

ITEM #: 6.21

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A297/22
2 Marc Santi Blvd, Maple**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X			Application Under Review
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X			No Comments Recieved to Date
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X			No Comments Recieved to Date
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Planning Justification Report
Public	Vadim Sverdlik	2 Gesher Crescent	11/30/22	Letter expressing concern/objection

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision MM/DD/YYYY	Decision Outcome
None		

ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A297/22
2 Marc Santi Blvd Maple ON**

FILE MANAGER: Christine Vigneault, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER:	CITY WARD #: 4
APPLICANT:	City Of Vaughan
AGENT:	WSP Canada Inc.
PROPERTY:	2 Marc Santi Blvd Maple ON
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	Vaughan Official Plan 2010 ('VOP 2010'): "Parks"
RELATED DEVELOPMENT APPLICATIONS:	DA.21.067, A296/22
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to reorganize Wood Valley Park to facilitate the development of a twin pad arena on the east side of the existing Community Centre located on the lands to the north, municipally known as 9600 Bathurst Street and to facilitate related Site Plan Application DA.21.067.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned OS1, Public Open Space Zone and subject to the provisions of Exception 14.861 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear setback of 15.0 metres is required to the Baseball Field. [Table 12.3]	To permit a minimum rear yard setback of 10 m from Bathurst Street and 7.0 m at the sight-triangle.
2	The parking space, loading space and stacking land requirements of this By-law shall be provided for and located on the same lot as the use for which the parking is required.	To permit the location of 263 parking spaces to be located on the lot for the use of 9600 Bathurst Street.

The subject lands are zoned OS2, Open Space Park Zone and subject to the provisions of Exception 9(1217) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
3	A minimum Front yard setback of 15 metres is required to the property lines. [Schedule A]	To permit a minimum front yard setback of 14.0 metres (measured to the sight triangle at Ilon Ramon and Marc Santi Blvd).
4	A minimum Exterior Side yard setback of 15 metres is required to the property lines. [Schedule A]	To permit a minimum exterior side yard setback of 7.0 metres (measured to the sight triangle at Marc Santi Blvd and Bathurst).
5	A minimum interior side yard setback of 15.0 metres is required to the Soccer Field from the Northerly Lot line. [Schedule A]	To permit a minimum interior side yard setback of 7.0 metres to the soccer field from the Northerly lot line
6	A minimum rear yard setback (Bathurst St) of 15 metres is required to the property lines.	To permit a minimum rear yard setback of 10 metres from Bathurst St. and 7.0 metres measured at the sight triangle at Marc Santi Blvd and Bathurst.
7	The owner of every building or structure erected or used for any of the uses hereinafter set forth shall provide and maintain on the lot on which it is erected, for the sole use of the owner, occupant, or other persons entering upon or making use of	To permit the location of 263 parking spaces to be located on the lot for the use of 9600 Bathurst Street.

Zoning By-law 1-88	Variance requested
the said premises from time to time, parking spaces and areas.	

HEARING INFORMATION

DATE OF MEETING: Thursday, December 8, 2022
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan’s Zoning By-law. Accordingly, review of the application may consider the following:

- That the general intent and purpose of the by-law will be maintained.
- That the general intent and purpose of the official plan will be maintained.
- That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.
- That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 25, 2022
Date Applicant Confirmed Posting of Sign:	November 29, 2022
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Maximizing recreational opportunities and facilities in the existing park.
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	None
Was a Zoning Review Waiver (ZRW) Form submitted by Applicant: <small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice. *A revised submission may be required to address staff / agency comments received as part of the application review process. *Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small>	No
Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice. An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.	
Committee of Adjustment Comments:	None
Committee of Adjustment Recommended Conditions of Approval:	None

BUILDING STANDARDS (ZONING) COMMENTS

**See Schedule B for Building Standards (Zoning) Comments

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	Application under review.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#) [Link to Pool Permit](#) [Link to Curb Curt Permit](#) [Link Culvert Installation](#)

Minor Variance Application A297/22 is related to Development Application DA.21.067, and is currently being reviewed by the Development Engineering Department.

The Development Engineering Department does not object to the Minor Variance application A297/22, Subject to the following Condition:

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall obtain approval for the related Site Development Application (DA.21.067) from the Development Engineering (DE) Department.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments received to date.

