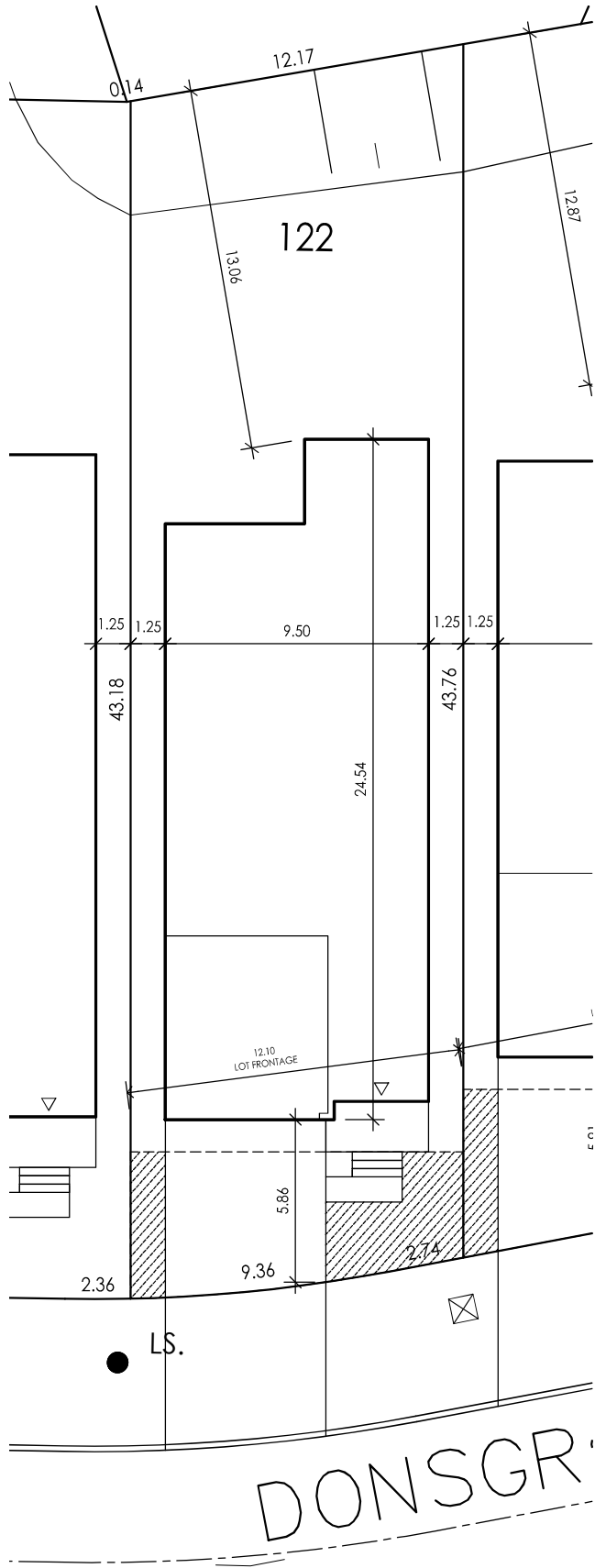
revisions

NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	M/S 18-07-22
2	ISSUED FOR REVIEW	M/S 17-06-22

A110/22

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	XXM-XXXX
ZONE	RXXX
LOT NUMBER	LOT 122
LOT AREA(m) ²	523.89
BLDG AREA(m) ²	.
LOT COVERAGE(%)	.
No. OF STOREYS	2
MEAN HEIGHT(m)	.
LOT FRONTAGE (m)	12.10m
DECK LINE(m)	.



LEGEND	
FFE FINISHED FLOOR ELEVATION	[SP] SUMP PUMP
TFW TOP OF FOUNDATION WALL	[X] BELL PEDESTAL
TBS TOP OF BASEMENT SLAB	[■] CABLE PEDESTAL
USF UNDER SIDE FOOTING	[□] CATCH BASIN
USFR UNDER SIDE FOOTING @ REAR	[□] DBL. CATCH BASIN
USFG UNDER SIDE FOOTING @ GARAGE	[*] ENGINEERED FILL
TEF TOP OF ENGINEERED FILL	[H] HYDRO CONNECTION
R NUMBER OF RISERS TO GRADE	[H] FIRE HYDRANT
WOD WALKOUT DECK	[SL] STREET LIGHT
LOB LOOKOUT BASEMENT	[M] MAIL BOX
WOB WALK OUT BASEMENT	[T] TRANSFORMER
WUB WALK UP BASEMENT	[▽] SEWER CONNECTIONS 2 LOTS
REV REVERSE PLAN	[▽] SEWER CONNECTIONS 1 LOT
STD STANDARD PLAN	[] WATER CONNECTION
△ DOOR	[V] WATER VALVE CHAMBER
○ WINDOW	[H] HYDRANT AND VALVE
[AC] AIR CONDITIONING	[M] HYDRO METER
[DS] DOWN SPOUT TO SPLASH PAD	[G] GAS METER
[DC] DOWNSPOUT CONNECTED TO STIM	[M] MANHOLE - STORM
[SD] SWALE DIRECTION	[S] MANHOLE - SANITARY
-X- CHAINLINK FENCE	
-XX- PRIVACY FENCE	
-XXX- SOUND BARRIER	

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR C OF A	14-JAN-22	D.H	RP
2	UPDATED STATS	16-FEB-22	D.H	RP

IMPORTANT FOOTING NOTE:
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 - 10" FOOTING, LOWER USF BY 0.10
 - 11" FOOTING, LOWER USF BY 0.13
 - 12" FOOTING, LOWER USF BY 0.15
 - 13" FOOTING, LOWER USF BY 0.18
 - 14" FOOTING, LOWER USF BY 0.20

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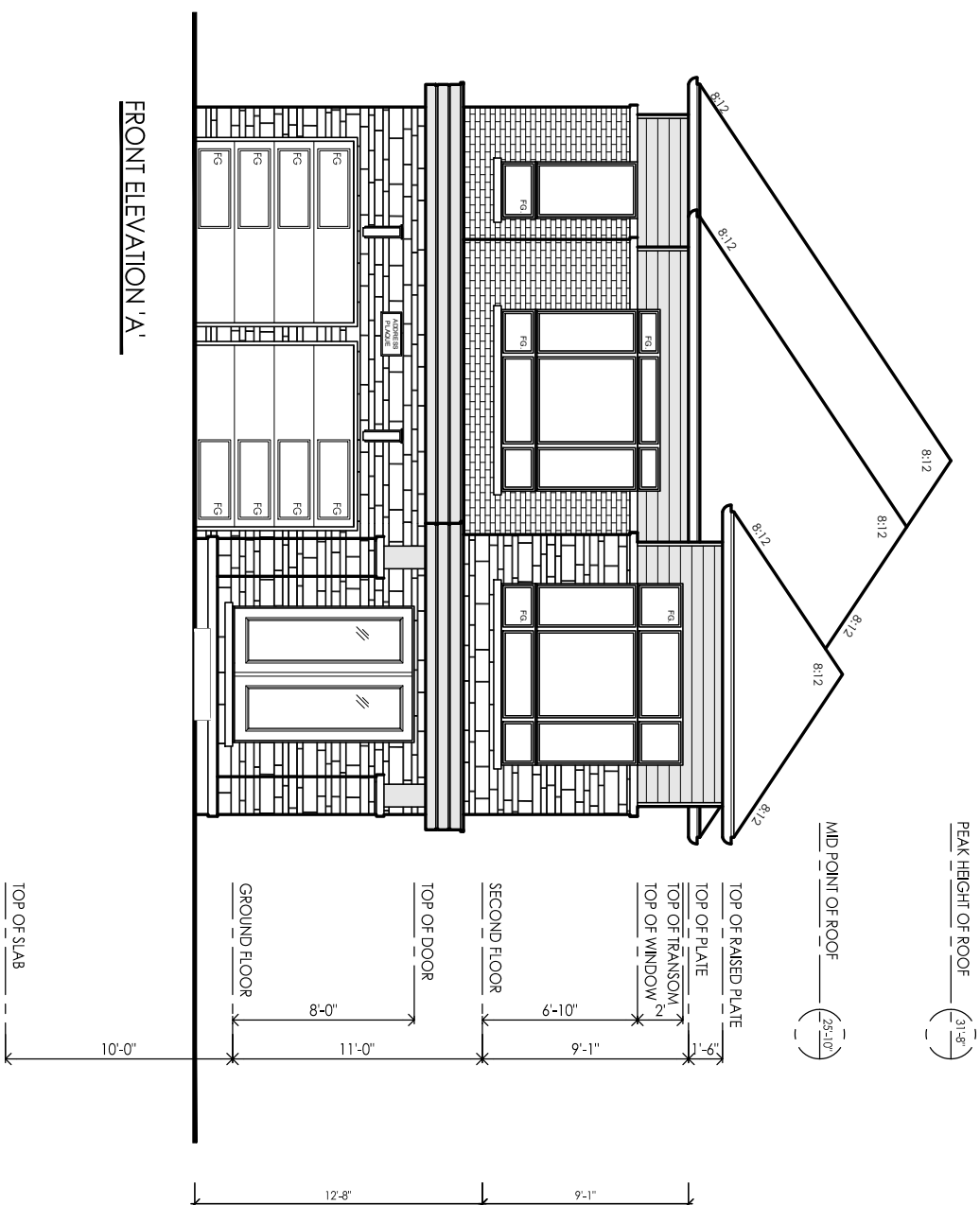
QUALIFIED DESIGNER BCIN: _____
 FIRM BCIN: _____
 DATE: _____

