



**COMMITTEE OF ADJUSTMENT
REPORT SUMMARY
MINOR VARIANCE APPLICATION
FILE NUMBER A034/22**

AGENDA ITEM NUMBER: 12	CITY WARD #: 5
APPLICANT:	Howard Katz
AGENT:	Square Design Group
PROPERTY:	226 Arnold Ave, Thornhill
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana, deck pergola and swimming pool in the rear yard. Relief is also being requested to permit increased maximum driveway width.

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Development Planning and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Standards (Zoning Review)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Building Inspection (Septic)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions
Development Engineering	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
By-law & Compliance, Licensing & Permits	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Development Finance	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	No Comments or Concerns
Real Estate	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Department	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public Correspondence	Shira and Noah Turk	53 Rodeo Drive, Thornhill	04/25/2022	Letter of Objection

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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A034/22**

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VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP2010'): "Low-Rise Residential"
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed cabana, deck pergola and swimming pool in the rear yard. Relief is also being requested to permit increased maximum driveway width.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R1E(EN) – First Density Residential Zone (Established Neighbourhood) and subject to the provisions of Exception 14.403 under Zoning By-law 001-2021

#	Zoning By-law 01-2021	Variance requested
1	A maximum lot coverage of 20% is permitted. [Table 7-3]	To permit a maximum lot coverage of 28.0%
2	Any portion of a yard in excess of 135.0 m ² shall be comprised of a minimum 60% soft landscape. [4.19.1.1]	To permit a minimum rear yard soft landscaping of 25.05% for the portion of yard in excess of 135.0m ²
3	A minimum side yard setback of 1.5m is required for the residential accessory building (Cabana). [14.403]	To permit a minimum side yard setback of 1.01m for the proposed residential accessory building (Cabana)
4	A maximum building height of 3.0m is permitted for the proposed residential accessory building (Cabana) [4.1.4.1]	To permit a maximum building height of 4.00m for the proposed residential accessory building (Cabana)
5	A maximum lot coverage of the residential accessory building (Cabana) shall be 67.m ² [4.1.3.1]	To permit a maximum lot coverage of 68.5m ² for the proposed residential accessory structure (Cabana).
6	The maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m[6.7.4.4.]	To permit a maximum 11.6m of cumulative width of both accesses to the circular driveway.

The subject lands are zoned R1V – Old Village Residential Zone and subject to the provisions of Exception 9(662) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
7	A maximum lot coverage of 20% is permitted. [Schedule A]	To permit a maximum lot coverage of 25.84% (Dwelling 21.7%, 4.14% Cabana)
8	The minimum front yard landscape requirement shall be 50%, of which 60% shall be soft landscaping. [(4.1.2) & (4.1.4.f)]	To permit a minimum of 54.73% front yard soft landscaping.
9	A minimum of sixty percent (60%) of that portion of the rear yard in excess of 135 sq. m shall be composed of soft landscaping. [4.1.2.b]	To permit a minimum of 25.05% soft landscaping for the portion of the rear yard in excess of 135m ² .
10	A minimum side yard setback of 1.5m is required. [14(662, b.i)]	To permit a minimum side yard setback of 1.01m for the proposed accessory building (Cabana)
11	A minimum rear yard setback of 9.0m is required for the proposed accessory building (Cabana). [9(662, b.i)]	To permit a minimum rear yard setback of 3.32m for the proposed accessory building (Cabana).
12	A maximum height of 3.0m to the nearest part of the roof is permitted. [4.1.1.b]	To permit a maximum height of 3.56m to the nearest part of the roof for the proposed accessory building (Cabana)
13	The maximum permitted driveway width is 9.0m. [4.1.4.f]	To permit a maximum driveway width of 11.74m.

HEARING INFORMATION

Date & Time of Hearing:	Thursday, May 5, 2022 at 6:00 p.m.
Watch the hearing live at: Vaughan.ca/LiveCouncil	

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	April 21, 2022	
Date Applicant Confirmed Posting of Sign:	April 19, 2022	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	To permit cabana side and rear setbacks not complying to by-law. Softscape area required is not compliant with 402 sqm by-law for rear yard. U/S of roof for the cabana and pergola is not compliant and over 3m by-law. Cannot comply with 20% lot coverage, we are proposing 26%.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No	
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

Stop Work Order(s) and Order(s) to Comply: There are no outstanding Orders on file

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule C for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

As the proposed Cabana in the subject property is 57.97 m2, the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m2 requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The proposed work by the owner is increasing the lot coverage in the subject property. The added hardscape may have impact on City's Storm Water management system. Staff requires the owner/applicant to introduce Low-impact Development (LID) measures (Bioswales, Permeable pavers, Rain Gardens, Rain Barrels etc.) to reduce the impacts. Please provide DE with a LID brief explaining the measures taken prior to clearing the condition. (Condition attached)

The Owner/applicant shall apply for a pool permit with the Development Engineering (DE) Department. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for the pool permit.

Development Engineering Recommended Conditions of Approval:	<ol style="list-style-type: none">1. The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval.2. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 20.0% to 28.0% in order to mitigate potential impacts on the municipal storm water system.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No Comments received to date

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date

BCLPS Recommended Conditions of Approval:	None
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BUILDING INSPECTION (SEPTIC) COMMENTS

None

Building Inspection Recommended Conditions of Approval:

FIRE DEPARTMENT COMMENTS

No comments received to date

Fire Department Recommended Conditions of Approval:

None

SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Development Planning & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval **“if required”**. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering farzana.khan@vaughan.ca	<ol style="list-style-type: none"> The Owner/applicant shall submit the revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit https://www.vaughan.ca/services/residential/dev_eng/permits/Pages/default.aspx to learn how to apply for lot grading and/or servicing approval. The owner/applicant shall provide a brief to demonstrate the appropriate LID (Low-impact Development) measures and show the measures taken in the drawing to the satisfaction of DE to address the increased lot coverage from 20.0% to 28.0% in order to mitigate potential impacts on the municipal storm water system.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

IMPORTANT INFORMATION – PLEASE READ

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

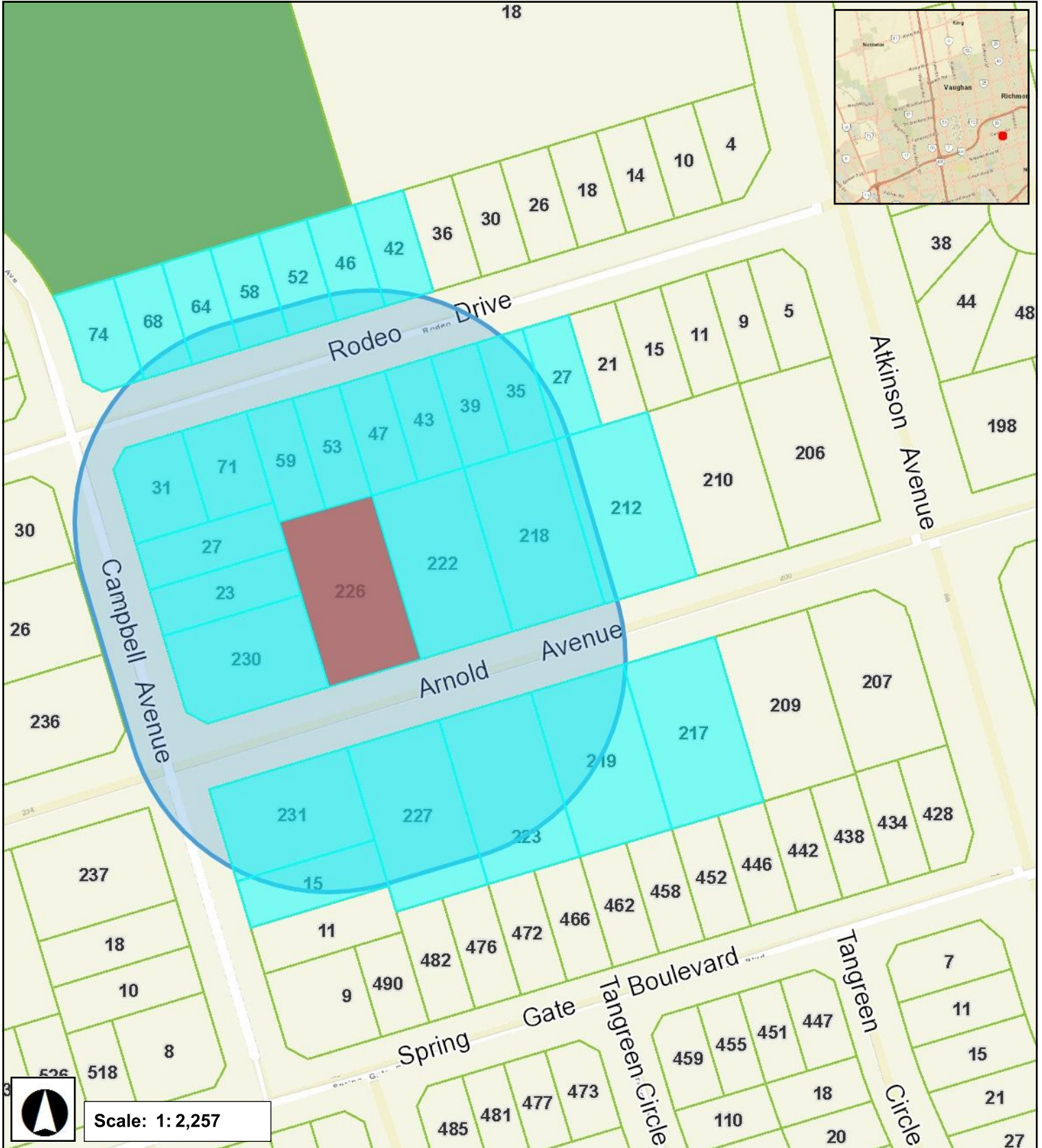
NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



