



**COMMITTEE OF ADJUSTMENT
REPORT SUMMARY
MINOR VARIANCE APPLICATION
FILE NUMBER A042/22**

| | |
|---|--|
| AGENDA ITEM NUMBER: 13 | CITY WARD #: 1 |
| APPLICANT: | Sarah & Michael Nazzarro |
| AGENT: | Sarah Nazzarro |
| PROPERTY: | 52 Donhill Cr Kleinburg |
| ZONING DESIGNATION: | See below. |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" |
| RELATED DEVELOPMENT APPLICATIONS: <small>*May include related applications for minor variance, consent, site plan, zoning amendments etc.</small> | None |
| PURPOSE OF APPLICATION: | Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling and the installation of pool equipment. |

THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING DEPARTMENTS & AGENCIES:

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

| DEPARTMENTS | Circulated | Comments Received | Conditions | Nature of Comments |
|---|-------------------------------------|-------------------------------------|--------------------------|----------------------------------|
| Committee of Adjustment | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Building Standards (Zoning Review) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | General Comments |
| Building Inspection (Septic) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | No Comments Received to Date |
| Development Planning | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Recommend Approval/No Conditions |
| Development Engineering | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Recommend Approval w/Conditions |
| Parks, Forestry and Horticulture Operations | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| By-law & Compliance, Licensing & Permits | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| Development Finance | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| Real Estate | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Fire Department | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| AGENCIES | Circulated | Comments Received | Conditions | Nature of Comments |
| TRCA | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| Ministry of Transportation (MTO) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| Region of York | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| Alectra | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| Bell Canada | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| YRDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| YCDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CN Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CP Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| TransCanada Pipeline | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Metrolinx | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Propane Operator | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City’s Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|----------------------------|--------------------------|-----------------------------|---------------------------------------|-------------------|
| Public | Armando & Debbie Pecchia | 58 Donhill Crescent | 04/25/2022 | Letter of Support |
| Public | Fausto Matute | 46 Donhill Crescent | 04/24/2022 | Letter of Support |
| Public | Petition of Support | 41, 46, 73 Donhill Crescent | 04/26/2022 | Letter of Support |

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

| File Number | Date of Decision MM/DD/YYYY | Decision Outcome |
|--------------------|--|-------------------------|
| None | | |

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

| | |
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| None | |
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A042/22**

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| ZONING DESIGNATION: | See below. |
| VAUGHAN OFFICIAL PLAN (2010) DESIGNATION: | Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential" |
| RELATED DEVELOPMENT APPLICATIONS: | None |
| PURPOSE OF APPLICATION: | Relief from the Zoning By-law is being requested to permit the construction of a proposed single family dwelling and the installation of pool equipment. |

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1B(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.336 under Zoning By-law 001-2021, as amended.

| # | Zoning By-law 01-2021 | Variance requested |
|---|--|--|
| 1 | A maximum Height of 8.5 metres is permitted (Section 4.5.1.b.). | To permit a maximum height of 9.07 metres. |
| 2 | A minimum Front yard of 7.21 metres is required (Section 4.5.3.b.). | To permit a minimum front yard of 6.55 metres. |
| 3 | A minimum rear yard of 12.0 metres is required (Table 7-3). | To permit a minimum rear yard of 11.75 metres. |
| 4 | A maximum encroachment of 1.8 metres is permitted into the minimum required front yard for uncovered stairs (Table 4-1). | To permit a maximum encroachment of 2.66 metres into the front yard for uncovered stairs. |
| 5 | A maximum encroachment of 2.0 metres is permitted into the minimum required rear yard for a porch (Table 4-1). | To permit a maximum encroachment of 2.06 metres into the rear yard for a porch. |
| 6 | A maximum encroachment of 1.5 metres into the minimum required rear yard is permitted for ground mounted pool equipment (Table 4-1). | To permit a maximum encroachment of 7.25 metres into the minimum required rear yard for ground mounted pool equipment. |

The subject lands are zoned R1, Residential Zone, under Zoning By-law 1-88, as amended.

| | Zoning By-law 1-88 | Variance requested |
|----|--|---|
| 7 | A minimum front yard of 7.5 metres is required (Schedule A). | To permit a minimum front yard of 6.55 metres. |
| 8 | Exterior stairways shall be permitted in the rear yard only except that an exterior stairway not exceeding one-half storey in height shall be permitted in any yard [Section 3.14 b)]. | To permit an uncovered exterior stairway greater than one-half storey in height to encroach into the minimum required front yard. |
| 9 | A maximum encroachment of 1.8 metres permitted into the minimum required front yard for exterior stairways [Section 3.14 c)]. | To permit a maximum encroachment of 2.66 metres into the front yard for uncovered stairs. |
| 10 | A maximum encroachment of 1.5 metres into the minimum required rear yard is permitted for ground mounted pool equipment (Section 3.14). | To permit a maximum encroachment of 7.25 metres into the minimum required rear yard for ground mounted pool equipment. |

HEARING INFORMATION

| | |
|------------------------------------|------------------------------------|
| Date & Time of Hearing: | Thursday, May 5, 2022 at 6:00 p.m. |
|------------------------------------|------------------------------------|

Watch the hearing live at:
Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

| | |
|---|--|
| Date Public Notice Mailed: | April 21, 2022 |
| Date Applicant Confirmed Posting of Sign: | April 19, 2022 |
| Applicant Justification for Variances: *As provided by Applicant in Application Form | <p>Due to the irregular size and shape of the lot, variances are required to permit a dwelling that is similar in size to recently built homes in the area, and meets the needs of the occupants.</p> <p>Proposed garage placement partially/slightly encroaches on front yard setback. Partial encroachment of approx. 0.66m (2'2") at west corner or one section of the garage (per by-law 1-88)</p> <p>Proposed house encroaches partially on rear yard setback by .25m at north corner (per by-law 1-2021)</p> <p>Proposed permanent canopy requires variant for permitted encroachment of attached permanent canopy. By-law allows 0.6m (per by-law 1-2021) encroachment into rear yard setback, however, proposed canopy requires 1.46m encroachment.</p> <p>Proposed new pool location encroaches on 10 ft easements at rear of property.</p> |
| Adjournment Requests (from staff): *Adjournment requests provided to applicant prior to issuance of public notice | None |
| Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: *ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. | No |

COMMITTEE OF ADJUSTMENT COMMENTS

*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.

Adjournment Fees:

In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.

An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff **after** the issuance of public notice.