SIGNATURE: _____

CLIENT	VOGUE DEVELOPMENT GROUP
PROJECT/LOCATION	THORNHILL WOODS VAUGHAN
DRAWING	SITE PLAN

DRAWN BY	---	SCALE	1:250
PROJECT No.	21080	LOT NUMBER	LOT 122

LANDSCAPE CALC.		
FRONT YARD AREA	56.83m ²	
LANDSCAPED AREA	27.00m ²	47.51%
SOFT LANDSCAPED	22.74m ²	84.22%
LOT FRONTAGE	12.10m	



FRONT ELEVATION 'A'

W Architect Inc.
DESIGN CONTROL REVIEW
 FEB. 23, 2022
 PRELIM BY: *[Signature]*
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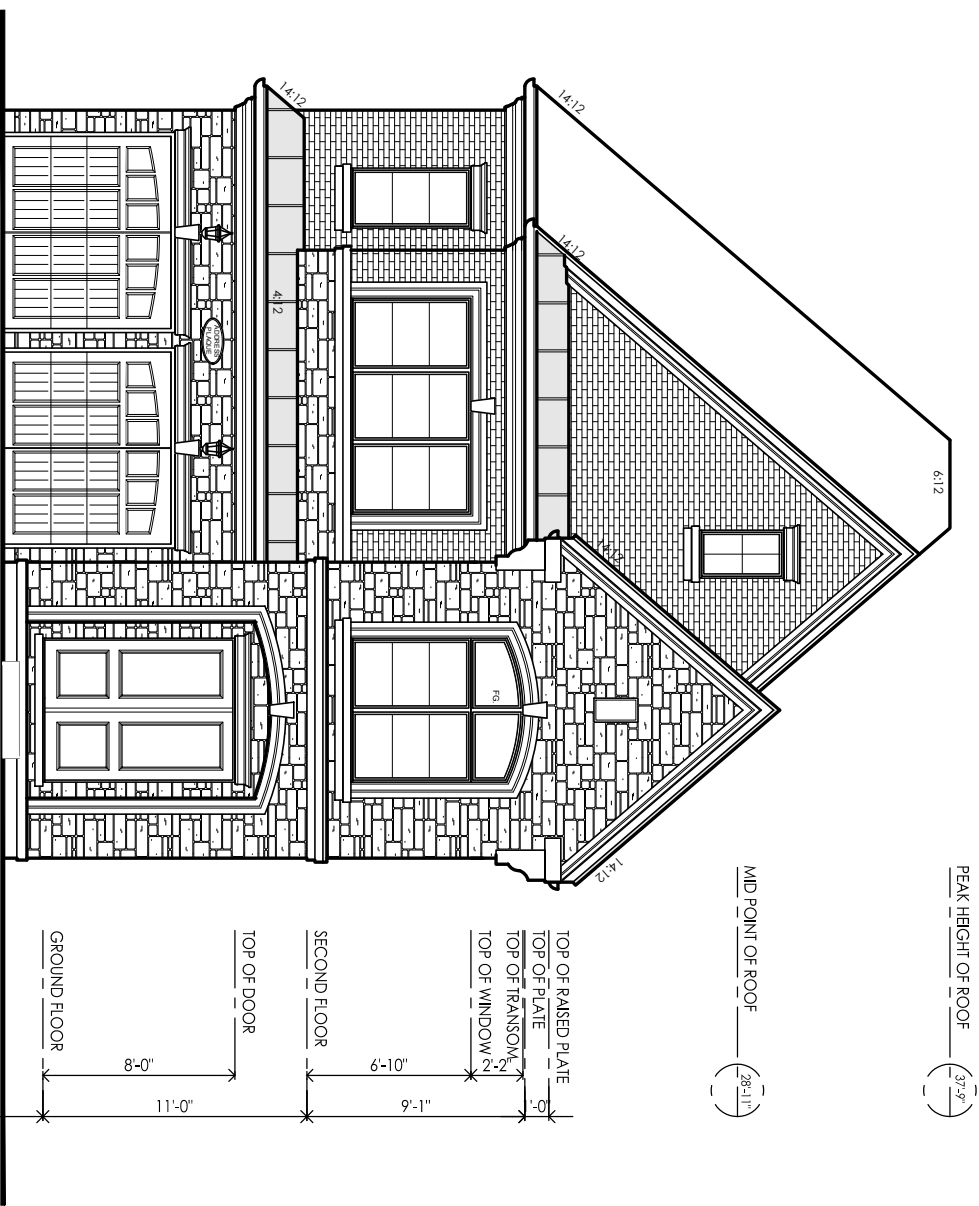
client/ Vogue
 Development
 Group
 project/ Thornhill Woods
 Vaughan, City of
 model/ 40-22

project #/ 21080

scale/ 1/8" = 1'0"

page/ B4

revisions	initials	date



FRONT ELEVATION B'

W Architect Inc.
DESIGN CONTROL REVIEW
 FEB. 23, 2022
PRELIM BY: *[Signature]*
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client/ Vogue
 Development
 Group
 project/ Thornhill Woods
 Vaughan, City of
 model/ 40-22

