



File: A222/18

Applicant: Boris Baranov

Address: 4 White Boulevard, Thornhill ON

Agent: None

Please note that comments received after the preparation of this Staff Report (up until 12:00 p.m. on the scheduled hearing date) will be provided as an addendum.

Commenting Department	<input checked="" type="checkbox"/> Positive Comment <input checked="" type="checkbox"/> Negative Comment	Condition(s) <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>
Committee of Adjustment	<input checked="" type="checkbox"/>	
Building Standards	<input checked="" type="checkbox"/>	
Building Inspection	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
Urban Design	<input checked="" type="checkbox"/>	
Development Engineering	<input checked="" type="checkbox"/>	
Parks Department		
By-law & Compliance	<input checked="" type="checkbox"/>	
Financial Planning & Development	<input checked="" type="checkbox"/>	
Fire Department		
TRCA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Ministry of Transportation	<input checked="" type="checkbox"/>	
Region of York	<input checked="" type="checkbox"/>	
Alectra (Formerly PowerStream)	<input checked="" type="checkbox"/>	
Public Correspondence (see Schedule B)		

Adjournment History: None.

Background History: None.



Minor Variance  
Application

Agenda Item: 05

A222/18

Ward: 5

Staff Report Prepared By: Lenore Providence, Assistant Secretary Treasurer

**Date of Hearing:** Thursday, March 21, 2019

**Applicant:** Boris Baranov

**Agent:** None.

**Property:** 4 White Boulevard, Thornhill

**Zoning:** The subject lands are zoned R5, Residential and subject to the provisions of Exception 9(488) under By-law 1-88 as amended.

**OP Designation:** VOP 2010: 'Low-Rise Residential'

**Related Files:** None.

**Purpose:** Relief from the by-law is being requested to permit the existing covered deck located in the rear yard and covered exterior (south) side yard stairwell.

The following variances are being requested from By-Law 1-88, as amended, to accommodate the above proposal:

By-law Requirement	Proposal
1. A minimum rear yard setback of 7.5 metres is required.	1. To permit a minimum rear yard setback of 5.8 metres to a covered deck.
2. A minimum exterior side yard setback of 4.5 metres is required.	2. To permit a minimum exterior side yard setback of 4.24 metres to a covered side entrance (basement walkup).

Background (previous applications approved by the Committee on the subject land): N/A

For information on the previous approvals listed above please visit [www.vaughan.ca](http://www.vaughan.ca). To search for a file number, enter it using quotes around it. For example, "A001/17".

To search property address, enter street number and street name using quotes. For example, "2141 Major Mackenzie". Do not include street type (i.e. drive).

Adjournment History: N/A

Staff & Agency Comments

Please note that comments received after the preparation of this Staff Report (up until 12:00 p.m. on the scheduled hearing date) will be provided as an addendum.

Committee of Adjustment:

Public notice was mailed on March 6, 2019

Applicant confirmed posting of signage on March 11, 2019

Property Information	
Existing Structures	Year Constructed
Dwelling	1984
Deck	2018

Applicant has advised that they cannot comply with By-law for the following reason(s): Property size too small.

**Building Standards (Zoning Review):**

Stop Work Order(s) and Order(s) to Comply: None

Building Permit Application No. 18-002848 for proposed deck and deck cover and roof over existing basement walkout has been submitted, but not yet issued.

The applicant shall be advised that eaves and gutters appurtenant to the covered rear yard deck and the covered exterior side yard entrance shall not extend more than 0.5 metres into all required yards.

The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit.

The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

**Building Inspections (Septic):**

No comments or concerns

**Development Planning:**

VOP 2010: 'Low-Rise Residential'

The Development Planning Department has reviewed the proposal and is of the opinion that it is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

The Development Planning Department recommends approval of the application.

**Urban Design:**

There are no cultural heritage concerns for this application.

**Development Engineering:**

Please note that the Development Engineering Department has no objections to application A222/18 and there are no conditions.

City staff have confirmed that the subject property is in an assumed subdivision therefore notification to a builder/developer is not required.

**Parks Development:**

No Response.

**By-Law and Compliance, Licensing and Permit Services:**

No comments or concerns

**Financial Planning and Development Finance:**

No comments or concerns

**Fire Department:**

No comments or concerns

**Schedule A – Plans & Sketches****Schedule B – Public Correspondence**

None.

**Schedule C - Agency Comments**

TRCA – comments with conditions

MTO – Located outside of MTO permit control area

Alectra (Formerly PowerStream) – No concerns or objections

Region of York – No concerns or objections

**Schedule D - Previous Approvals (Notice of Decision)**

None.

**Staff Recommendations:**

Staff and outside agencies (i.e. TRCA) act as advisory bodies to the Committee of Adjustment. Comments received are provided in the form of recommendations to assist the Committee.

The Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application considers the following:

- ✓ That the general intent and purpose of the by-law will be maintained.
- ✓ That the general intent and purpose of the official plan will be maintained.
- ✓ That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- ✓ That the requested variance(s) is/are minor in nature.

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application as required by Ontario Regulation 200/96, the following conditions have been recommended:

	Department/Agency	Condition
1	TRCA Anthony Syhlonyk  416-661-6600 x 5272 <a href="mailto:asyhlonyk@trca.on.ca">asyhlonyk@trca.on.ca</a>	That the owner provides the required \$580.00 fee for our review of Minor Variance Application A222/18.

Please Note:

Relief granted from the City’s Zoning By-law is determined to be the building envelope considered and approved by the Committee of Adjustment.

Development outside of the approved building envelope (subject to this application) must comply with the provisions of the City’s Zoning By-law or additional variances may be required.

Elevation drawings are provided to reflect the style of roof to which building height has been applied (i.e. flat, mansard, gable etc.) as per By-law 1-88 and the Committee of Adjustment approval. Please note, that architectural design features (i.e. window placement), that do not impact the style of roof approved by the Committee, are not regulated by this decision.

Conditions

It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency. This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

## Notice to the Applicant – Development Charges

That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department;

## Notice to Public

**WRITTEN SUBMISSIONS:** Any person who supports or opposes this application, but is unable to attend the hearing, may make a written submission, together with reasons for support or opposition, which must be delivered no later than **12:00 p.m.** on the scheduled public hearing date.

Written submissions can be mailed and/or emailed to:

City of Vaughan  
Committee of Adjustment  
2141 Major Mackenzie Drive, Vaughan, ON L6A 1T1  
[CofA@vaughan.ca](mailto:CofA@vaughan.ca)

**ORAL SUBMISSIONS:** If you wish to attend the meeting you will be given an opportunity to make an oral submission. Presentations to the Committee are generally limited to 5 minutes in length. Please note that Committee of Adjustment meetings are audio recorded. Your name, address comments and any other personal information will form part of the public record pertaining to this application.