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| Committee of Adjustment Comments: | None |
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| Committee of Adjustment Recommended Conditions of Approval: | None |
|--|------|

BUILDING STANDARDS (ZONING) COMMENTS

There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

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| Building Standards Recommended Conditions of Approval: | None |
|---|------|

DEVELOPMENT PLANNING COMMENTS

**See Schedule C for Development Planning Comments.

| | |
|---|------|
| Development Planning Recommended Conditions of Approval: | None |
|---|------|

DEVELOPMENT ENGINEERING COMMENTS

As the proposed dwelling in the subject property is 172.6 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the pool permit link provided above to learn how to apply for the pool permit.

The owner/applicant shall contact Transportation and Fleet Management Services (Joint Operations Centre) if there is any work required related to the driveway culvert. Please visit the culvert work link provided above for more information.

The Owner/applicant needs to be aware of that no structure can be built in the easement areas.

The Development Engineering (DE) Department does not object to variance application A042/22 subject to the following condition(s):

| | |
|--|--|
| Development Engineering Recommended Conditions of Approval: | The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval. |
|--|--|

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments no concerns

| | |
|--|------|
| PFH Recommended Conditions of Approval: | None |
|--|------|

DEVELOPMENT FINANCE COMMENTS

That the payment of the City Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and City-wide Development Charge By-law in effect at time of payment.

That the payment of Region of York Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Regional Development Charges By-laws in effect at time of payment.

That the payment of Education Development Charge is payable to the City of Vaughan prior to issuance of a building permit in accordance with the Education Act and York Region District School Board and York Catholic District School Board Development Charges By-laws in effect at time of payment.

That the payment of applicable Area Specific Development Charges are payable to the City of Vaughan prior to issuance of a building permit in accordance with the Development Charges Act and Area Specific Development Charge By-laws in effect at time of payment.

Demolition development charge credits valid for a period of 48 months from date of demolition permit issuance. After 48 months, full development charges apply as per by-laws.

| | |
|--|------|
| Development Finance Recommended Conditions of Approval: | None |
|--|------|

BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

Ensure Pool permit obtained from Engineering Department if new pool being installed. Maintain pool fence enclosure in compliance with fence bylaw requirements.

| | |
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| BCLPS Recommended Conditions of Approval: | None |
|--|------|

BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date

| | |
|--|------|
| Building Inspection Recommended Conditions of Approval: | None |
|--|------|

FIRE DEPARTMENT COMMENTS

No comments no concerns

| | |
|--|------|
| Fire Department Recommended Conditions of Approval: | None |
|--|------|

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

| | |
|---------------------------------|---|
| Schedule A | Drawings & Plans Submitted with the Application |
| Schedule B | Development Planning & Agency Comments |
| Schedule C (if required) | Correspondence (Received from Public & Applicant) |
| Schedule D (if required) | Previous COA Decisions on the Subject Land |

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

| # | DEPARTMENT / AGENCY | CONDITION(S) DESCRIPTION |
|---|---|--|
| 1 | Development Engineering farzana.khan@vaughan.ca | The Owner/applicant shall submit the final Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the |

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

grading permit link provided above to learn how to apply for lot grading and/or servicing approval.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

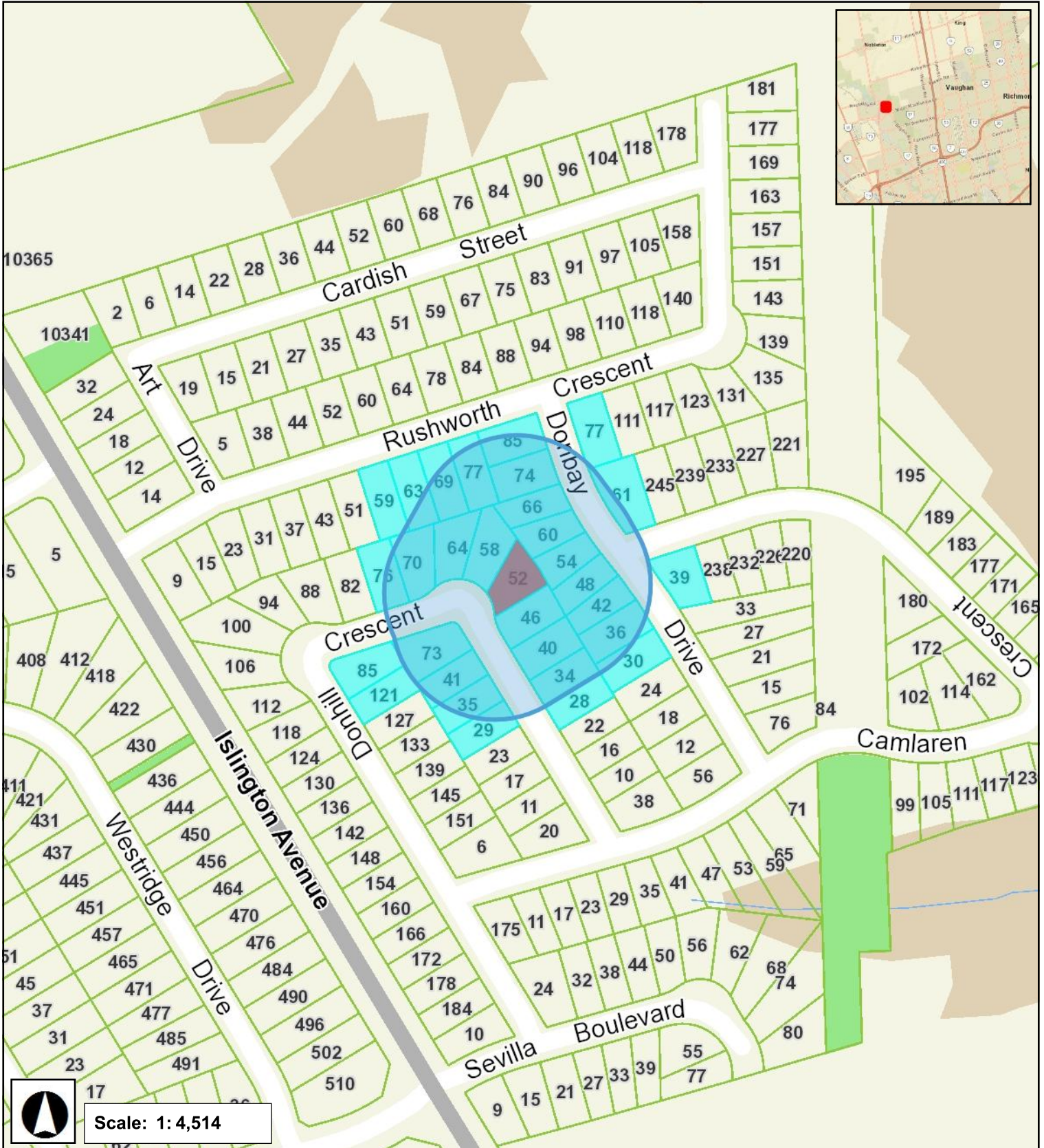
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A042/22

