

ITEM #: 6.7

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A249/22
25 Rosshaven Crescent Woodbridge**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X		Recommend Approval/No Conditions
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X	X		No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X	X		General Comments
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
None				

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A249/22
25 Rosshaven Cr Woodbridge**

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.7	CITY WARD #: 3
APPLICANT:	Franco & Teresa Gerolin
AGENT:	Harris Ramrup
PROPERTY:	25 Rosshaven Crescent, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Low Density Residential," Volume 2, Section 12.13 Block 40/47
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the construction of a proposed covered patio in the rear yard.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned A, Agricultural and subject to the provisions of Exception 14.1080 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	N/A (See Transition Clause 1.6.2.6)	

The subject lands are zoned RD3 Residential Detached Zone Three, and subject to the provisions of Exception 9(1455) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	A minimum rear yard of 7.5 metres is required to the covered patio. Schedule A3	To permit a minimum rear yard of 4.5 metres to the covered patio.

HEARING INFORMATION

DATE OF MEETING: Thursday, December 8, 2022
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

INTRODUCTION

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 24, 2022	
Date Applicant Confirmed Posting of Sign:	November 24, 2022	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	The column and the roof structure will be encroaching on the rear yard setback because the lot is a shallow lot	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None	
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>		No
Adjournment Fees: <small>In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.</small>		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	None
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

As the proposed shed in the subject property 47.5m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering (DE) Department does not object to the variance application A249/22 subject to the following condition:

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval

PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment.

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	N/A
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	N/A
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	N/A
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

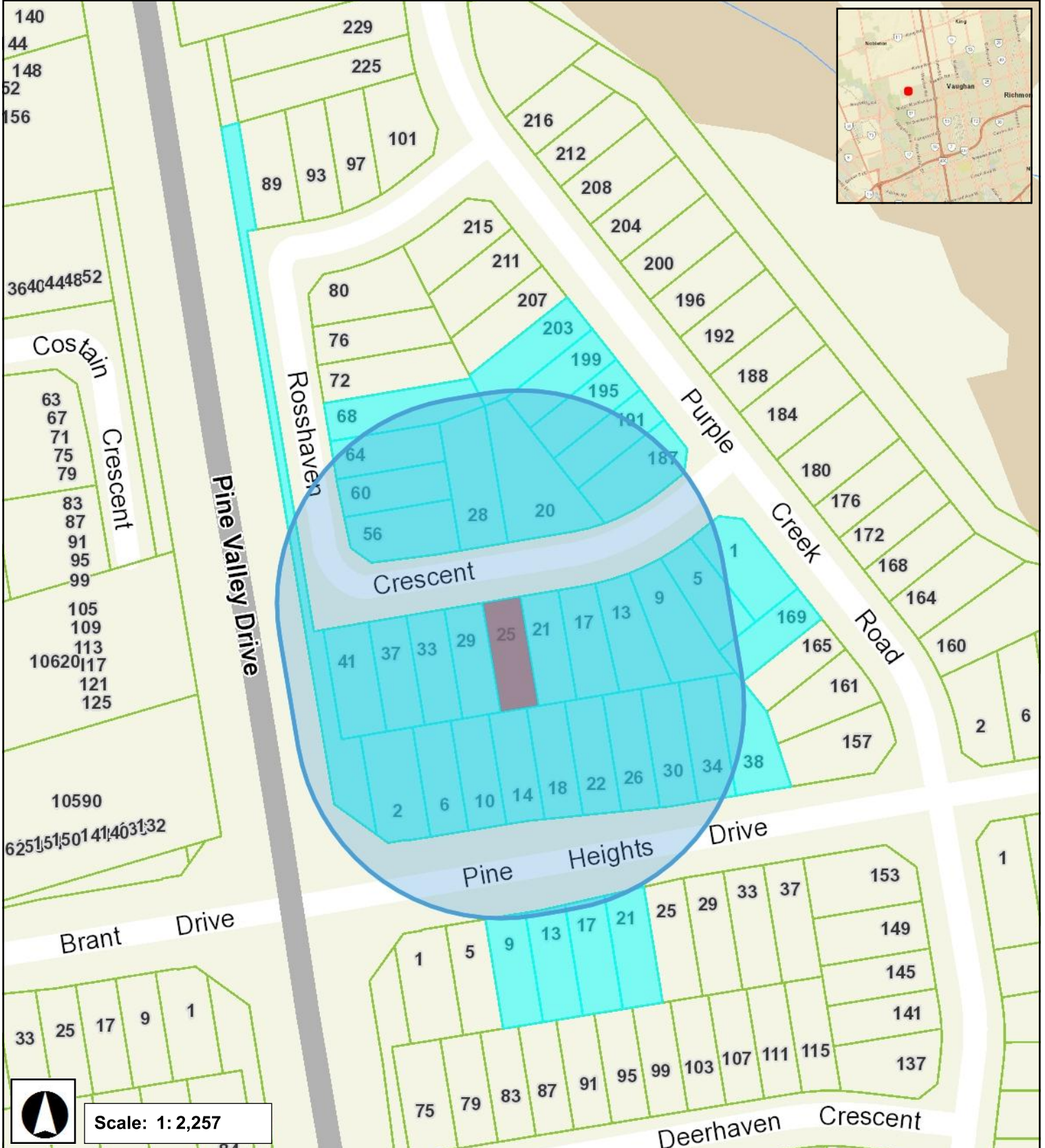
SCHEDULE A: DRAWINGS & PLANS



LOCATION MAP - A249/22

25 ROSSHAVEN CRESCENT, WOODBRIDGE

Teston Road



Scale: 1: 2,257

Major Mackenzie Drive

October 6, 2022 10:07 AM

RECEIVED

By RECEIVED at 4:21 pm, Oct 27, 2022

ROSSHAVEN CRES.