**PUBLIC RECORD:** Personal information is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

**NOTICE OF DECISION:** If you wish to be notified of the decision in respect to this application or a related Local Planning Appeal Tribunal (LPAT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

**For further information please contact the City of Vaughan, Committee of Adjustment**

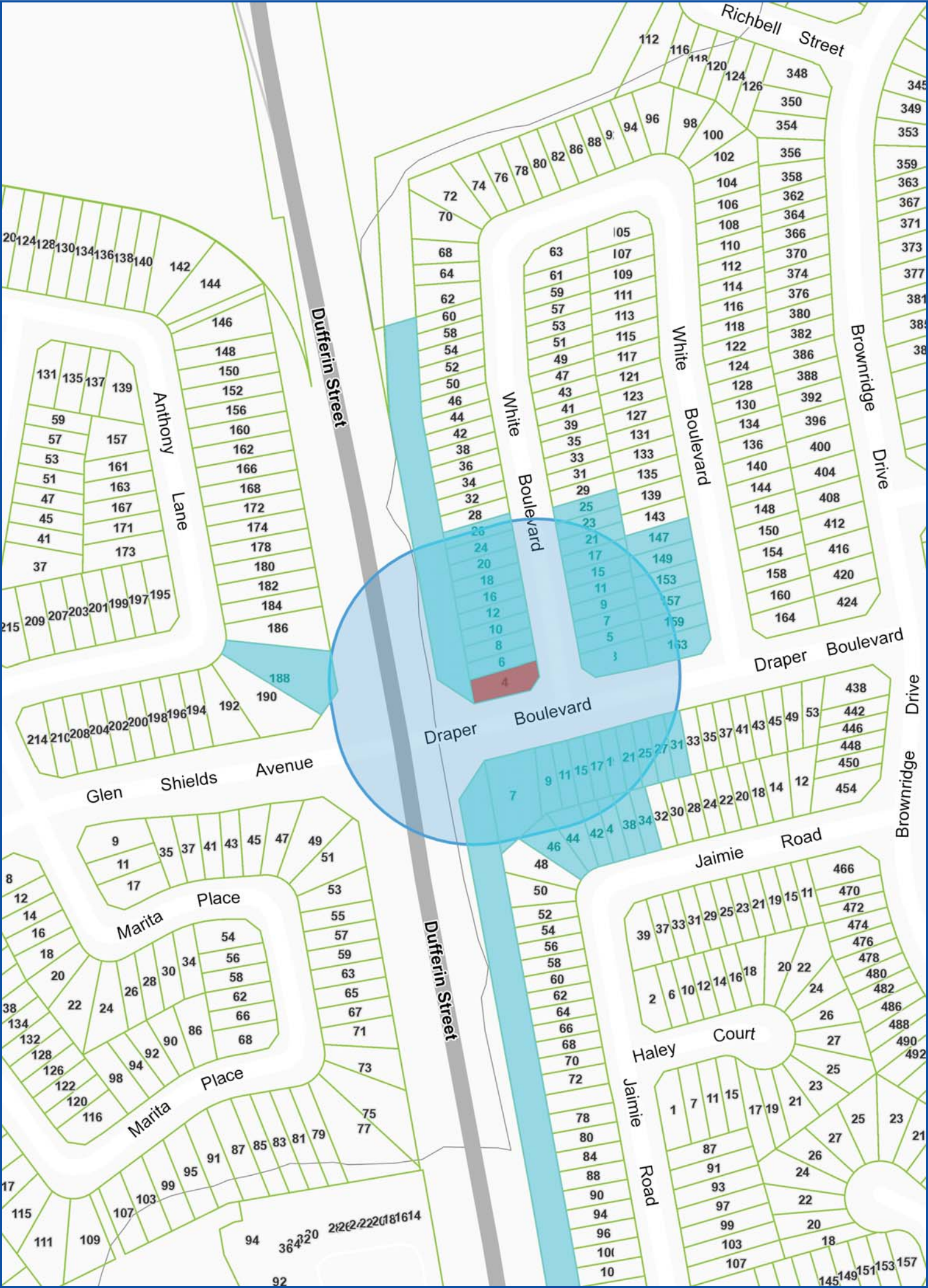
T 905 832 8585 Extension 8394  
E [CofA@vaughan.ca](mailto:CofA@vaughan.ca)

Schedule A: Plans & Sketches

Please note that the correspondence listed in Schedule A is not comprehensive. Plans & sketches received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

Location Map  
Sketches





Map Information:



Title:

# LOCATION MAP - A222/18

## 4 WHITE BOULEVARD, THORNHILL

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:2,257

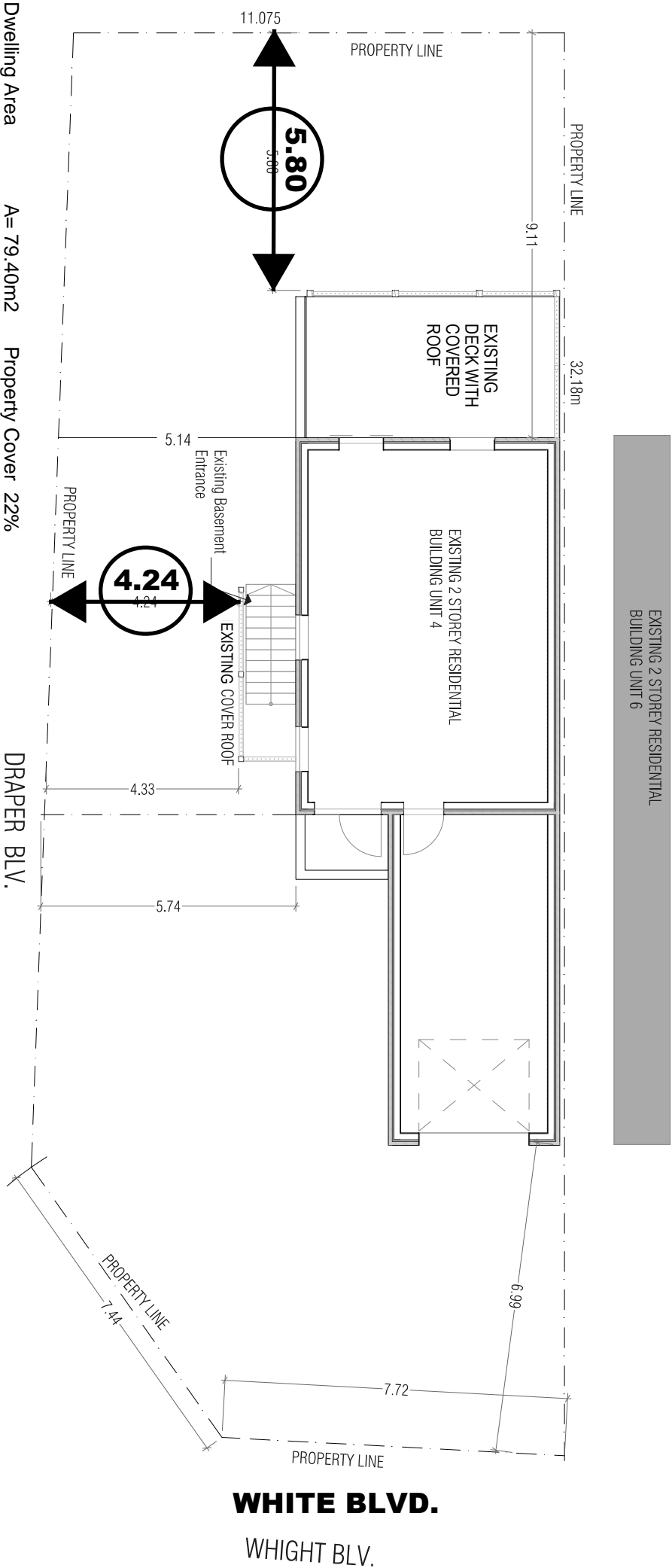
0 0.04 km



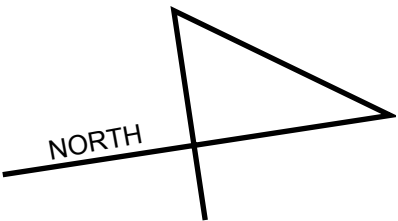
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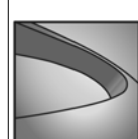
Infrastructure Delivery  
Department  
January 31, 2019 8:10 PM

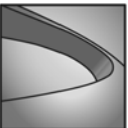
Projection:  
NAD 83  
UTM Zone  
17N



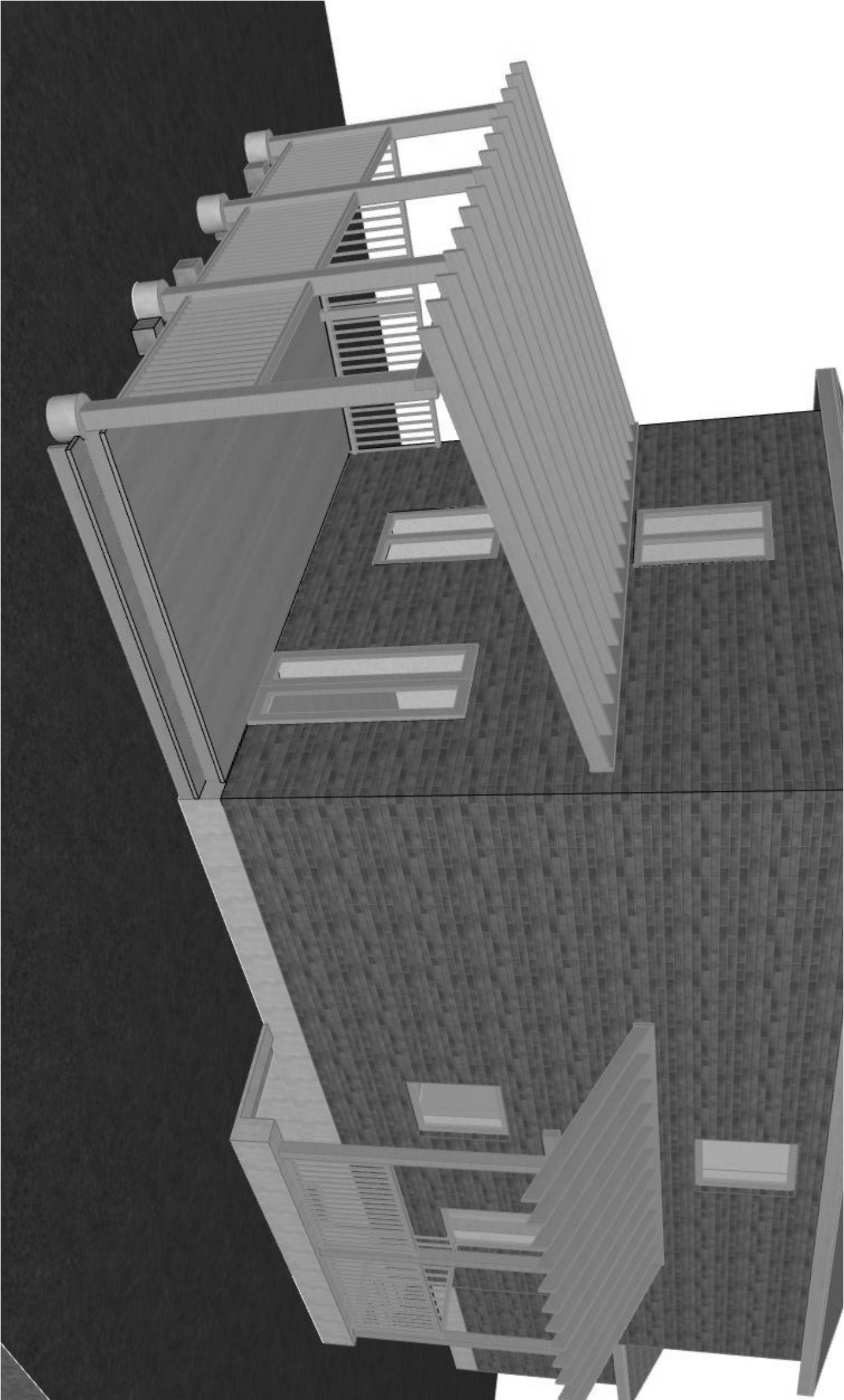
0. Site Plan View 3/32" = 1'-0"



File:				Client		Architectural& Engineering Service		
52-08-18				4 White Blv. Thornhill, ON		38 Chicory Crescent, St. Catharines, ON, L2R 0A5 Ph: 647-773-9310 email: salonov02@gmail.com		
Rev #	CHD	Revision	Date	Project:				
1		Issue for Review	Sept 14-18	Proposed Deck				
2		Issue for Review	Nov 14-18	4 White Blv. Thornhill, ON				
				Drawing #:				
				Site Plan View				
				Dn. By:		Scale:		Drawing #
				S.S		3/32" = 1'-0"		C-3







Drawings ID	Drawings Name
A-1	Deck Footing Layout
A-2	Deck Layout Ground Floor
A-3	Deck Ground Floor Structural
A-4	Elevations
A-5	Building Section
A-6	Details
A-7	Railing Connection
C-1	Front Page
C-2	Existing Survey
C-3	Site Plan View