52 DONHILL CRESCENT, KLEINBURG

Teston Road



Major Mackenzie Drive

April 19, 2022 4:44 PM

Metric
DISTANCES ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

RECEIVED
BY RECEIVED AT 8:23 am, Apr 07, 2022

A042/22

SITE PLAN

of

LOT 31

REGISTERED PLAN 6081

CITY OF VAUGHAN

REGIONAL MUNICIPALITY OF YORK

ONTARIO

SCALE 1:180

CONTRACTOR WILL CHECK ALL DIMENSIONS & CONDITIONS & REPORT ANY VARIATIONS BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE REPRODUCED WITHOUT WRITTEN CONSENT OF THE DESIGNER. DRAWINGS ARE NOT TO BE SCALED.

DATE: MAR 15/22
DRAWN BY: M.M.
CHECKED BY: M.M.

THIS SITE PLAN HAS BEEN PREPARED FOR ORIENTATION PURPOSES BASED ON INFORMATION TAKEN FROM SURVEY BY ERTL SURVEYORS O.L.S. REPRESENT ALL THE SURVEY DIMENSIONS. IF LEGAL OR SURVEY DIMENSIONS ARE REQUIRED, REFERENCE MUST BE MADE TO A LEGAL SURVEY OF THE SUBJECT PROPERTY.

SITE STATISTICS

LOT AREA 1094.50 sq.ft., 94710 sq.m.

COVERAGE

ALLOWED COVERAGE (30.0%) 3268.35 sq.ft., 28413 sq.m.
PROPOSED DWELLING 2362.40 sq.ft., 219,471 sq.m.
PROPOSED FRONT PORCH CANOPY 88.50 sq.ft., 8133 sq.m.
PROPOSED REAR CANOPY 611.00 sq.ft., 56733 sq.m.
PROPOSED SECOND FLOOR SHADOW 2010 sq.ft., 18719 sq.m.
TOTAL COVERAGE (30.0%) 3058.10 sq.ft., 28413 sq.m.

GROSS FLOOR AREA

FIRST FLOOR 1837.90 sq.ft., 17060 sq.m.
SECOND FLOOR 1837.30 sq.ft., 17057 sq.m.
TOTAL G.F.A. 3675.20 sq.ft., 34117 sq.m. (G.F.A. DOES NOT INCLUDE GARAGE AND BASEMENT AREA)

Part 2: Report

SUBJECT TO EASEMENTS AS IN INST. NO. LB174522, LB174524, LB174525 AND LB174526, FENCES AS SHOWN.