PFH Recommended Conditions of Approval:	N/A
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	N/A
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	N/A
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	N/A
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “**if required**”. If a condition is no longer required after an approval is final and binding, the condition may be waived by

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning roberto.simbana@vaughan.ca	Application under review.
2	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall obtain approval for the related Site Development Application (DA.21.067) from the Development Engineering (DE) Department.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee's decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City's Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City's Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City's Zoning By-law are not to be considered part of an approval unless specified in the Committee's decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

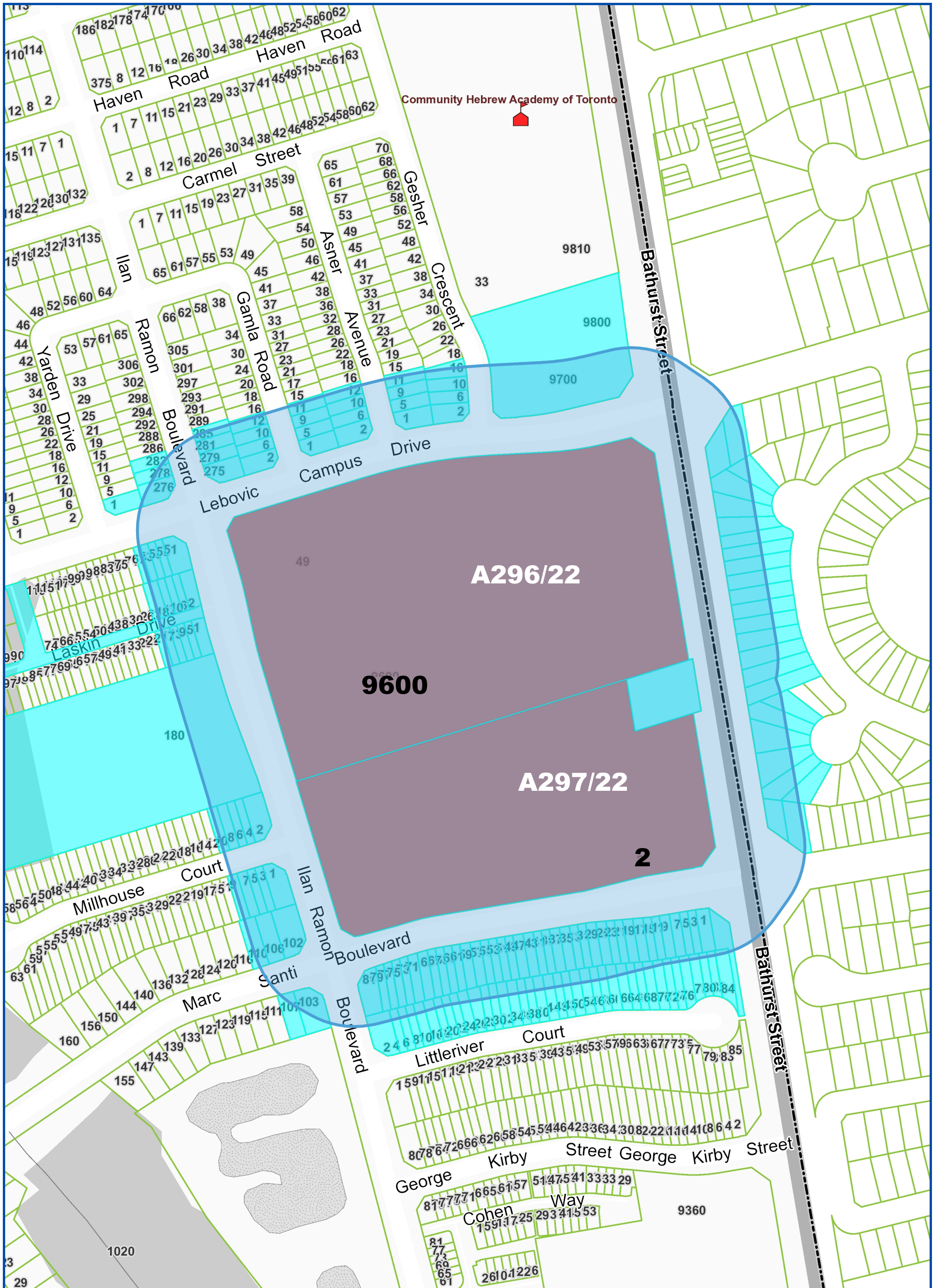
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City's Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