project #/ 21080

scale/ 1/8" = 1'0"
 page/

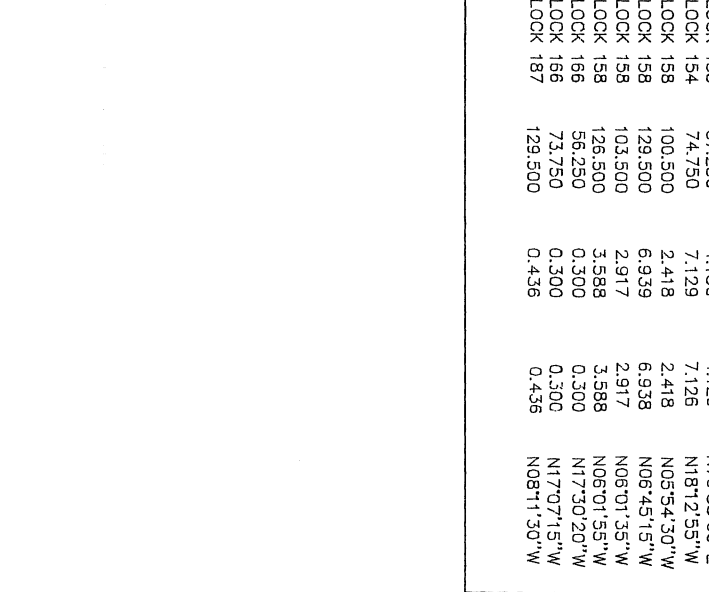
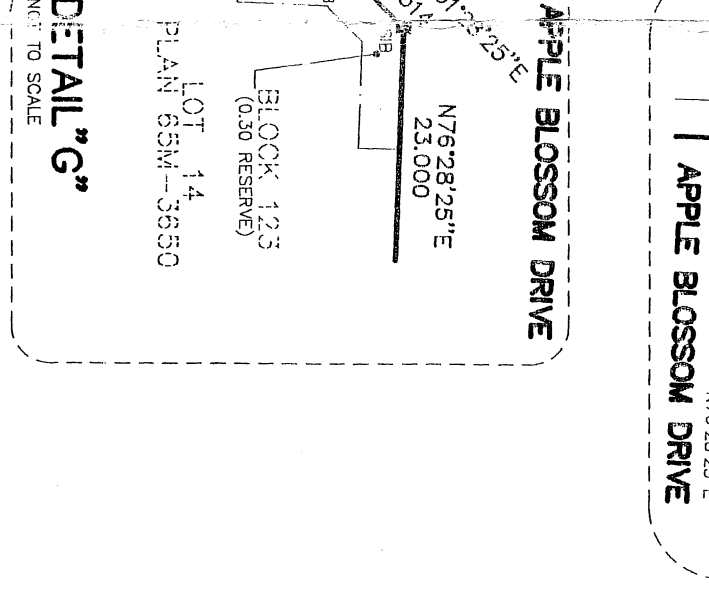
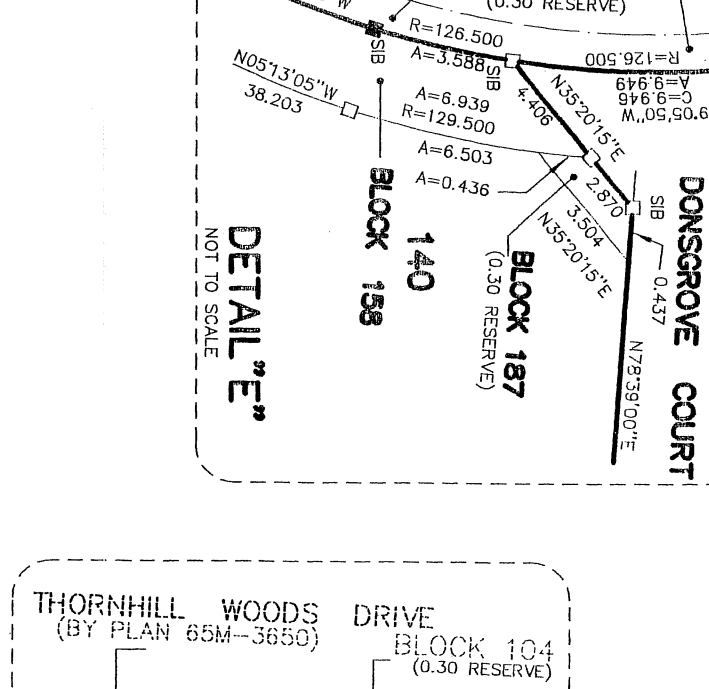
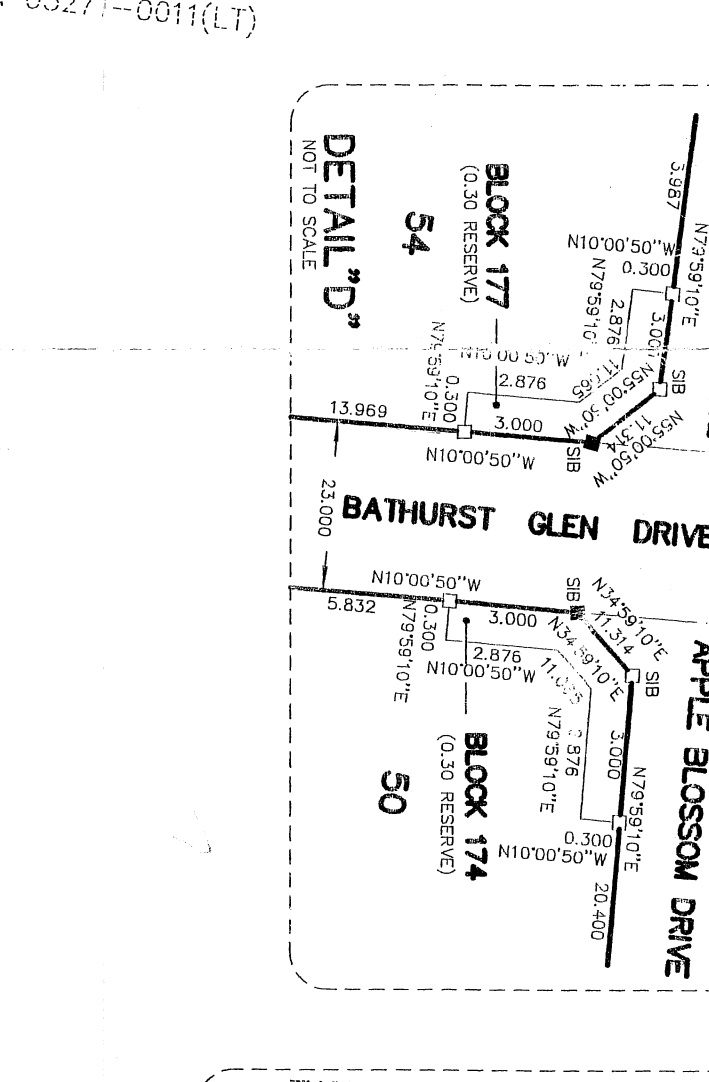