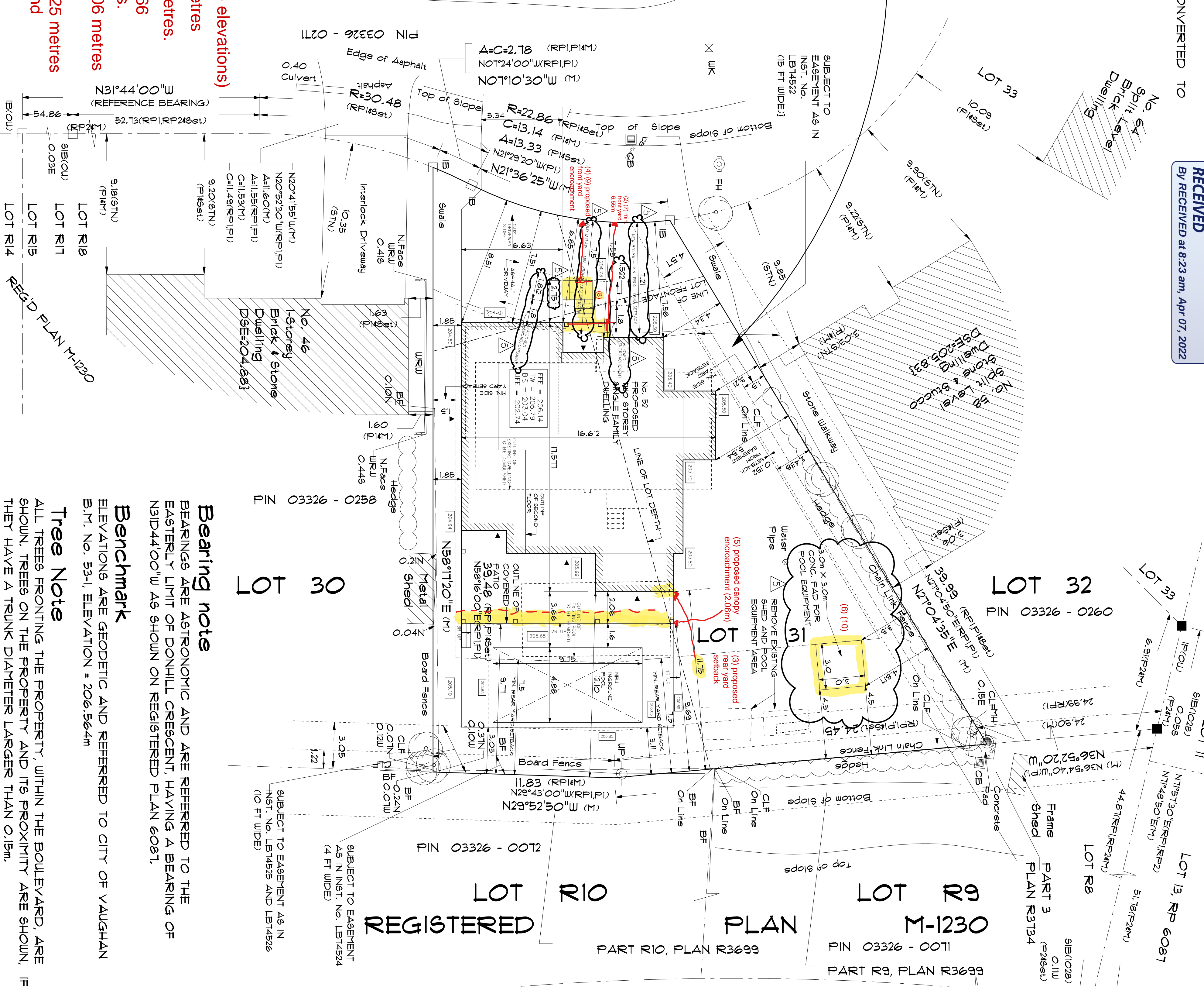
Legend

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- DENOTES STANDARD IRON BAR
- DENOTES IRON BAR
- DENOTES IRON PIPE
- DENOTES REGISTERED PLAN 6081
- DENOTES REGISTERED PLAN M-1230
- DENOTES PLAN BY FRED SCHAEFFER, O.L.S., DATED NOVEMBER 14, 1967
- DENOTES PLAN BY ERTL SURVEYORS, O.L.S., DATED OCTOBER 19, 2012
- DENOTES R. R. SCOTT, O.L.S.
- DENOTES ORIGIN UNKNOWN
- DENOTES NORTH, SOUTH, EAST, WEST
- DENOTES MEASURED
- DENOTES DOOR SILL ELEVATION
- DENOTES CHAIN LINK FENCE
- DENOTES BOARD FENCE
- DENOTES STONE
- DENOTES ARMOUR STONE RETAINING WALL
- DENOTES WOOD RETAINING WALL
- DENOTES OVERHEAD UTILITY WIRES
- DENOTES MAINTENANCE HOLE
- DENOTES UTILITY POLE
- DENOTES WATER VALVE/KEY
- DENOTES FIRE HYDRANT
- DENOTES CATCH BASIN
- DENOTES CONIFEROUS TREE
- DENOTES DECIDUOUS TREE
- DENOTES ENTRY POINTS
- DENOTES PROPOSED GRADES

THERE IS SOME INFORMATION THAT THIS EASEMENT MAY BE A STORM SEWER EASEMENT. THERE IS NO INFORMATION AVAILABLE OR PROVIDED TO CONFIRM THAT A SEWER PIPE MAY BE BURIED IN THIS EASEMENT. PLEASE BE AWARE THAT IF ONE IS BURIED IN THAT AREA AND DEPENDING ON THE SIZE, LOCATION AND FOUNDATIONS ON THE SIDE OF THE HOUSE COULD BE UNDERMINED AND THAT APPROPRIATE MEASURES NEED TO BE TAKEN TO PREVENT OR CORRECT THIS POTENTIAL SITUATION. THE OWNER AND CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS AND THAT MASTTECH DESIGN INC. AND ERLBERT ENGINEERING INC. WILL NOT TAKE RESPONSIBILITY FOR ANY DAMAGE OR HAZARD BECAUSE OF THIS.

DONHILL CRESCENT

Edge of Asphalt
Crown of Road
(BY REGISTERED PLAN 6081)



- VARIANCES REQUESTED (per Zoning By-law 01-2021):**
- 1) To permit a maximum height of 9.07m (see elevations)
 - 2) To permit a minimum front yard of 6.55 metres
 - 3) To permit a minimum rear yard of 11.75 metres.
 - 4) To permit a maximum encroachment of 2.66 metres into the front yard for uncovered stairs.
 - 5) To permit a maximum encroachment of 2.06 metres into the rear yard for a porch.
 - 6) To permit a maximum encroachment of 7.25 metres into the minimum required rear yard for ground mounted pool equipment.
 - 7) To permit a minimum front yard of 6.55 metres.
 - 8) To permit an uncovered exterior stairway greater than one-half storey in height to encroach into the minimum required front yard.
 - 9) To permit a maximum encroachment of 2.66 metres into the front yard for uncovered stairs.
 - 10) To permit a maximum encroachment of 7.25 metres into the minimum required rear yard for ground mounted pool equipment

Bearing note
BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF DONHILL CRESCENT HAVING A BEARING OF N31D44'00"W AS SHOWN ON REGISTERED PLAN 6081.

Benchmark
ELEVATIONS ARE GEODETIC AND REFERRED TO CITY OF VAUGHAN B.M. NO. 53-1, ELEVATION = 206.564m

Tree Note
ALL TREES FRONTING THE PROPERTY, WITHIN THE BOULEVARD, ARE SHOWN. TREES ON THE PROPERTY AND ITS PROXIMITY ARE SHOWN, IF THEY HAVE A TRUNK DIAMETER LARGER THAN 0.15m.

NOT FOR CONSTRUCTION

MASTECH DESIGN INC.
design / drafting
119 GRACIEFIELD AVE.
SCARBORO, ONTARIO
CANADA M1V 4R7
PHONE: 416 241-5692
FAX: 416 241-0822
info@masttechdesigninc.com

PROJECT: TWO STOREY, 52 DONHILL CRESCENT, CITY OF VAUGHAN, ONTARIO L4H 3N5

DATE: DEC. 2021

PAGE NO: 1 of 8

CONTRACTOR WILL CHECK ALL DIMENSIONS & CONDITIONS & REPORT ANY BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE REPRODUCED WITHOUT WRITTEN CONSENT OF THE DESIGNER.

DRAWINGS ARE NOT TO BE SCALED

| | | | |
|-----|------------|--------------------------|----------------------------|
| NO. | DATE | ISSUED BY | REVISION |
| 1 | MAR. 15/22 | OWNER | OWNER RESPONSE TO COMMENTS |
| 2 | MAR. 22/22 | OWNER | OWNER RESPONSE TO COMMENTS |
| 3 | JAN. 31/22 | JANOR VANCE ARCHITECTURE | FINAL VARIANCE APPLICATION |
| 4 | DEC. 15/21 | CLIENT/BUILDER REVIEW | CLIENT/BUILDER REVIEW |
| 5 | DEC. 2/21 | CLIENT/BUILDER REVIEW | CLIENT/BUILDER REVIEW |

NOT FOR CONSTRUCTION

design / drafting
MASTECH DESIGN INC.
 119 GRACEFIELD AVE.
 TORONTO, ONTARIO
 PHONE: 416 241-5692
 FAX: 416 241-0822
 info@mastechdesign.com