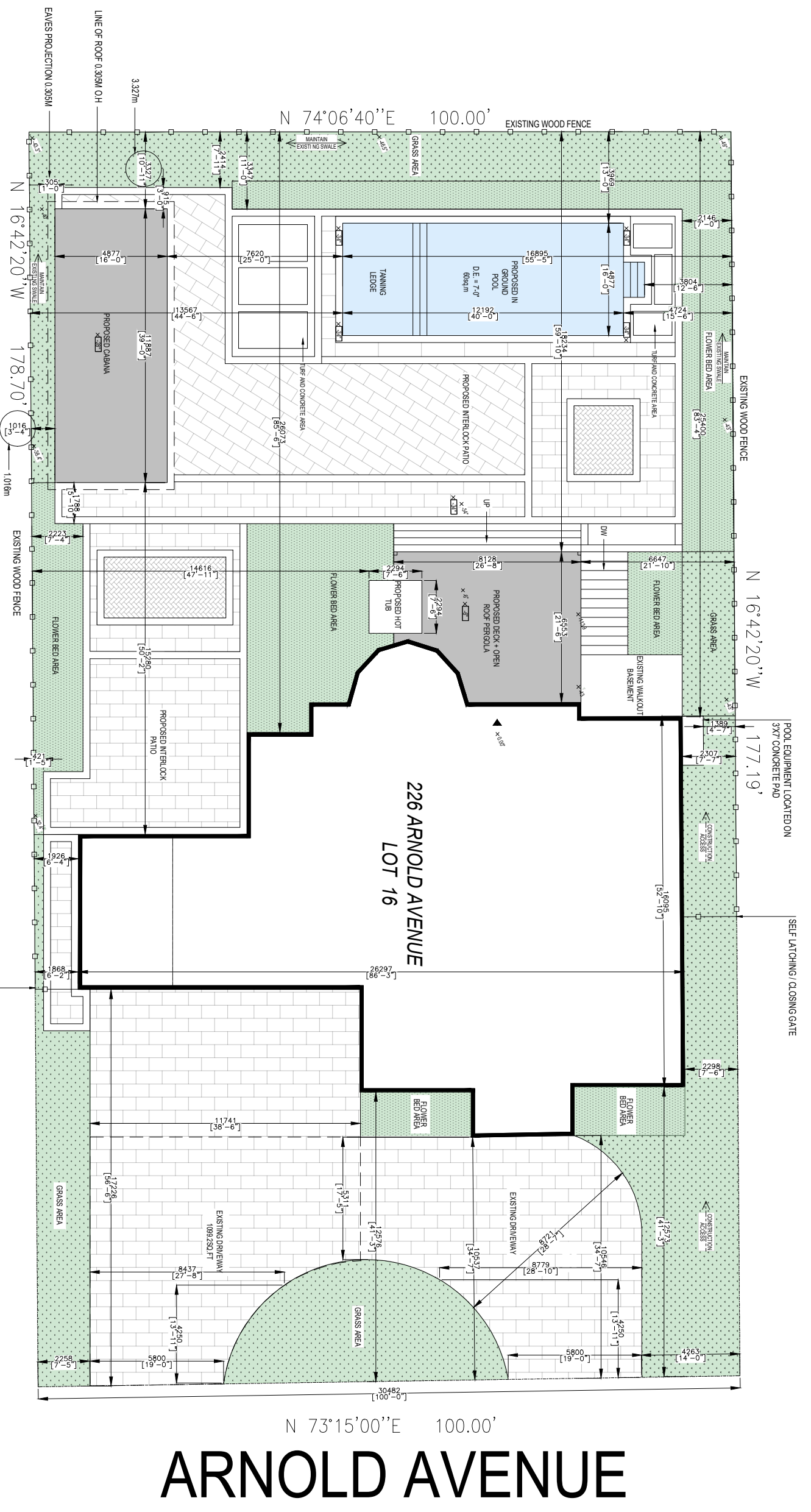
A034/22 - Notification Map

226 Arnold Avenue, Thornhill



Clark Avenue

March 25, 2022 9:43 AM



ARNOLD AVENUE

1 SITE PLAN A1 1:200

SITE DEVELOPMENT (BY-LAW 01-2021)		
LOT AREA	M2	SOFT
HOUSE FOOTPRINT WITH EAVES	381.1m ²	4232.2sqft
CABANA FOOTPRINT WITH EAVES	68.5m ²	738.0sqft
TOTAL LOT COVERGDE %	381.1468m ² =48.61m ²	5000.0m ² =17793.3sqft

SITE DEVELOPMENT (BY-LAW 1-88)		
LOT AREA	M2	SOFT
TOTAL LOT AREA	1653m ²	17793.3sqft
HOUSE AREA	M2	SOFT
HOUSE FOOTPRINT	389.5m ²	3870.3sqft
CABANA FOOTPRINT	57.9m ²	624sqft
REAR OPEN SLAT PERGOLA	43.5m ²	488.8sqft
REAR DECK	43.5m ²	488.8sqft
LOT COVERGDE	BY-LAW 1-88	PROVIDED
EXISTING HOUSE	20%	21.7%
PROPOSED CABANA	BY-LAW	41.4%
LANDSCAPE AREA (REAR LOT)	BY-LAW	PROVIDED
TOTAL REAR AREA	N/A	8667.2sqft
SOFT LANDSCAPE AREA (REAR)	803.2m ² 1356m ² x 60%/402.0m ²	2387.5sqft
HARD LANDSCAPE AREA	N/A	670.0sqft
TOTAL LANDSCAPE AREA (FRONT LOT)	BY-LAW	PROVIDED
TOTAL FRONT AREA	333.2m ² 138 x 60m x 114	3301.2sqft
SOFT LANDSCAPE AREA	N/A	1313.5sqft
HARD LANDSCAPE AREA (DRIVEWAY)	N/A	1087.7sqft

LEGEND	
	T.W - Top Of Wall
	B.W - Bottom Of Wall
	- Soft Landscape

PROJECT: REAR YARD ALTERATIONS

ON 226 Arnold Ave
Thornhill, ON L4J 1B9

Drawings:

Site Plan

DATE: 2022/03/10

SCALE: AS NOTED

DRAWN BY: REVIEWED BY:

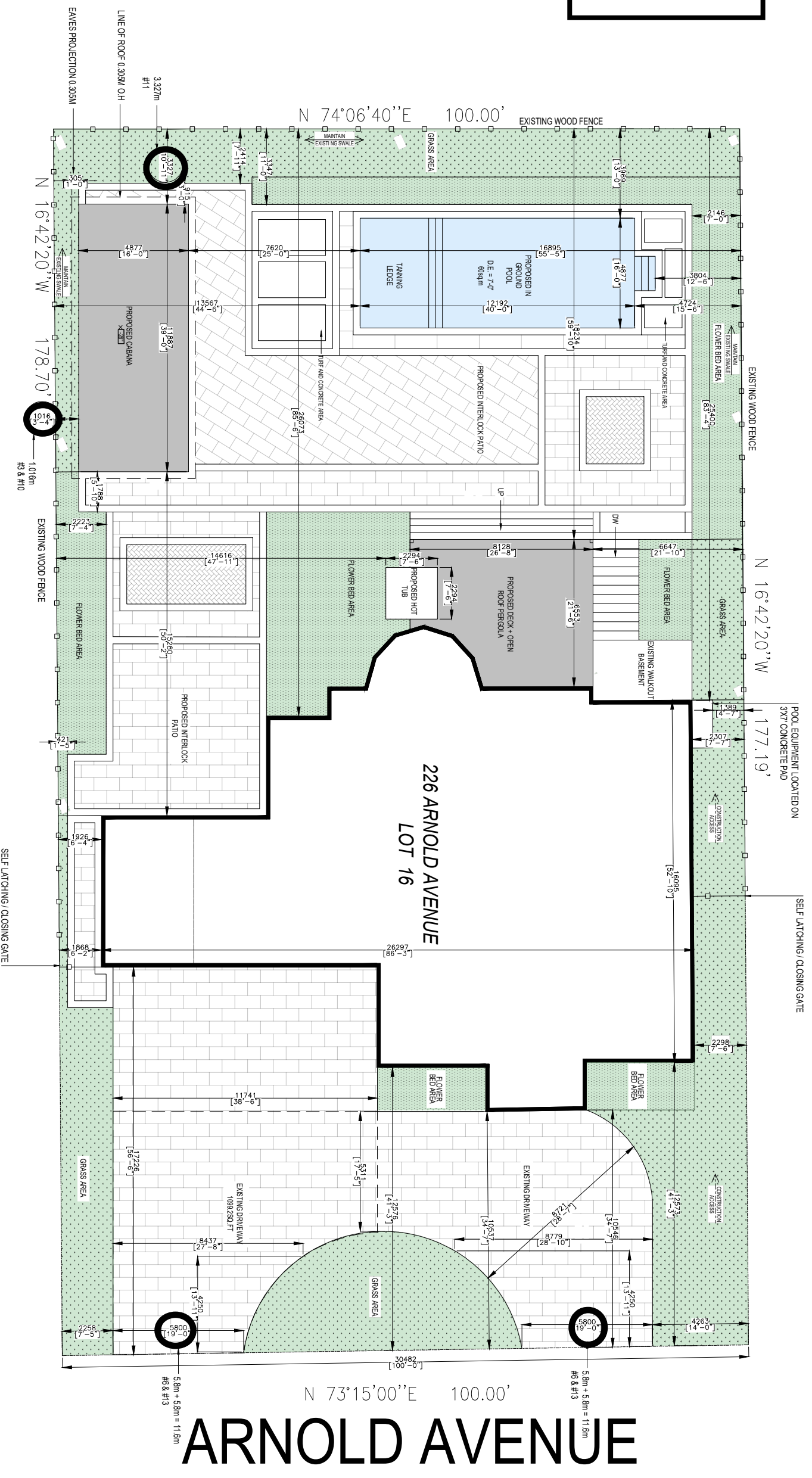
No.	DESCRIPTION	DATE
	ISSUED FOR CONSTRUCTION	
	ISSUED FOR BID	
	ISSUED FOR BUILDING PERMIT	
	ISSUED FOR SITE PLAN APPROVAL	
	SUBMITTALS	

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SCALED AND SIGNED BY THE DESIGNER. DO NOT SCALE DRAWINGS.

Square Design Group

A034/22

1 SITE PLAN
A1 1:200



SITE DEVELOPMENT (BY-LAW 01-2021)

LOT AREA	M2	SOFT
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SITE DEVELOPMENT (BY-LAW 1-88)

LOT AREA	M2	SOFT
TOTAL LOT AREA	1465m ²	17793.3sqft
HOUSE AREA	M2	SOFT
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REAR OPEN SLAT PERGOLA	43.5m ²	488.8sqft
REAR DECK	43.5m ²	488.8sqft
LOT COVERAGE	BY-LAW 1-88	PROVIDED
EXISTING HOUSE	20%	21.7%
PROPOSED CABANA	BY-LAW	PROVIDED
LANDSCAPE AREA (REAR LOT)	BY-LAW	PROVIDED
TOTAL REAR AREA	N/A	6667.2sqft
SOFT LANDSCAPE AREA (REAR)	605.3m ² (6542.2sqft)	2387.5sqft
HARD LANDSCAPE AREA	N/A	670.0sqft
TOTAL LANDSCAPE AREA (FRONT LOT)	BY-LAW	PROVIDED
TOTAL FRONT AREA	335.2m ² (3601.1sqft)	3301.2sqft
SOFT LANDSCAPE AREA	605.1m ² (6541.1sqft)	1315.3sqft
HARD LANDSCAPE AREA (DRIVEWAY)	N/A	1087.7sqft

LEGEND

- Proposed Grades
- Existing Grades
- Entrance Door
- T.W - Top Of Wall
- B.W - Bottom Of Wall
- Soft Landscape

ARNOLD AVENUE

PROJECT: REAR YARD ALTERATIONS

ON 226 Arnold Ave
Thornhill, ON L4J 1B9

DRAWING: Site Plan

PLOTTED: 2022/03/10

SCALE: AS NOTED

DRAWN BY: [REVIEWED BY]

PROJECT NO.: [REVIEWED BY]

DRAWING NO.: A1

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SCALED AND SIGNED BY THE DESIGNER. DO NOT SCALE DRAWINGS.

ISSUED FOR CONSTRUCTION

ISSUED FOR BID

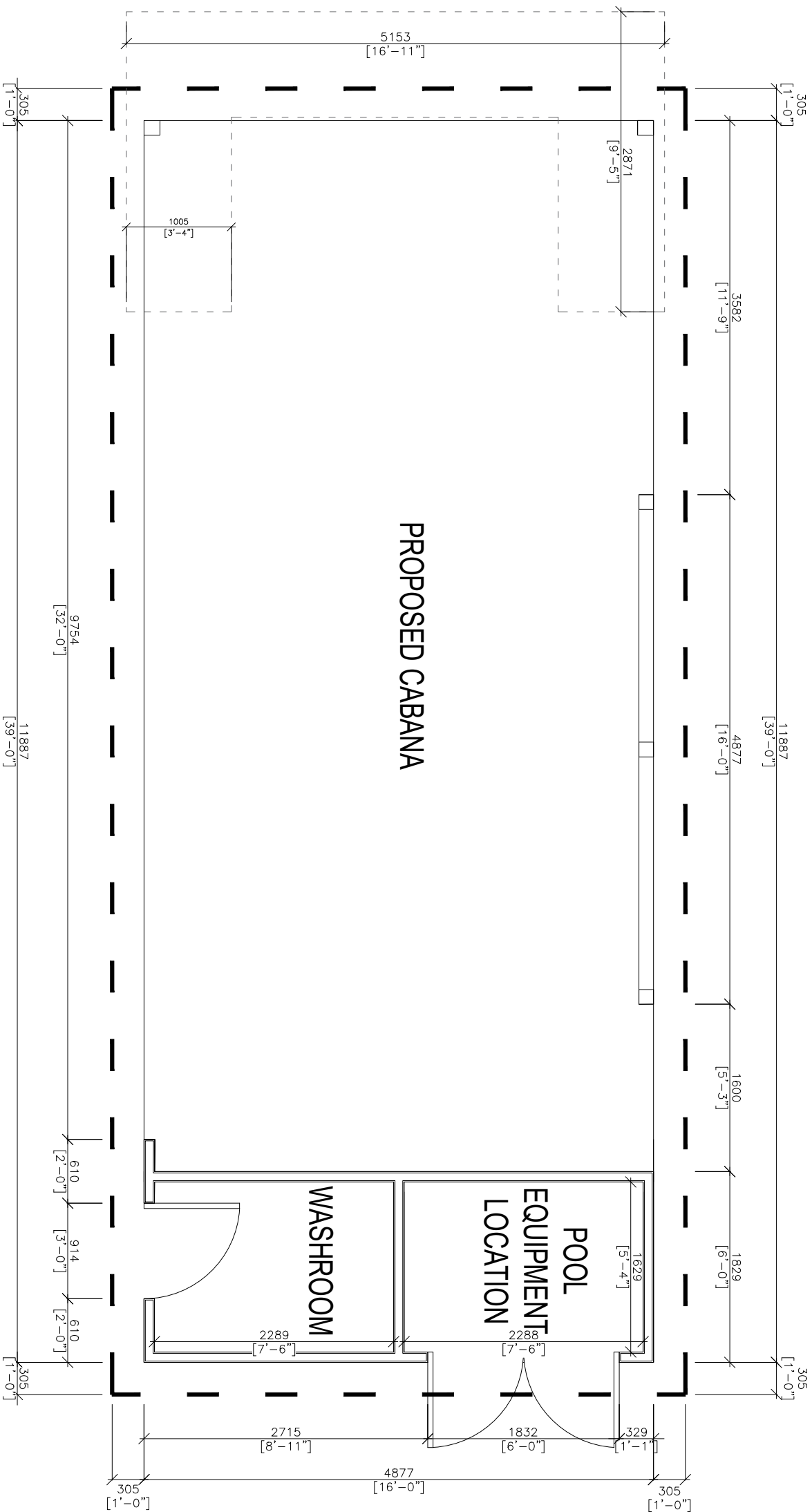
ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL

SUBMITTALS

REVISIONS

No.	DESCRIPTION	DATE



PROPOSED CABANA

**POOL
EQUIPMENT
LOCATION**

WASHROOM

1 FLOOR PLAN

A2 1:50



CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SCALED AND SIGNED BY THE DESIGNER. DO NOT SCALE DRAWINGS.