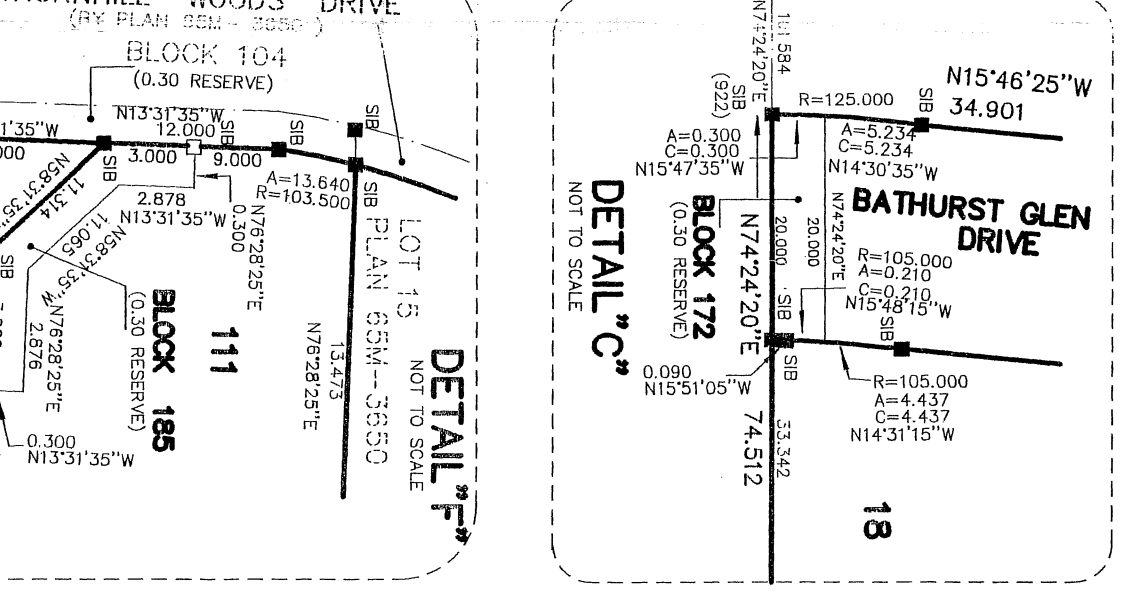
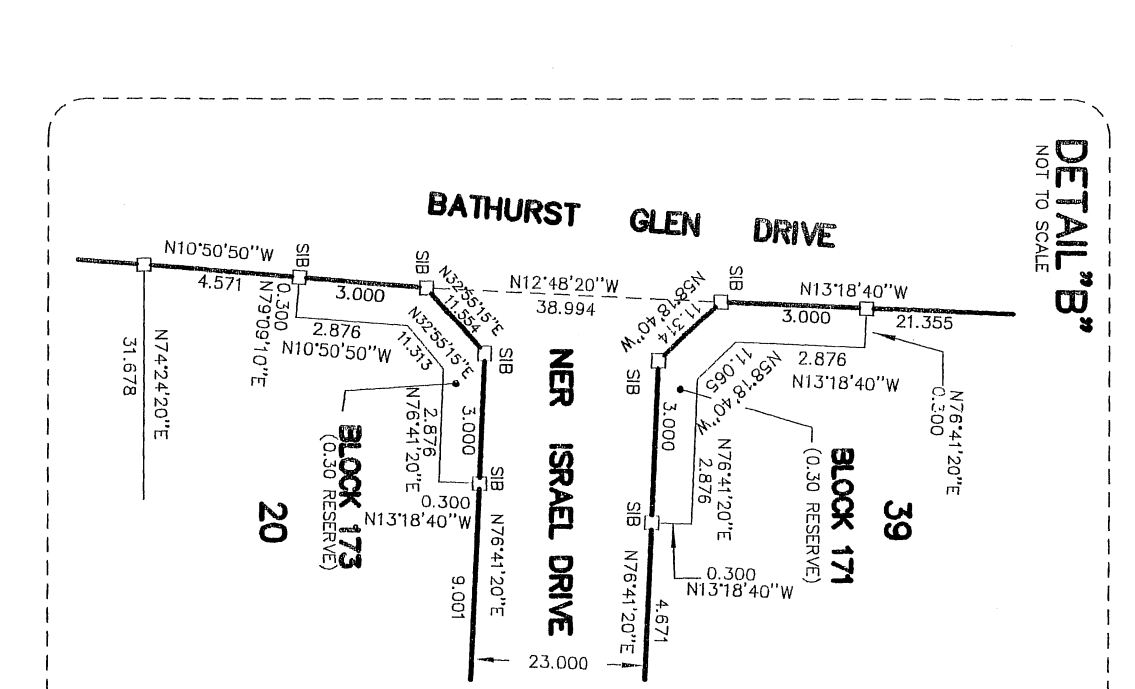
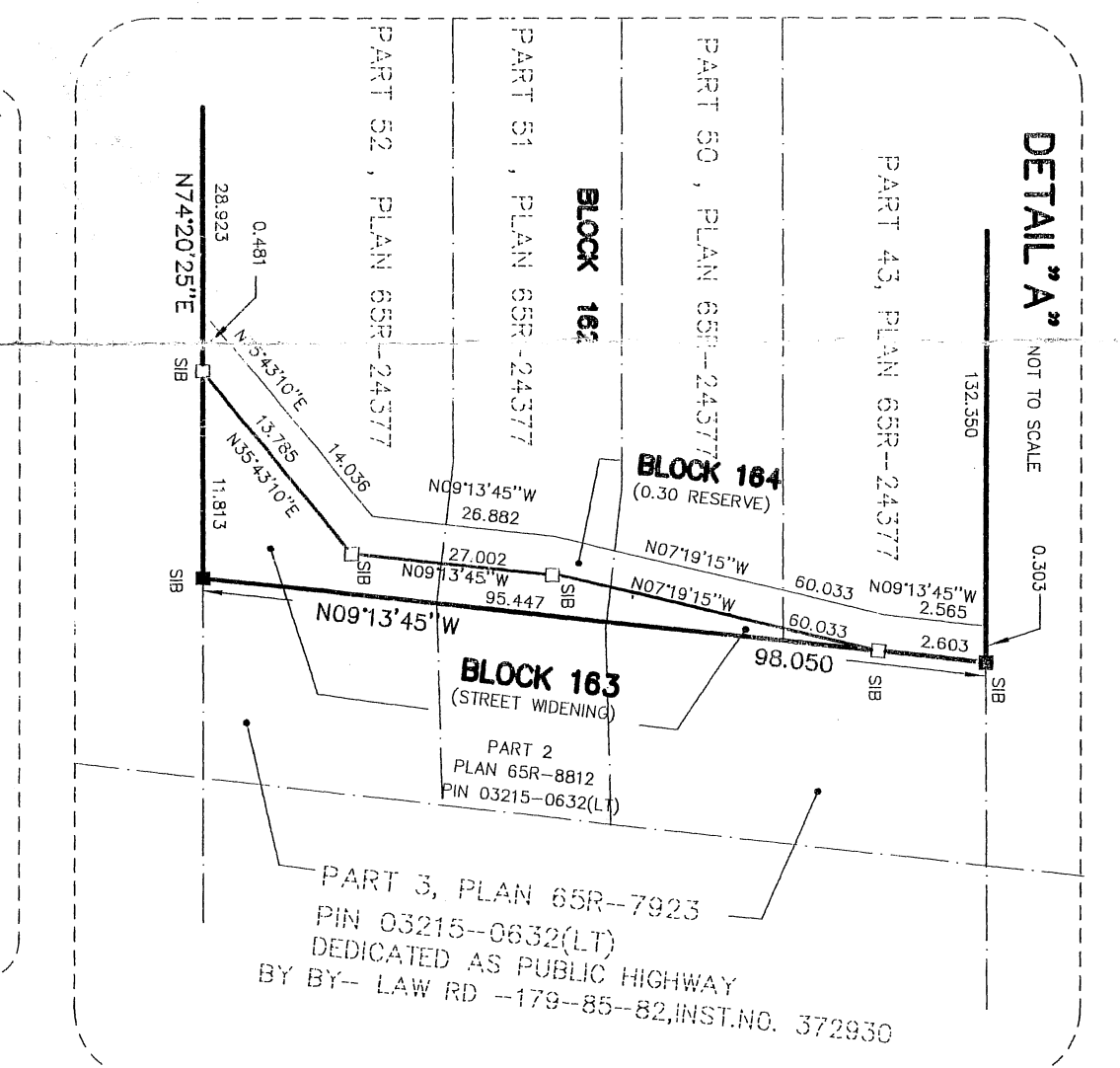
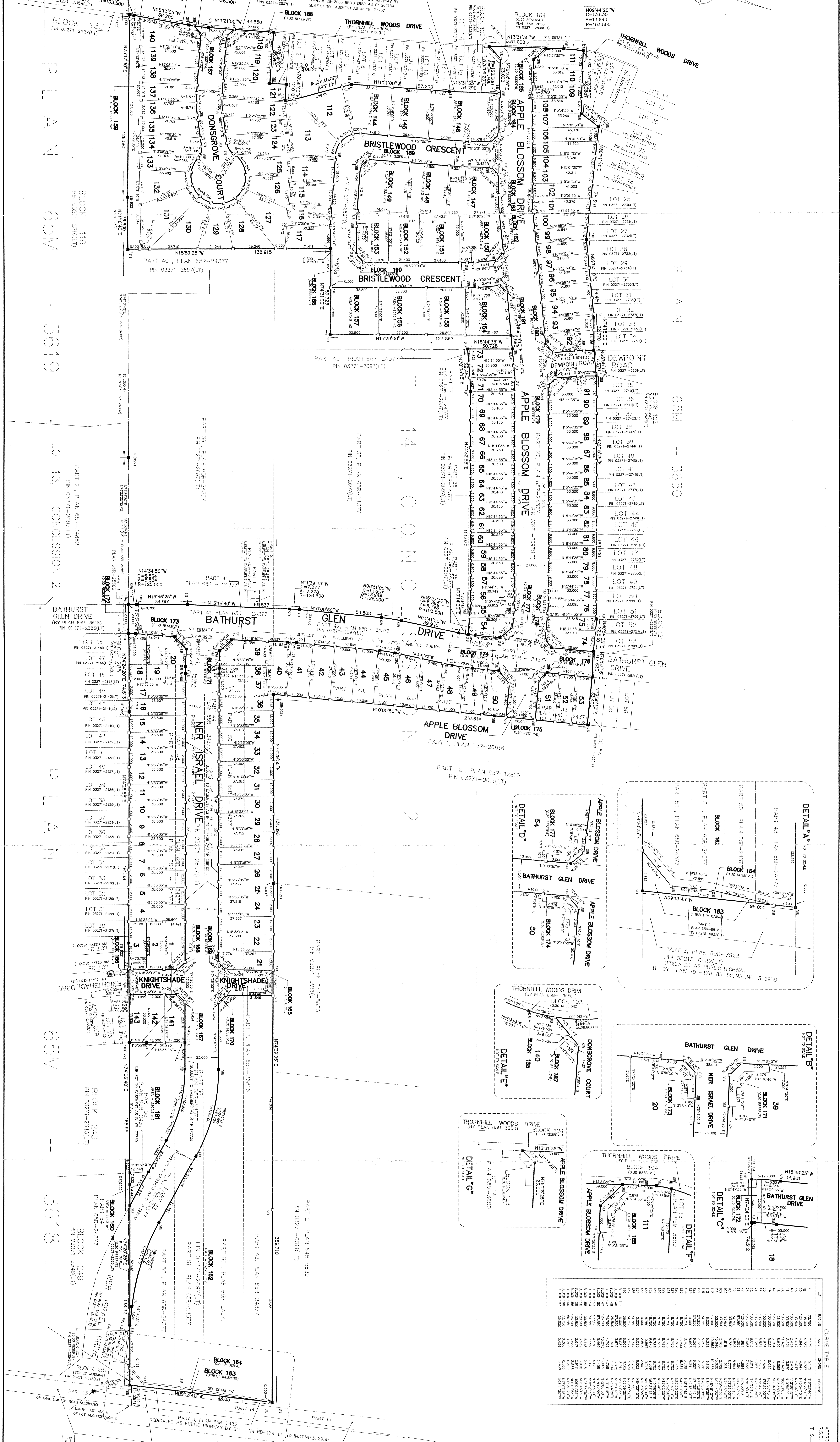
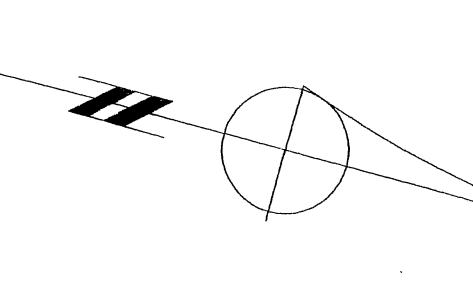
revisions	initials	date