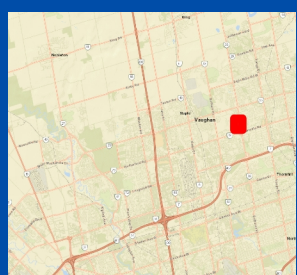
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City's Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee's decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

9600 Bathurst St and 2 Marc Santi Blvd, Maple
NOTIFICATION MAP A296/22 and A297/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:3,550

0 0.06 km



Created By:

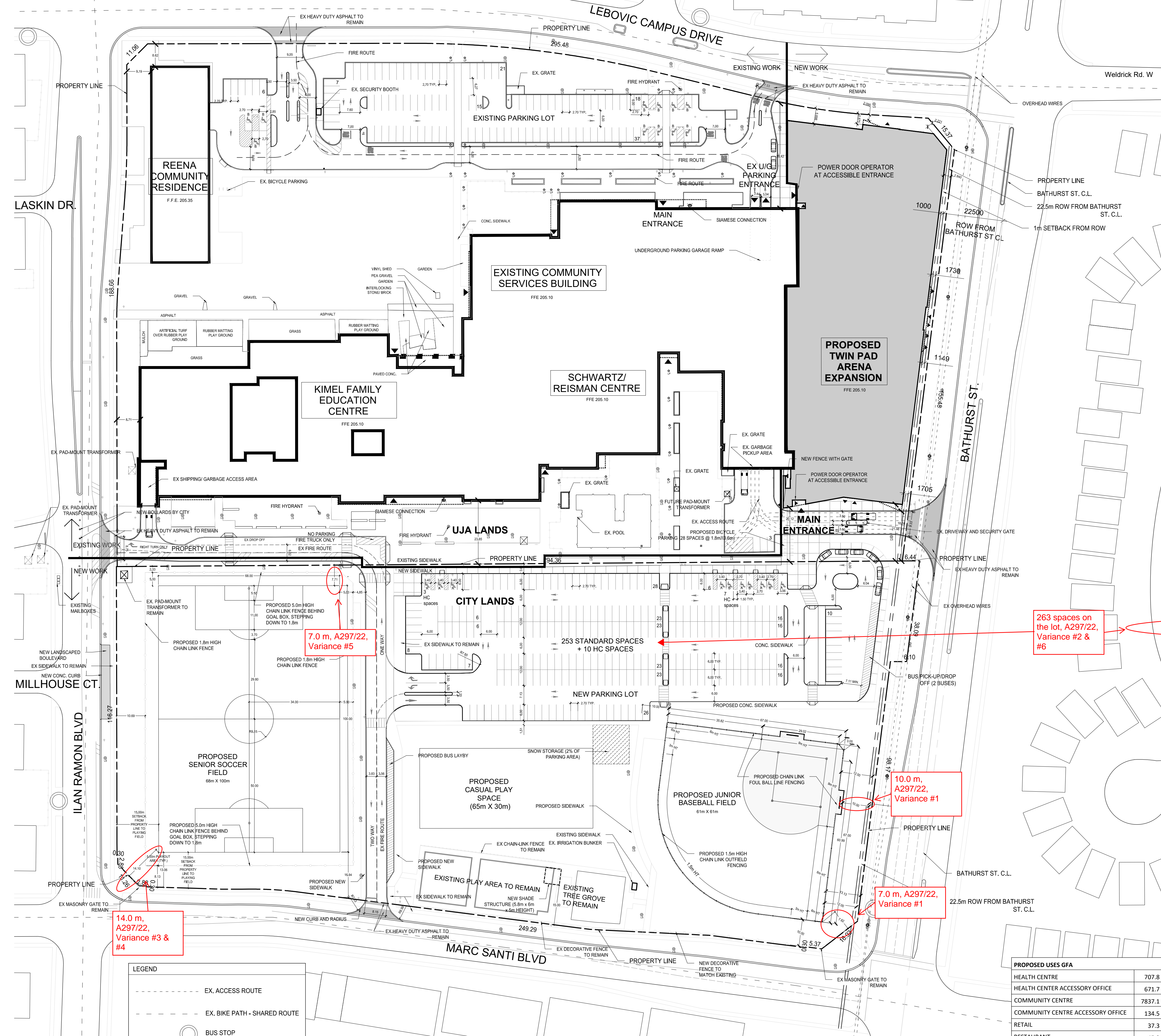
Infrastructure Delivery
 Department

November 23, 2022 10:22 AM

Projection:
 NAD 83
 UTM Zone
 17N

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

A297/22

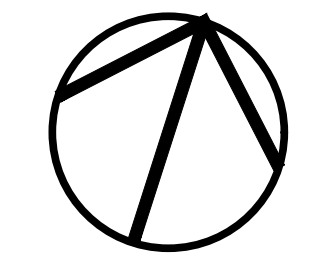


BUILDING AND SITE INFORMATION	
MUNICIPAL ADDRESS	9600 BATHURST STREET, MAPLE, ONTARIO, L6A 3Z8
ZONING OF SUBJECT PROPERTY	A - AGRICULTURAL (FORMER), G1 - GENERAL INSTITUTIONAL (CURRENT)
SITE AND BUILDING AREA - GENERAL	2300 Yonge Street, 21st Floor TORONTO, ON, CANADA, M4T 1X3 TEL: 416-368-6987 FAX: 416-869-9075 architecture49.com
EXISTING SITE AREA (NORTH LOT ONLY)	56647.5 sq. m.
EXISTING BUILDING FOOTPRINT	16468.3 sq. m.
EXISTING BUILDING FOOTPRINT (REENA CENTRE)	1586.9 sq. m.
EXISTING TOTAL BUILDING FOOTPRINT ON SITE (A)	18055.2 sq. m.
BUILDING FOOTPRINT OF PROPOSED ADDITION (B)	7114.8 sq. m.
TOTAL BUILDING FOOTPRINT ON SITE (A+B)	25170.0 sq. m.
LOT COVERAGE RATIO (TOTAL BUILDING FOOTPRINT/ SITE AREA)	0.4443 (44.4%)
PAVED SURFACE AREA (NORTH LOT ONLY)	16456.3 sq. m.
LANDSCAPED OPEN AREA (NORTH LOT ONLY)	12885.2 sq. m.
EXISTING BUILDING AREA (2 storey secondary school)	
GROUND FLOOR AREA	7354.4 sq. m.
SECOND FLOOR AREA	4980.0 sq. m.
MECHANICAL PENTHOUSE	310.8 sq. m.
TOTAL EXISTING GROSS FLOOR AREA	12645.2 sq. m.
EXISTING BUILDING AREA (community complex)	
BASEMENT FLOOR AREA (Parking and pool mech. Room)	16648.3 sq. m.
