

ITEM #: 6.22

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A300/22
311 Bowes Road, Concord**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X	X		Application Under Review
Development Engineering	X			Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X			No Comments or Concerns
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X			No Comments Recieved to Date
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A300/22
311 Bowes Road, Concord**

FILE MANAGER: Pravina Attwala, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER:	CITY WARD #: 4
APPLICANT:	Bowes Road Industrial LP
AGENT:	Somerville Consulting & Project Management
PROPERTY:	311 Bowes Rd Concord ON L4K 1J1
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "General Employment"
RELATED DEVELOPMENT APPLICATIONS:	19CDM-22V004
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit the conversion of a rental property into a condominium and to facilitate Plan of Condominium application 19CDM-22V004.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned EM2 and subject to the provisions of Exception 14.87 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum landscape strip width of 3.0 metres along a lot line which abuts a street line (Bowes Road) is required. [Section 11.2.2]	To permit a minimum landscape strip width of 1.5 metres along a lot line which abuts a street line (Bowes Road).
2	A minimum landscape strip width of 3.0 metres along a lot line which abuts a street line (Rivermede Road) is required. [Section 11.2.2]	To permit a minimum landscape strip width of 0.0 metres along a lot line which abuts a street line (Rivermede Road).
3	A minimum of 5% of landscape open space is required. [Section 11.2.2]	To permit a minimum of 4.0% of landscape open space.

The subject lands are zoned EM2 and subject to the provisions of Exception 9(185) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
4	A minimum landscape strip width of 3.0 metres along a lot line which abuts a street line (Bowes Road) is required. [Section 6.1.6]	To permit a minimum landscape strip width of 1.5 metres along a lot line which abuts a street line (Bowes Road).
5	A minimum landscape strip width of 3.0 metres along a lot line which abuts a street line (Rivermede Road) is required. [Section 6.1.6]	To permit a minimum landscape strip width of 0.0 metres along a lot line which abuts a street line (Rivermede Road).
6	A minimum of 5% of landscape open space is required. [Section 6.1.6]	To permit a minimum of 4.0% of landscape open space.

HEARING INFORMATION

DATE OF MEETING: Thursday, December 8, 2022

TIME: 6:00 p.m.

MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan

LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca

If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 24, 2022
Date Applicant Confirmed Posting of Sign:	November 24, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	This property was developed and constructed in 1975 prior to the enactment of the current zoning by-laws. It is not feasible to physical alter the existing property to accommodate these variances without affecting existing park areas, drive aisles etc which would require additional variances.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	Application under review.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

The Development Engineering (DE) Department does not object to the variance application A300/22.

Development Engineering Recommended Conditions of Approval:	None
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

Forestry: Forestry has no comment at this time. Any development on the subject site will be circulated to forestry from development planning

PFH Recommended Conditions of Approval:	None
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	N/A
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	N/A
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	N/A
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
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SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

1	Development Planning roberto.simbana@vaughan.ca	Application under review.
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IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

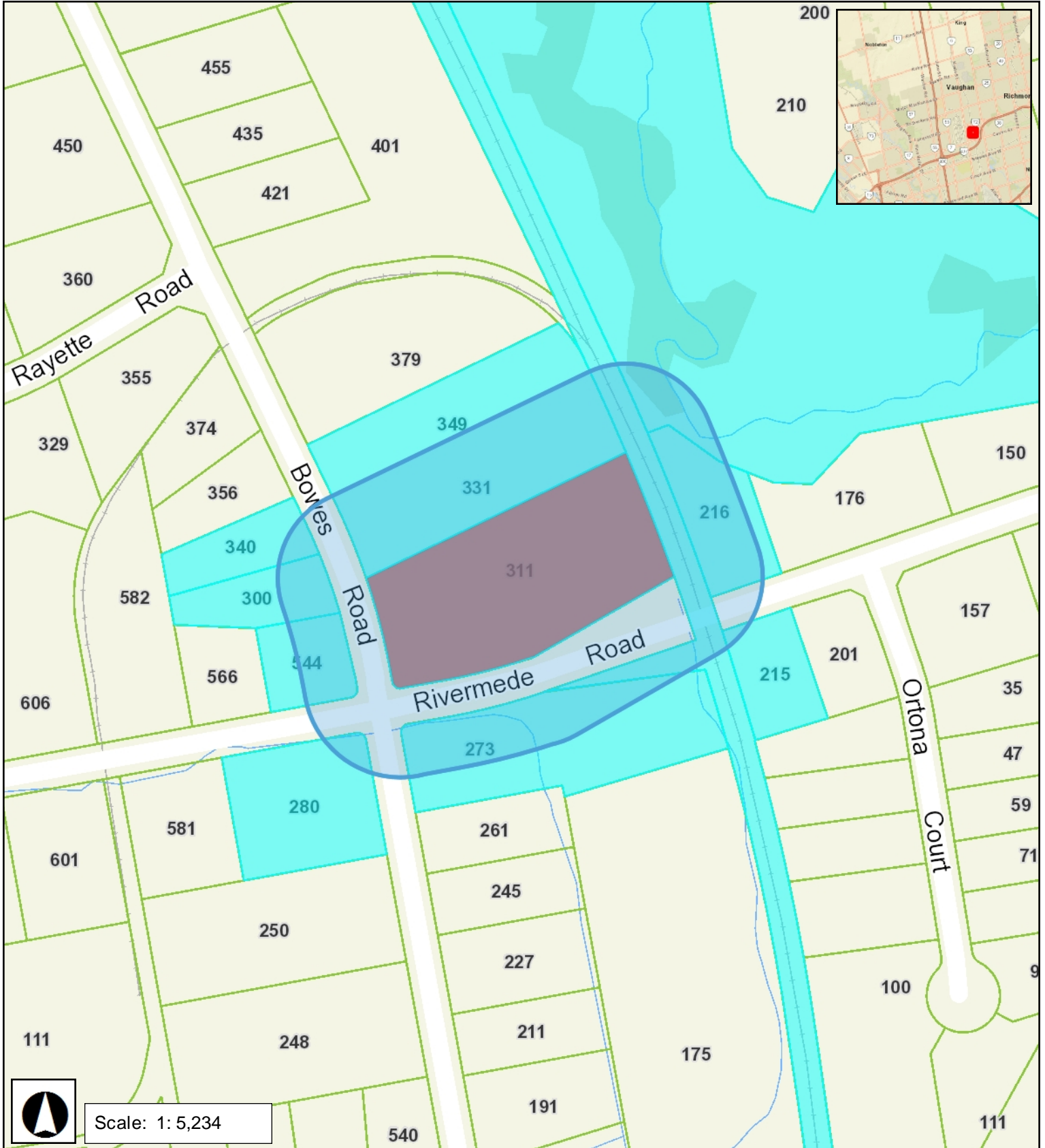
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