NOT FOR CONSTRUCTION

PROJECT: PROPOSED TWO STOREY
 @ 52 DONHILL CRESCENT,
 CITY OF VAUGHAN, ONTARIO
 L4H 3N5

DRAWING TITLE: ELEVATIONS

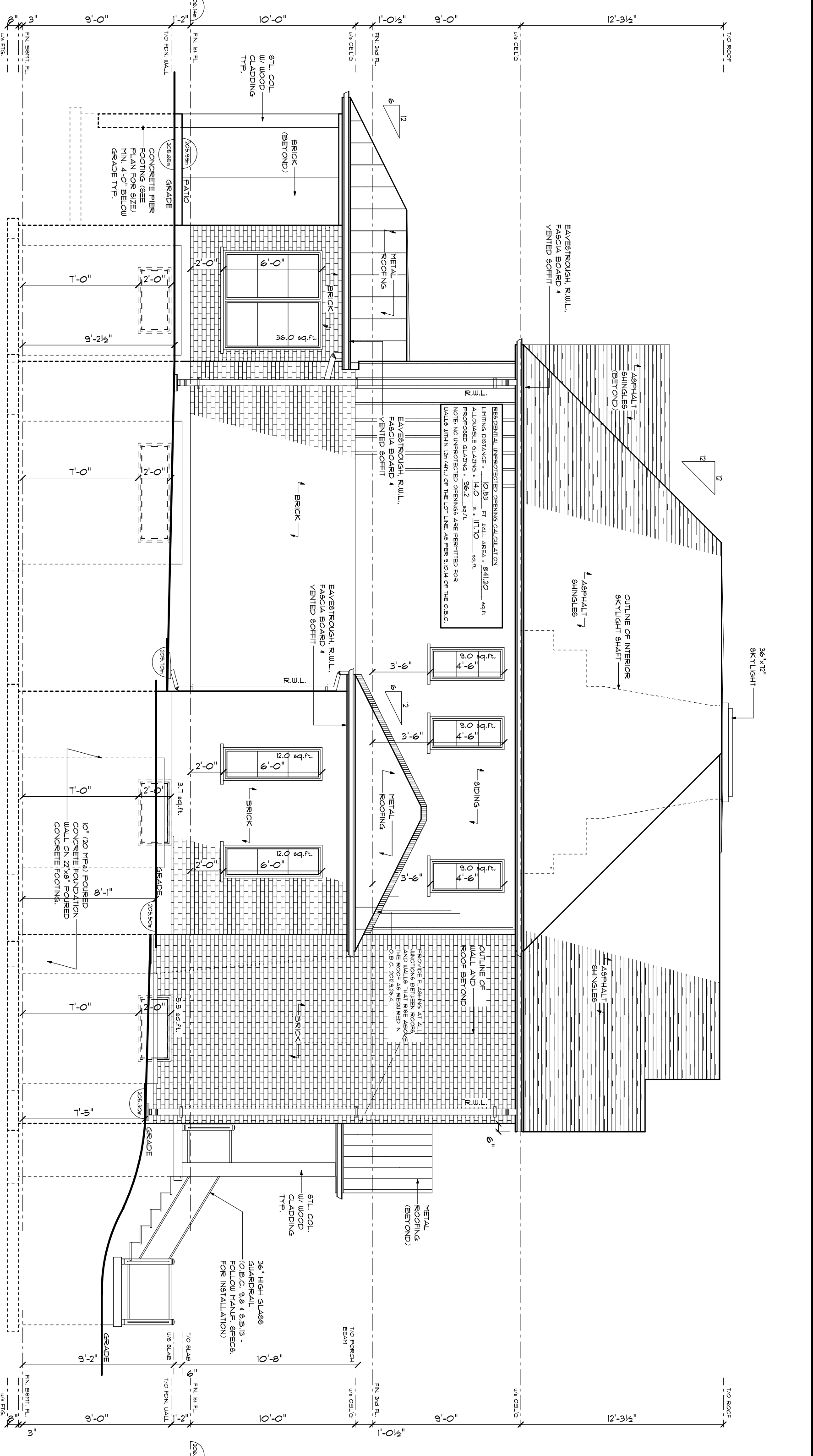
DESIGNER: F.T.

DATE: DEC. 2021

CHECKED BY: M.M.

PROJECT NO.: 21-00X

PAGE NO.: 6 of 8



NORTH ELEVATION

SCALE 3/8" = 1'-0"

GENERAL NOTES:

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN METERS.

2. FINISH GRADE SHALL BE AS SHOWN.

3. ALL EXPOSED WOOD, POST BEAMS, LINTELS, CORNER BROWN.

4. ALL EXPOSED WOOD, POST BEAMS, LINTELS, CORNER BROWN.

5. ALL EXPOSED WOOD, POST BEAMS, LINTELS, CORNER BROWN.

6. ALL EXPOSED WOOD, POST BEAMS, LINTELS, CORNER BROWN.

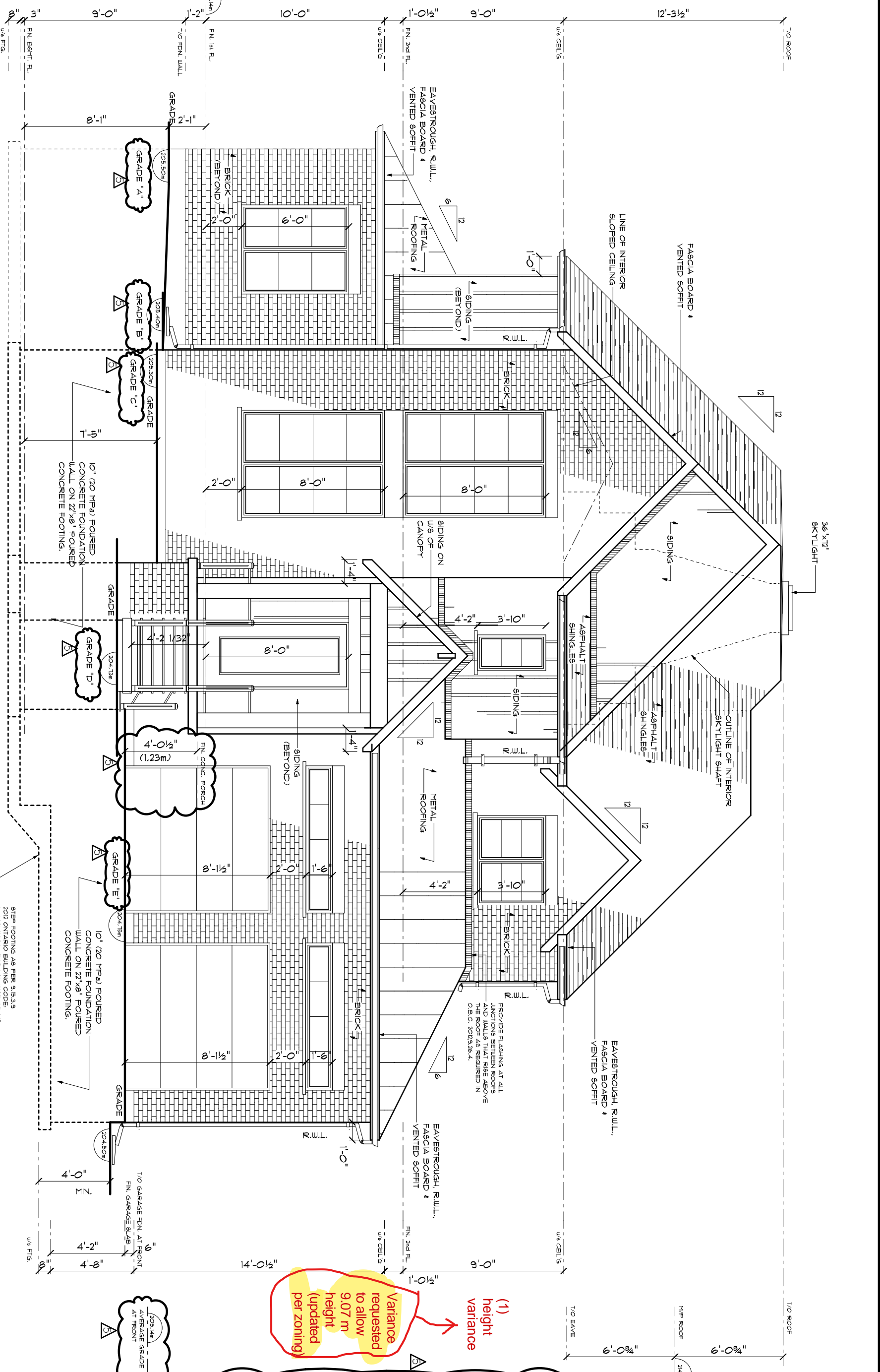
7. ALL EXPOSED WOOD, POST BEAMS, LINTELS, CORNER BROWN.