## Existing ~~Proposed~~ Deck and Deck Cover

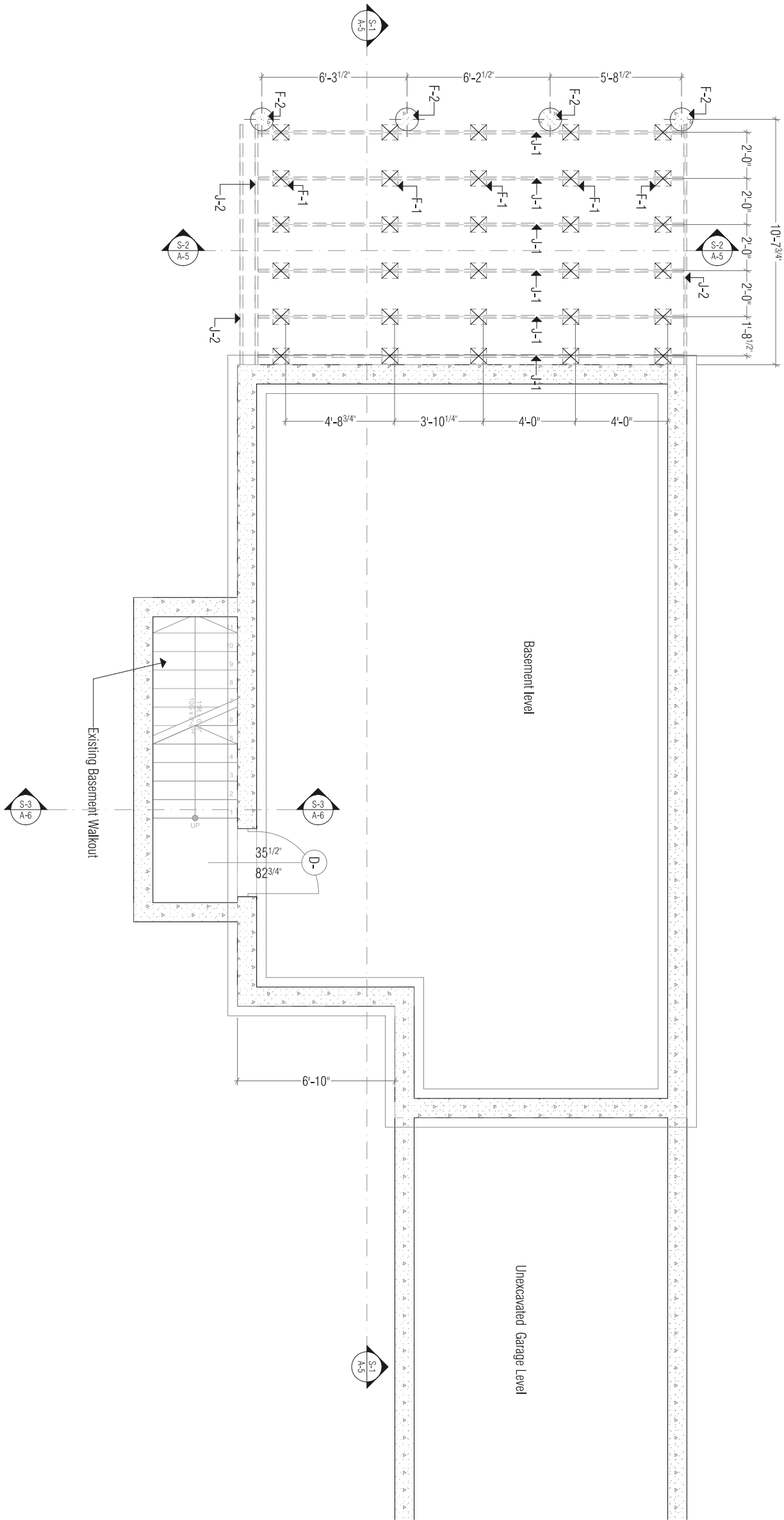
Dwelling Area	A= 79.40m2	Property Cover	22%
Deck Cover Area	A=20.84m2	Property Cover	5.8%
Stairway Cover Area	A=5.69m2	Property Cover	1.58 %
Property Area	A=359.2m2		
Total Proposed Property Cover 29.38%			

File: 52-08-18			Client: 4 White Blv. Thornhill, ON		Architectural& Engineering Service	
Rev #	CNID	Revision	Project:	38 Chicory Crescent, St. Catharines, ON, L2R 0A5 Ph: 647-773-9310 email:safonov02@gmail.com		
1		Issue for Review	Proposed Deck			
2		Issue for Review	4 White Blv. Thornhill, ON			
			Drawing #:	Front Page	Dr. By. S.S	Drawing # C-1
					Scale: 1:146.70	



Foundation Piles and Footing Schedule		
ID	Quantity	Materials
F-1	30	"Dek-Block" Concrete deck base 11"x11"x7 1/2"
F-2	4	12" Sono-tube Concrete 25MPa Piles


Joist Schedule		
ID	Quantity	Materials
J-1	6	2x6@24"
J-2	3	2x6



-1. 3/16" = 1'-0"

Deck Footing Layout



File:			Client		Architectural& Engineering Service		
52-08-18			4 White Blv. Thornhill, ON		38 Chicory Crescent, St. Catharines, ON, L2R 0A5 Ph: 647-773-9310 email:safonov02@gmail.com		
Rev #	Chd	Revision	Project:				
1		Issue for Review	Proposed Deck				
2		Issue for Review	4 White Blv. Thornhill, ON				
			Drawing #:		Dn. By.		
			Deck Footing Layout		S.S		
					3/16" = 1'-0"		
					A-1		