Possible Models/Elevations for Each Lot

Lot Number	Model	Elevation
117A (Severed Lot)	26-31	A
117B (Retained Lot)	26-31	B
118 (not subject to MV)	37-21	A
119 (not subject to MV)	36-21	B
120 (not subject to MV)	36-21	A
121 (not subject to MV)	40-21	A/B
	40-22	A/B
122 (16 Donsgrove)	40-21	A/B
	40-22	A/B
123 (20 Donsgrove)	40-21	A/B
	40-22	A/B
124 (24 Donsgrove)	40-21	A/B
	40-22	A/B
125 (28 Donsgrove)	40-31	A/B
	40-32	A/B
	40-33	A/B
126 (32 Donsgrove)	40-23	A/B
127 (36 Donsgrove)	40-24	A/B
128(40 Donsgrove)	40-24	A/B
129 (47 Donsgrove)	40-23	A/B
130 (43 Donsgrove)	40-25	A/B
131 (39 Donsgrove)	40-25	A/B
132 (35 Donsgrove)	40-24	A/B
133 (31 Donsgrove)	40-31	A/B
	40-32	A/B
	40-33	A/B
134 (27 Donsgrove)	40-31	A/B
	40-32	A/B
	40-33	A/B
135 (23 Donsgrove)	40-31	A/B
	40-32	A/B

	40-33	A/B
136 (19 Donsgrove)	40-31	A/B
	40-32	A/B
	40-33	A/B
137 (15 Donsgrove)	40-31	A/B
	40-32	A/B
	40-33	A/B
138 (11 Donsgrove)	40-31	A/B
	40-32	A/B
	40-33	A/B
139 (7 Donsgrove)	40-31	A/B
	40-32	A/B
	40-33	A/B
140 (not subject to MV)	37-21	B

PLAN 65M - 3850



CHURGE TABLE with columns for LOT, AREA, CHURGE, and REMARKS.

APPROVED UNDER SECTION 51 OF THE PLANNING ACT R.S.O. 1990

PLAN 65M - 3808
I CERTIFY THAT THIS PLAN IS REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF YORK REGION AND ENTERED IN THE PARCEL REGISTER FOR PROPERTY IDENTIFIERS 03271-2897(LT)

PLAN OF SUBDIVISION OF CONCESSION 2 CITY OF VAUGHAN REGIONAL MUNICIPALITY OF YORK

LEGEND
DENSES PLANTED MONUMENT
DENSES ROUND MONUMENT
DENSES STANDARD IRON BAR

OWNER'S CERTIFICATE
I, THE SURETY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE REGULATIONS MADE UNDER THE ACT AND THE LAND TITLES ACT

SURVEYORS CERTIFICATE
ALL PLANTED MONUMENTS ARE IRON BARS UNLESS OTHERWISE NOTED

DATE: JANUARY 23, 2004

OWNER'S CERTIFICATE
I HAVE THE AUTHORITY TO BIND THE CORPORATION

FIELD, DRAWN, CHECKED, JOB NO., DATE, and other administrative information.

**SCHEDULE B: DEVELOPMENT PLANNING, BUILDING STANDARDS,
DEVELOPMENT ENGINEERING & AGENCY COMMENTS**

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer

From: Nancy Tuckett, Director of Development Planning

Date: May 5, 2022

Name of Owner: Vogue (Homes) Bathurst Inc.

File No.(s) & Location: A056/22 - 32 Donsgrove Court
A057/22 - 35 Donsgrove Court
A058/22 - 36 Donsgrove Court
A059/22 - 39 Donsgrove Court
A060/22 - 40 Donsgrove Court
A061/22 - 43 Donsgrove Court
A062/22 - 47 Donsgrove Court
A065/22 - 7 Donsgrove Court
A066/22 - 11 Donsgrove Court
A067/22 - 15 Donsgrove Court
A068/22 - 19 Donsgrove Court
A069/22 - 20 Donsgrove Court
A070/22 - 24 Donsgrove Court
A071/22 - 27 Donsgrove Court
A072/22 - 23 Donsgrove Court
A073/22 - 28 Donsgrove Court
A074/22 - 31 Donsgrove Court
A110/22 - 16 Donsgrove Court

A056/22

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum of 47% of the front yard to be landscaped.

By-Law Requirement(s) (By-law 1-88):

1. The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2

A057/22

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum of 44.13% of the front yard to be landscaped.

By-Law Requirement(s) (By-law 1-88):

1. The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2

A058/22

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum of 47.02% of the front yard to be landscaped.

By-Law Requirement(s) (By-law 1-88):

1. The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2

A059/22 & A061/22

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum of 46.61% of the front yard to be landscaped.

By-Law Requirement(s) (By-law 1-88):

1. The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2

A060/22**Proposed Variance(s) (By-law 1-88):**

1. To permit a minimum of 46.68% of the front yard to be landscaped.

By-Law Requirement(s) (By-law 1-88):

1. The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2

A062/22**Proposed Variance(s) (By-law 1-88):**

1. To permit a minimum of 44.82% of the front yard to be landscaped.

By-Law Requirement(s) (By-law 1-88):

1. The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2

A065/22 – A068/22 & A071/22 – A073/22**Proposed Variance(s) (By-law 001-2021):**

1. To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

By-Law Requirement(s) (By-law 001-2021):

1. A maximum Height of 9.5 metres is required.

Proposed Variance(s) (By-law 1-88):

2. To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

By-Law Requirement(s) (By-law 1-88):

2. A maximum building height of 9.5 metres is required.

A069/22**Proposed Variance(s) (By-law 1-88):**

1. To permit a minimum of 47.61% of the front yard to be landscaped.

By-Law Requirement(s) (By-law 1-88):

1. The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2

A070/22**Proposed Variance(s) (By-law 1-88):**

1. To permit a minimum of 47.2% of the front yard to be landscaped.

By-Law Requirement(s) (By-law 1-88):

1. The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2

A074/22**Proposed Variance(s) (By-law 001-2021):**

1. To permit a maximum height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

By-Law Requirement(s) (By-law 001-2021):

1. A maximum height of 9.5 metres is required.

Proposed Variance(s) (By-law 1-88):

2. To permit a maximum height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).
3. To permit a minimum of 45.95% of the front yard to be landscaped.