8. ALL EXPOSED WOOD, POST BEAMS, LINTELS, CORNER BROWN.

9. ALL EXPOSED WOOD, POST BEAMS, LINTELS, CORNER BROWN.

10. ALL EXPOSED WOOD, POST BEAMS, LINTELS, CORNER BROWN.

A042/22



WEST ELEVATION

SCALE 3/8" = 1'-0"

NOTE:

GEODETIC ELEVATIONS ARE IN METERS

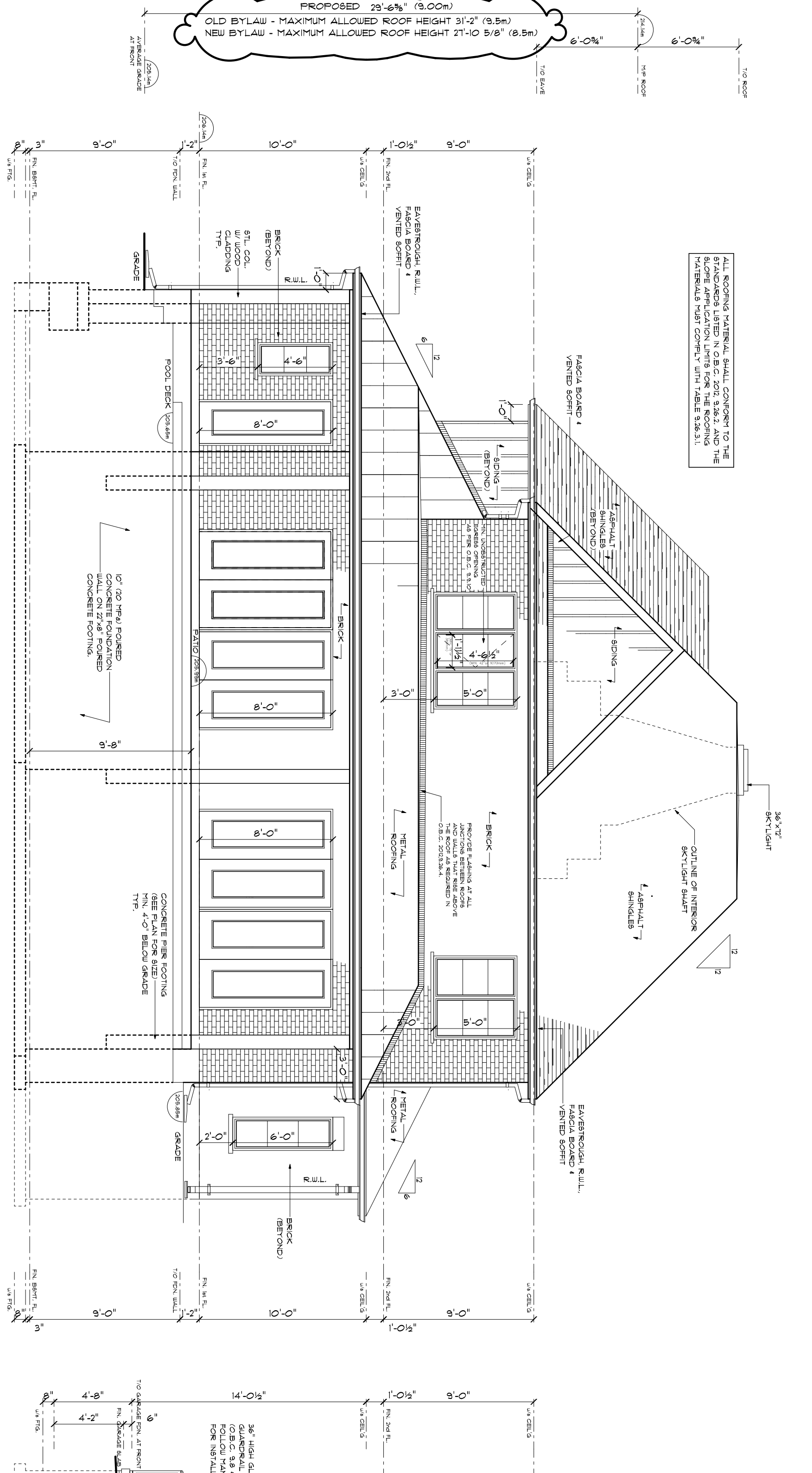
ESTABLISHED GRADE CALCULATION AVERAGE LEVEL OF GROUND AT THE FRONT OF THE HOUSE ABOVE + 038.681. 5.1' (1.56M) ESTABLISHED GRADE