GROUND FLOOR AREA	9086.0 sq. m.
SECOND FLOOR AREA	5197.3 sq. m.
THIRD FLOOR AREA	2876.9 sq. m.
TOTAL EXISTING GROSS FLOOR AREA	33808.5 sq. m.
TOTAL EXISTING GROSS FLOOR AREA (secondary school + community complex)	
	46453.7 sq. m.
DEMOLISHED AREA	
TOTAL DEMOLISHED AREA	0 sq. m.
PROPOSED BUILDING AREA	
BASEMENT FLOOR AREA	39.7 sq. m.
GROUND FLOOR AREA	7087.2 sq. m.
RENOVATED GROUND FLOOR AREA (Within existing building)	0 sq. m.
SECOND FLOOR AREA	2232.4 sq. m.
RENOVATED SECOND FLOOR AREA (Within existing building)	74.4 sq. m.
TOTAL PROPOSED GROSS FLOOR AREA (Including renovated areas)	9433.7 sq. m.
TOTAL EXISTING AND PROPOSED GROSS FLOOR AREA (not including Reena Centre)	
	55887.4 sq. m.
FLOOR SPACE RATIO (GROSS FLOOR AREA OF ALL FLOORS/SITE AREA (NORTH LOT))	
	0.9866 (98.6%)
BUILDING SETBACKS	
NORTH FACE OF BUILDING	2.00M MIN.
EAST FACE OF BUILDING	1.00M MIN.
SOUTH FACE OF BUILDING	19.00M MIN.
BUILDING HEIGHT	
EXISTING BUILDING HEIGHT	3 STOREYS (14.3M)
PROPOSED BUILDING HEIGHT	2 STOREYS (13.87M)
TOTAL PARKING PROVIDED (INCLUDES SOUTH AND NORTH LOTS)	
NUMBER OF EXISTING PARKING SPACES REMAINING (ON UJA LANDS)(OUTDOORS+INDOORS)	467 SPACES
NUMBER OF NEW PARKING SPACES (ON PARK LANDS)	263 SPACES
TOTAL NUMBER OF PARKING SPACES (ON BOTH SITES)(EXISTING OR NEW)	730 SPACES
TOTAL NUMBER OF ACCESSIBLE PARKING SPACES (EXISTING OR NEW)	7A, 23B=30
NUMBER OF ELECTRIC VEHICLE CHARGING SPACES (EXISTING OR NEW)	0
PARKING REQUIREMENTS UNDER BYLAW 1-88	1208 (EXISTING) + 979 (EXPANSION)=2187 SPACES (11A, 11B)
PARKING REQUIREMENTS UNDER BYLAW 001-2021	246 SPACES (EXPANSION)(3A, 4B)
NUMBER OF SPACES UNDER SHARED USE AGREEMENT	80
NUMBER OF SHORT TERM BICYCLE PARKING SPACES	28 (PROPOSED)+ 26 (EXISTING)=54 TOTAL