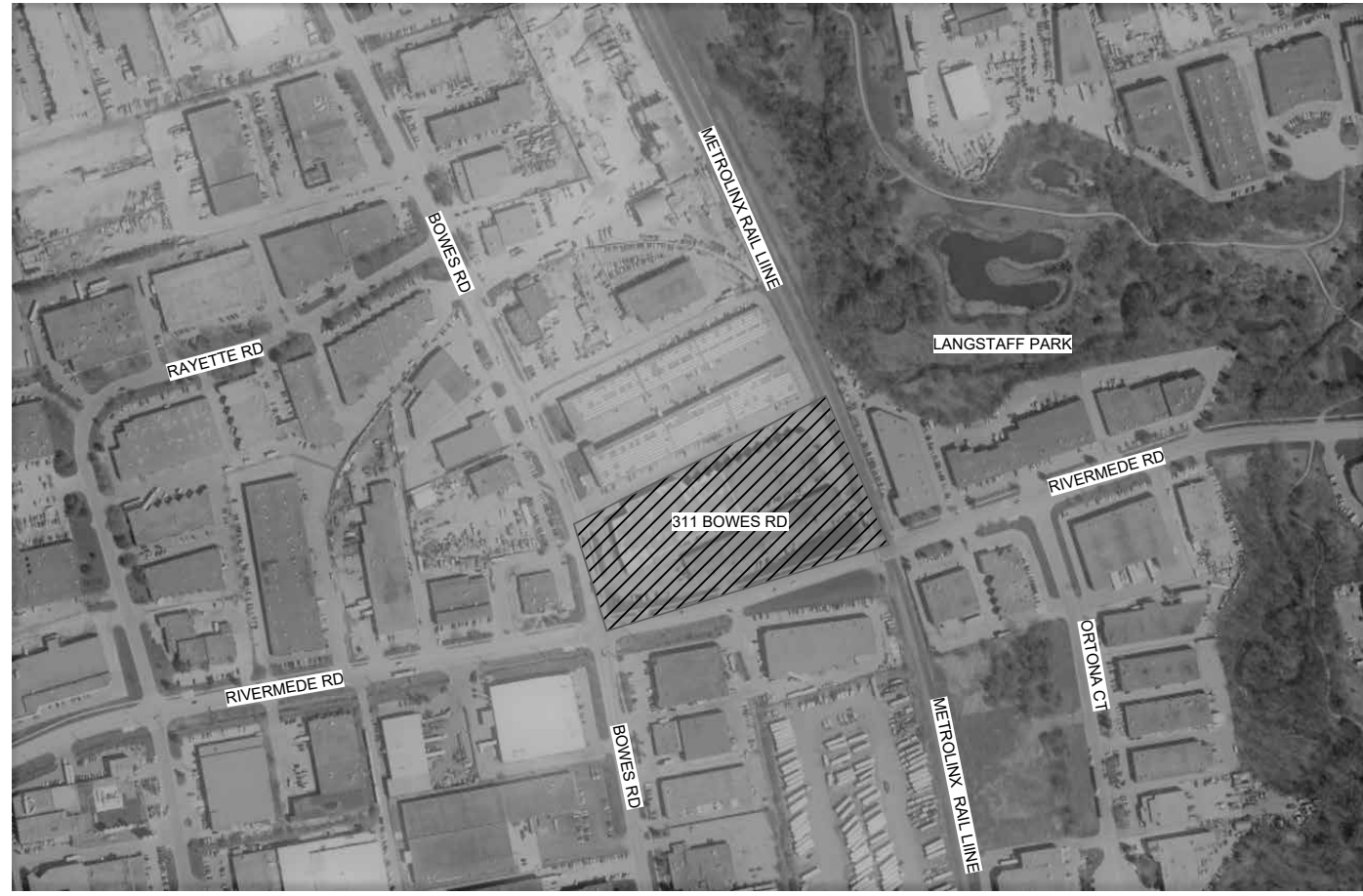
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



KEELE STREET



2 Key Plan
1 : 1250

LOADING REQUIRED	
REQUIRED SPACES	PROVIDED SPACES
(1) TYPE A LOADING	(1) TYPE A LOADING
(3) TYPE B LOADING	(13) TYPE B LOADING

#	Variance Requested
Zoning By-law 01-2021	
1	To permit a minimum landscape strip width of 1.5 meters along a lot line which abuts a street line (Bowes Road).
2	To permit a minimum landscape strip width of 0.0 meters along a lot line which abuts a street line (Rivermede Road).
3	To permit a minimum of 4.0% of landscape open space.
Zoning By-law 1-88	
4	To permit a minimum landscape strip width of 1.5 meters along a lot line which abuts a street line (Bowes Road).
5	To permit a minimum landscape strip width of 0.0 meters along a lot line which abuts a street line (Rivermede Road).
6	To permit a minimum of 4.0% of landscape open space.

VEHICLE PARKING	
REQUIRED SPACES	PROVIDED SPACES
2 PARKING SPACES PER 100 m ²	
EXISTING BUILDING N1: = 2 x (7839.4 m ² / 100 m ²) = 157 SPACES	STANDARD PARKING = 104 SPACES
EXISTING BUILDING 2: = 2 x (2504.58 m ² / 100 m ²) = 50 SPACES	ANGLED PARKING = 31 SPACES PARALLEL PARKING = 3 SPACES
TOTAL: = 157+50 = 207 SPACES	TOTAL: = 138 SPACES

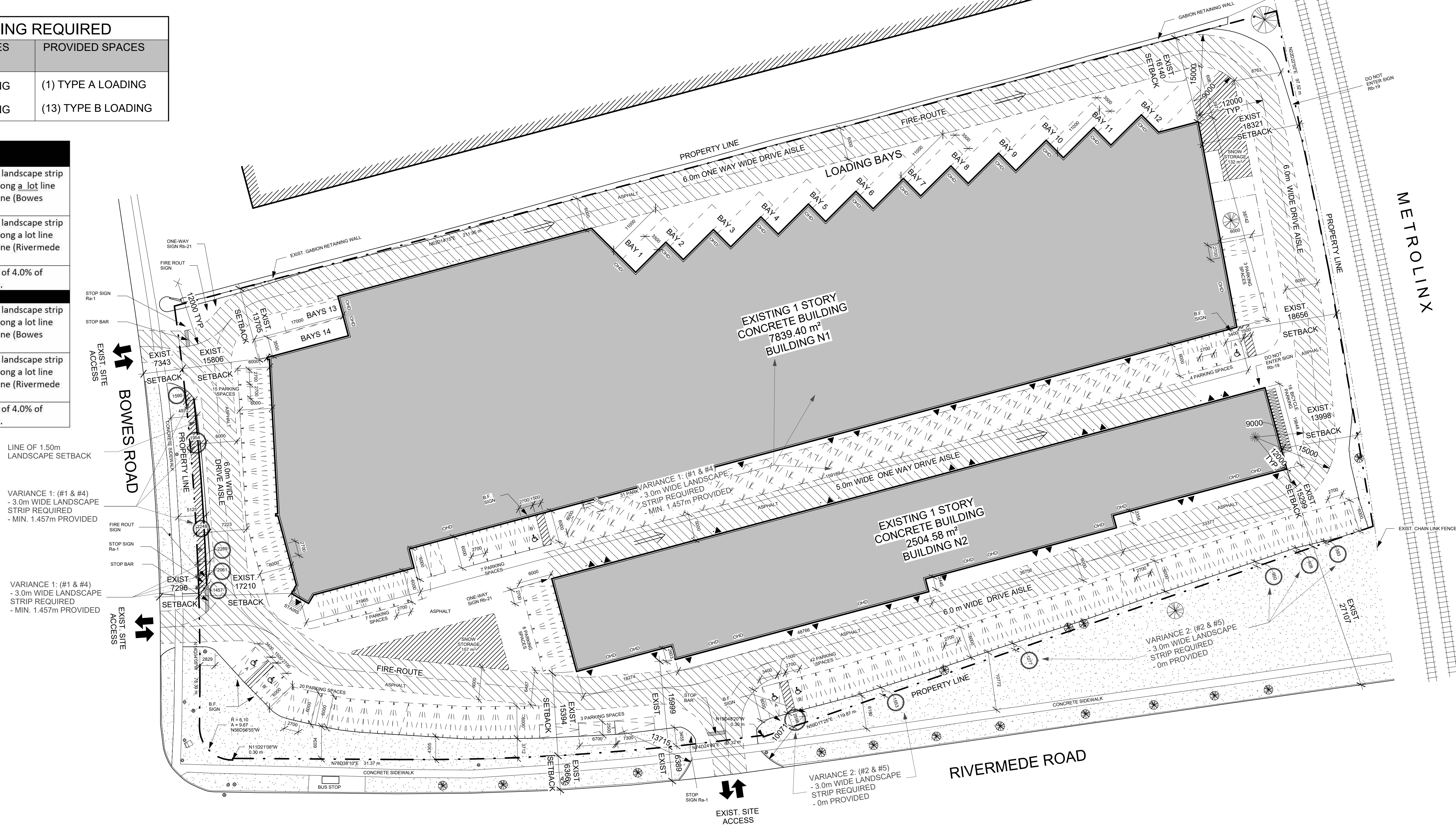
BARRIER-FREE PARKING		
	REQUIRED SPACES	PROVIDED SPACES
TYPE A	3	3
TYPE B	3	3
TOTAL	6	6