Established grade updated by zoning

Average requested to allow 9.07m height updated per zoning

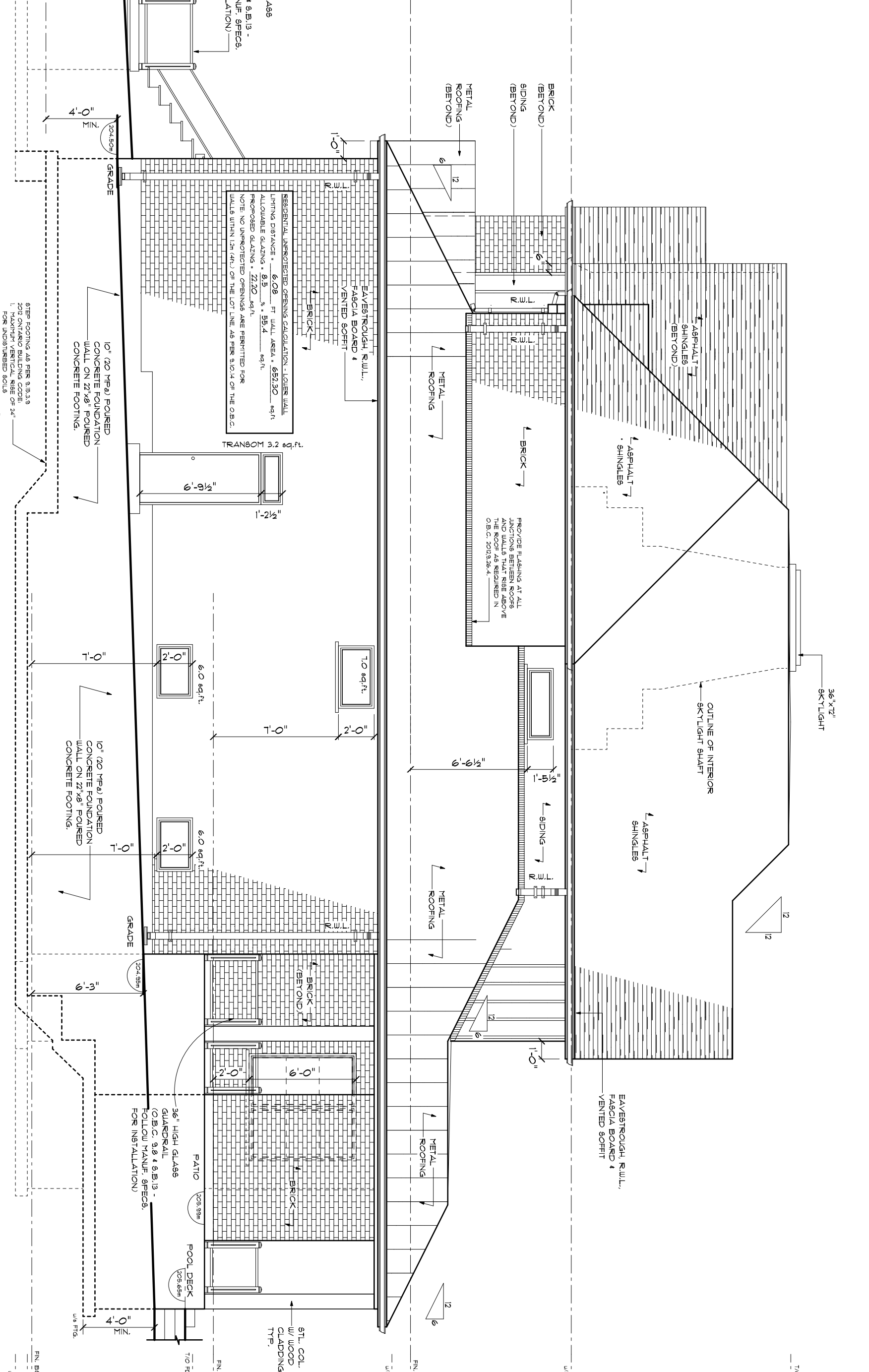
NOT FOR CONSTRUCTION

PROPOSED 29'-6 3/4" (9.00M)
 OLD BYLAW - MAXIMUM ALLOWED ROOF HEIGHT 31'-2" (9.5M)
 NEW BYLAW - MAXIMUM ALLOWED ROOF HEIGHT 27'-10 5/8" (8.5M)



EAST ELEVATION

SCALE 3/8" = 1'-0"



SOUTH ELEVATION

SCALE 3/8" = 1'-0"

NOT FOR CONSTRUCTION

PROPOSED 29'-6 3/4" (9.00M)
 OLD BYLAW - MAXIMUM ALLOWED ROOF HEIGHT 31'-2" (9.5M)
 NEW BYLAW - MAXIMUM ALLOWED ROOF HEIGHT 27'-10 5/8" (8.5M)

SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

| AGENCIES | Circulated | Comments Received | Conditions | Nature of Comments |
|----------------------------------|-------------------------------------|-------------------------------------|--------------------------|----------------------------------|
| Development Planning | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Recommend Approval/No Conditions |
| TRCA | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| Ministry of Transportation (MTO) | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| Region of York | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| Alectra | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| Bell Canada | <input checked="" type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | No Comments or Concerns |
| YRDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| YCDSB | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CN Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| CP Rail | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| TransCanada Pipeline | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Metrolinx | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Propane Operator | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: May 5, 2022
Name of Owner: Sarah and Michael Nazzarro
Location: 52 Donhill Crescent
File No.(s): A042/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum height of 9.07 metres.
2. To permit a minimum front yard of 6.55 metres.
3. To permit a minimum rear yard of 11.75 metres.
4. To permit a maximum encroachment of 2.66 metres into the front yard for uncovered stairs.
5. To permit a maximum encroachment of 2.06 metres into the rear yard for a porch.
6. To permit a maximum encroachment of 7.25 metres into the minimum required rear yard for ground mounted pool equipment.

By-Law Requirement(s) (By-law 001-2021):

1. A maximum Height of 8.5 metres is permitted
2. A minimum Front yard of 7.21 metres is required.
3. A minimum rear yard of 12.0 metres is required.
4. A maximum encroachment of 1.8 metres is permitted into the minimum required front yard for uncovered stairs.
5. A maximum encroachment of 2.0 metres is permitted into the minimum required rear yard for a porch.
6. A maximum encroachment of 1.5 metres into the minimum required rear yard is permitted for ground mounted pool equipment.

Proposed Variance(s) (By-law 1-88):

7. To permit a minimum front yard of 6.55 metres.
8. To permit an uncovered exterior stairway greater than one-half storey in height to encroach into the minimum required front yard.
9. To permit a maximum encroachment of 2.66 metres into the front yard for uncovered stairs.
10. To permit a maximum encroachment of 7.25 metres into the minimum required rear yard for ground mounted pool equipment.