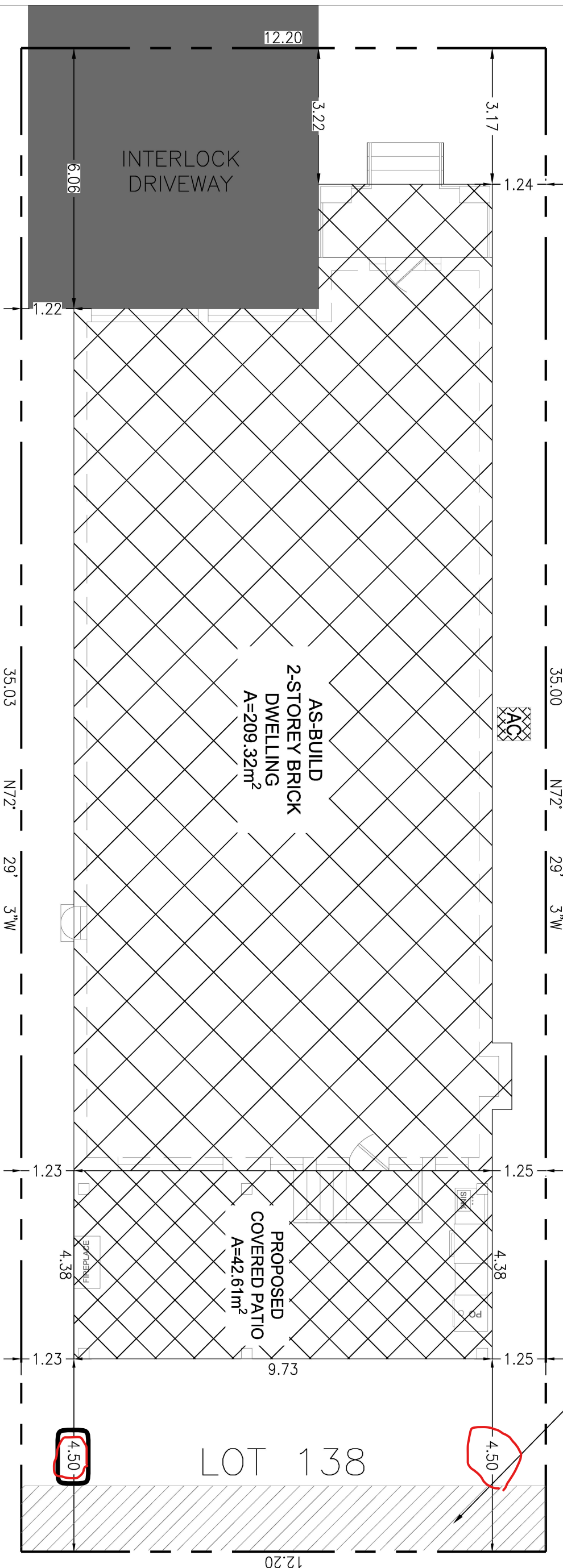
A249/22

PLANS PREPARED BY APPLICANT

SIDEWALK

Plans Received 10/21/22

PLAN of LOTS 136, 137, 138, 139, 140
 PLAN 65M-4646
 Scale 1:100
 CITY OF VAUGHAN
 REGIONAL MUNICIPALITY OF YORK
 25 ROSSHAVEN CRESCENT, VAUGHAN, ONTARIO



SITE PLAN

LOT COVERAGE	EXISTING AREA m ²	ADDITION AREA m ²	%AGE COVERAGE
DWELLING, 2-STORY	209.32		49.02%
GARAGE & PORCH		42.61	9.98%
PROPOSED COVERED PATIO		42.61	9.98%
TOTAL		251.93	59.00%

GROSS COVERAGE AREA=251.93m² LOT AREA=426.98m²

NOTE:
 ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED
 ANY DEVIATION FROM THIS DRAWING WILL RENDER THIS DOCUMENT NULL AND VOID.
 ALL DIMENSION WILL BE SITE CONFIRM

PRINT DATE: Oct 21, 2022

DATE: May 18 2022	SCALE: 1:100	DRAWN BY: FG
JOB NUMBER: A100	DRAWING NUMBER: A100	REV:

No.	DATE	DESCRIPTION	BY

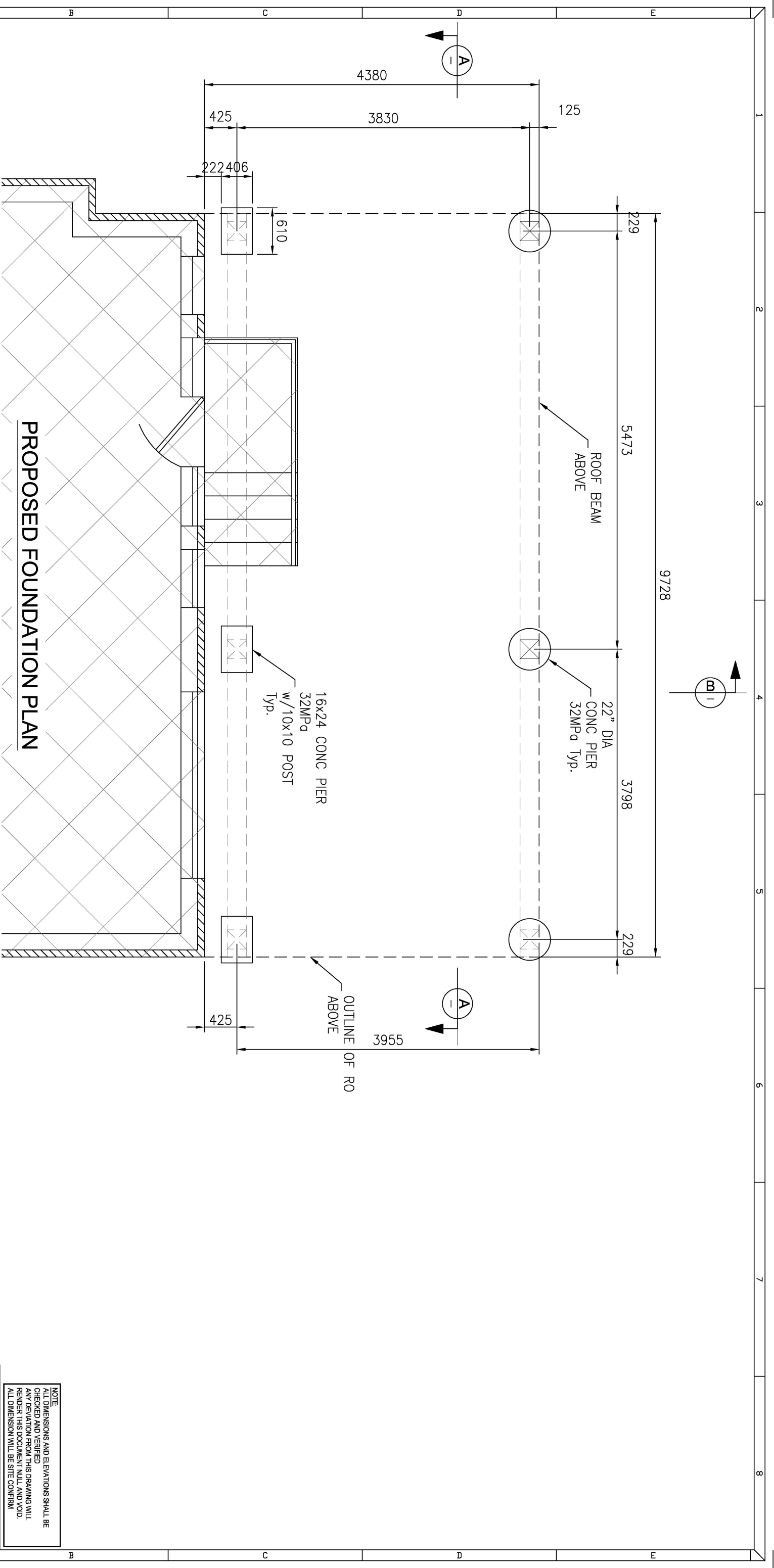
PROJECT NAME:
FRANK GEROLIN
 25 Rosshaven Crescent
 Vaughan, Ontario