BICYCLE PARKING		
	REQUIRED SPACES	PROVIDED SPACES
LONG-TERM	6	6
SHORT-TERM	13	13
TOTAL:	= 19 SPACES	= 19 SPACES

AREA CALCULATIONS	
LOT AREA:	21,466.493 m ²
BUILDING N1:	7,839.40 m ²
BUILDING N2:	2,504.577 m ²
PAVING AREA:	10,245.829 m ²
LANDSCAPE AREA:	876.79 m ²
LANDSCAPE PERCENTAGE:	4.08% (≥ 5%)

EXISTING PARKING CONFIGURATION = 124 SPACES
 PROPOSED/ADDITIONAL PARKING CONFIGURATION = 14 SPACES
 TOTAL PARKING CONFIGURATION = 138 SPACES

VARIANCE 3: (#3 & #6)
 - A MIN. 5% OF LANDSCAPE OPEN SPACE IS REQUIRED
 - 4.08% IS PROVIDED



1 SITE PLAN
1 : 400

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.
 This drawing shall not be used for construction purposes unless countermanded by:

Signature: Giovanni A. Tassone

CDM FILE No.: 19CDM-22V004

Revisions

Date	No.	Description
11/18/2022	4	ISSUED FOR COA
09/06/2022	3	ISSUED FOR PLANNER REVIEW
26/08/2022	2	ISSUED FOR PLANNER REVIEW
29/07/2022	1	ISSUED FOR MUNICIPAL REVIEW

Date Issued
Issue Date



Architect Inc.
GIOVANNI A. TASSONE

185 Brimley Ave., Suite 107
Toronto, Ontario M6A 1Y7
(416) 783-6302
(416) 783-3100 fax

SITE PLAN OF EXISTING BUILDINGS

311 BOWES RD
VAUGHAN, ONTARIO

Project No.	Scale
22013	As indicated
Drawn by	Reviewed by
Author	GAT
Title	Drawing No.
SITE PLAN	

A101

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

Table 6-3: Barrier-free Parking Space Dimensions

Minimum Dimension	Type A Space (m)	Type B Space (m)
Minimum width (m)	3.4	2.4
Minimum length (m)	5.7	5.7
Minimum vertical clearance (m)	2.0	
Minimum barrier-free access aisle width (m)	1.5	
Minimum barrier-free access aisle length (m)	5.7	

Table 6-1: Minimum Parking Space Dimensions

Parking Space Angle	Requirement	Minimum Dimension (m)
90-degrees	Width	2.7
	Length	5.7
45-degrees and tandem parking	Width	2.7
	Length	6.0
Parallel parking	Width	2.5
	Length	6.7
Parallel parking (end spaces)	Width	2.5
	Length	7.3

Table 6-5: Minimum Bicycle Parking Space Dimensions

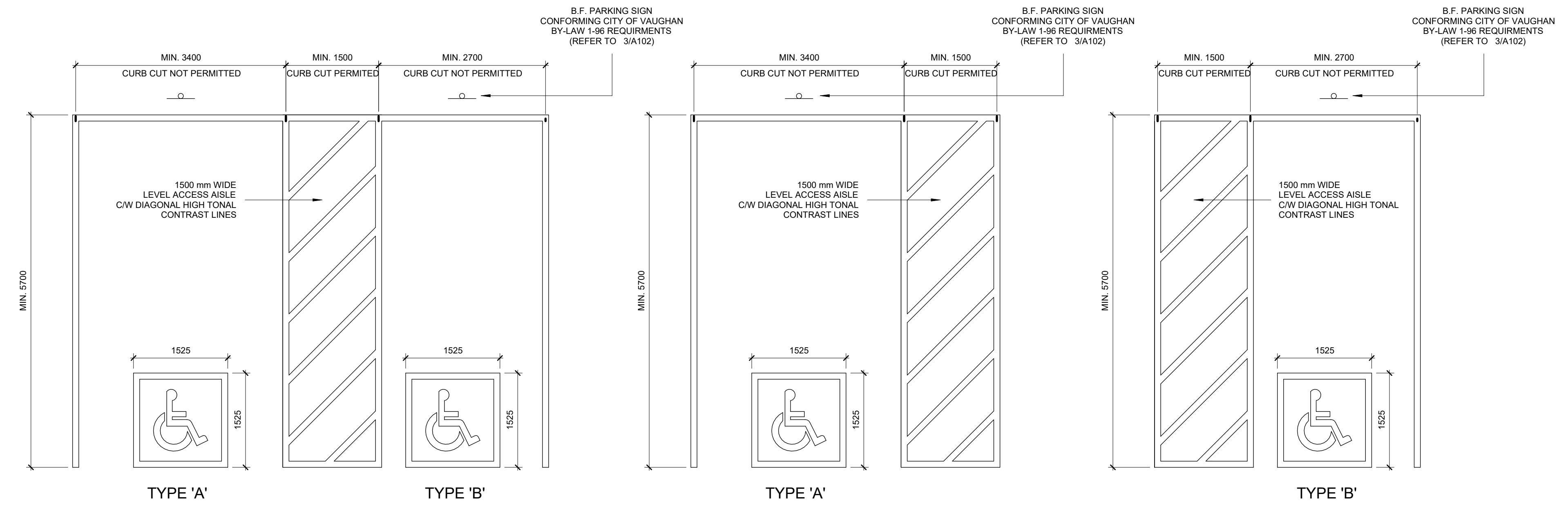
Dimension	Minimum Requirement (m)
Length	1.8
Width	0.6
Vertical clearance from the floor	1.9

Table 6-10: Minimum Aisle Width

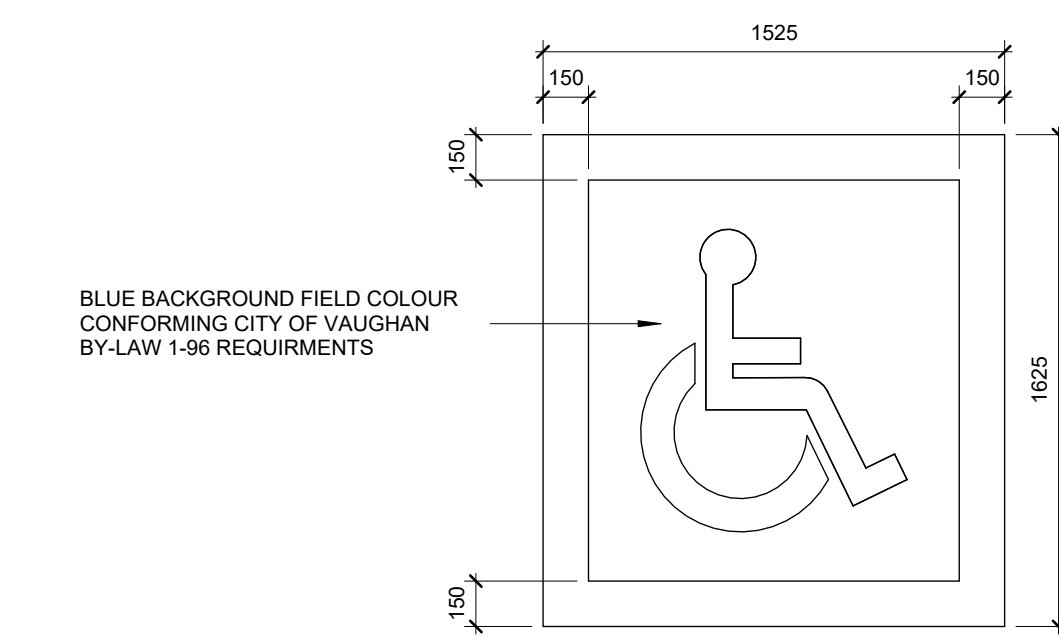
Parking Space Angle	Minimum Aisle Width (m)
90-degrees – 60-degrees	6.0
59-degrees – 45-degrees	5.0
44-degrees or less	4.0