By-Law Requirement(s) (By-law 1-88):

2. A maximum building height of 9.5 metres is required.
3. The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2

A110/22**Proposed Variance(s) (By-law 1-88):**

1. To permit a minimum of 47.51% of the front yard to be landscaped.

By-Law Requirement(s) (By-law 1-88):

1. The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".

Comments:

The Owner is requesting to permit the construction of future single-family detached dwellings with the above noted variances spanning 18 lots in the approved and registered Plan of Subdivision 65M-3808.

A065/22 – A068/22, A071/22 – A074/22

The Development Planning Department has no objection to the proposed height of 10 m for all noted lots as it is consistent with previous approvals in the neighbourhood and will not pose a significant visual impact to the adjacent properties.

A056/22 – A062/22, A069/22 – A070/22, A074/22 & A110/22

The proposed front yard landscaped areas range between 44.13% and 47.61%, whereas By-law 1-88 requires 50.0% of the front yard to be landscaped. The Development Planning Department has no objection to the front yard landscape variances as the reduced landscaped area is minimal and appropriate given the lot configuration.

Accordingly, the Development Planning Department can support the required variances and is of the opinion that the proposals are minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner I
Chris Cosentino, Senior Planner

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 23, 2022
Applicant: Vogue (Homes) Bathurst Inc.
Location: PLAN 65M3808 Lot 126 municipally known as 32 Donsgrove Court
File No.(s): A056/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v)(1)]	To permit a minimum of 47% of the front yard to be landscaped.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

General Comments	
1	The applicant has already been advised that additional variances may be required upon review of detailed drawings for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 23, 2022
Applicant: Vogue (Homes) Bathurst Inc.
Location: PLAN 65M3808 Lot 132 municipally known as 35 Donsgrove Court
File No.(s): A057/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v](1)]	To permit a minimum of 44.13% of the front yard to be landscaped.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant has already been advised that additional variances may be required upon review of detailed drawings for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 23, 2022
Applicant: Vogue (Homes) Bathurst Inc.
Location: PLAN 65M3808 Lot 127 municipally known as 36 Donsgrove Court
File No.(s): A058/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v](1)]	To permit a minimum of 47.02% of the front yard to be landscaped.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

General Comments	
1	The applicant has already been advised that additional variances may be required upon review of detailed drawings for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 23, 2022
Applicant: Vogue (Homes) Bathurst Inc.
Location: PLAN 65M3808 Lot 131 municipally known as 39 Donsgrove Court
File No.(s): A059/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v](1)]	To permit a minimum of 46.61%% of the front yard to be landscaped.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

General Comments	
1	The applicant has already been advised that additional variances may be required upon review of detailed drawings for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 23, 2022
Applicant: Vogue (Homes) Bathurst Inc.
Location: PLAN 65M3808 Lot 128 municipally known as 40 Donsgrove Court
File No.(s): A060/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v](1)]	To permit a minimum of 46.68% of the front yard to be landscaped.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant has already been advised that additional variances may be required upon review of detailed drawings for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 23, 2022
Applicant: Vogue (Homes) Bathurst Inc.
Location: PLAN 65M3808 Lot 130 municipally known as 43 Donsgrove Court
File No.(s): A061/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v](1)]	To permit a minimum of 46.61% of the front yard to be landscaped.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant has already been advised that additional variances may be required upon review of detailed drawings for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 23, 2022
Applicant: Vogue (Homes) Bathurst Inc.
Location: PLAN 65M3808 Lot 129 municipally known as 47 Donsgrove Court
File No.(s): A062/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v](1)]	To permit a minimum of 44.82% of the front yard to be landscaped.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant has already been advised that additional variances may be required upon review of detailed drawings for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 28, 2022
Applicant: Vogue (Homes) Bathurst
Location: PLAN 65M3808 Lot 139 municipally known as 7 Donsgrove Court
File No.(s): A065/22

Zoning Classification:

The subject lands are zoned R4A(EN) – Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

The subject lands are zoned RV4, Residential Urban Village Zone Four, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

Zoning By-law 01-2021	
1	Please note that the actual height as defined under bylaw 001-2021 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

Zoning By-law 1-88	
1	Please note that the actual building height as defined under bylaw 1-88 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

General Comments	
1	The applicant has been advised that additional variances may be required upon review of detailed drawing for building permit. The applicant has confirmed that the maximum height will not exceed 10 metres to either the Flat roof or midpoint of the sloped roof depending on which model is chosen for each lot.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

None.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 30, 2022
Applicant: Vogue (Homes) Bathurst
Location: PLAN 65M3808 Lot 138 municipally known as 11 Donsgrove Court
File No.(s): A066/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

Zoning By-law 01-2021	
1	Please note that the actual height as defined under bylaw 001-2021 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

Zoning By-law 1-88	
1	Please note that the actual building height as defined under bylaw 1-88 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

General Comments	
1	The applicant has been advised that additional variances may be required upon review of detailed drawing for building permit. The applicant has confirmed that the maximum height will not exceed 10 metres to either the Flat roof or midpoint of the sloped roof depending on which model is chosen for each lot.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 30, 2022
Applicant: Vogue (Homes) Bathurst
Location: PLAN 65M3808 Lot 137 municipally known as 15 Donsgrove Court
File No.(s): A067/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

Zoning By-law 01-2021	
1	Please note that the actual height as defined under bylaw 001-2021 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

Zoning By-law 1-88	
1	Please note that the actual building height as defined under bylaw 1-88 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

General Comments	
1	The applicant has been advised that additional variances may be required upon review of detailed drawing for building permit. The applicant has confirmed that the maximum height will not exceed 10 metres to either the Flat roof or midpoint of the sloped roof depending on which model is chosen for each lot.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 30, 2022
Applicant: Vogue (Homes) Bathurst
Location: PLAN 65M3808 Lot 136 municipally known as 19 Donsgrove Court
File No.(s): A068/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

Zoning By-law 01-2021	
1	Please note that the actual height as defined under bylaw 001-2021 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

Zoning By-law 1-88	
1	Please note that the actual building height as defined under bylaw 1-88 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

General Comments	
1	The applicant has been advised that additional variances may be required upon review of detailed drawing for building permit. The applicant has confirmed that the maximum height will not exceed 10 metres to either the Flat roof or midpoint of the sloped roof depending on which model is chosen for each lot.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 23, 2022
Applicant: Vogue (Homes) Bathurst Inc.
Location: PLAN 65M3808 Lot 123 municipally known as 20 Donsgrove Court
File No.(s): A069/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v](1)]	To permit a minimum of 47.61% of the front yard to be landscaped.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant has already been advised that additional variances may be required upon review of detailed drawings for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 23, 2022
Applicant: Vogue (Homes) Bathurst Inc.
Location: PLAN 65M3808 Lot 124 municipally known as 24 Donsgrove Court
File No.(s): A070/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v](1)]	To permit a minimum of 47.2% of the front yard to be landscaped.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant has already been advised that additional variances may be required upon review of detailed drawings for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 30, 2022
Applicant: Vogue (Homes) Bathurst
Location: PLAN 65M3808 Lot 134 municipally known as 27 Donsgrove Court
File No.(s): A071/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

Zoning By-law 01-2021	
1	Please note that the actual height as defined under bylaw 001-2021 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

Zoning By-law 1-88	
1	Please note that the actual building height as defined under bylaw 1-88 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

General Comments	
1	The applicant has been advised that additional variances may be required upon review of detailed drawing for building permit. The applicant has confirmed that the maximum height will not exceed 10 metres to either the Flat roof or midpoint of the sloped roof depending on which model is chosen for each lot.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 30, 2022
Applicant: Vogue (Homes) Bathurst
Location: PLAN 65M3808 Lot 135 municipally known as 23 Donsgrove Court
File No.(s): A072/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

Zoning By-law 01-2021	
1	Please note that the actual height as defined under bylaw 001-2021 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

Zoning By-law 1-88	
1	Please note that the actual building height as defined under bylaw 1-88 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

General Comments	
1	The applicant has been advised that additional variances may be required upon review of detailed drawing for building permit. The applicant has confirmed that the maximum height will not exceed 10 metres to either the Flat roof or midpoint of the sloped roof depending on which model is chosen for each lot.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 14, 2022
Applicant: Vogue (Homes) Bathurst Inc.
Location: PLAN 65M3808 Lot 125 municipally known as 28 Donsgrove Court
File No.(s): A073/22

Zoning Classification:

The subject lands are zoned R4A(EN) – Fourth Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is permitted [T-114]	To permit a maximum height of ___ metres.