DRAWING TITLE:
PROPOSED COVERED PATIO
 SITE PLAN

LOT 139

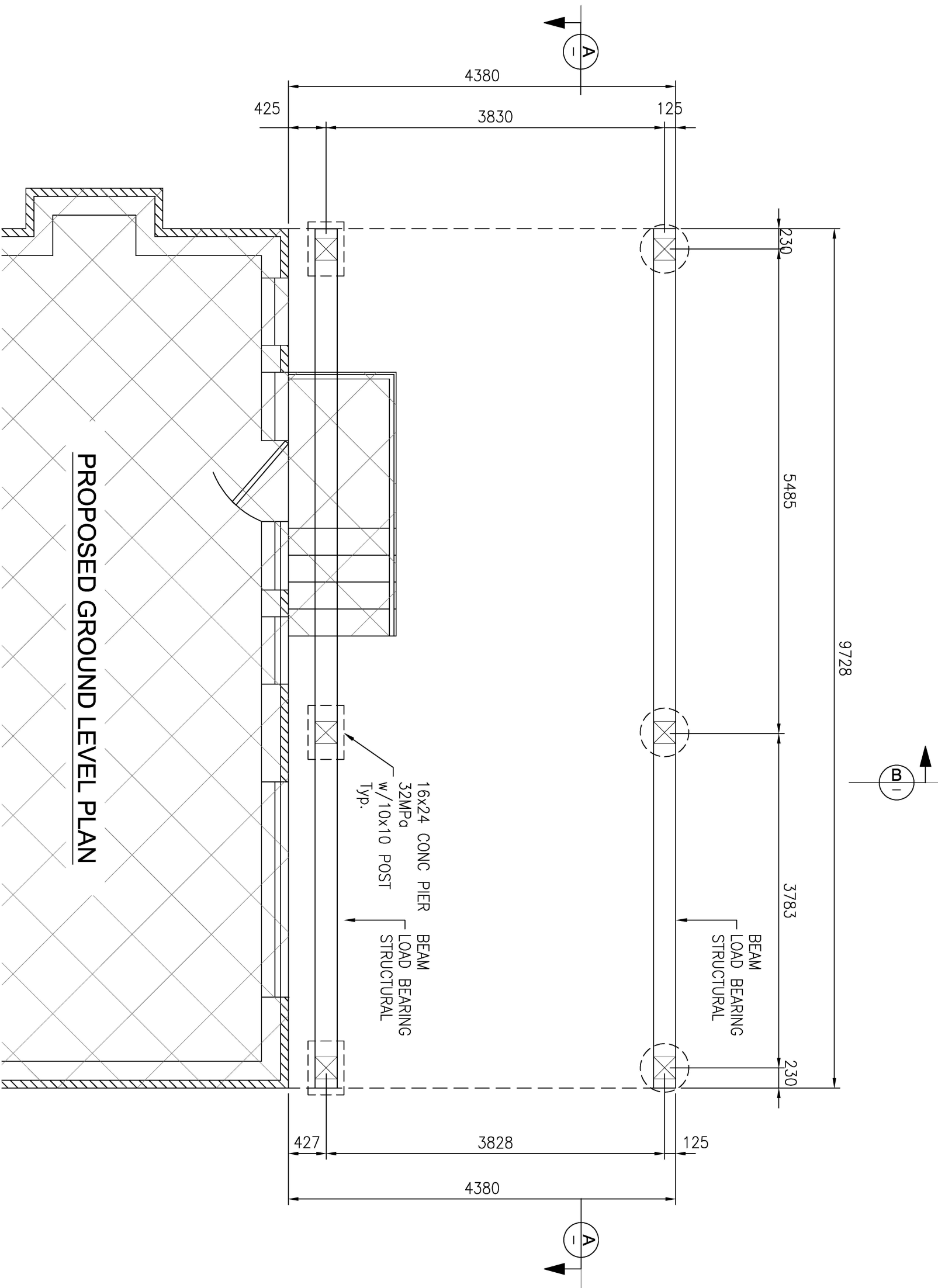
LOT 138

LOT 137



NOTE:
 ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED. ANY DEVIATION FROM THIS DRAWING WILL RENDER THIS DOCUMENT NULL AND VOID. ALL DIMENSIONS WILL BE SITE CONFIRM.

PRINT DATE: Oct 21, 2022	
PROJECT NAME: FRANK GEROLIN 25 Rosshaven Crescent Vaughan, Ontario	
DRAWING TITLE: PROPOSED COVERED PATIO FOUNDATION PLAN	
DATE: May 18 2022	SCALE: 1:50
JOB NUMBER: A101	DRAWING NUMBER: A101
DATE: May 18 2022	SCALE: 1:50
DRAWING NUMBER: A101	DRAWING NUMBER: A101