Table 6-16: Minimum Loading Space Dimensions

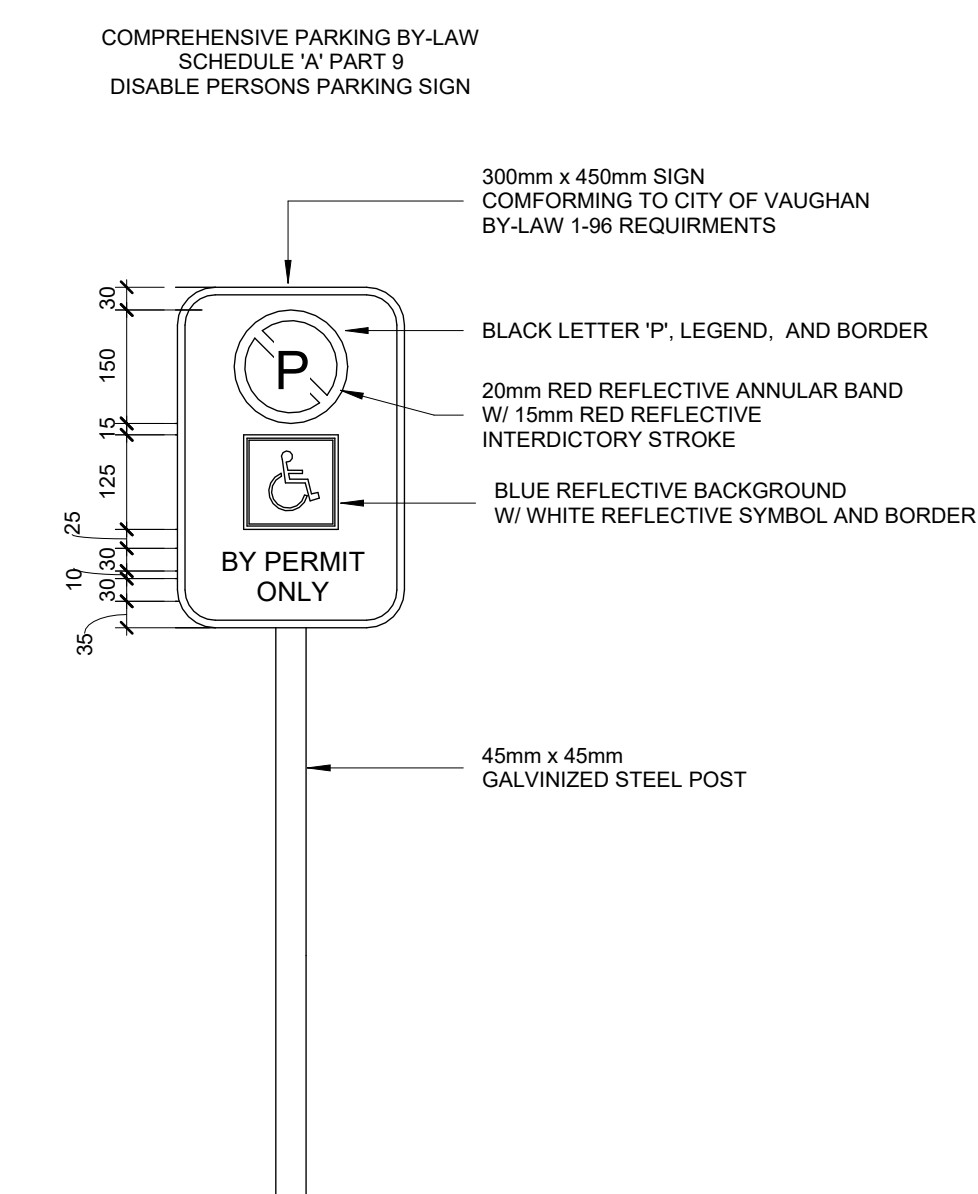
Minimum Dimension	Type A Loading Space	Type B Loading Space	Type C Loading Space	Type D Loading Space
Minimum width (m)	3.5	3.5	3.5	4
Minimum length (m)	17	11	6	13
Minimum vertical clearance (m)	4.4	4	3	6.1



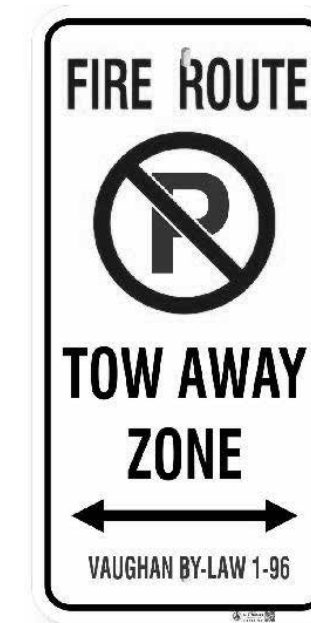
1 B.F. Parking Type A & B
1 : 50



2 B.F. Parking GND Signage
1 : 25



3 B.F. Parking Signage
1 : 10



4 Fire Rout Sign
1 : 10

ONE-WAY Sign

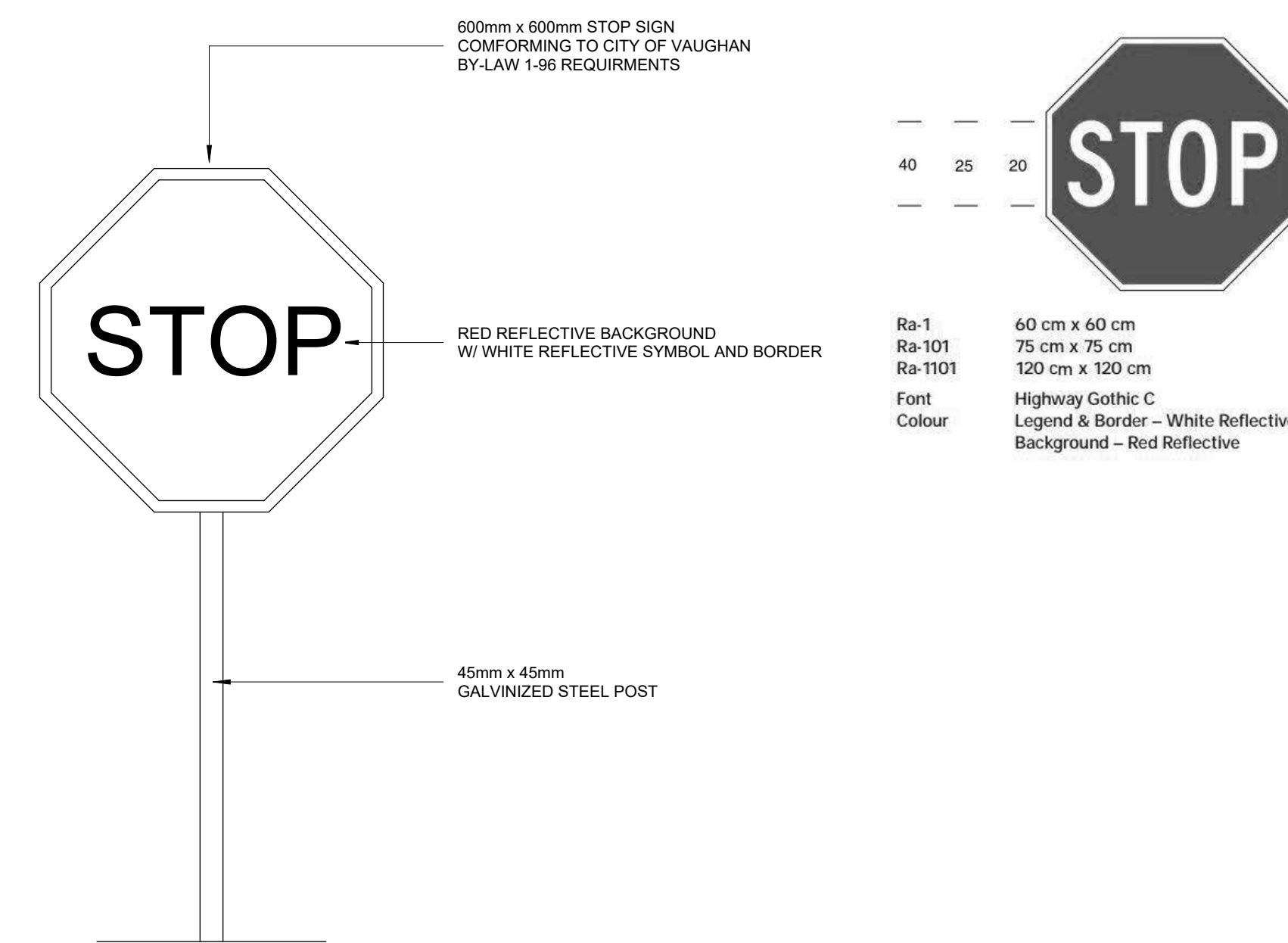


Rb-21 30 cm x 90 cm
Rb-121 60 cm x 180 cm
Font N/A
Colour Legend & Border – White Reflective
Background – Black

6 One Way Sign
1 : 10



3 B.F. Parking Signage
1 : 10



5 Stop Signage
1 : 10

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Signature: Giovanni A. Tassone

CDM FILE No.: 19CDM-22V004

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(416) 783-3100 fax

SITE PLAN OF EXISTING BUILDINGS

311 BOWES RD
VAUGHAN, ONTARIO

Project No. **22013** Scale **As indicated**
Drawn by **Author** Reviewed by **Checker**

Title **SITE PLAN DETAILS** Drawing No.