- Design Load:
1. LL=1.9 kPa

2. DL=0.5 kPa

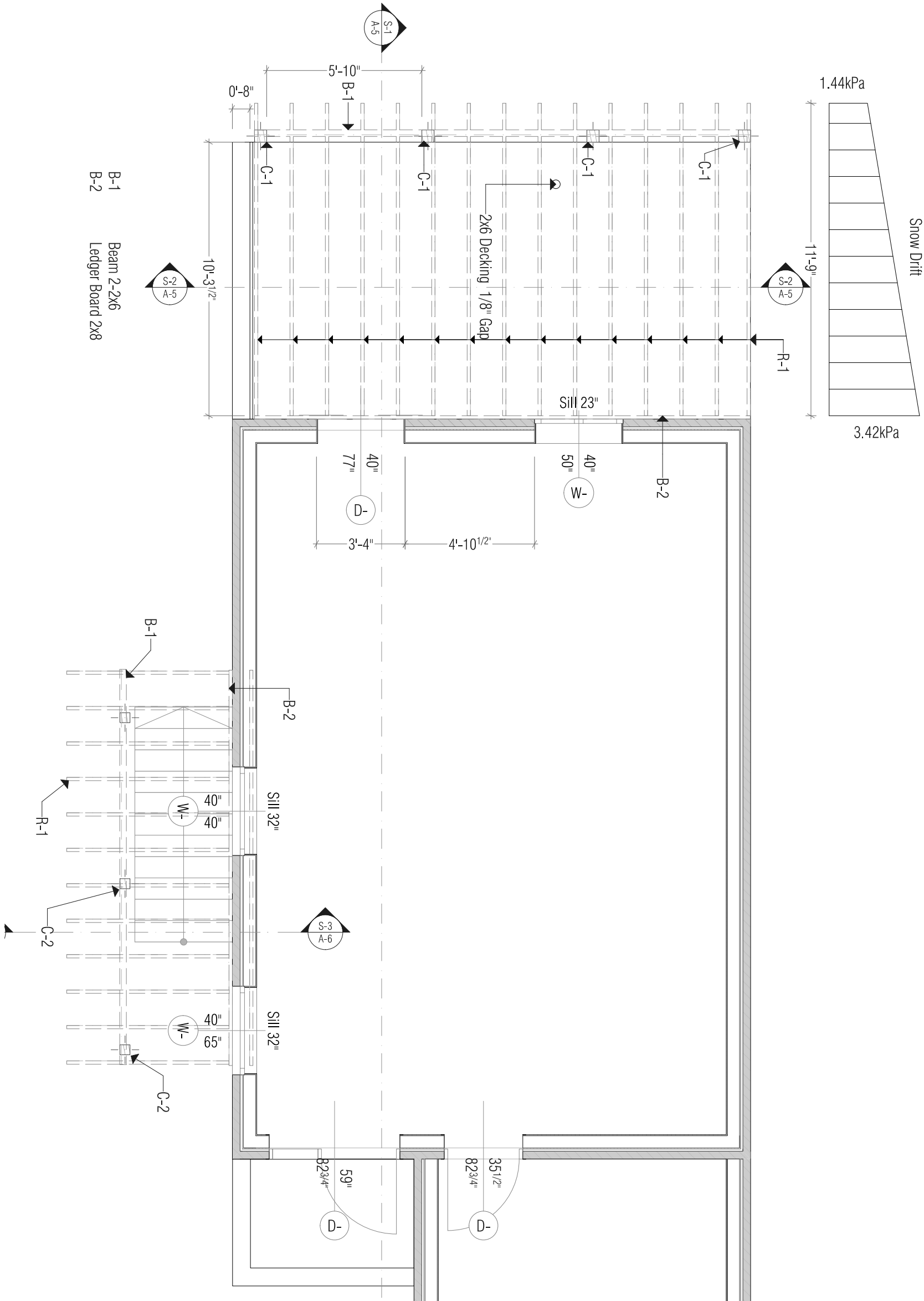
3. S.S=1.3kPa S.r=0.4kPa

4. q=100kPa

Live Load

Ded Load

Soil Capacity



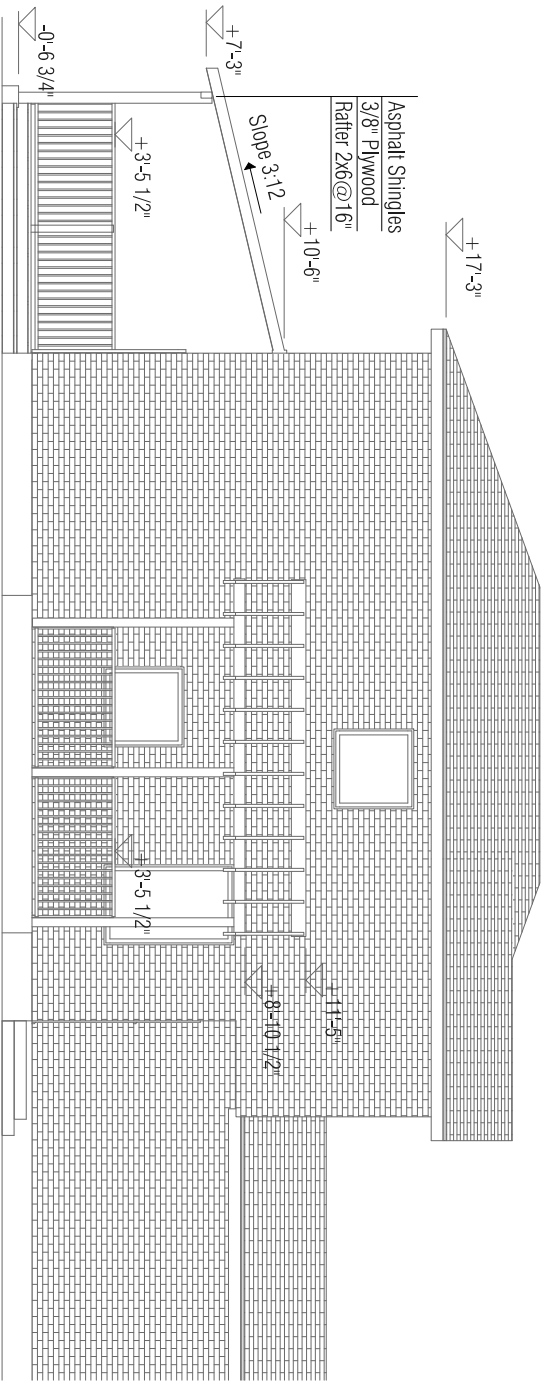
Rafter Schedule		
ID	Quantity	Materials
R-1	27	2x6@12

0. Ground Floor Structural

1/4" = 1'-0"

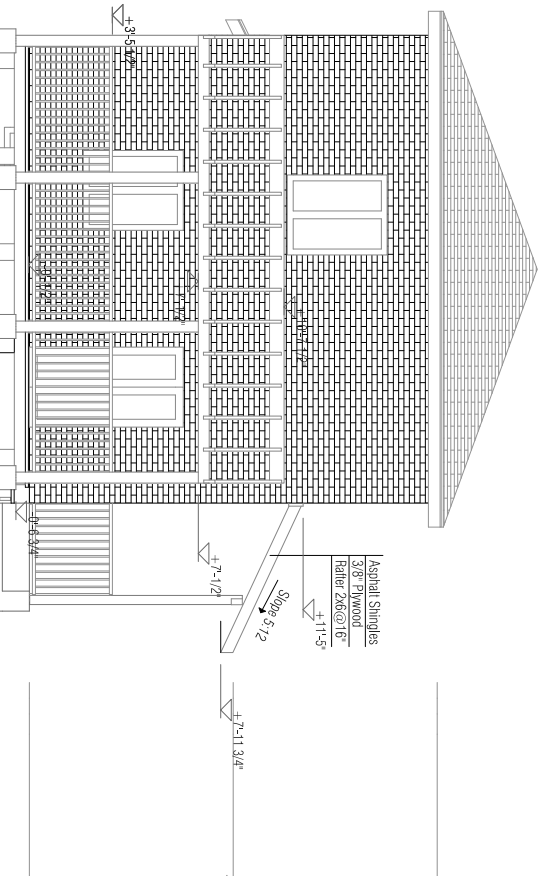
File: 52-08-18				Client: 4 White Blv. Thornhill, ON		Architectural& Engineering Service		
Rev #	CHD	Revision	Date	Project: Proposed Deck		38 Chicory Crescent, St. Catharines, ON, L2R 0A5 Ph: 647-773-9310 email: safonov02@gmail.com		
1		Issue for Review	Sept 14-18	4 White Blv. Thornhill, ON				
2		Issue for Review	Nov 14-18					
				Drawing #:		Deck Ground Floor Structural		
				Dr. By:	S.S	1/4" = 1'-0"	Drawing # A-3	