PROPOSED GROUND LEVEL PLAN

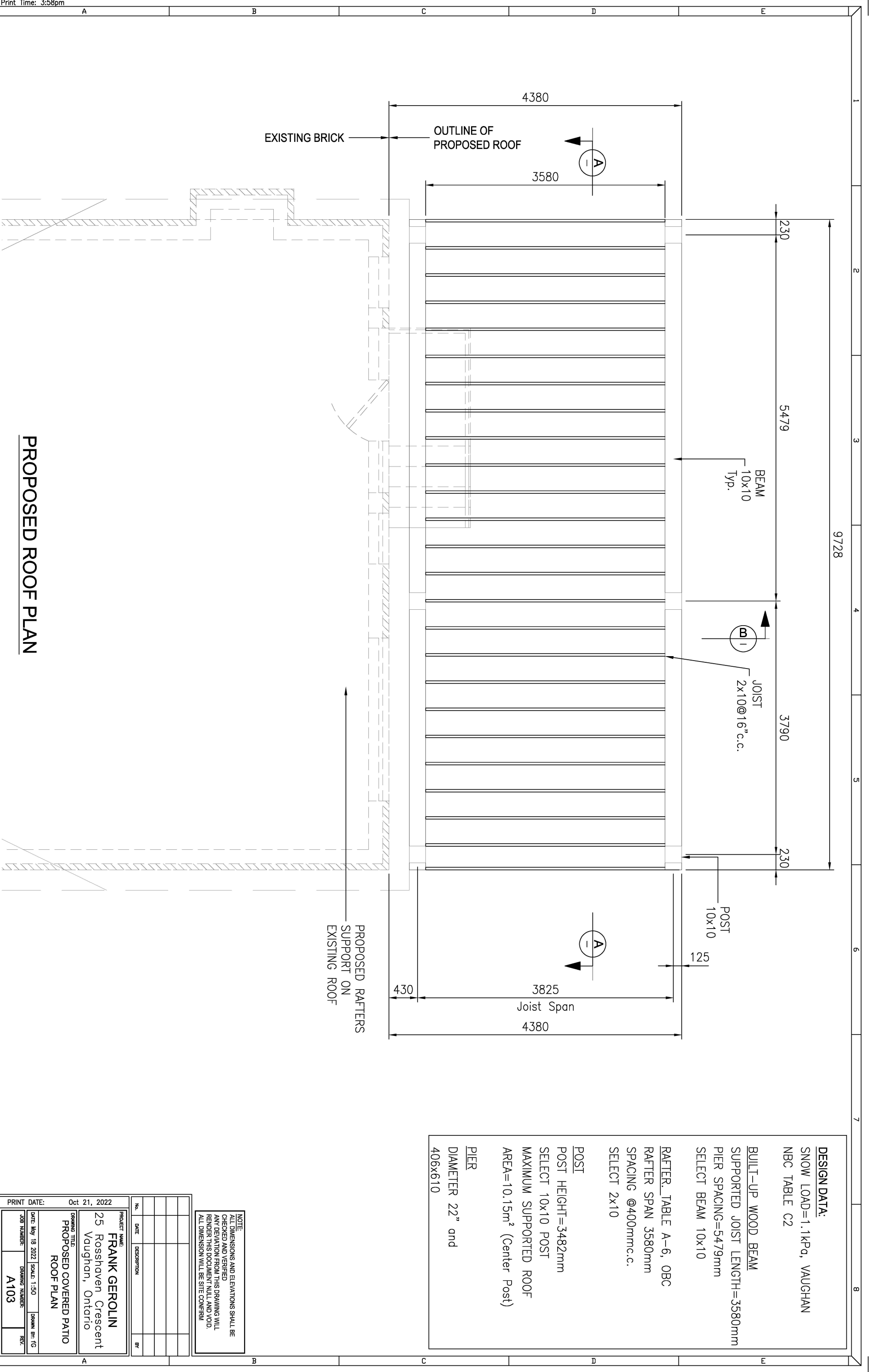
16x24 CONC PIER
32MPa
w/10x10 POST
Typ.

BEAM
LOAD BEARING
STRUCTURAL

BEAM
LOAD BEARING
STRUCTURAL

NOTE:
ALL DIMENSIONS AND ELEVATIONS SHALL BE
CHECKED AND VERIFIED
ANY DEVIATION FROM THIS DRAWING WILL
RENDER THIS DOCUMENT NULL AND VOID.
ALL DIMENSION WILL BE SITE CONFIRM

PRINT DATE: Oct 21, 2022	
PROJECT NAME: FRANK GEROLIN 25 Rosshaven Crescent Vaughan, Ontario	NO. DATE DESCRIPTION BY
DRAWING TITLE: PROPOSED COVERED PATIO GROUND LEVEL PLAN	
DATE: May 18 2022 SCALE: 1:50 DRAWN BY: FG	
JOB NUMBER: A102	REV.



PROPOSED ROOF PLAN

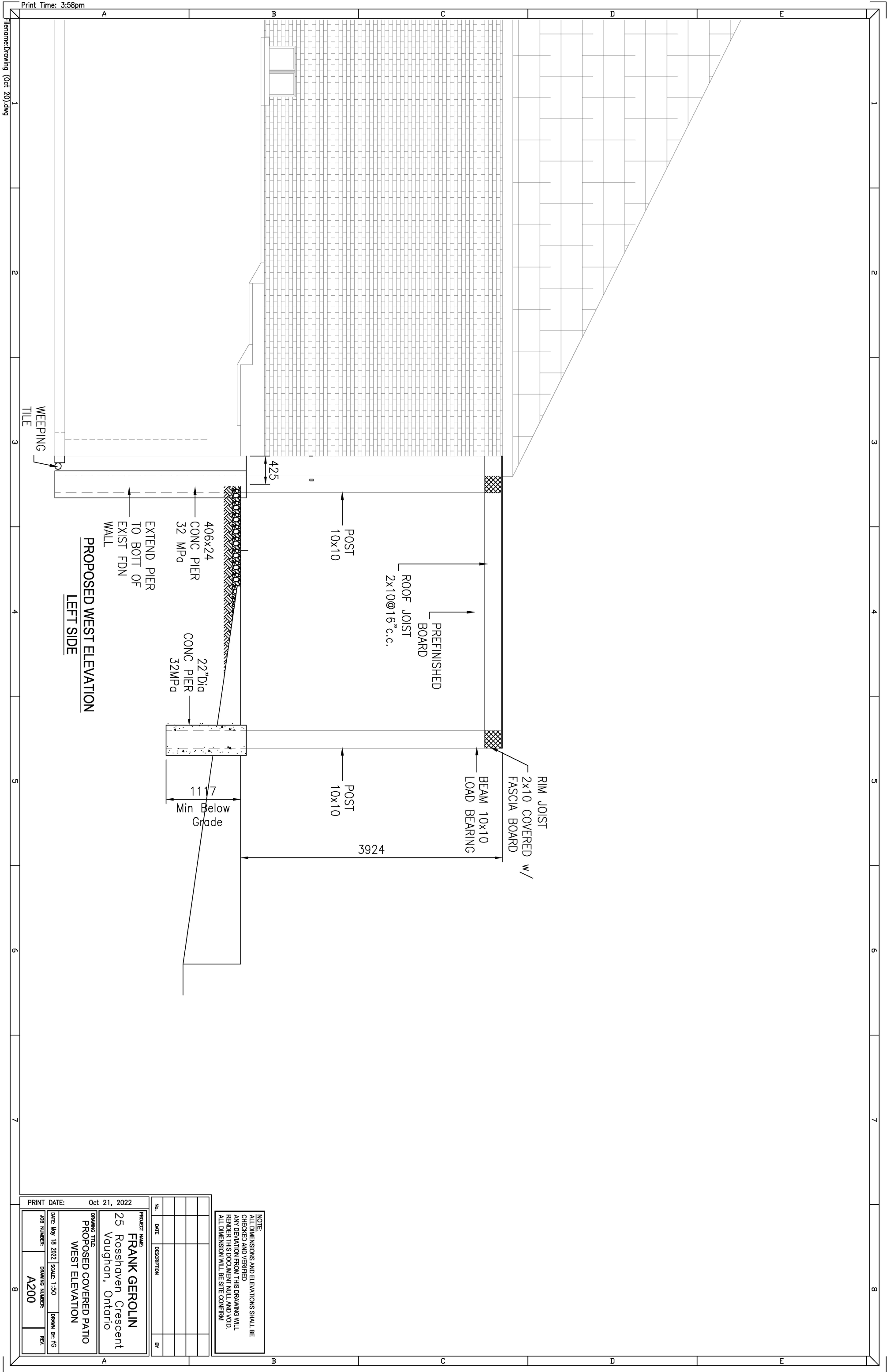
DESIGN DATA:
 SNOW LOAD=1.1kPa, VAUGHAN
 NBC TABLE C2
 BUILT-UP WOOD BEAM
 SUPPORTED JOIST LENGTH=3580mm
 PIER SPACING=5479mm
 SELECT BEAM 10x10
 RAFTER, TABLE A-6, OBC
 RAFTER SPAN 3580mm
 SPACING @400mmc.c.
 SELECT 2x10
 POST
 POST HEIGHT=3482mm
 SELECT 10x10 POST
 MAXIMUM SUPPORTED ROOF
 AREA=10.15m² (Center Post)
 PIER
 DIAMETER 22" and
 406x610