A102

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X			No Comments Recieved to Date
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application under review.
Building Standards (Zoning)	X	X		General Comments

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: November 15, 2022
Applicant: Bowes Road Industrial LP
Location: 311 Bowes Road
 CONC 3 Part of Lot 8
File No.(s): A300/22

Zoning Classification:

The subject lands are zoned EM2 and subject to the provisions of Exception 14.87 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
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The subject lands are zoned EM2 and subject to the provisions of Exception 9(185) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
4	A minimum landscape strip width of 3.0 metres along a lot line which abuts a street line (Bowes Road) is required. [Section 6.1.6]	To permit a minimum landscape strip width of 1.5 metres along a lot line which abuts a street line (Bowes Road).
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6	A minimum of 5% of landscape open space is required. [Section 6.1.6]	To permit a minimum of 4.0% of landscape open space.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

Order No. 19-000428, Order to Comply for Construction of a repair garage located Unit 12B, has been undertaken prior to obtaining the required building permit., Issue Date: Nov 13, 2019

Building Permit(s) Issued:

Building Permit No. 19-002116 for Warehouse Use Unit - Alteration, Issue Date: Dec 24, 2020
 Building Permit No. 19-002116 for Warehouse Use Unit - Interior Unit Alteration, Issue Date: Nov 22, 2019
 Building Permit No. 19-002116 for Warehouse Use Unit - Interior Unit Alteration, Issue Date: Dec 20, 2019
 Building Permit No. 19-002116 for Warehouse Use Unit - Interior Unit Alteration, Issue Date: Dec 20, 2019
 Building Permit No. 08-004129 for Manufacturing Use Unit - Interior Unit Alteration, Issue Date: Sep 19, 2008
 Building Permit No. 11-001966 for Manufacturing Use Unit - Interior Unit Alteration, Issue Date: Jul 20, 2011

Building Permit No. 11-001966 for Manufacturing Use Unit - Interior Unit Alteration, Issue Date: Jul 06, 2017

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority).

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Development Services](#)
To: [Pravina Attwala](#); [Committee of Adjustment](#)
Subject: [External] RE: A300/22 (311 BOWES ROAD) - REQUEST FOR COMMENTS
Date: Wednesday, November 23, 2022 9:36:04 AM
Attachments: [image002.png](#)
[image004.png](#)

Hi Pravina,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Many thanks,

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Application Cover Letter



November 4th, 2022

Christine Vigneault,
Manager, Development Services &
Secretary Treasurer to the Committee of Adjustment
City of Vaughan
2141 Major MacKenzie Drive
Vaughan, ON
M9C 5A1

Dear Ms. Vigneault,

Re: Minor Variance Application - 311 Bowes Road

On behalf of Bowes Road Industrial LP. we are submitting a minor variance application for the property municipally known as 311 Bowes Road in the City of Vaughan. The need for the variances arose during the review of a Draft Plan of Condominium application (19CDM-22V004) that has been submitted to convert the tenure of the existing property from rental to condominium. The Condo application was submitted in April 2022 and has been reviewed by town departments and external agencies. Comments from all departments and agencies have been addressed through subsequent submissions in August and September with the exception of one comment from Zoning staff (see Appendix A) who are requesting we obtain minor variances for the following:

For By-law 1-88:

1. To permit a minimum 0 metre landscape strip along a lot line which abuts a street line.
2. To permit a minimum of 4.08% of the area of the lot to be used for no other purpose than landscaping

By-law 001-2021:

1. To permit a minimum landscape strip width of 0 metres along a lot line which abuts a street line.
2. To permit a minimum of 4.08% of the area of the lot to be used for no other purpose other than landscaping.

PLANNING CONTEXT

Permits and approvals for the property were issued in 1975. The original permit drawings are included with this application (Appendix B). Bowes Road Industrial LP purchased the property in 2021 with the intention to convert the tenure of the property from rental to condominium (standard). No new construction or changes to the exterior or interior of the buildings is proposed.

A Condo application was submitted in April 2022 and has been reviewed by town departments and external agencies. The condo application has been managed by Carol Birch of the planning department. Comments from all departments and agencies were addressed through subsequent submissions in August and September with the exception of the variances that have been requested by City zoning staff. Ms. Birch has informed us that a report recommending Condo Approval will proceed to the November 22nd, 2022 Committee of the Whole and that the requested variances will be a condition of the approval.

THE VARIANCES

1. To permit a minimum 0 metre landscape strip along a lot line which abuts a street line

Under Section 11.2.2 of By-law 001-2021 and Section 6.1.6 of By-law 1-88 a minimum landscape strip of 3.0 metres along a lot line which abuts the street line is required. The subject property was constructed in 1975 prior to the enactment of the current zoning by-laws. The setbacks from the street as shown on the attached site plan (Appendix C) are an existing condition that does not meet the required 3.0 metre setback.

2. To permit a minimum of 4.08% of the area of the lot to be used for no other purpose than landscaping

Under Section 11.2.2 of By-law 001-2021 and Section 6.1.6 of By-law 1-88, a minimum of 5.0% of open space is required. The subject property was constructed in 1975 prior to the enactment of the current zoning by-laws. The 4.08% open space area as shown on the attached site plan (Appendix C) is an existing condition that does not meet the required 5.0%.

As the variances being requested are to legalize existing conditions it is our opinion that they meet the 4 tests of the Planning Act, namely:

- The variances meet the general intent of the City's Zoning By-law;
- The variances are in keeping with the general intent of the City's Official Plan;
- The variances are desirable and appropriate for the proposed development; and
- The variances are minor in nature.

We look forward to presenting our application to the Committee of Adjustment. If there are any questions or clarifications required, please contact me at 416-574-6616 or dave@somervillecc.ca.

Sincerely,

SOMERVILLE Consulting & Project Management



David MacLeod
Partner

APPENDIX A

**ZONING PLANS EXAMINER
MEMO OF OCTOBER 4TH, 2022**

DATE: October 4, 2022
TO: Carol Birch, Development Planning Department
CDM FILE No.: 19CDM-22V004
RELATED FILES:
APPLICANT: Somerville Consulting & Project Management
PROPERTY 311 Bowes Road
LOCATION:

Documents Reviewed:

Draft Plan of Condominium date August 8, 2022
A101 Site Plan August 29, 2022

Comments:

The subject lands are currently zoned *EM2, General Employment Zone* subject to *Exception 14.087* under *By-law 001-2021* as amended.

Please review the following:

1. A minimum landscape strip width of 3.0 metres along a lot line which abuts a street line is required [Section 11.2.2]
2. A minimum of 5% of landscape open space is required [Section 11.2.2].
3. Short term bicycle parking spaces are required to be a minimum of 3.0 metres from a parking area [Section 6.5].

The subject lands are currently zoned *EM2, General Employment Area Zone* subject to *Exception 9(185)* under *By-law 1-88* as amended.

Please review the following:

1. Alterations to the existing site conditions are required to meet the requirements of the *By-law*. Any parking spaces not previously approved shall meet the minimum dimensions of 2.7x6.0 metres [Section 2.0].
2. A minimum landscape strip width of 3.0 metres along a lot line which abuts a street line is required [Section 6.1.6].
3. A minimum of 5% of the area of the lot shall be used for no purpose other than landscaping [Section 6.1.6].

All drawings submitted for draft plan of condominium shall be consistent with those approved for Site Plan Approval and the Site Plan agreement. As-built drawings are required to confirm compliance with the Zoning By-law.