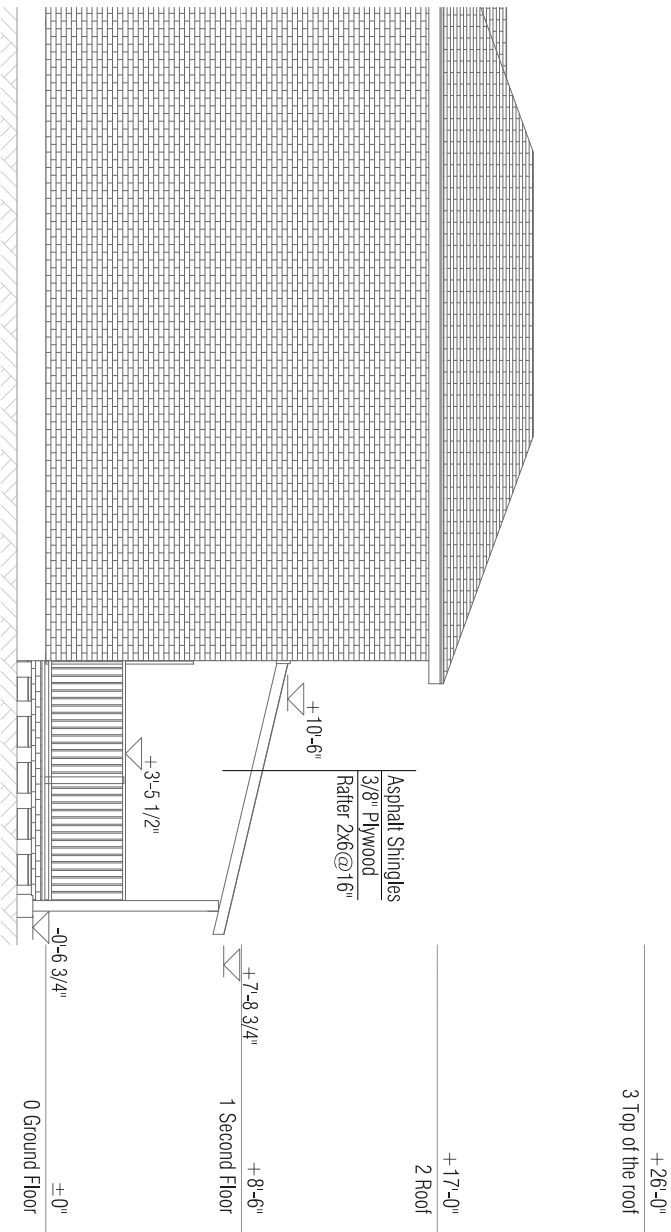
South Elevation

1/8" = 1'-0"




West Elevation

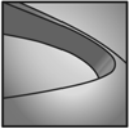
1/8" = 1'-0"