The subject lands are zoned RV4 –Residential Urban Village Zone Four and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A maximum Building Height of 9.5 metres is permitted [T-114]	To permit a maximum building height of ___ metres.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

Zoning By-law 01-2021	
	<u>APPLICABLE TO ALL RELATED FILES</u>
1	The proposed height has not been calculated in accordance with the definition of Height from Bylaw 001-2021, as amended, specifically, the difference from finished lower floor to established grade has not been included. Please revise the drawings accordingly as per the definition below Height: Means in reference to a <u>building or structure</u> , the vertical distance measured from established <u>grade</u> to: <ol style="list-style-type: none"> i. In the case of a flat roof, including any roof where more than half of the roof area has a slope of 15 degrees or less above the horizontal, the highest point of the roof surface or parapet, whichever is the greater; ii. in the case of a sloped roof, the mean <u>height</u> between the eaves and the ridge; or, iii. In the case of any <u>structure</u> with no roof, the highest point of the <u>structure</u>.

Zoning By-law 1-88	
	<u>APPLICABLE TO ALL RELATED FILES</u>
1	The proposed building height has not been calculated in accordance with the definition of Building Height from Bylaw 1-88, as amended, specifically, the difference from finished lower floor to

	<p>average grade at the front of the house has not been included. Please revise the drawings accordingly as per the definition below.</p> <p>BUILDING HEIGHT - Means the vertical distance between the average elevation of the finished grade at the front of the building (for the purpose of this definition, the front of the building shall be the wall containing the main entrance); and</p> <ul style="list-style-type: none"> i) in the case of a flat roof, the highest point of the roof surface; ii) in the case of a mansard roof, the highest point on the roof surface; iii) in the case of a gable, hip or gambrel roof, the mean height between the eaves and the highest point of the roof; <p>exclusive of any accessory roof construction such as a chimney, tower, steeple, elevator, mechanical room, or television antenna.</p>
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General Comments	
1	The applicant has been advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: March 30, 2022
Applicant: Vogue (Homes) Bathurst
Location: PLAN 65M3808 Lot 133 municipally known as 31 Donsgrove Court
File No.(s): A074/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A maximum Height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
1	A maximum building height of 9.5 metres is required. [Schedule T-114]	To permit a maximum Height of 10.0 metres to the top of the flat roof or to the midpoint of a sloped roof (style of roof TBD).
2	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v](1)]	To permit a minimum of 45.95% of the front yard to be landscaped.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

Zoning By-law 01-2021	
1	Please note that the actual height as defined under bylaw 001-2021 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

Zoning By-law 1-88	
1	Please note that the actual building height as defined under bylaw 1-88 as amended will be subject to further review once the final approved grading plan has been submitted for building permit.

General Comments	
1	The applicant has been advised that additional variances may be required upon review of detailed drawing for building permit. The applicant has confirmed that the maximum height will not exceed 10 metres to either the Flat roof or midpoint of the sloped roof depending on which model is chosen for each lot.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

To: Committee of Adjustment
From: Lindsay Haviland, Building Standards Department
Date: April 19, 2022
Applicant: Vogue (Homes) Bathurst
Location: PLAN 65M3808 Lot 122 municipally known as 16 Donsgrove Court
File No.(s): A110/22

Zoning Classification:

The subject lands are zoned R3A(EN) – Third Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.729 under Zoning By-law 001-2021, as amended.

The subject lands are zoned RV3, Residential Urban Village Zone Three, and subject to the provisions of Exception 9(1063) under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	The lot frontage for lots 12.0 m and greater shall be comprised of a minimum of 50% Landscaped front yard and a minimum sixty percent (60%) of the minimum landscaped front yard shall be soft landscaping in accordance with paragraph 4.1.2 [Section 4.1.4 f)v](1)]	To permit a minimum of 47.51% of the front yard to be landscaped.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m²

Other Comments:

General Comments	
1	The applicant has already been advised that additional variances may be required upon review of detailed drawings for building permit.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A056/22 Vaughan - Engineering - Complete With Conditions (ATTWALAP)
Date: April-14-22 2:18:42 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A056/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 32 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A056/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A057/22 Vaughan - Engineering - Complete With Conditions (ATTWALAP)
Date: April-14-22 2:28:52 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A057/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 35 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The proposed work by the owner is decreasing the soft landscaping in the front yard of the subject property. The added hardscape may have impact on City's Storm Water management system. Stuff requires the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts. Please provide DE with a LID brief explaining the measures taken prior to clearing the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A057/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the decreased soft landscaping in the front yard from 50% to 44.13% in order to mitigate potential impacts on the municipal storm water system.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A058/22 Vaughan - Engineering - Complete With Conditions (ATTWALAP)
Date: April-14-22 2:35:52 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A058/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 36 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A058/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A059/22 Vaughan - Engineering - Complete With Conditions (ATTWALAP)
Date: April-14-22 2:42:40 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A059/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 39 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A059/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A060/22 Vaughan - Engineering - Complete With Conditions (ATTWALAP)
Date: April-14-22 2:50:40 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A060/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 40 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A060/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A061/22 Vaughan - Engineering - Complete With Conditions (ATTWALAP)
Date: April-14-22 2:55:40 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A061/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 43 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A061/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A062/22 Vaughan - Engineering - Complete With Conditions (ATTWALAP)
Date: April-14-22 3:03:40 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A062/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 47 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The proposed work by the owner is decreasing the soft landscaping in the front yard of the subject property. The added hardscape may have impact on City's Storm Water management system. Stuff requires the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts. Please provide DE with a LID brief explaining the measures taken prior to clearing the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A062/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the decreased soft landscaping in the front yard from 50% to 44.82% in order to mitigate potential impacts on the municipal storm water system.

Adriana MacPherson

Subject: FW: A065/22 Vaughan - Engineering - Complete With Conditions (MACPHERA)

-----Original Message-----

From: Farzana Khan <Farzana.Khan@vaughan.ca>

Sent: April-14-22 9:30 PM

To: Committee of Adjustment <CofA@vaughan.ca>

Cc: Joshua Cipolletta <Joshua.Cipolletta@vaughan.ca>

Subject: A065/22 Vaughan - Engineering - Complete With Conditions (MACPHERA)

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A065/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 7 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A065/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A066/22 Vaughan - Engineering - Complete With Conditions (MACPHERA)
Date: April-14-22 9:32:51 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A066/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 11 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A066/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A067/22 Vaughan - Engineering - Complete With Conditions (MACPHERA)
Date: April-14-22 9:36:51 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A067/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 15 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A067/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A068/22 Vaughan - Engineering - Complete With Conditions (MACPHERA)
Date: April-14-22 9:39:41 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A068/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 19 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A068/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A069/22 Vaughan - Engineering - Complete With Conditions (MACPHERA)
Date: April-14-22 9:42:41 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A069/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 20 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A069/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A070/22 Vaughan - Engineering - Complete With Conditions (MACPHERA)
Date: April-14-22 9:48:41 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A070/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 24 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A070/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A071/22 Vaughan - Engineering - Complete With Conditions (MACPHERA)
Date: April-14-22 9:51:41 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A071/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 27 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A071/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A072/22 Vaughan - Engineering - Complete With Conditions (MACPHERA)
Date: April-14-22 9:54:41 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A072/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 23 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A072/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A073/22 Vaughan - Engineering - Complete With Conditions (MACPHERA)
Date: April-14-22 9:56:43 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A073/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 28 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A073/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A074/22 Vaughan - Engineering - Complete With Conditions (MACPHERA)
Date: April-14-22 9:58:52 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A074/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 31 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A074/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

From: [Farzana Khan](#)
To: [Committee of Adjustment](#)
Cc: [Joshua Cipolletta](#)
Subject: A110/22 Vaughan - Engineering - Complete With Conditions (MACPHERA)
Date: April-20-22 3:29:46 PM

Please note that Vaughan - Engineering process is now complete for a COA folder with the following details:

File No: A110/22

Type: Minor Variance - Residential, Agricultural, Institutional

Address: 16 Donsgrove Ct

Comments:As the proposed dwelling in the subject property is over 10m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to variance application A110/22 subject to the following condition(s):

Conditions:The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

Pravina Attwala

Subject: FW: [External] RE: A056/22 (Dongrove Court) - City of Vaughan Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-14-22 8:38 AM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A056/22 (Dongrove Court) - City of Vaughan Request for Comments

Good Morning Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Pravina Attwala

Subject: FW: [External] A057/22 (Dongrove Court) - City of Vaughan Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-14-22 9:29 AM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] A057/22 (Dongrove Court) - City of Vaughan Request for Comments

Good Morning Christine,
The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Pravina Attwala

Subject: FW: [External] FW: A058/22 (Dongrove Court) - City of Vaughan Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-14-22 9:39 AM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] FW: A058/22 (Dongrove Court) - City of Vaughan Request for Comments

Good Morning Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Pravina Attwala

Subject: FW: [External] A059/22 (Dongrove Court) - City of Vaughan Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-14-22 10:00 AM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] A059/22 (Dongrove Court) - City of Vaughan Request for Comments

Good Morning Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Pravina Attwala

Subject: FW: [External] A060/22 (Dongrove Court) - City of Vaughan Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-14-22 10:33 AM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] A060/22 (Dongrove Court) - City of Vaughan Request for Comments

Good Morning Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Pravina Attwala

Subject: FW: [External] A061-A062/22 (Dongrove Court) - City of Vaughan Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-14-22 10:56 AM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] A061-A062/22 (Dongrove Court) - City of Vaughan Request for Comments

Good Morning Christine,

The Regional Municipality of York has completed its review of the above minor variances and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Pravina Attwala

Subject: FW: [External] A061-A062/22 (Dongrove Court) - City of Vaughan Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-14-22 10:56 AM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] A061-A062/22 (Dongrove Court) - City of Vaughan Request for Comments

Good Morning Christine,

The Regional Municipality of York has completed its review of the above minor variances and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Adriana MacPherson

Subject: FW: [External] A065-A068/22 (Dongrove Court) - City of Vaughan Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-14-22 11:24 AM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] A065-A068/22 (Dongrove Court) - City of Vaughan Request for Comments

Good Morning Christine,

The Regional Municipality of York has completed its review of the above minor variances and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Adriana MacPherson

Subject: FW: [External] FW: A069-A070/22 (Dongrove Court) - City of Vaughan Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-27-22 12:56 PM

To: Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

Subject: [External] FW: A069-A070/22 (Dongrove Court) - City of Vaughan Request for Comments

Further to your email

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Adriana MacPherson

Subject: FW: [External] A071, A072, A074/22 (Dongrove Court) - City of Vaughan Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-14-22 1:14 PM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] A071, A072, A074/22 (Dongrove Court) - City of Vaughan Request for Comments

Good afternoon Christine,

The Regional Municipality of York has completed its review of the above minor variances and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Adriana MacPherson

Subject: FW: [External] RE: A110/22 (Dongrove Court) - City of Vaughan Request for Comments

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-27-22 2:54 PM

To: Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

Subject: [External] RE: A110/22 (Dongrove Court) - City of Vaughan Request for Comments

Good afternoon Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Date: April 1st , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A056-22, A057-22, A058-22, A059-22, A060-22, A061-22, A062-22, A065-22, A066-22, A067-22, A068-22, A069-22, A070-22, A071-22, A072-22, A073-22, and A074-22**

Related Files:

Applicant Vogue (Homes) Bathurst Inc.

Location 32, 35, 36, 39, 40, 43, 47, 7, 11, 15, 19, 20, 24, 27, 23, 28, 31
Donsgrove Court



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant / Authorized Agent	Evans Planning	8481 Keele Street, Unit 12	02/28/2022	Justification Letter



February 28, 2022

City of Vaughan
Committee of Adjustment
2141 Major Mackenzie Drive
Vaughan, Ontario
L6A 1T1

Attn: Ms. Christine Vigneault, Manager Development Services & Secretary Treasurer Committee of Adjustment

Dear Ms. Vigneault,

RE: Applications for Minor Variance
Vogue (Homes) Bathurst Inc.
7, 11, 15, 16, 19, 20, 23, 24, 27, 28, 31, 32, 35, 36, 39, 40, 43 and 47 Donsgrove Court
City of Vaughan

Evans Planning acts on behalf of Vogue (Homes) Bathurst Inc., the owner of the properties located at 7 to 47 Donsgrove Court in the City of Vaughan (the subject properties). The subject properties are currently vacant lots that were created in 2005 through the registration of subdivision 65M-3808. The lots on Donsgrove Court were not developed at the same time as the surrounding subdivision lands, but are now proposed to be developed with single detached dwellings.

Through the design of the units for the lots it has been identified that 18 of the lots will require minor variances. Specifically, the following variances are being requested for each lot:

y7 Donsgrove (Lot 139)	Increased height of 10 metres whereas 9.5 metres is required by the By-law;
y11 Donsgrove (Lot 138)	Increased height of 10 metres whereas 9.5 metres is required by the By-law;
y 15 Donsgrove (Lot 137)	Increased height of 10 metres whereas 9.5 metres is required by the By-law;
16 Donsgrove (Lot 122)	Reduced front yard landscaping of 47.51%, whereas 50% is required by the By-law;
y 19 Donsgrove (Lot 136)	Increased height of 10 metres whereas 9.5 metres is required by the By-law;
y 20 Donsgrove (Lot 123)	Reduced front yard landscaping of 47.61%, whereas 50% is required by the By-law;
y23 Donsgrove (Lot 135)	Increased height of 10 metres whereas 9.5 metres is required by the By-law;
y 24 Donsgrove (Lot 124)	Reduced front yard landscaping of 47.2%, whereas 50% is required by the By-law;
y27 Donsgrove (Lot 134)	Increased height of 10 metres whereas 9.5 metres is required by the By-law;
y 28 Donsgrove (Lot 125)	Increased height of 10 metres whereas 9.5 metres is required by the By-law;
y 31 Donsgrove (Lot 133)	Increased height of 10 metres whereas 9.5 metres is required by the By-law; Reduced front yard landscaping of 45.95%, whereas 50% is required by the By-law;
y32 Donsgrove (Lot 126)	Reduced front yard landscaping of 47.43%, whereas 50% is required by the By-law;
y 35 Donsgrove (Lot 132)	Reduced front yard landscaping of 44.13%, whereas 50% is required by the By-law;



y 36 Donsgrove (Lot 127)	Reduced front yard landscaping of 47.02%, whereas 50% is required by the By-law;
y 39 Donsgrove (Lot 131)	Reduced front yard landscaping of 44.61%, whereas 50% is required by the By-law;
y 40 Donsgrove (Lot 128)	Reduced front yard landscaping of 46.68%, whereas 50% is required by the By-law;
yy 43 Donsgrove (Lot 130)	Reduced front yard landscaping of 44.61%, whereas 50% is required by the By-law;
y 47 Donsgrove (Lot 129)	Reduced front yard landscaping of 44.82%, whereas 50% is required by the By-law;

The proposed variances to building height are required due to the grading condition of the subject property. These lots have a steep slope in the rear yard. In order to provide useable amenity space in the rear yard the building depths have been reduced, and as such a third storey was added to these homes to generate similar gross floor areas as other houses on the street.

The proposed variances to front yard landscaping area due to the nature of the cul-de-sac cutting into the front yards of the lots. Furthermore, several of the lots around the cul-de-sac are pie-shaped, reducing the front yard areas.

To assist with the Committee's review of the applications, the following materials are provided for review for each lot:

- Application for Minor Variance (includes Tree Declaration Form);
- Copy of Subdivision 65M-3808;
- Site Plan;
- Preliminary Elevation Plans (stamped by Subdivision Control Architect);
- Chart identifying possible models for each lot;
- Thornhill Woods Architectural Design Guidelines Addendum;
- Letter from Control Architect regarding proposed heights;
- Application fee (Cheque to be delivered to City).

I trust that these materials should be sufficient for your review. Should you require any additional information or materials, please contact the undersigned at your earliest convenience.

Yours truly,

Joanna Fast
RPP, MCIP

cc. Vogue (Homes) Bathurst Inc.