NOTE:
 ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED
 ANY DEVIATION FROM THIS DRAWING WILL RENDER THIS DOCUMENT NULL AND VOID.
 ALL DIMENSION WILL BE SITE CONFIRM

PRINT DATE: Oct 21, 2022	
DATE: May 18 2022	SCALE: 1:50
JOB NUMBER: A103	DRAWING NUMBER: A103
DATE: May 18 2022	SCALE: 1:50
JOB NUMBER: A103	DRAWING NUMBER: A103

PRODUCT NAME:
FRANK GEROLIN
 25 Rosshaven Crescent
 Vaughan, Ontario

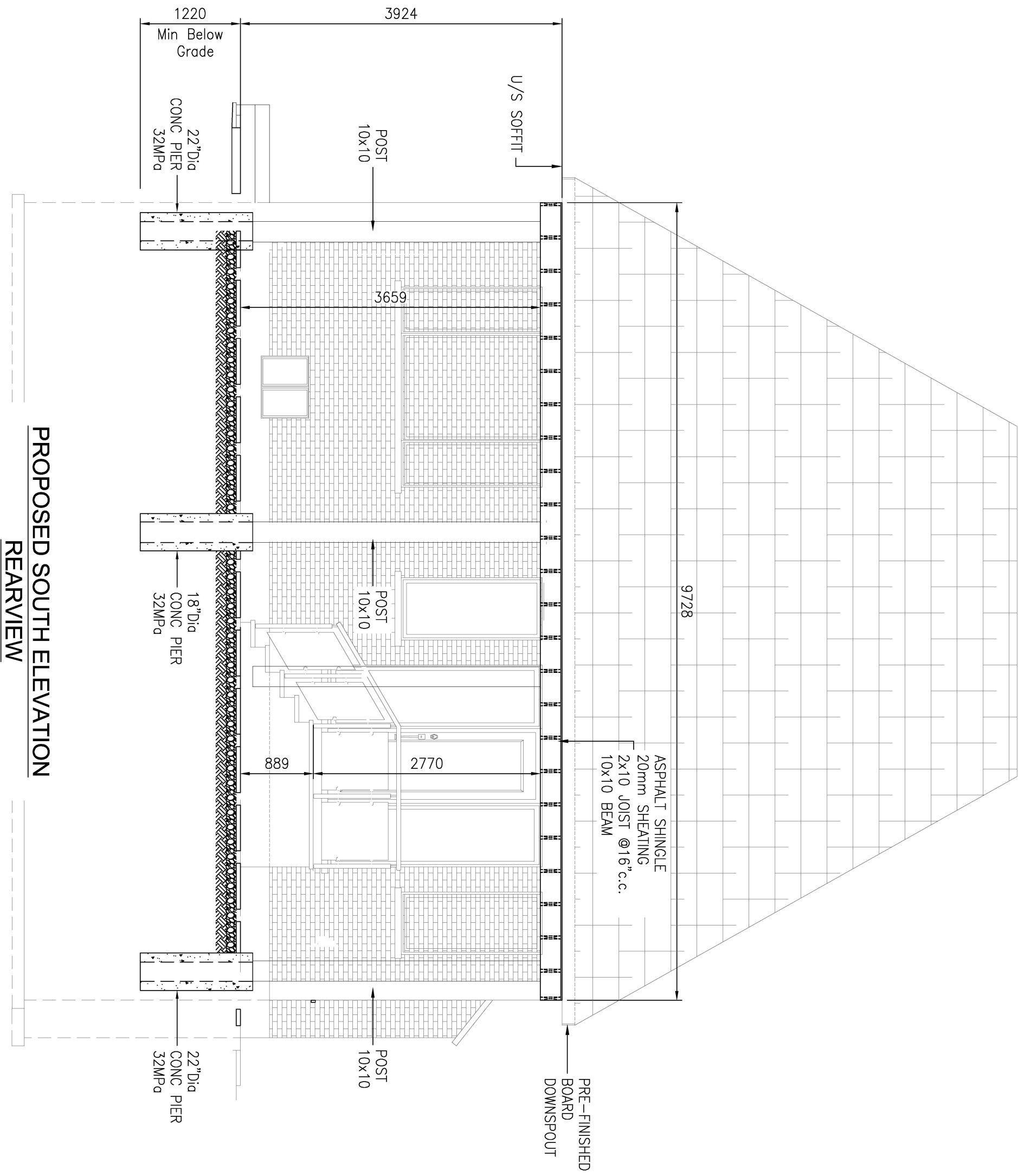
DRAWING TITLE:
 PROPOSED COVERED PATIO
 ROOF PLAN



**PROPOSED WEST ELEVATION
LEFT SIDE**

NOTE:
ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED. ANY DEVIATION FROM THIS DRAWING WILL RENDER THIS DOCUMENT NULL AND VOID. ALL DIMENSION WILL BE SITE CONFIRM.

PRINT DATE: Oct 21, 2022	
PROJECT NAME: FRANK GEROLIN	
25 Rosshaven Crescent Vaughan, Ontario	
DRAWING TITLE: PROPOSED COVERED PATIO WEST ELEVATION	
DATE: May 18 2022	SCALE: 1:50
JOB NUMBER: A200	DRAWING NUMBER: A200
DATE: May 18 2022	SCALE: 1:50
JOB NUMBER: A200	DRAWING NUMBER: A200



**PROPOSED SOUTH ELEVATION
REARVIEW**

NOTE:
ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED. ANY DEVIATION FROM THIS DRAWING WILL RENDER THIS DOCUMENT NULL AND VOID. ALL DIMENSION WILL BE SITE CONFIRM.