ISSUED FOR CONSTRUCTION

ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL

SUBMITTALS

DATE

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DATE

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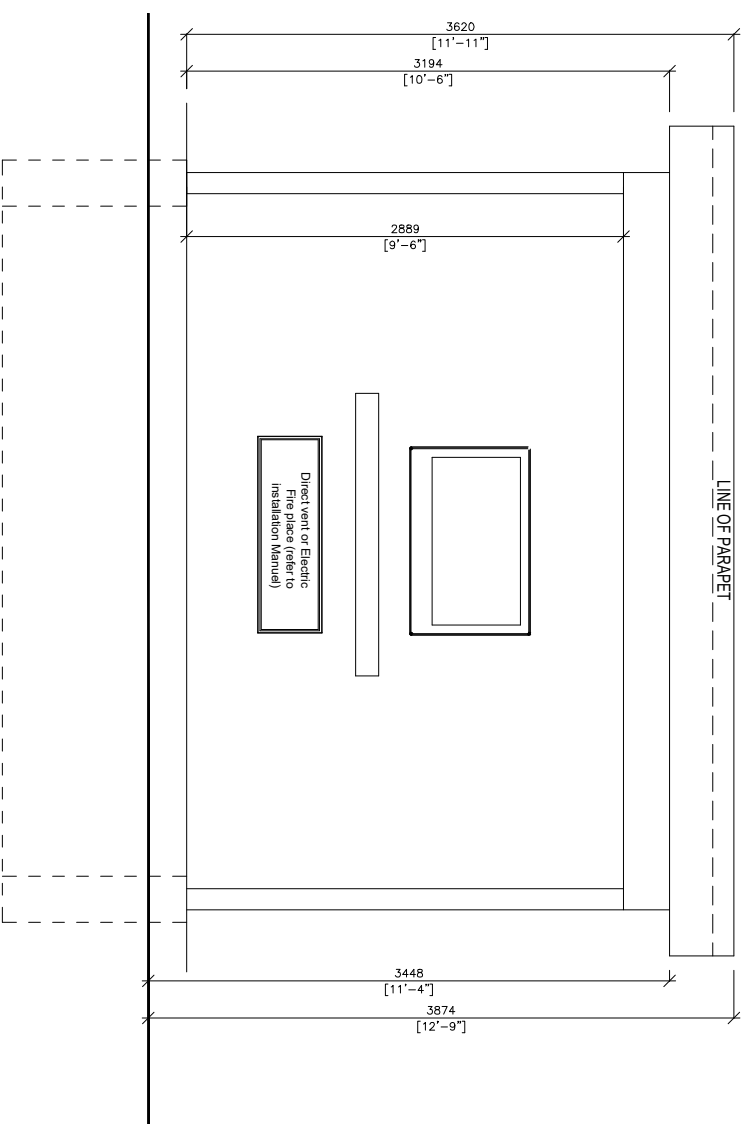
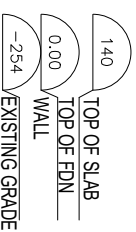
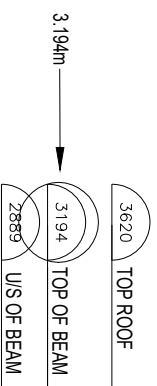
DATE

DATE

DATE

DATE

DRAWING:		PROJECT No.
FLOOR PLAN		
PROJECT:		
REAR YARD ALTERATIONS		
ON		
226 Arnold Ave		
Thorhill, ON L4J 1B9		
DRAWING No.		PROJECT No.
AS NOTED		
SCALE:		PROJECT No.
1:50		
DRAWN BY:		PROJECT No.
REVIEWED BY:		
DRAWING No.		PROJECT No.
A2		



1 ELEVATION

A3 1:50

No.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION

ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL

SUBMITTALS

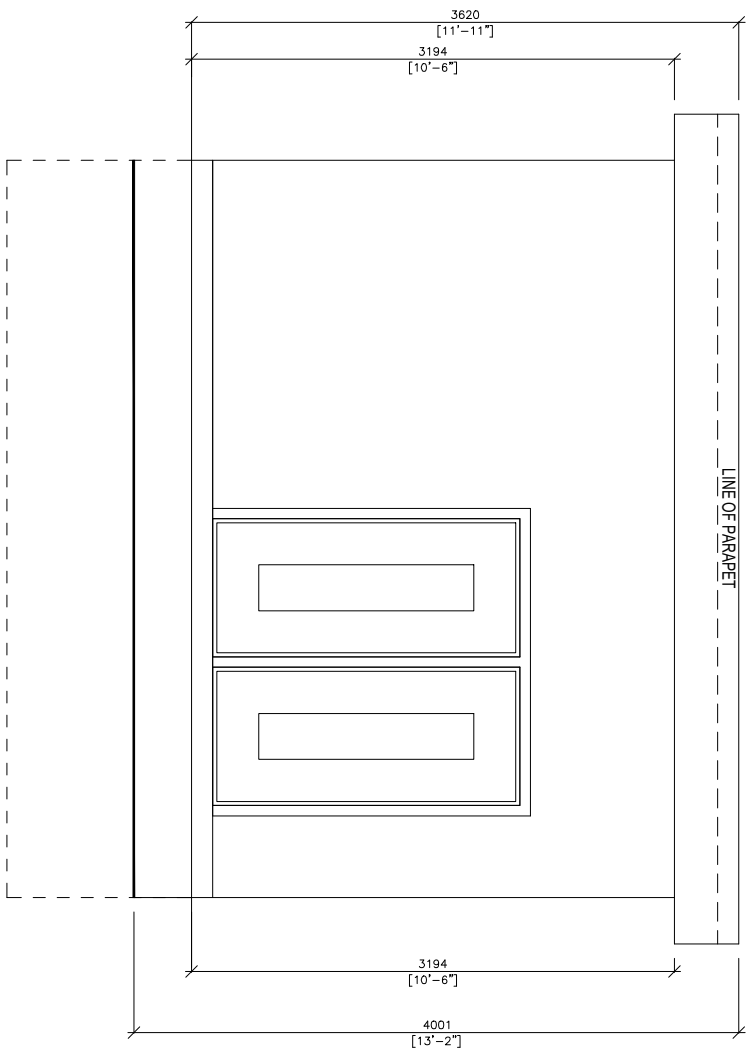
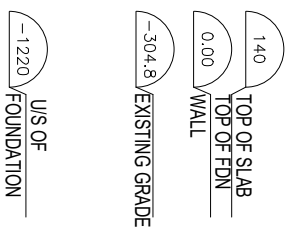
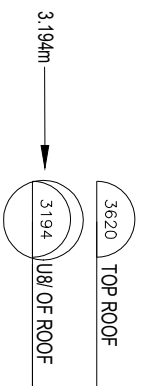
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PROJECT:
 REAR YARD ALTERATIONS
 ON
 226 Arnold Ave
 Thornhill, ON L4J 1B9

ELEVATION

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No.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION

ISSUED FOR BID

ISSUED FOR BUILDING PERMIT

ISSUED FOR SITE PLAN APPROVAL

DATE

SUBMITTALS

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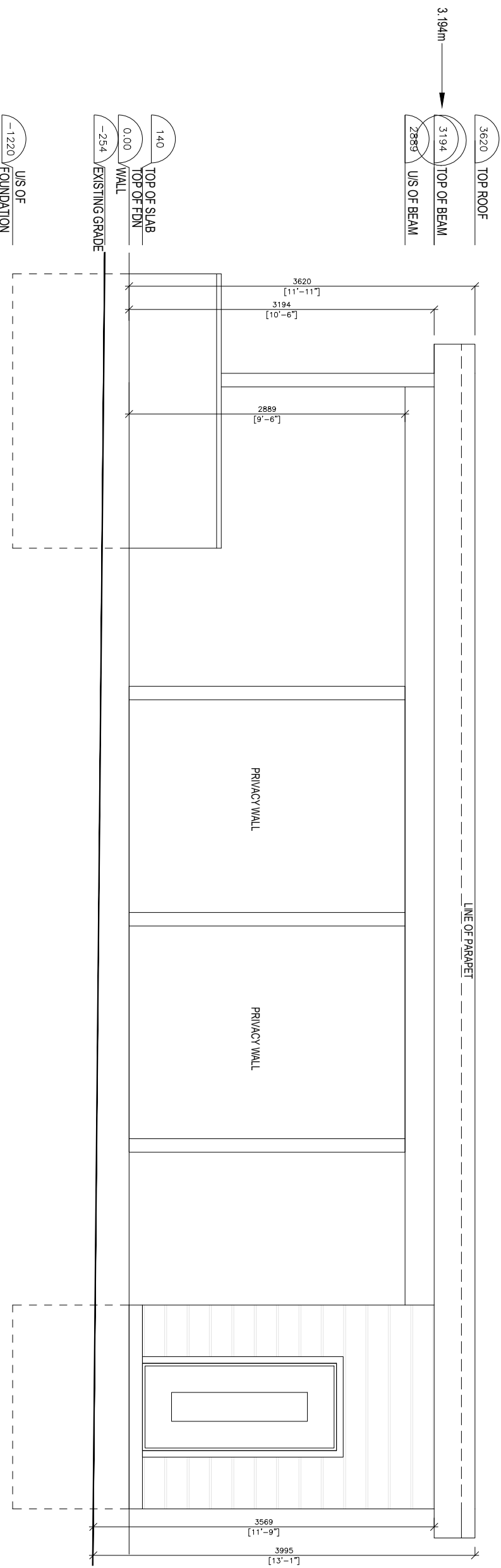
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LINE OF PARAPET