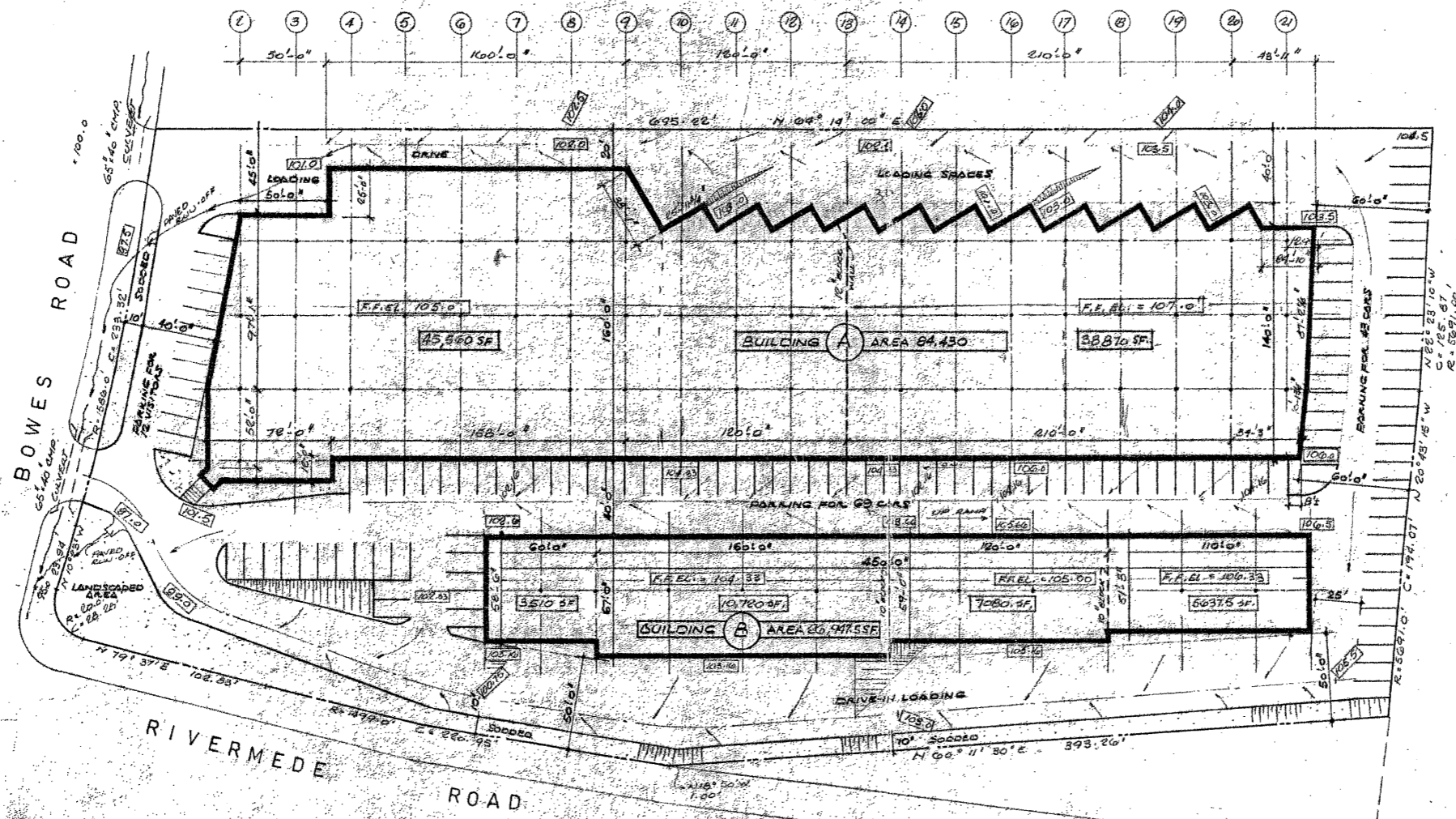
Additional comments may be forthcoming. If you have any questions or concerns, I may be contacted at the extension below.

Regards,

Sarah Scauzillo
Zoning Plans Examiner II
Building Standards Department
Ext. 8421

APPENDIX B

**ORIGINAL 1975 BUILDING
PERMIT DRAWINGS**



SITE ANALYSIS

LOT AREA	5.303 ACRES
BLDG. COVERAGE	111,377.5 SF
PARKING	124 CARS

NOTE:
 NORTH EAST SIDE OF BOWES RD. & RIVERMEDE RD.,
 TOWN OF VAUGHAN, LOT 18 ON PLAN 79 25.
 DESIGNED AS PART 7 ON REFERENCE PLAN DEPOSITED
 UNDER THE REGISTRY ACT AS NUMBERED 64R-34 70

311 BOWES

NO.	DATE	DESCRIP
3	JULY 8/75	DIMENSIONS
2	JUNE 12/75	GRADES
1	MAY 23/75	GRADES

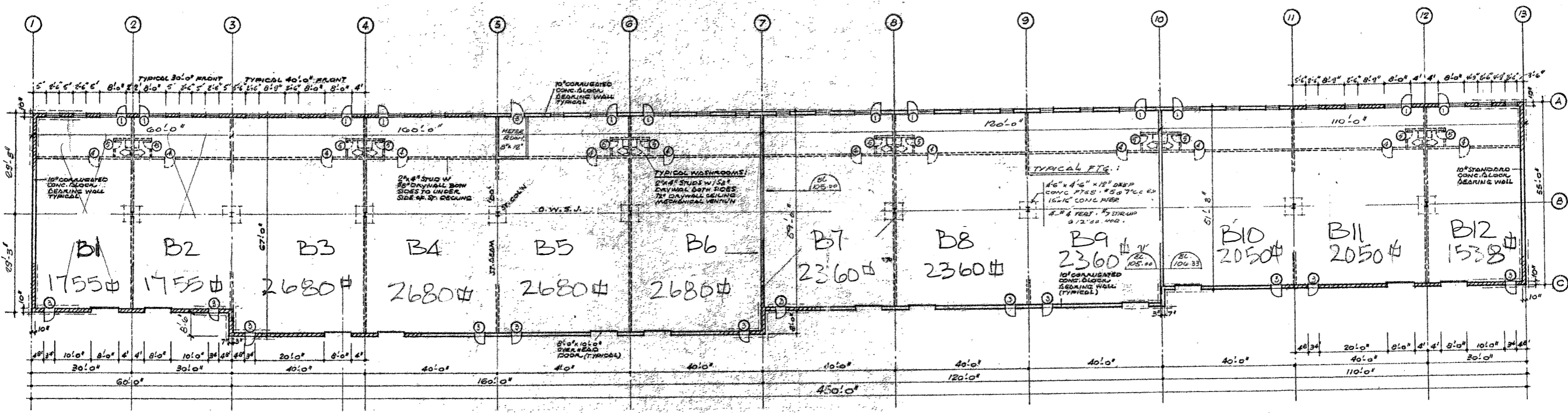
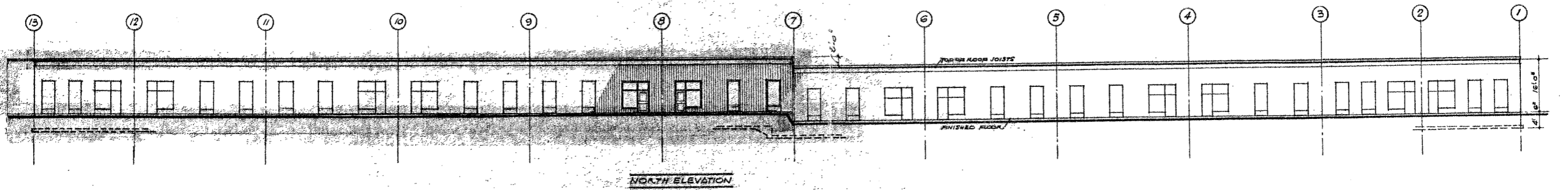
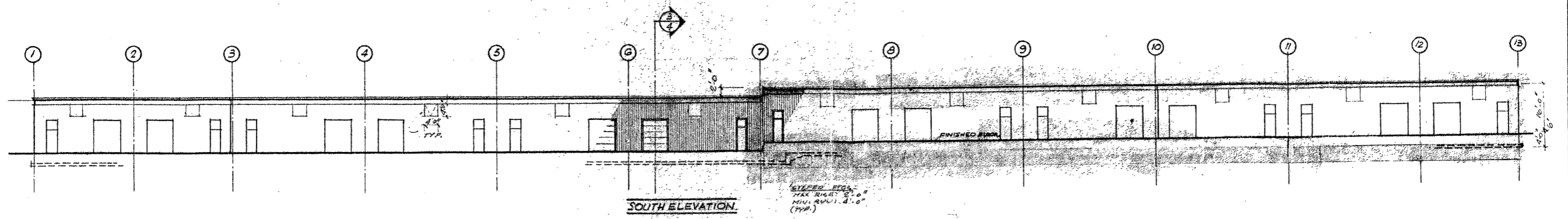
REVISIONS

CONTRACTOR MUST CHECK AND
 DIMENSIONS ON THE JOB AND BE F
 FOR SAME, REPORTING ANY DISCRE
 THE ARCHITECT BEFORE COMMEN
 DRAWINGS NOT TO BE SCALED.