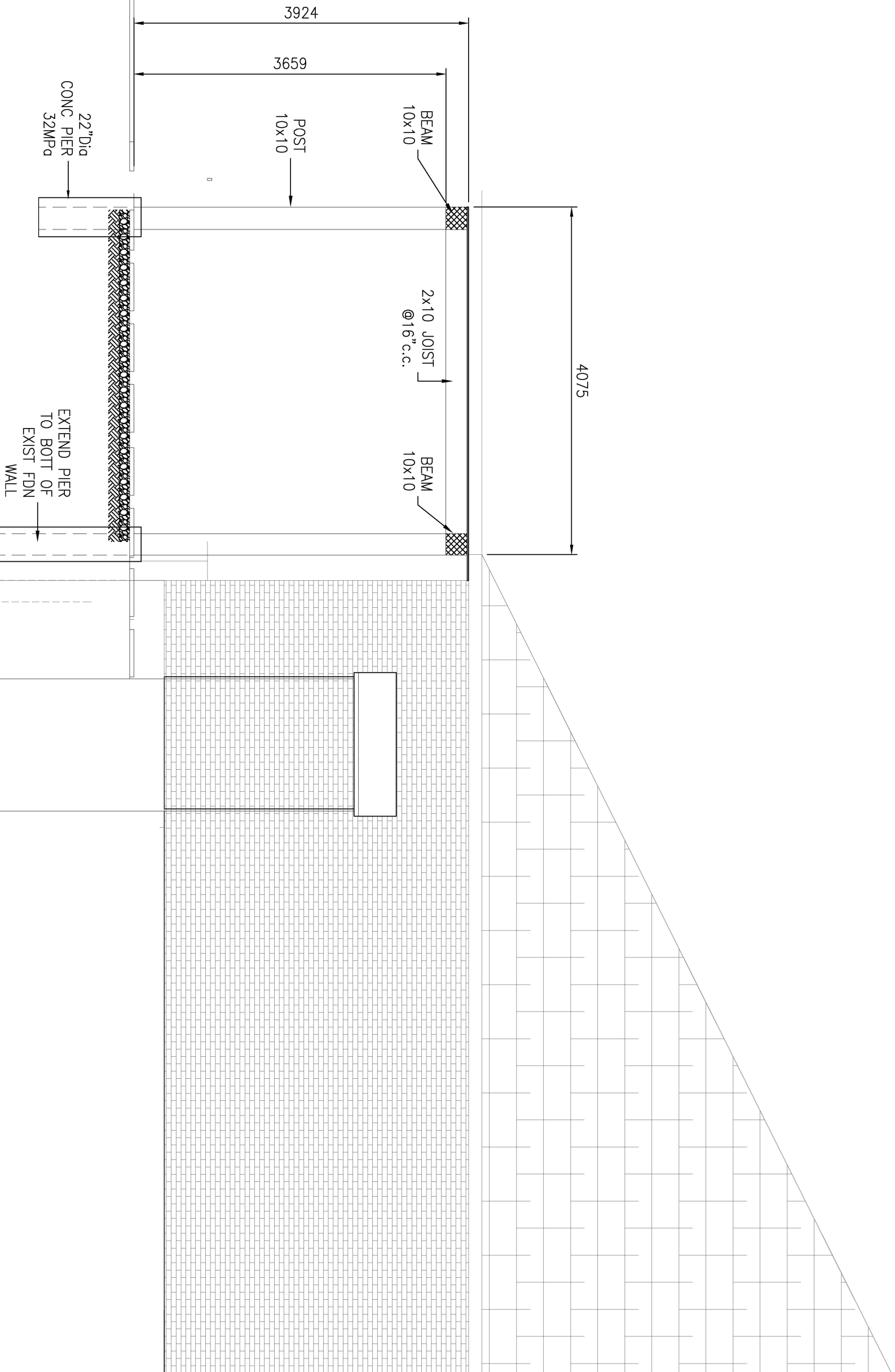
No.	DATE	DESCRIPTION	BY

PROJECT NAME:
FRANK GEROLIN
25 Rosshaven Crescent
Vaughan, Ontario

DRAWING TITLE:
**PROPOSED COVERED PATIO
SOUTH ELEVATION**

PRINT DATE: Oct 21, 2022	
DATE: May 18 2022	SCALE: 1:50
JOB NUMBER: A201	DRAWING NUMBER: A201
	DRAWN BY: FC
	REV.:

PROPOSED EAST ELEVATION RIGHT SIDE



NOTE:
ALL DIMENSIONS AND ELEVATIONS SHALL BE CHECKED AND VERIFIED. ANY DEVIATION FROM THIS DRAWING WILL RENDER THIS DOCUMENT NULL AND VOID. ALL DIMENSION WILL BE SITE CONFIRM.

PRINT DATE: Oct 21, 2022	
DATE: May 18 2022	SCALE: 1:50
JOB NUMBER: A202	DRAWING NUMBER: A202
DATE: May 18 2022	SCALE: 1:50
JOB NUMBER: A202	DRAWING NUMBER: A202

PRODUCT NAME:
FRANK GEROLIN
25 Rosshaven Crescent
Vaughan, Ontario

DRAWING TITLE:
PROPOSED COVERED PATIO
EAST ELEVATION

No.	DATE	DESCRIPTION	BY

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X	X		General Comments
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X	X		General Comments
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X	X		Recommend Approval/no conditions
Building Standards (Zoning)	X	X		General Comments

Date: September 22nd , 2022

Attention: **Christine Vigneault**

RE: Request for Comments

File No.: **A249-22**

Related Files:

Applicant Harris Ramrup

Location 25 Rosshaven Crescent



Discover the possibilities

COMMENTS:

- We have reviewed the proposed Variance Application and have no comments or objections to its approval.
- We have reviewed the proposed Variance Application and have no objections to its approval, subject to the following comments (attached below).
- We have reviewed the proposed Variance Application and have the following concerns (attached below).

Alectra Utilities (formerly PowerStream) has received and reviewed the proposed Variance Application. This review, however, does not imply any approval of the project or plan.

All proposed billboards, signs, and other structures associated with the project or plan must maintain minimum clearances to the existing overhead or underground electrical distribution system as specified by the applicable standards, codes and acts referenced.

In the event that construction commences, and the clearance between any component of the work/structure and the adjacent existing overhead and underground electrical distribution system violates the Occupational Health and Safety Act, the customer will be responsible for 100% of the costs associated with Alectra making the work area safe. All construction work will be required to stop until the safe limits of approach can be established.

In the event construction is completed, and the clearance between the constructed structure and the adjacent existing overhead and underground electrical distribution system violates the any of applicable standards, acts or codes referenced, the customer will be responsible for 100% of Alectra's cost for any relocation work.