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PROJECT:
REAR YARD ALTERATIONS

ON
226 Arnold Ave
Thornhill, ON L4J 1B9

ELEVATION

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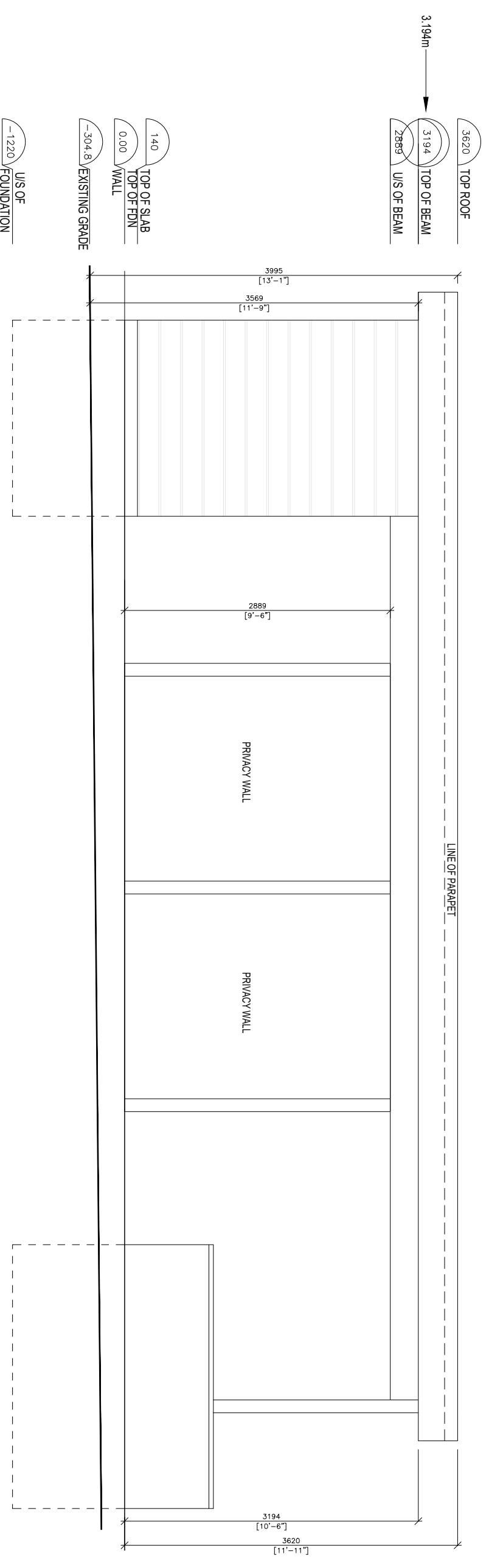
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ISSUED FOR SITE PLAN APPROVAL

SUBMITTALS

DATE



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LINE OF PARAPET

PRIVACY WALL
PRIVACY WALL



PROJECT:
REAR YARD ALTERATIONS

ON
226 Arnold Ave
Thornhill, ON L4J 1B9

ELEVATION

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PLOTTED:	DATE:
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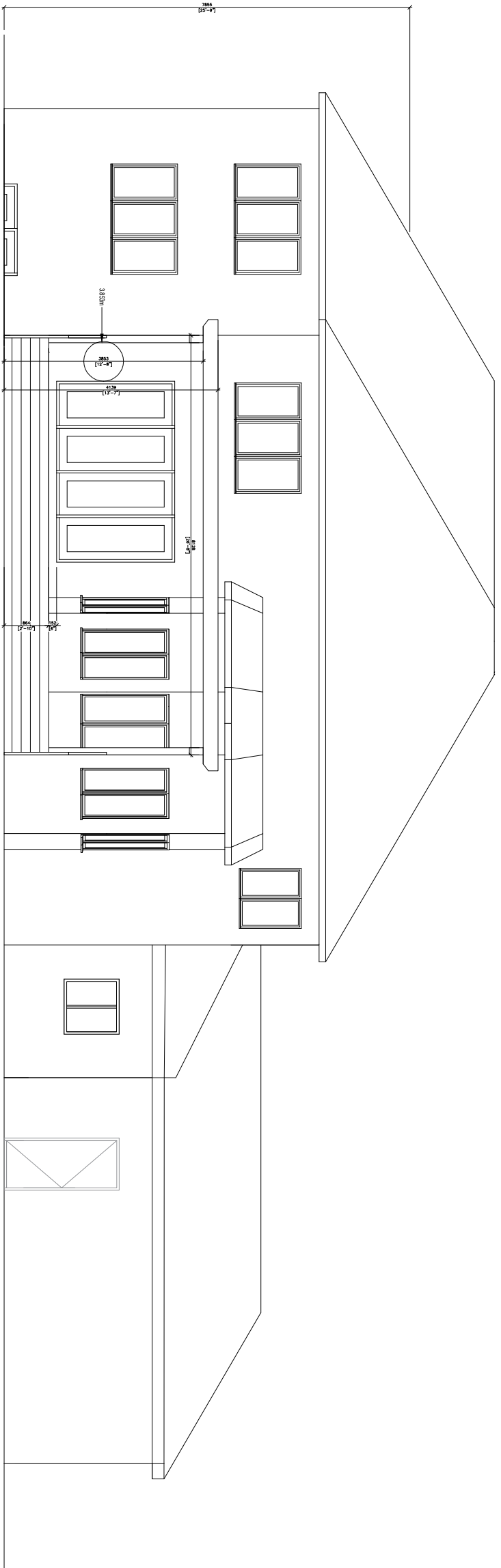
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 ISSUED FOR SITE PLAN APPROVAL

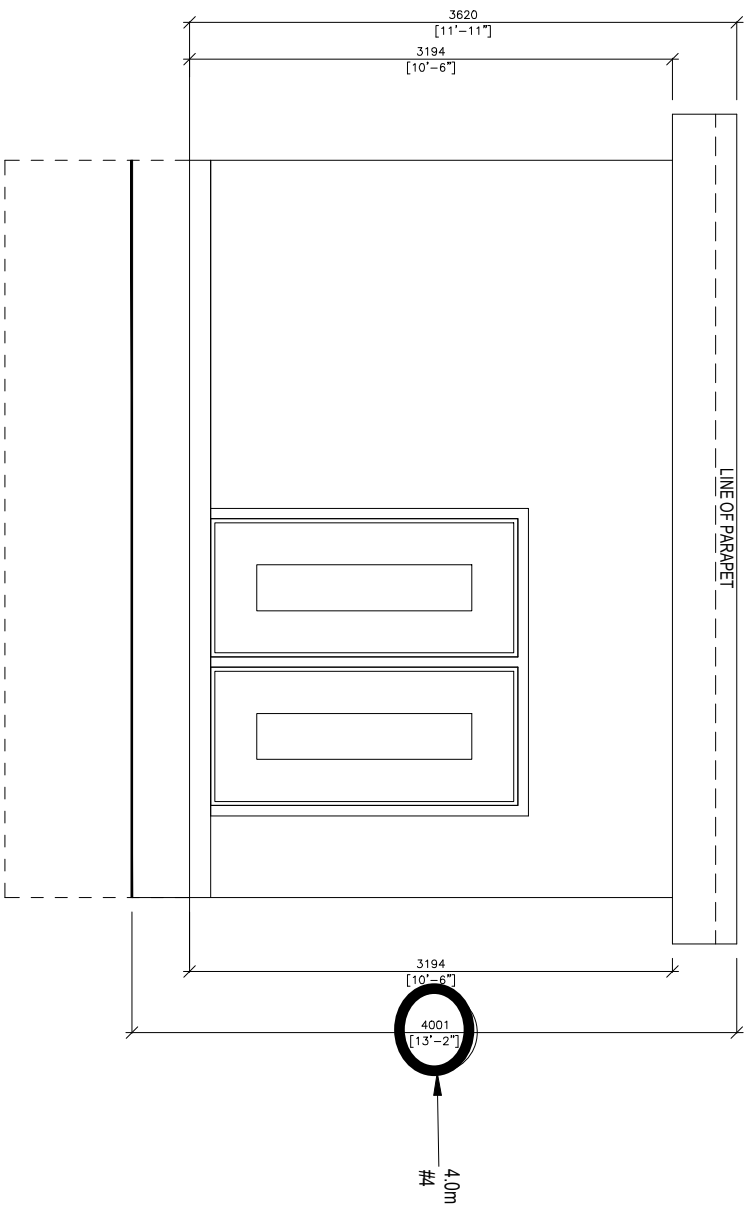
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 PROJECT No.
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3620 TOP ROOF
 3194 U/L OF ROOF
 140 TOP OF SLAB
 0.00 TOP OF FDN WALL
 -304.8 EXISTING GRADE
 -1220 U/S OF FOUNDATION