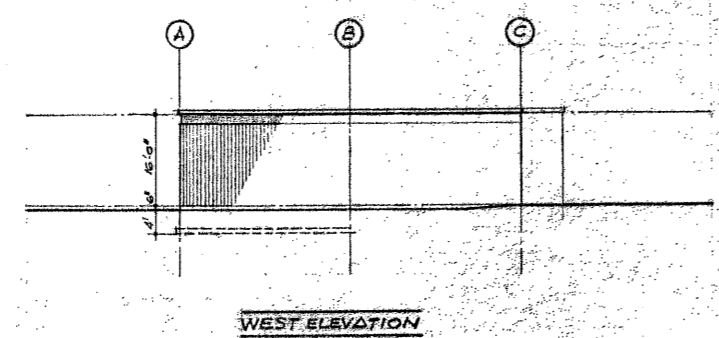
W. J. JAGER, M.R.A.I.C.
 1001 FINCH AVE. WEST SUITE 208
 PROJECT
 INDUSTRIAL D
 FOR
 PLANET PAPER
 CO. LTD

DATE DRAWN	DATE ISSUED	DRAWN BY	CHECKED BY
MAY/75		RG5	

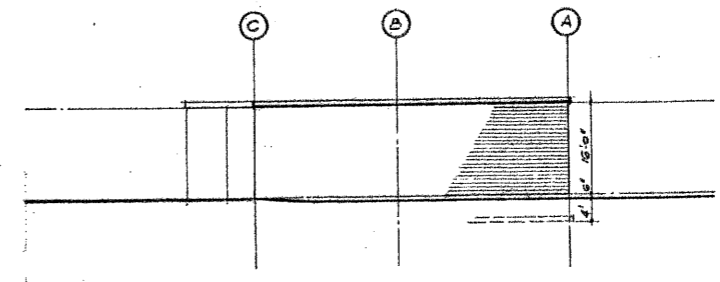
SITE PLAN



FLOOR PLAN BLDG. B FLOOR AREA TOTAL 27,570 S.F.



WEST ELEVATION



EAST ELEVATION

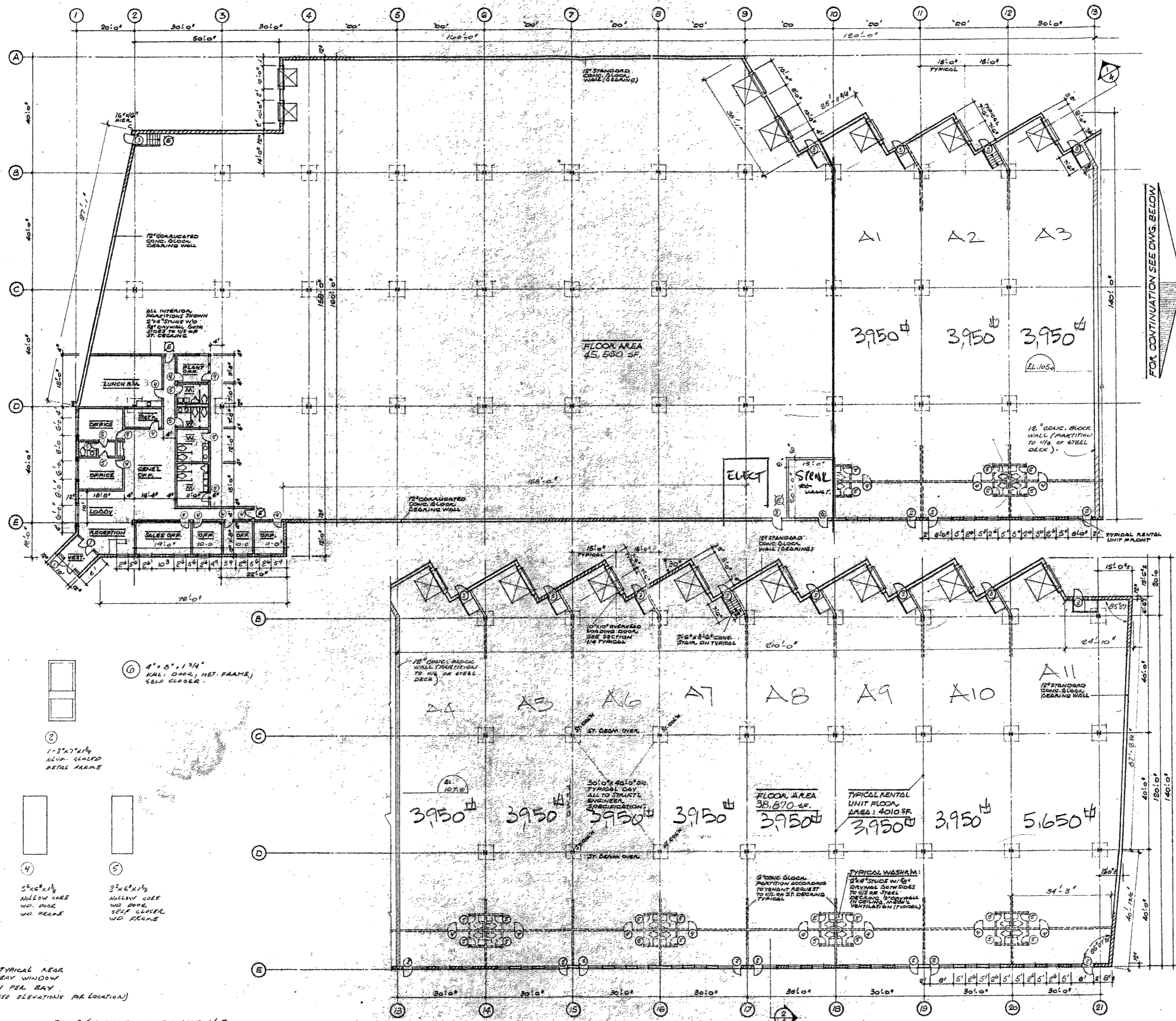
NO.	DATE	DESCRIP.
2	JULY 4/75	DIMENSIONS
1	MAY 29/75	WATER RT., E.L. ETC.

REVISIONS
 CONTRACTOR MUST CHECK AND DIMENSIONS ON THE JOB AND BE RESPONSIBLE FOR SAME, REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING WORK. DRAWINGS NOT TO BE SCALED.

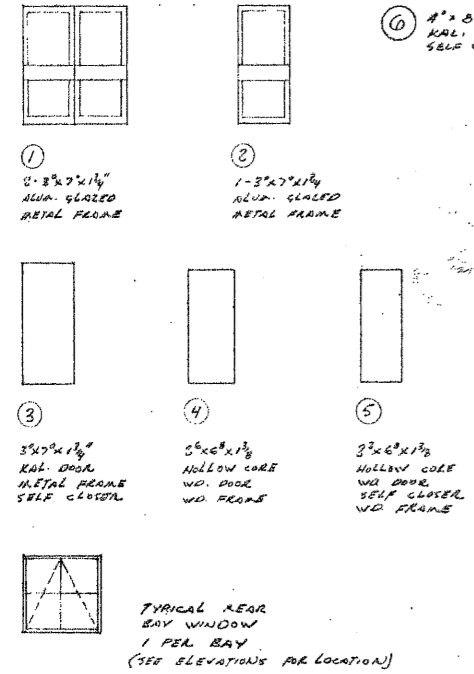
W. J. JAGER, M.R.A.I.C.
 1001 FINCH AVE. WEST SUITE 20
 PROJECT
 INDUSTRIAL DEVELOPMENT
 PLANET PAPER BOX CO.