References:

- Ontario Electrical Safety Code, latest edition (Clearance of Conductors from Buildings)
- Ontario Health and Safety Act, latest edition (Construction Protection)
- Ontario Building Code, latest edition (Clearance to Buildings)
- PowerStream (Construction Standard 03-1, 03-4), attached
- Canadian Standards Association, latest edition (Basic Clearances)

If more information is required, please contact either of the following:

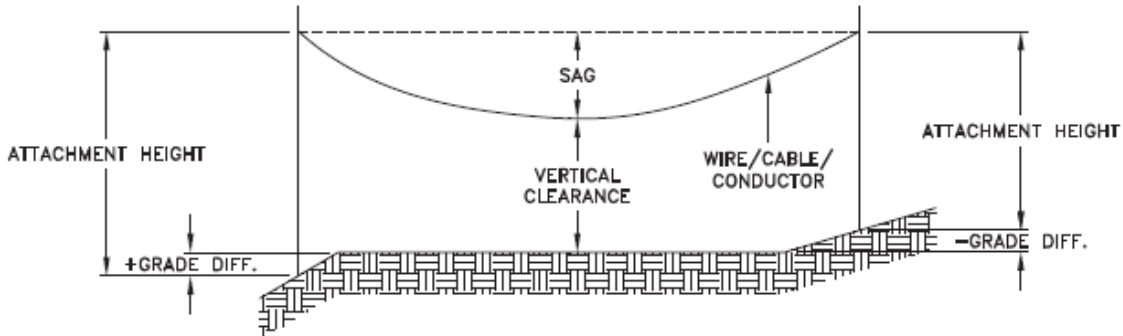
Mr. Stephen Cranley, C.E.T
Supervisor, Distribution Design, ICI & Layouts (North)
Phone: 1-877-963-6900 ext. 31297

E-mail: stephen.cranley@alectrautilities.com

Mitchell Penner
Supervisor, Distribution Design-Subdivisions
Phone: 416-302-6215

Email: Mitchell.Penner@alectrautilities.com

LOCATION OF WIRES, CABLES OR CONDUCTORS	SYSTEM VOLTAGE			
	SPAN GUYS AND COMMUNICATIONS WIRES	UP TO 600V AND NEUTRAL	4.16/2.4kV TO 27.6/16kV (SEE NOTE 1)	44kV
MINIMUM VERTICAL CLEARANCES (SEE NOTE 2)				
OVER OR ALONGSIDE ROADS, DRIVEWAYS OR LANDS ACCESSIBLE TO <u>VEHICLES</u>	442cm	442cm	480cm	520cm
OVER GROUND ACCESSIBLE TO <u>PEDESTRIANS AND BICYCLES ONLY</u>	250cm	310cm	340cm	370cm
ABOVE TOP OF RAIL AT <u>RAILWAY CROSSINGS</u>	730cm	730cm	760cm	810cm



MINIMUM ATTACHMENT HEIGHT = MAXIMUM SAG
 + MINIMUM VERTICAL CLEARANCE (FROM ABOVE TABLE)
 ± GRADE DIFFERENCE
 + 0.3m (VEHICLE OR RAILWAY LOCATION)
 + SNOW DEPTH (PEDESTRIAN LOCATION, SEE NOTE 3)

NOTES:

1. THE MULTIGROUNDED SYSTEM NEUTRAL HAS THE SAME CLEARANCE AS THE 600V SYSTEM.
2. THE VERTICAL CLEARANCES IN THE ABOVE TABLE ARE UNDER MAXIMUM SAG CONDITIONS.
3. REFER TO CSA STANDARD C22.3 No.1, ANNEX D FOR LOCAL SNOW DEPTH VALUES.
4. ALL CLEARANCES ARE IN ACCORDANCE TO CSA STANDARD C22.3.

CONVERSION TABLE

METRIC	IMPERIAL (APPROX)
810cm	27'-0"
760cm	25'-4"
730cm	24'-4"
520cm	17'-4"
480cm	16'-0"
442cm	15'-5"
370cm	12'-4"
340cm	11'-4"
310cm	10'-4"
250cm	8'-4"

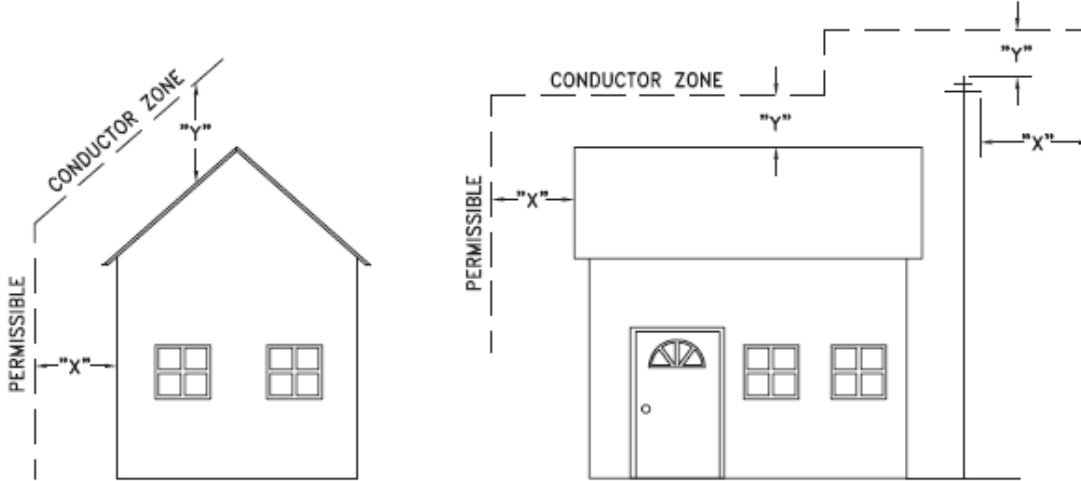
REFERENCES

SAGS AND TENSIONS | SECTION 02

MINIMUM VERTICAL CLEARANCES OF WIRES, CABLES AND CONDUCTORS ABOVE GROUND OR RAILS

ORIGINAL ISSUE DATE: 2010-DEC-24 REVISION NO: R1 REVISION DATE: 2012-JAN-09

Certificate of Approval	
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04	
Joe Crozier, P.Eng.	2012-JAN-09
Name	Date
P.Eng. Approval By:	Joe Crozier



VOLTAGE	MINIMUM HORIZONTAL CLEARNACE UNDER MAXIMUM SWING CONDITIONS DIMENSION "X" (SEE NOTES 1, 3 & 4)	MINIMUM VERTICAL CLEARANCE UNDER MAXIMUM DESIGN SAG CONDITIONS DIMENSION "Y" (SEE NOTES 1, 2, 4 & 5)
0-600V AND NEUTRAL	100cm	250cm
4.16/2.4 TO 44kV	300cm	480cm