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SUBMITTALS

REVISIONS

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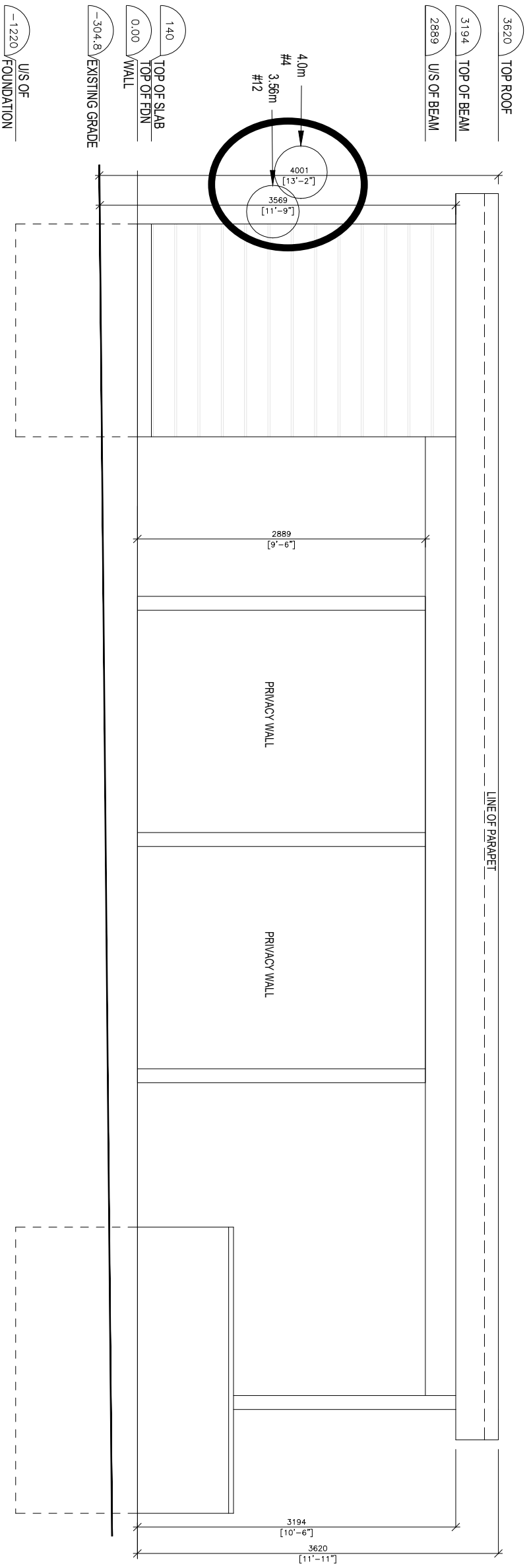
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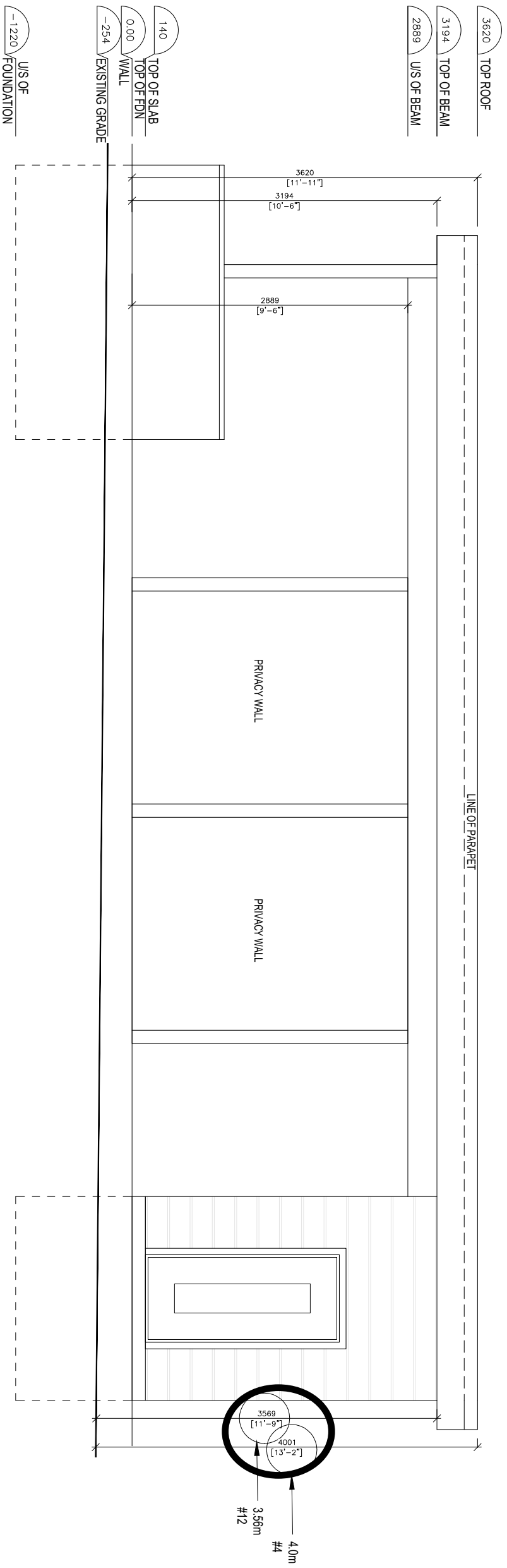
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No.	DESCRIPTION	DATE
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	ISSUED FOR BUILDING PERMIT	
	ISSUED FOR SITE PLAN APPROVAL	
	SUBMITTALS	

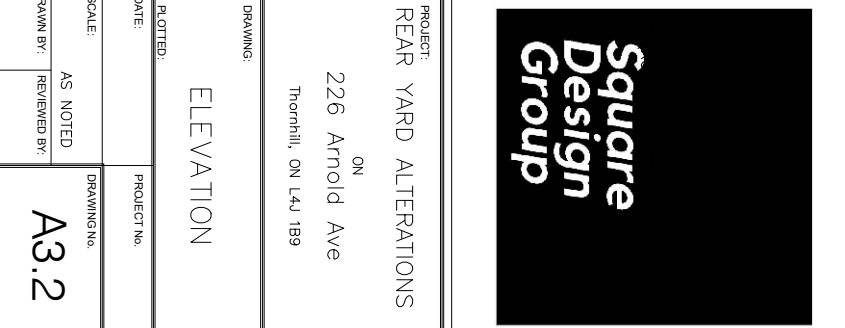
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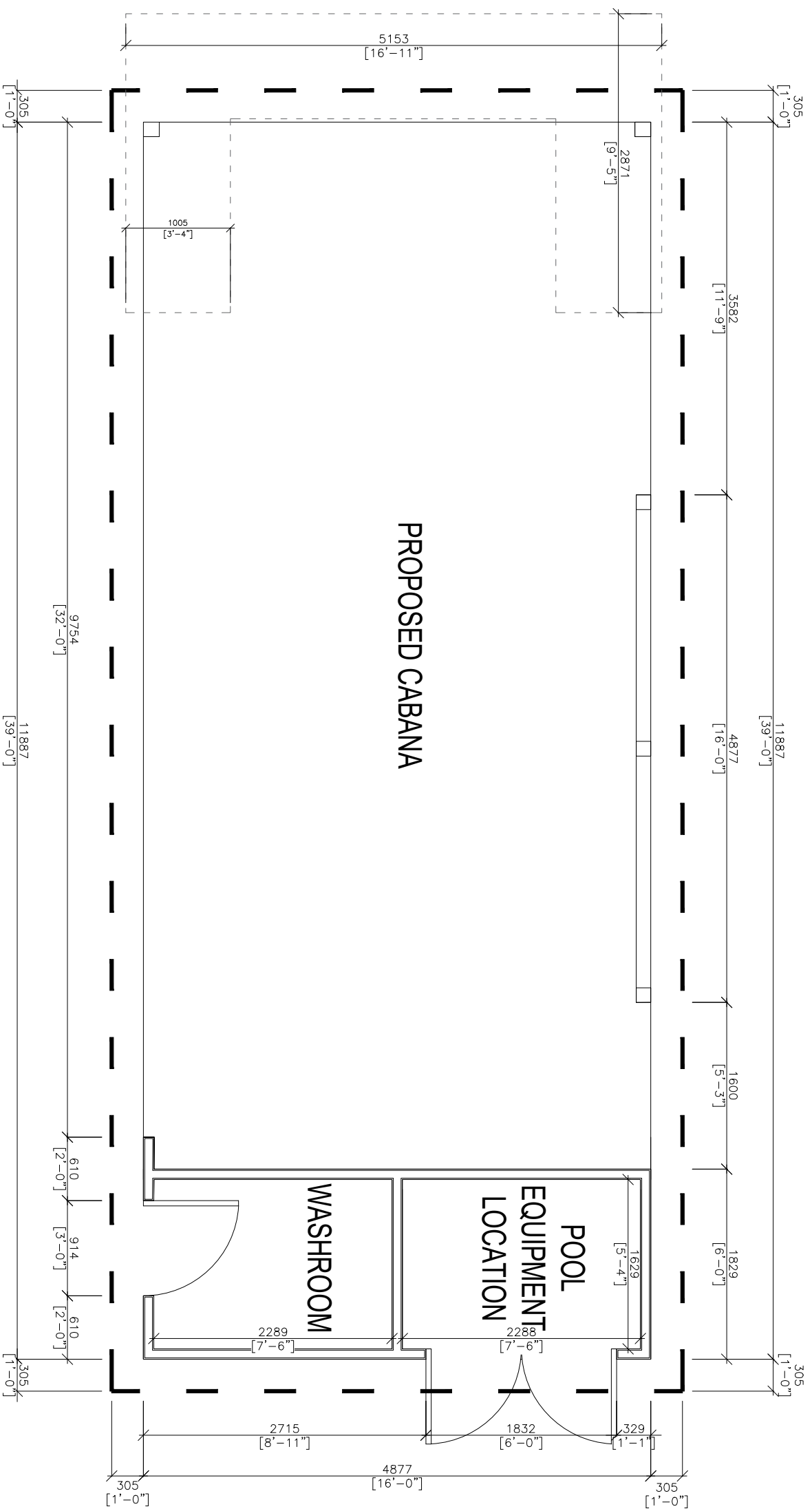
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PROPOSED CABANA