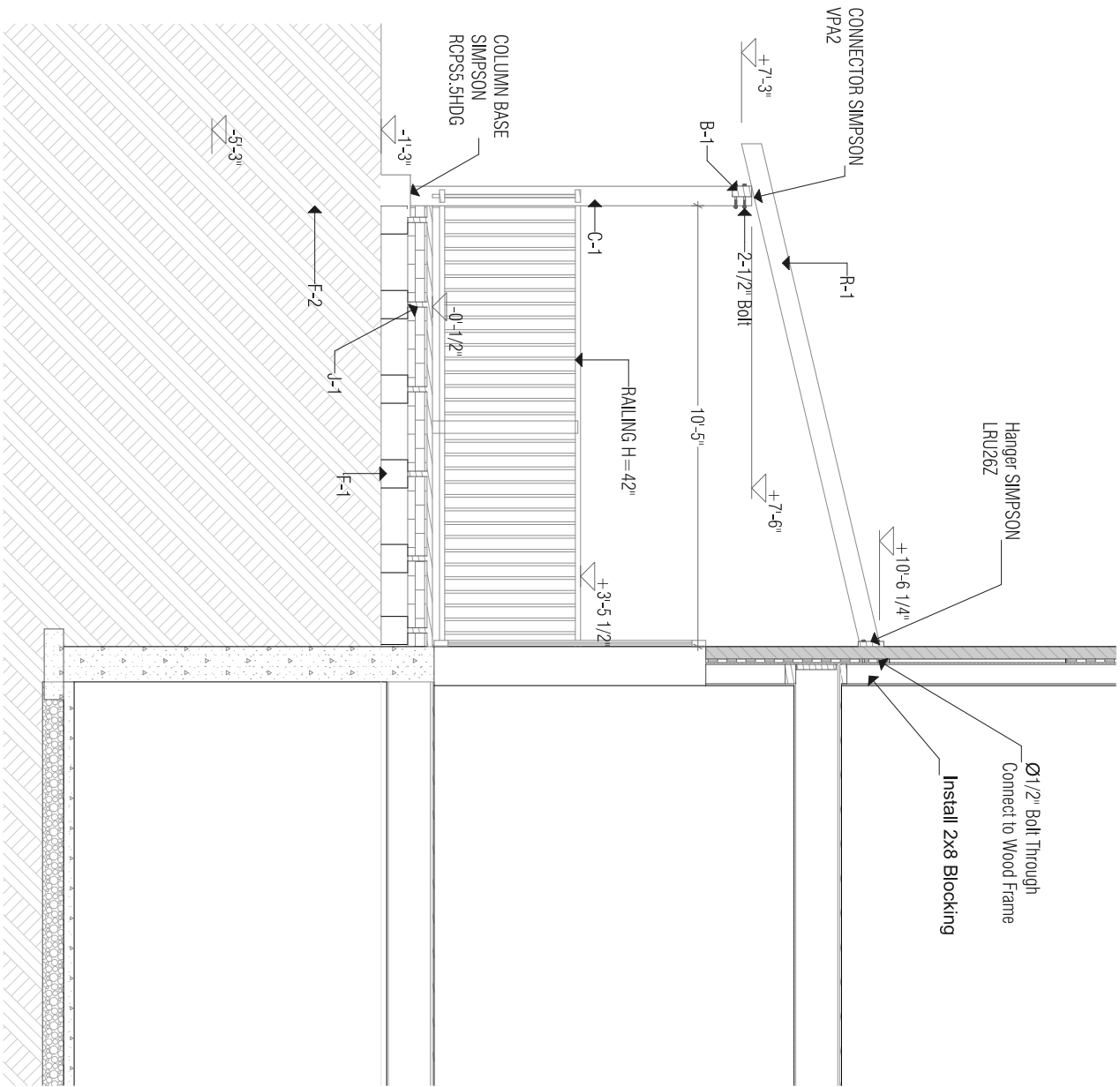


North Elevation

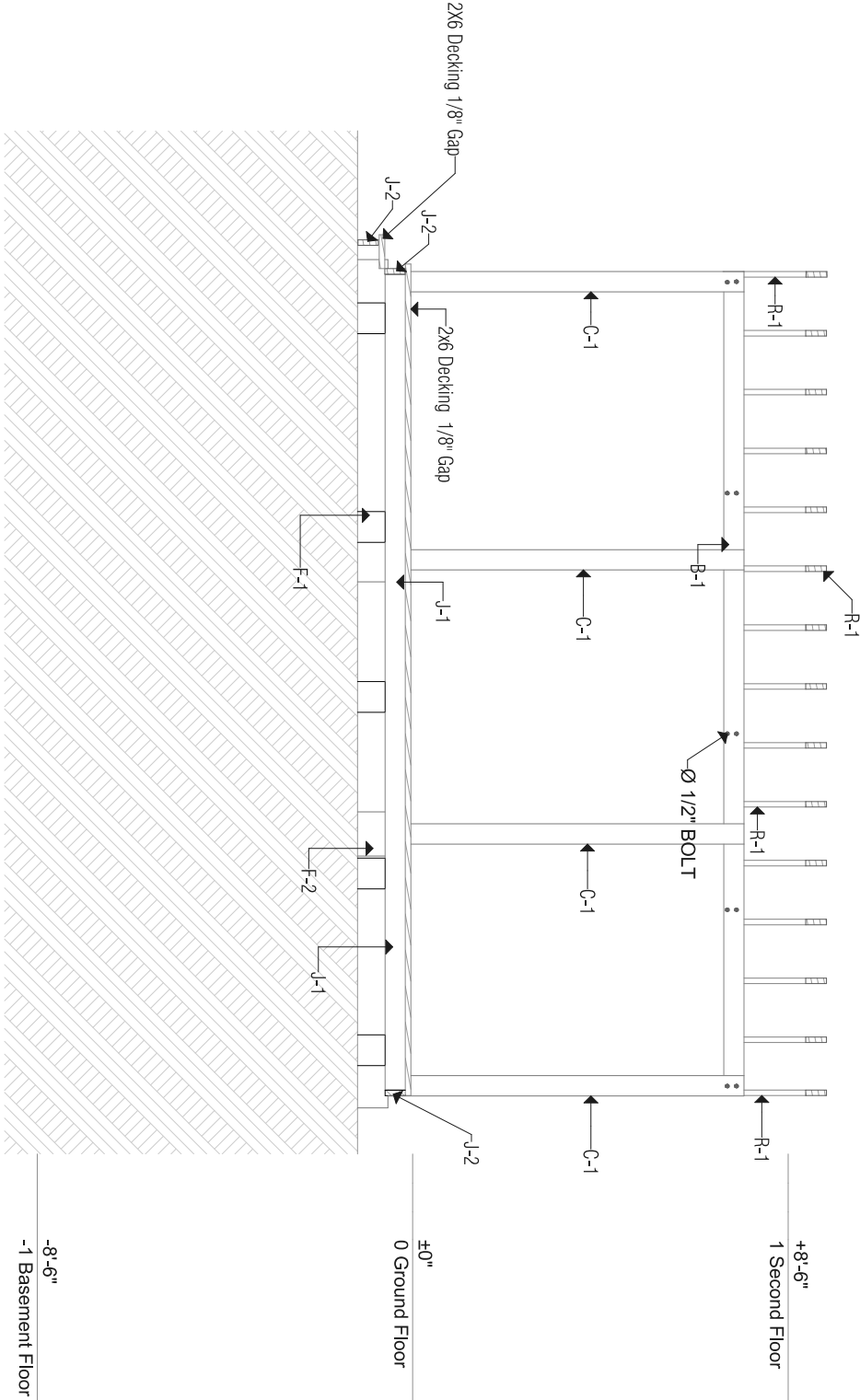
1:100

File:				Client		Architectural & Engineering Service	
52-08-18				4 White Blv. Thornhill, ON		38 Chicory Crescent, St. Catharines, ON, L2R 0A5 Ph: 647-773-9310 email: safonov02@gmail.com	
Rev #	Chd	Revision	Date	Project:			
1		Issue for Review	Sept 14-18	Proposed Deck			
2		Issue for Review	Nov 14-18	4 White Blv. Thornhill, ON			
				Drawing #:		Dn. By.	
				Elevations		Scale: 1/8" = 1'-0", A-4	





S-1 Building Section 1/4" = 1'-0"



S-2 Building Section 1/4" = 1'-0"



File: 52-08-18			Client: 4 White Blv. Thornhill, ON		Architectural& Engineering Service		
Rev #	CMD	Revision	Project:	4 White Blv. Thornhill, ON	38 Chicory Crescent, St. Catharines, ON, L2R 0A5 Ph: 647-773-9310 email: safonov02@gmail.com		
1		Issue for Review	Issue for Review	Sept 14-18			
2		Issue for Review	Issue for Review	Nov 14-18			
			Drawing #:	Building Section	Un. By: S.S	Scale: 1/4" = 1'-0"	Drawing # A-5





**Schedule B: Public Correspondence Received**

Please note that the correspondence listed in Schedule B is not comprehensive. Written submissions received after the preparation of this staff report will be provided as an addendum. Written submissions from the public will only be accepted / processed until 12:00 p.m. on the date of the scheduled hearing.

**None.**



**Schedule C: Agency Comments**

Please note that the correspondence listed in Schedule C is not comprehensive. Comments received after the preparation of this staff report will be provided as an addendum. Correspondence will only be accepted until 12:00 p.m. on the date of the scheduled hearing.

- TRCA – comments with conditions**
- MTO – Located outside of MTO permit control area**
- Alectra (Formerly PowerStream) – No concerns or objections**
- Region of York – No concerns or objections**

March 4, 2019

CFN: 60819.02

**BY E-MAIL: Christine.Vigneault@vaughan.ca**

Ms. Christine Vigneault  
Secretary Treasurer  
Committee of Adjustment  
City of Vaughan  
2141 Major Mackenzie Drive  
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A222/18  
4 White Boulevard  
Lot 82, Reg. Plan 65M2231  
City of Vaughan  
Owner: Boris Baranov**

This letter acknowledges receipt of the above noted application, received by Toronto and Region Conservation Authority (TRCA) on January 24, 2018 with comments originally provided on February 4, 2019. TRCA staff have reviewed supplemental information provided by the applicant and offers the following revised comments:

**Background**

It is our understanding that the purpose of Application A222/18 is to request the following:

1. To permit a minimum rear yard setback of 5.8m to a covered deck whereas a rear yard setback of 7.5m is required.
2. To permit a minimum exterior side yard setback of 4.24m to a covered side entrance (basement walk-up) whereas a minimum exterior side yard setback of 4.5m is required.