NOTES

1. UNDER NO CIRCUMSTANCES SHALL A CONDUCTOR BE PERMITTED TO PENETRATE THE ENVELOPE SHOWN BY THE DOTTED LINE.
2. THE VERTICAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM DESIGN SAG.
3. THE HORIZONTAL CLEARANCES ARE UNDER CONDITIONS OF MAXIMUM SWING. WHERE THE CONDUCTOR SWING IS NOT KNOWN A HORIZONTAL CLEARANCE OF 480CM SHALL BE USED.
4. BUILDINGS THAT EXCEED 3 STOREYS OR 15M IN HEIGHT, THE MINIMUM HORIZONTAL CLEARANCE OF THE SECONDARY CONDUCTORS SHOULD BE INCREASED TO 300cm WHERE IT IS NECESSARY TO ALLOW FOR THE RAISING OF LADDERS BY LOCAL FIRE DEPARTMENTS.
5. IN SITUATIONS SUCH AS MULTI-LEVEL GARAGES, WHERE ROOFS ARE NORMALLY USED BY PERSONS AND VEHICLES, THE VERTICAL CLEARANCES OF POWERSTREAM STANDARD 03-1 SHALL APPLY.
6. DISTRIBUTION LINES CONSTRUCTED NEAR BUILDINGS SHALL BE BUILT TO AVOID OVERHANG WHEREVER POSSIBLE. WHERE LINES MUST BE CONSTRUCTED OVER OR ADJACENT TO BUILDINGS THE APPLICABLE HORIZONTAL AND VERTICAL CLEARANCES SHALL BE AT CONDITIONS OF MAXIMUM CONDUCTOR SWING AND MAXIMUM SAG. THE ABOVE CLEARANCES ARE DESIGNED TO PREVENT PERSONS ON OR IN BUILDINGS AS WELL AS EXTERNAL MACHINERY USED IN CONJUNCTION WITH A BUILDING TO COME IN CONTACT WITH CONDUCTORS. EFFORTS SHOULD BE MADE TO INCREASE THESE CLEARANCES WHERE POSSIBLE.
7. ALL CLEARANCES ARE IN ACCORDANCE TO CSA C22.3 NO.1-06 (TABLE-9).

METRIC	IMPERIAL (APPROX)
480cm	16'-0"
300cm	10'-0"
250cm	8'-4"
100cm	3'-4"

MINIMUM VERTICAL & HORIZONTAL CLEARANCES OF CONDUCTORS FROM BUILDINGS OR OTHER PERMANENT STRUCTURES (CONDUCTORS NOT ATTACHED TO BUILDINGS)

Certificate of Approval
This construction Standard meets the safety requirements of Section 4 of Regulation 22/04
Debbie Dadwani, P.Eng. 2010-MAY-05
Name Date
P. Eng. Approval By: *D. Dadwani*

ORIGINAL ISSUE DATE: 2010-MAY-05 REVISION NO: REVISION DATE:
PS:\System Planning and Standards\Standard Design\PowerStream Standards\PowerStream Standards working files\Section 3-1-02\WG 03-4 R0 May 5, 2010.dwg, 5/5/2010 10:22:02 AM, Adobe PDF

To: Committee of Adjustment
From: Pia Basilone, Building Standards Department
Date: October 26, 2022
Applicant: Franco & Teresa Gerolin
Location: PLAN 65M4647 Lot 138 municipally known as 25 Rosshaven Crescent
File No.(s): A249/22

Zoning Classification:

The subject lands are zoned A, Agricultural and subject to the provisions of Exception 14.1080 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	N/A (See Transition Clause 1.6.2.6)	

The subject lands are zoned RD3 Residential Detached Zone Three, and subject to the provisions of Exception 9(1455) under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	A minimum rear yard of 7.5 metres is required to the covered patio. Schedule A3	To permit a minimum rear yard of 4.5 metres to the covered patio.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file.

Building Permit(s) Issued:

Building Permit No. 22-123804 for Single Detached Dwelling – Alteration (Not Yet Issued).

Conditions of Approval:

None

* Comments are based on the review of documentation supplied with this application.

Pravina Attwala

Subject: FW: [External] RE: A249/22 (25 ROSSHAVEN CRESCENT) - REQUEST FOR COMMENTS

From: Blaney, Cameron (MTO) <Cameron.Blaney@ontario.ca>

Sent: September-15-22 2:45 PM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>

Cc: Mulrenin, Colin (MTO) <Colin.Mulrenin@ontario.ca>

Subject: [External] RE: A249/22 (25 ROSSHAVEN CRESCENT) - REQUEST FOR COMMENTS

Hello Pravina,

25 Rosshaven Crecent is outside of MTO permit control area and does not require MTO permits or review.

Cameron Blaney | Corridor Management Planner | Simcoe & York

Highway Corridor Management Section – Central Operations

159 Sir William Hearst Avenue | Ministry of Transportation

7th Floor, Building D | Downsview, Ontario | M3M 0B7

416-358-7871

Cameron.Blaney@ontario.ca

To: Christine Vigneault, Committee of Adjustment Secretary Treasurer
From: Nancy Tuckett, Director of Development Planning
Date: December 1, 2022
Name of Owners: Franco Gerolin & Teresa Catenaro-Gerolin
Location: 25 Rosshaven Crescent
File No.(s): A249/22

Proposed Variance(s) (By-law 1-88):

1. To permit a minimum rear yard of 4.5 metres to the covered patio.

By-Law Requirement(s) (By-law 1-88):

1. A minimum rear yard of 7.5 metres is required to the covered patio.

Official Plan:

City of Vaughan Official Plan 2010 ('VOP 2010'): "Low Density Residential," Volume 2, Section 12.13 Block 40/47

Comments:

The Owners are requesting relief to permit the construction of a proposed covered patio with the above noted variance.

The Development Planning Department has no objection to the proposed variance for the covered patio as the structure has no walls and will not have adverse impacts to the neighbouring properties. The patio projects less than halfway into the rear yard, leaving sufficient area for landscaped amenity and outdoor recreational space while providing adequate setback to the abutting rear yards to the south.

Accordingly, the Development Planning Department can support the requested variance and is of the opinion that the proposal is minor in nature, maintains the general intent and purpose of the Official Plan and Zoning By-law, and is desirable for the appropriate development of the land.

Recommendation:

The Development Planning Department recommends approval of the application.

Conditions of Approval:

If the Committee finds merit in the application, the following conditions of approval are recommended:

None

Comments Prepared by:

Joshua Cipolletta, Planner I
David Harding, Senior Planner

Pravina Attwala

Subject: FW: [External] RE: A249/22 (25 ROSSHAVEN CRESCENT) - REQUEST FOR COMMENTS

From: Development Services <developmentsservices@york.ca>

Sent: September-26-22 10:43 AM

To: Pravina Attwala <Pravina.Attwala@vaughan.ca>; Committee of Adjustment <CofA@vaughan.ca>

Subject: [External] RE: A249/22 (25 ROSSHAVEN CRESCENT) - REQUEST FOR COMMENTS

Hi Pravina,

The Regional Municipality of York has completed its review of the above minor variance (A249/22) and has no comment.

Thank you,
Niranjan

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

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SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

None