WASHROOM

**POOL
EQUIPMENT
LOCATION**

POOL



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ISSUED FOR CONSTRUCTION

REVISIONS

No.

DESCRIPTION

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PROJECT:
REAR YARD ALTERATIONS

ON
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Thornhill, ON L4J 1B9

FLOOR PLAN

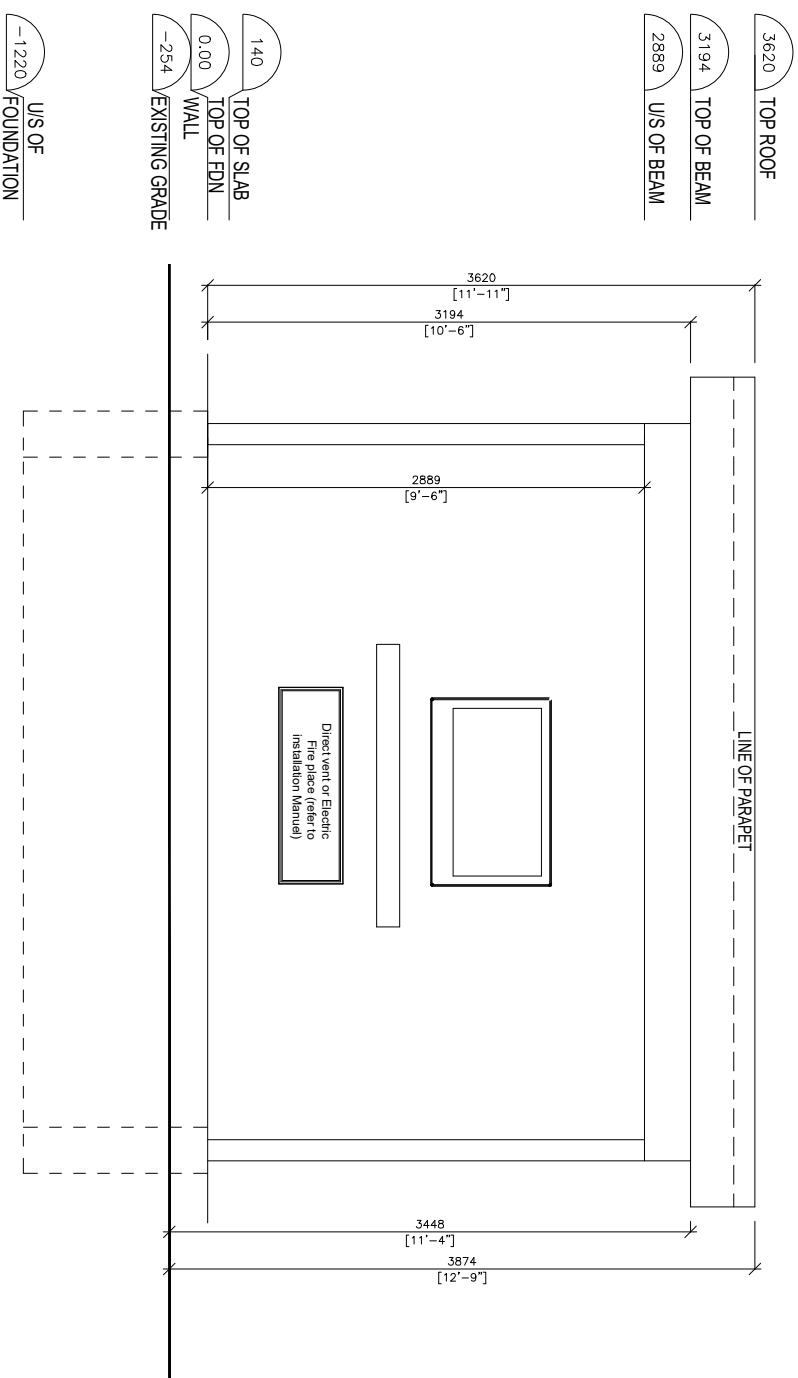
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No.	DESCRIPTION	DATE

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ISSUED FOR BUILDING PERMIT

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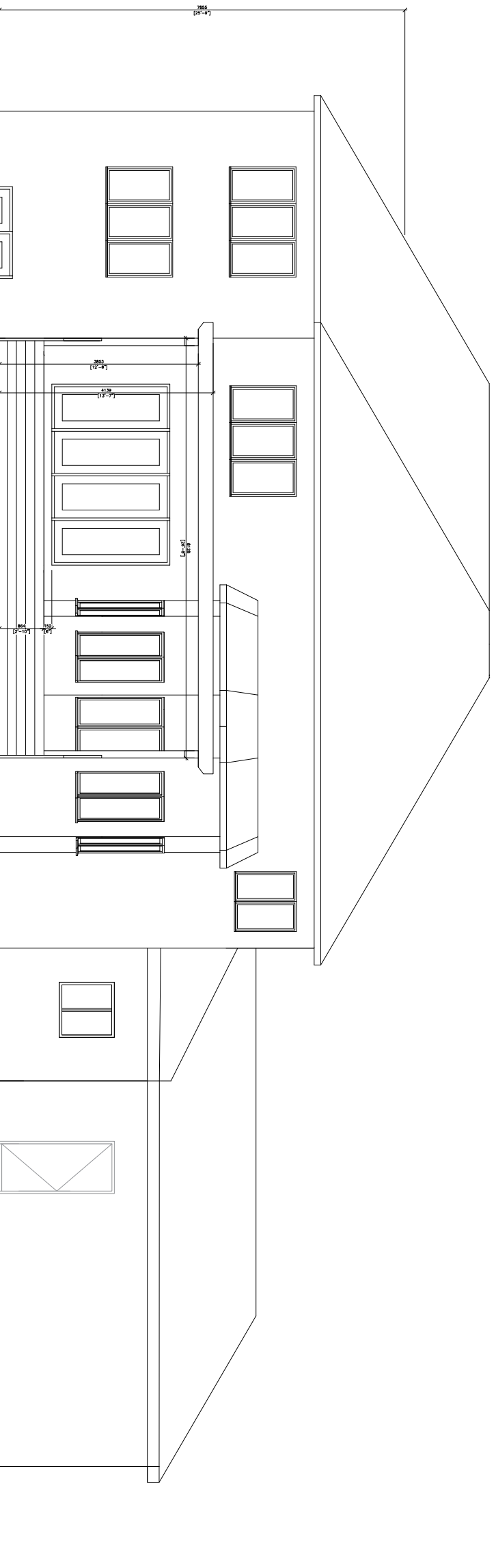
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ON
226 Arnold Ave
Thorhill, ON L4J 1B9

ELEVATION

DRAWING:

PLOTTED:

SCALE: AS NOTED

DRAWN BY: REVIEWED BY:

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SCHEDULE B: DEVELOPMENT PLANNING & AGENCY COMMENTS

AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Ministry of Transportation (MTO)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
Region of York	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Alectra	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	General Comments
Bell Canada	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No Comments Recieved to Date
YRDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
YCDSB	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CN Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
CP Rail	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
TransCanada Pipeline	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Metrolinx	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Propane Operator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Recommend Approval/No Conditions



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

Adriana MacPherson

Subject: FW: [External] RE: A034/22 - Request for Comments (226 Arnold Avenue, Thornhill)

From: Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

Sent: March-21-22 10:40 AM

To: Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

Cc: Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A034/22 - Request for Comments (226 Arnold Avenue, Thornhill)

Good morning Adriana,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Gabrielle

Gabrielle Hurst mcip rpp | Programs and Process Improvement | Community Planning and Development Services | The Regional Municipality of York | 1-877 464 9675 ext 71538 | gabrielle.hurst@york.ca | www.york.ca

Adriana MacPherson

Subject: FW: [External] RE: A034/22 - Request for Comments (226 Arnold Avenue, Thornhill)

From: York Plan <yorkplan@trca.ca>

Sent: March-21-22 8:28 AM

To: Adriana MacPherson <Adriana.MacPherson@vaughan.ca>

Cc: Hamedeh Razavi <Hamedeh.Razavi@trca.ca>

Subject: [External] RE: A034/22 - Request for Comments (226 Arnold Avenue, Thornhill)

TRCA wishes to confirm that it has **no interests or concerns with the above noted application.**

Based on a review of our available mapping, the subject property is not within TRCA's Regulated Area. As such, a permit from TRCA pursuant to Ontario Regulation 166/06 would not be required for any development or site alteration on the property. Furthermore, the site is not within the Well Head Protection Area for Quantity control (WHPA-Q2) per the Source Protection Plan, so no water balance would be required.