By-Law Requirement(s) (By-law 1-88):

7. A minimum front yard of 7.5 metres is required.
8. Exterior stairways shall be permitted in the rear yard only except that an exterior stairway not exceeding one-half storey in height shall be permitted in any yard.
9. A maximum encroachment of 1.8 metres permitted into the minimum required front yard for exterior stairways.
10. A maximum encroachment of 1.5 metres into the minimum required rear yard is permitted for ground mounted pool equipment.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential"

Comments:

The Owner is requesting to permit the construction of a two-storey dwelling with the above noted variances.

The Development Planning Department has no objection to Variance 1, as the proposed height of 9.07 m is consistent with previous approvals in the neighbourhood and will not have a negative visual impact on the existing streetscape.

The Development Planning Department has no objection to Variances 2 and 7 as the reduction in front yard setback is caused by the rounded street frontage. The majority of the dwelling frontage maintains a distance of 7.5 m which complies with both Zoning By-laws.

The Development Planning Department has no objection to Variance 3 as the encroachment into the rear yard is triggered by a small portion of the dwelling and not the entire rear wall.

The Development Planning Department has no objection to Variances 4, 8 and 9 as the encroachment of the uncovered stairs into the front yard is minor in nature and will not cause adverse impacts to the streetscape. Variance 8 also complies with Zoning By-law 001-2021.

The Development Planning Department has no objection to Variance 5 as the encroachment of the porch into the rear yard is minor in nature.

The Development Planning Department has no objection to Variances 6 and 10 for the pool equipment as it will be visually screened from adjacent properties due to the existing hedges along the rear and interior side yards.

Accordingly, the Development Planning Department can support the required variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
Chris Cosentino, Senior Planner

Date: March 31st , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A042-22**

Related Files:

Applicant Sarah Nazzarro & Michael Nazzaro

Location 52 Donhill Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

From: [Gordon, Carrie](#)
To: [Christine Vigneault](#)
Subject: [External] RE: A042/22 (52 Donhill Crescent) - City of Vaughan Request for Comments:
Date: Thursday, March 31, 2022 9:31:46 AM
Attachments: [image003.png](#)

Hello Christine,

Bell Canada has no comments for this minor variance. We do acknowledge our two easements at the rear of the property have been stated on the sketch and no encroachments proposed. If there are any changes to these plans wherein structures would encroach within the easement lands, please have the applicant send the updated drawings to me for further review and assistance.

Kind regards,

Carrie Gordon

Carrie Gordon



Associate, External Liaison
Right of Way Control Centre
140 Bayfield St, Fl 2
Barrie ON, L4M 3B1
T: 705-722-2244/844-857-7942
F :705-726-4600

From: [Mulrenin, Colin \(MTO\)](#)
To: [Christine Vigneault](#)
Cc: [Blaney, Cameron \(MTO\)](#)
Subject: [External] RE: A042/22 (52 Donhill Crescent) - City of Vaughan Request for Comments:
Date: Monday, April 4, 2022 2:05:11 PM
Attachments: [image001.png](#)

Good afternoon,

As the property is located outside of MTO permit control, MTO has no comments.

Colin Mulrenin (he/him) | Corridor Management Officer | York

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7th Floor, Building D | Downsview, Ontario | M3M 0B7

Phone: 437-533-9427

Colin.Mulrenin@ontario.ca

From: [York Plan](#)
To: [Christine Vigneault](#)
Cc: [Hamedeh Razavi](#)
Subject: [External] RE: A042/22 (52 Donhill Crescent) - City of Vaughan Request for Comments:
Date: Thursday, March 31, 2022 3:09:20 PM
Attachments: [image002.png](#)
[image003.png](#)

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property.

Although the site is located within the Well Head Protection Area for Quantity control (WHPA-Q2) per the Source Protection Plan, no water balance would be required recognizing this requirement would have been addressed through the subdivision approvals process.

Should further clarification be required, please contact the undersigned at your convenience.

Mark Howard, BES, MLA, MCIP, RPP
Senior Planner – Vaughan Review Area
Development Planning and Permits | Development and Engineering Services
Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:(416)661-6600) ext 5269
E: mark.howard@trca.ca
A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](#) | trca.ca



Pravina Attwala

Subject: FW: [External] RE: A042/22 (52 Donhill Crescent) - City of Vaughan Request for Comments:

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: April-01-22 2:26 PM

To: Christine Vigneault <Christine.Vigneault@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A042/22 (52 Donhill Crescent) - City of Vaughan Request for Comments:

Good afternoon Christine,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Regards,

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

| Correspondence Type | Name | Address | Date Received (mm/dd/yyyy) | Summary |
|----------------------------|--------------------------|-----------------------------|---------------------------------------|-------------------|
| Public | Armando & Debbie Pecchia | 58 Donhill Crescent | 04/25/2022 | Letter of Support |
| Public | Fausto Matute | 46 Donhill Crescent | 04/24/2022 | Letter of Support |
| Public | Petition of Support | 41, 46, 73 Donhill Crescent | 04/26/2022 | Letter of Support |

52 Donhill Cres

Armando Pecchia <dnapeccchia@yahoo.ca>

Wed 2022-04-13 12:21 PM

To: s.marinelli@live.com <s.marinelli@live.com>

Hi,

We are the owners at 58 Donhill Cres. We have no issues with the setbacks.

thanks,

Armando and Debbie Pecchia

To: City of Vaughan

RE: Letter of Consent to Injure Tree

A042/22

City of Vaughan,

I (Name) FAUSTO MATUTE on the property of (Address) 46 Donhill Cres. hereby give consent for 52 Donhill Cres. to potentially cause damage to a tree on or near my property during the construction of their home build.

All efforts to minimally damage the tree will be taken. I understand the root systems may be injured in the construction of the home.

All possible mitigation options are being provided at an ISA standard and in conjunction with City of Vaughan recommendations.

Sincerely,

FAUSTO MATUTE (Signature)

(Name)

APRIL 24, 2022 (Date)

PETITION IN SUPPORT

To the City of Vaughan and the Committee of Adjustment and Planning Department. I, the undersigned, have reviewed the plans and variances related to the construction of a new detached dwelling at 52 Donhill Crescent, and I have discussed them with the applicant. I have no objection to the proposal and support the application for minor variance(s).

Afshin Loffi 73 Donhill Cres April 12, 2022
Name Address Date

ILVA RICCELLI 41 DONHILL CR APRIL 22/22
Name Address Date

Fousto Matute .46 Don Hill. CR
Name Address Date

Name Address Date

Name Address Date

Name Address Date

Name Address Date