- GENERAL SITE NOTES**
- REFER TO LANDSCAPE DRAWINGS FOR OVERALL LANDSCAPE PLAN.
 - GRADES AND ELEVATIONS SHOWN IN METRES.
 - BUILDING AND SITE DIMENSIONS SHOWN IN MILLIMETRES.
 - FOR SITE GRADING, REFER TO CIVIL.
 - REFER TO SITE SERVICES DRAWINGS FOR INFORMATION ON PROPOSED SITE SERVICES.
 - ROAD OCCUPANCY PERMIT MUST BE OBTAINED 48 HOURS PRIOR TO COMMENCING ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE.
 - ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF VAUGHAN AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
 - REFER TO GEOTECHNICAL INVESTIGATION FOR BOREHOLE INFORMATION.
 - CO-ORDINATE WITH ROAD CONTRACTOR TO ENSURE THAT STORM AND SANITARY WORK IS COMPLETED AND SITE IS RESTORED TO FINISHED CONDITION.
 - NORTH LOT FORMERLY ZONED A (AGRICULTURAL) AS PER ZONING BY-LAW 1-88A.A. AS OF 2021/10/20, ZONING BY-LAW 001-2021 IS IN EFFECT, WHERE NORTH LOT IS CURRENTLY ZONED G1 (GENERAL INSTITUTIONAL).
 - EXISTING LOADING AND WASTE STORAGE AREAS TO REMAIN AS-IS.

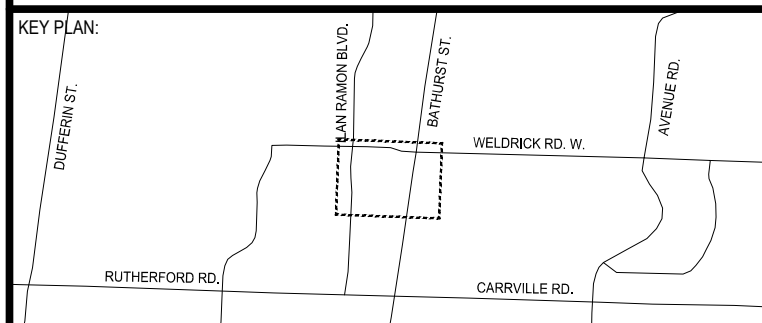
PROPOSED USES GFA	
HEALTH CENTRE	707.8 sq. m.
HEALTH CENTRE ACCESSORY OFFICE	671.7 sq. m.
COMMUNITY CENTRE	7837.1 sq. m.
COMMUNITY CENTRE ACCESSORY OFFICE	134.5 sq. m.
RETAIL	37.3 sq. m.
RESTAURANT	45.3 sq. m.

ARCHITECTURE | 49



JEWISH COMMUNITY PROPERTIES OF GREATER TORONTO

LEBOVIC CAMPUS ARENA



DISCLAIMER: THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY ARCHITECTURE 49. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK. THIS DRAWING IS NOT TO BE SCALED.

REV	DATE	DESCRIPTION
F	2022-11-04	ISSUED FOR COMMITTEE OF ADJUSTMENT APPLICATION
E	2022-09-01	ISSUED FOR DEVELOPMENT CHARGE DEFERRAL APPLICATION
D	2022-07-22	SITE PLAN APPLICATION 4
C	2022-02-09	SITE PLAN APPLICATION 3
B	2022-01-28	SITE PLAN APPLICATION 2
A	2021-12-10	SITE PLAN APPLICATION

PROJECT NO.	DATE
219-00061-00	2022-11-04

ORIGINAL SCALE: 1:750
 DESIGNED BY: M.D.
 DRAWN BY: H.M.
 CHECKED BY: D.A.