Should further clarification be required, please contact me at your convenience

Mark Howard, BES, MLA, MCIP, RPP

Senior Planner – Vaughan Review Area

Development Planning and Permits | Development and Engineering Services

Toronto and Region Conservation Authority (TRCA)

T: [\(416\) 661-6600](tel:4166616600) ext 5269

E: mark.howard@trca.ca

A: [101 Exchange Avenue, Vaughan, ON, L4K 5R6](https://www.trca.ca) | [trca.ca](https://www.trca.ca)



To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: May 5, 2022
Name of Owner: Howard Katz
Location: 226 Arnold Avenue
File No.(s): A034/22

Proposed Variance(s) (By-law 001-2021):

1. To permit a maximum lot coverage of 28.0%.
2. To permit a minimum rear yard soft landscaping of 25.05% for the portion of yard in excess of 135.0m².
3. To permit a minimum side yard setback of 1.01m for the proposed residential accessory building (Cabana).
4. To permit a maximum building height of 4.00m for the proposed residential accessory building (Cabana).
5. To permit a maximum lot coverage of 68.5m² for the proposed residential accessory structure (Cabana).
6. To permit a maximum 11.6m of cumulative width of both accesses to the circular driveway.

By-Law Requirement(s) (By-law 001-2021):

1. A maximum lot coverage of 20% is permitted.
2. Any portion of a yard in excess of 135.0 m² shall be comprised of a minimum 60% soft landscape.
3. A minimum side yard setback of 1.5m is required for the residential accessory building (Cabana).
4. A maximum building height of 3.0m is permitted for the proposed residential accessory building (Cabana).
5. A maximum lot coverage of the residential accessory building (Cabana) shall be 67.m².
6. The maximum cumulative width of both accesses to a circular driveway, as measured at the street line, shall be 9.0 m.

Proposed Variance(s) (By-law 1-88):

7. To permit a maximum lot coverage of 25.84%.
8. To permit a minimum of 54.73% front yard soft landscaping.
9. To permit a minimum of 25.05% soft landscaping for the portion of the rear yard in excess of 135m².
10. To permit a minimum side yard setback of 1.01m for the proposed accessory building (Cabana).
11. To permit a minimum rear yard setback of 3.32m for the proposed accessory building (Cabana).
12. To permit a maximum height of 3.56m to the nearest part of the roof for the proposed accessory building (Cabana).
13. To permit a maximum driveway width of 11.74m.

By-Law Requirement(s) (By-law 1-88):

7. A maximum lot coverage of 20% is permitted.
8. The minimum front yard landscape requirement shall be 50%, of which 60% shall be soft landscaping.
9. A minimum of sixty percent (60%) of that portion of the rear yard in excess of 135 sq. m shall be composed of soft landscaping.
10. A minimum side yard setback of 1.5m is required.
11. A minimum rear yard setback of 9.0m is required for the proposed accessory building (Cabana).
12. A maximum height of 3.0m to the nearest part of the roof is permitted.
13. The maximum permitted driveway width is 9.0m.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential".

Comments:

The Owner is requesting permission to construct a cabana, inground pool, deck and pergola in the rear yard.

The existing dwelling and eaves have a lot coverage of 21.7% and 2.16% respectively, while the proposed cabana will have a lot coverage of 4.14%. There are no proposed changes to the existing single-family dwelling, however, the maximum lot coverage is increasing as it includes the cabana and the area underneath the eaves as defined in By-law 01-2021. The dwelling coverage is consistent with previous approvals in the neighbourhood and will not pose a significant visual impact to the adjacent properties or streetscape. The increase in total lot coverage is minor in nature relative to the requirement under Zoning By-law 01-2021, which was enacted by Vaughan Council on October 20, 2021, but has been appealed to the Ontario Land Tribunal and is not in-effect. As such, the Development Planning Department has no objection to Variances 1, 5 and 7 for the increase in lot coverage.

The Development Planning Department has no objection to Variance 2, 8 and 9, as the reduction in front yard soft landscaping will not have a significant impact on the streetscape. The reduction in rear yard soft landscaping was reviewed by the Development Engineering Department and they have no objection to the variances, subject to their conditions of approval.

The Development Planning Department has no objection to Variance 3, 4, 10 and 12 for the proposed cabana as the reduction to the side yard setback and the increase in height will not pose a significant visual impact to the abutting properties. The side yard setback of 1.01 m maintains an appropriate area for access and drainage and will not impact the abutting properties.

The Development Planning Department has no objection to Variance 11 for the proposed cabana, as the reduction to the rear yard setback will not impact the abutting properties and it complies with Zoning By-law 001-2021.

The Development Planning Department is of the opinion the circular driveway poses minimal impact to the existing streetscape and has similar visual curb appeal to other circular driveways in the area.

Accordingly, the Development Planning Department can support the required variances and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Michelle Perrone, Planner 1
Chris Cosentino, Senior Planner

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public Correspondence	Shira and Noah Turk	53 Rodeo Drive, Thornhill	04/25/2022	Letter of Objection

Adriana MacPherson

Subject: A034/22 - Letter of Objection

-----Original Message-----

From: Noah Turk [REDACTED]
Sent: April-25-22 7:47 PM
To: Committee of Adjustment <CofA@vaughan.ca>
Subject: [External] Minor variance application A034/22

Dear variance committee,

Thank you for the opportunity to address this plan to amend the bylaw with a minor variance on 226 Arnold Avenue. We abut directly north of the property in question at 53 Rodeo Drive.

As indicated in the notice, we are requesting that you please forward us a copy of the plans and drawings proposed.

Please find below an outline of a number of issues which we bring forward in rejection of this application:

1. I am sure if you take a look at the bylaw records for the property caddy-corner to ours at 222 Arnold Avenue, you will note a number of complaints addressed due to their building of a cabana extension in direct contravention of the bylaw. At the time, we issued a number of complaints and were told by the bylaw department that they would look into this and that they did NOT receive a permit for this build, however they continued with their project nonetheless and now we have a large cabana nearly adjacent to our property line in direct contravention of the existing bylaw and nothing seems to have been done about it. Not only is this an eyesore, it also is disappointing that the bylaw was not enforced in this matter.

2. Over the past couple of years our home owners insurance has continuously climbed and through a number of conversations with a few companies, they have determined that houses on Rodeo Drive backing onto Arnold Avenue properties have a very high occurrence and likelihood of overland flooding due to increase in backyard hardscapes (patios, pools and cabanas) and increases in lot coverages, which disallow for natural drainage to occur.

3. As these areas are zoned as "old village residential", many trees which border both our backyard, as well as the neighbouring lot at 59 Rodeo Drive, are considered old growth and have been around since before Spring Farm was paved for housing. These are some of the oldest and largest trees in the community and their root systems are vast and expansive... building a cabana with a 60% reduction in rear yard setback will undoubtedly harm these trees and possibly result in their structural demise.

4. If a Cabana is requested and/or approved in the plans, the applicant should feel free to amend their plans and to build it adjacent to their own house and not against a rear yard setback. Additionally, the planting of a thicket of mature dense trees along the back fencing by the applicant will allow their rear lot size expansion to be hidden and not detract from the multiple surrounding neighbouring residences.

5. With regard to the specific variances requested:

5a. Zoning By-law 01-2022:

#1 strongly oppose

#2 strongly oppose

#3 strongly oppose

#4 strongly oppose

#5 strongly oppose

#6 approve

5b. Zoning By-law 1-88:

#7 strongly oppose

#8 approve

#9 strongly oppose

#10 strongly oppose

#11 strongly oppose

#12 strongly oppose

#13 approve

In summary, we feel very much against expanded hardscaping of the rear yard due to a number of factors, including but not limited to, increased overland flooding, destruction of much needed green softscaping, destruction of decades old trees and infringement of privacy by cabana placement adjacent to neighbouring fencing.

Thanks to the Secretary Treasurer and the entire Committee for your time and thoughtful review of these plans.

Sincerely,

Shira and Noah Turk
53 Rodeo Drive

Sent from my iPhone

SCHEDULE D: PREVIOUS COA DECISIONS ON THE SUBJECT LAND

None