It is TRCA's understanding that the purpose of the above variance is to legalize a roof to an existing basement walkout and a new deck constructed without approvals.

**Applicable TRCA Policies and Regulations**

**Ontario Regulation 166/06:**

The subject lands are located entirely within the TRCA's Regulated Area of the Don River Watershed due to the presence of a floodplain covering the entirety of the property including the walkout area proposed. In accordance with the *Ontario Regulation 166/06 (Regulation of Development, interference with Wetlands and Alterations to Shorelines and Watercourses)*, development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected. In this regard, TRCA must be contacted prior to any works taking place in the Regulated Area.

**Living City Policies (LCP):**

In addition, The Living City Policies for Planning and Development in the Watersheds of the Toronto and Region Conservation Authority (LCP) describes a 'Natural System' made up of natural features and areas, water resources, natural hazards, potential natural cover and/or buffers. The LCP recommends that development not be permitted within the Natural System and that it be conveyed into public ownership for its long term protection and enhancement. The LCP also provides policies for developing adjacent to, and in, the Natural System (where permitted), while meeting natural hazard management requirements, and maintaining and enhancing the functions of the protected Natural System. These policies also seek to integrate the natural and built environments, maximizing opportunities for ecosystem services from across the entire landscape. It is these policies that guide TRCA's review of the subject application, along with those found in other Provincial and municipal plans, documents and guidelines.

**Application-Specific Comments**

Based on a review of the enclosed drawings, TRCA notes that the property is within TRCA's Regulated Area due to the presence of a flood plain covering the entirety of the lot. Through further consultation with the City of Vaughan and the applicant it has been confirmed that the existing basement walkout within this flood plain has existed historically and that only the deck and roof of the walkout have recently been constructed. We have no further concerns with the approval of Minor Variance A222/18. As these structures are within TRCA's Regulated Area a permit from our office will be required and is currently under review.

**Fees**

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$580.00 Variance – Residential – Minor review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

**Recommendations**

Based upon the comment noted above, TRCA staff have **no objection** to the approval of Minor Variance A222/18 subject to the following condition:

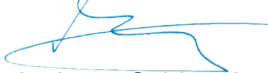
- 1) That the owner provides the required \$580.00 fee for our review of Minor Variance Application A222/18.

**Conclusion**

We thank you for the opportunity to review the subject application and provide our comments as per our commenting and regulatory role. Further, we trust these comments are of assistance.

TRCA will continue to work closely with the City of Vaughan, the applicant, and their consultants to ensure that TRCA's expectations for meeting comments are met. Should you have any additional questions or comments, please do not hesitate to contact the undersigned.

Sincerely,



Anthony Syhlonyk  
Planner I  
Planning and Development  
Extension 5272

AS/cb

Cc: Boris Baranov

**Providence, Lenore**

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**Subject:** FW: Request for Comments

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**From:** Nunes, Paul (MTO) <Paul.Nunes@ontario.ca>

**Sent:** January-24-19 10:42 AM

**To:** Vigneault, Christine <Christine.Vigneault@vaughan.ca>

**Cc:** Committee of Adjustment <CofA@vaughan.ca>; Della Mora, Dan (MTO) <Dan.DellaMora@ontario.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>; Providence, Lenore <Lenore.Providence@vaughan.ca>

**Subject:** Request for Comments

Hi Christine,

MTO Highway Corridor Management Section has reviewed the location of the following Applications for Minor Variance:

**A222/18 – 4 White Boulevard, Thornhill, ON.**

**A008/19 – 100 Gibraltar Road, Woodbridge**

The properties listed above appear to be located outside of the MTO Permit Control Area, and therefore an MTO Building & Land Use Permit from this office is not required. At this time, this office has no further comments.

Please do not hesitate to contact me if you have any further questions.

Thank you,

**Paul Nunes** | Corridor Management Officer

Ministry of Transportation | Corridor Management Section | York Region

159 Sir William Hearst Avenue, 7<sup>th</sup> floor Building D, Downsview, ON M3M 0B7

(416) 235-5559 | [paul.nunes@ontario.ca](mailto:paul.nunes@ontario.ca)



Confidentiality Warning: This message and any attachments may contain PRIVILEGED and CONFIDENTIAL INFORMATION and is intended only for the use of the recipient(s). If you are not the intended recipient, you are hereby notified that any review, retransmission, conversion to hard copy, copying, circulation or other use of this message and any attachments is strictly prohibited. If you have received this message in error, please immediately notify the sender by return e-mail, and delete this message and any attachments from your system. Thank you.



**COMMENTS:**

☐

We have reviewed the proposed Variance Application and have no comments or objections to its approval.

☒

We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).

☐

We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

**References:**

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

Mr. Stephen Cranley, C.E.T  
Supervisor, Distribution Design, ICI  
**Phone:** 1-877-963-6900 ext. 31297  
**Fax:** 905-532-4401  
**E-mail:** [stephen.cranley@alectrautilities.com](mailto:stephen.cranley@alectrautilities.com)

Mr. Tony D'Onofrio  
Supervisor, Subdivisions & New Services  
**Phone:** 1-877-963-6900 ext. 24419  
**Fax:** 905-532-4401  
**Email:** [tony.donofrio@alectrautilities.com](mailto:tony.donofrio@alectrautilities.com)



## Providence, Lenore

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**Subject:** FW: A222/18 - Response to REQUEST FOR COMMENTS (Vaughan - Committee of Adjustment)  
**Attachments:** A222-18 - CIRCULATION.pdf

**From:** Hurst, Gabrielle <Gabrielle.Hurst@york.ca>

**Sent:** January-30-19 3:51 PM

**To:** Providence, Lenore <Lenore.Providence@vaughan.ca>; MacPherson, Adriana <Adriana.MacPherson@vaughan.ca>; Attwala, Pravina <Pravina.Attwala@vaughan.ca>  
**Subject:** FW: A222/18 - Response to REQUEST FOR COMMENTS (Vaughan - Committee of Adjustment)

Good Afternoon Lenore,

The Regional Municipality of York has completed its review of the above Minor Variance application and has **no comment**.

Regards,  
Gabrielle

*Gabrielle Hurst, BAA MCIP.RPP. C.Tech*

Programs and Process Improvement | Planning and Economic Development Branch | Corporate Services

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