DATE DRAWN: May 75
 DATE ISSUED: M.S.
 DRAWN BY: M.S.

DRAWING
FLOOR PLAN BLDG. B AND ELEVATIONS



FOR CONTINUATION SEE DWG. BELOW



DOOR & WINDOW SCHEDULE

84,430 SF.
TOTAL FLOOR AREA (SLD)

3	JULY 8/76	DIMENSIONS
2	MAY 8/75	WINDOW SCHEDULE
1	MAY 25/75	FLOOR LEVELS

NO. DATE DESCRIPTION

REVISIONS

CONTRACTOR MUST CHECK AND VERIFY DIMENSIONS ON THE JOB AND BE RESPONSIBLE FOR SAME, REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMMENCING DRAWINGS NOT TO BE SCALED.

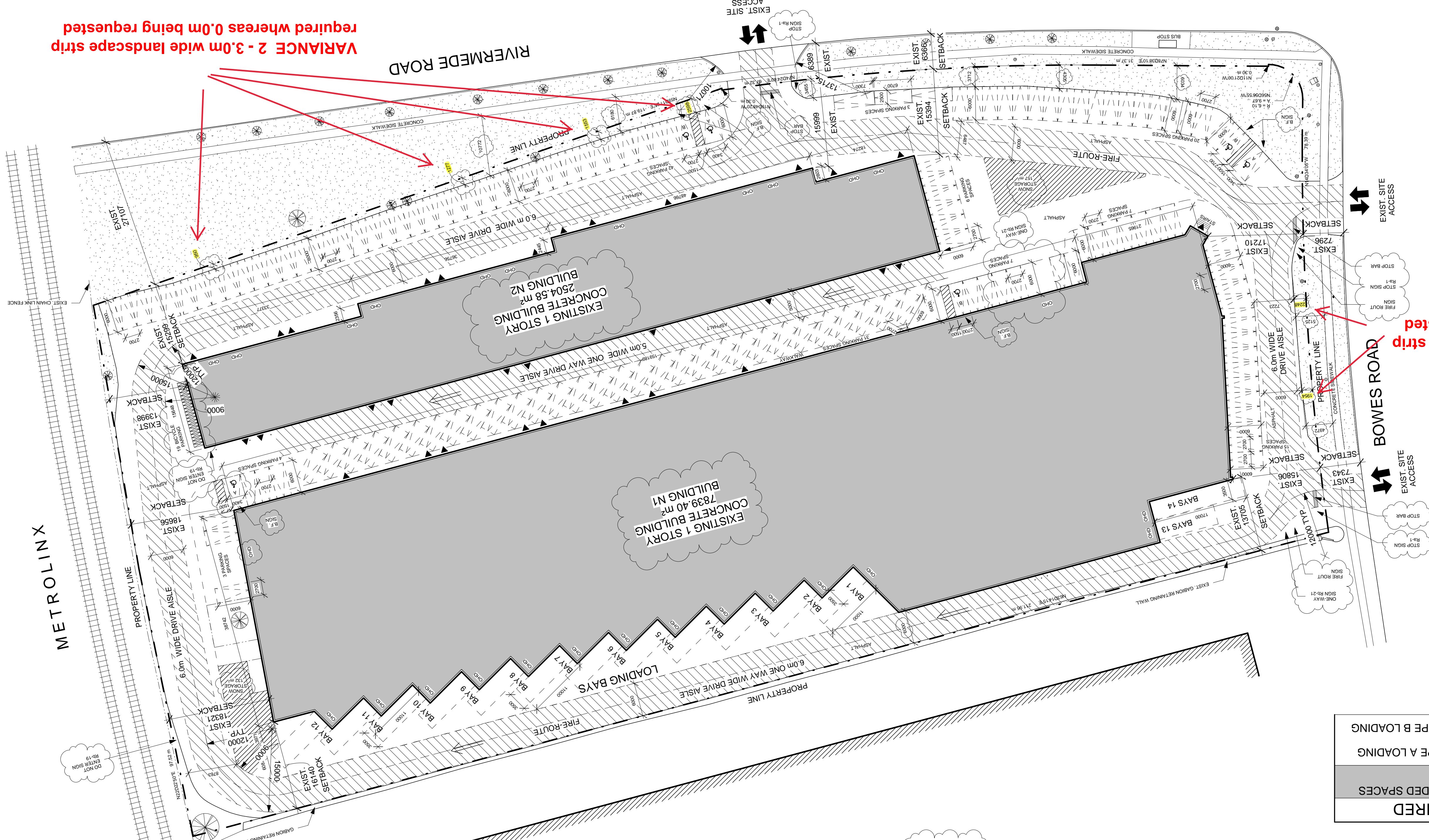
W. J. JAGER, M.R.A.I.C. A
1001 FINCH AVE. WEST SUITE 209
PROJECT
INDUSTRIAL DEVELOPMENT
PLANET PAPER BOX CO. I

DATE DRAWN	DATE ISSUED	DRAWN	CHK'D
MAY 75		M.S.	

FLOOR PLAN 0100-A

APPENDIX C

**CURRENT SITE PLAN SHOWING
REQUESTED VARIANCES**



VARIANCE 2 - 3.0m wide landscape strip required whereas 0.0m being requested

VARIANCE 2 - 3.0m wide landscape strip required whereas 0.0m being requested

LOADING REQUIRED	
REQUIRED SPACES	PROVIDED SPACES
(1) TYPE A LOADING	(1) TYPE A LOADING
(3) TYPE B LOADING	(13) TYPE B LOADING



VEHICLE PARKING	
REQUIRED SPACES PER 100 m ²	PROVIDED SPACES
EXISTING BUILDING N1: = 2 x (7839.4 m ² / 100 m ²) = 157 SPACES	STANDARD PARKING = 104 SPACES
EXISTING BUILDING 2: = 2 x (2504.58 m ² / 100 m ²) = 50 SPACES	ANGLED PARKING = 31 SPACES
TOTAL: = 157+50 = 207 SPACES	PARALLEL PARKING = 3 SPACES
TOTAL: = 138 SPACES	TOTAL: = 138 SPACES

EXISTING PARKING CONFIGURATION = 124 SPACES
PROPOSED/ADDITIONAL PARKING CONFIGURATION = 14 SPACES
TOTAL PARKING CONFIGURATION = 138 SPACES

BARRIER-FREE PARKING	
REQUIRED SPACES	PROVIDED SPACES
TYPE A	3
TYPE B	3
TOTAL	6

VARIANCE 1 - 5% Landscape Open Space required whereas 4.08% provided

BICYCLE PARKING	
REQUIRED SPACES	PROVIDED SPACES
LONG-TERM	6
SHORT-TERM	13
TOTAL:	19 SPACES

AREA CALCULATIONS	
LOT AREA:	21,466.493 m ²
BUILDING N1:	7,839.40 m ²
BUILDING N2:	2,504.577 m ²
PAVING AREA:	10,245.829 m ²
LANDSCAPE AREA:	876.79 m ²
LANDSCAPE PERCENTAGE:	4.08 % (± 5 %)

DATE	22/01/2023	AS INDICATED
AUTHOR	GAT	
DRAWING NO.		

311 BOWES RD
VAUGHAN, ONTARIO
EXISTING BUILDINGS
SITE PLAN OF
GIOVANNI A. TASSONE
Architect Inc.
185 Brimley Ave. #107
Toronto, Ontario M1T 3Y7
(416) 294-0200
(416) 293-3100 fax



Date Issued	No.	Description
09/06/2022	3	ISSUED FOR PLANNER REVIEW
26/08/2022	2	ISSUED FOR PLANNER REVIEW
29/07/2022	1	ISSUED FOR MUNICIPAL REVIEW

Revisions	0

CDM FILE NO.: 19CDM-22V004

Giovanni A. Tassone

This drawing shall not be used for construction purposes unless counter-signed by the professional engineer, architect, or other qualified person.