DISCIPLINE	TITLE	SHEET NUMBER	DATE OF ISSUE
ARCH	SITE PLAN	A-003	2022-11-04

SCHEDULE B: STAFF & AGENCY COMMENTS

DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X			No Comments Recieved to Date
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X			No Comments Recieved to Date
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application under review.
Building Standards (Zoning)	X	X		General Comments

To: Committee of Adjustment
From: Gregory Seganfredo, Building Standards Department
Date: November 24, 2022 REVISED
Applicant: City Of Vaughan
Location: PLAN 65M3918 Block 24 municipally known as 2 Marc Santi Blvd
File No.(s): A297/22

Zoning Classification:

The subject lands are zoned OS1, Public Open Space Zone and subject to the provisions of Exception 14.861 under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum rear setback of 15.0 metres is required to the Baseball Field. [Table 12.3]	To permit a minimum rear yard setback of 10 m from Bathurst Street and 7.0 m at the sight-triangle.
2	The parking space, loading space and stacking land requirements of this By-law shall be provided for and located on the same lot as the use for which the parking is required.	To permit the location of 263 parking spaces to be located on the lot for the use of 9600 Bathurst Street.

The subject lands are zoned OS2, Open Space Park Zone and subject to the provisions of Exception 9(1217) under Zoning By-law 1-88, as amended.

#	Zoning By-law 1-88	Variance requested
3	A minimum Front yard setback of 15 metres is required to the property lines. [Schedule A]	To permit a minimum front yard setback of 14.0 metres (measured to the sight triangle at Ilon Ramon and Mark Santi Blvd).
4	A minimum Exterior Side yard setback of 15 metres is required to the property lines. [Schedule A]	To permit a minimum exterior side yard setback of 7.0 metres (measured to the sight triangle at Marc Santi Blvd and Bathurst).
5	A minimum interior side yard setback of 15.0 metres is required to the Soccer Field from the Northerly Lot line. [Schedule A]	To permit a minimum interior side yard setback of 7.0 metres to the soccer field from the Northerly lot line
6	A minimum rear yard setback (Bathurst St) of 15 metres is required to the property lines.	To permit a minimum rear yard setback of 10 metres from Bathurst St. and 7.0 metres measured at the sight triangle at Marc Santi Blvd and Bathurst.
7	The owner of every building or structure erected or used for any of the uses hereinafter set forth shall provide and maintain on the lot on which it is erected, for the sole use of the owner, occupant, or other persons entering upon or making use of the said premises from time to time, parking spaces and areas.	To permit the location of 263 parking spaces to be located on the lot for the use of 9600 Bathurst Street.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

A Building Permit has not been issued. The Ontario Building Code requires a building permit for structures that exceed 10m2

Other Comments:

Zoning By-law 01-2021	
1	None.

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General Comments	
2	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

From: [Development Services](#)
To: [Lenore Providence](#); [Committee of Adjustment](#)
Subject: [External] RE: A297/22 - REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Thursday, November 24, 2022 12:51:35 PM
Attachments: [image002.png](#)
[image004.png](#)

Hi Lenore,

The Regional Municipality of York has completed its review of the above minor variance and has no comment.

Please note that Regional Comments and Conditions are being provided and are applicable with the associated site plan (DA.21.067 – SP.22.V.0041).

Many thanks,

Niranjan Rajevan, M.Pl. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 ext. 71521 | niranjan.rajevan@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

Please consider the environment before printing this email.

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Applicant				Planning Justification Report
Public	Vadim Sverdlik	2 Gesher Crescent	11/30/22	Letter expressing concern/objection



November 4, 2022

Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Dr.
Vaughan, ON
L6A 1T1

Email: cofa@vaughan.ca
905-832-8504

Subject: Application for Minor Variance – 2 Mark Santi Boulevard, Vaughan, Wood Valley Park Lands (associated with 9600 Bathurst Street)

To Whom it May Concern,

WSP Canada Group Limited (“WSP”) is pleased to submit the subject Minor Variance Application on behalf of Jewish Community Properties of Greater Toronto (UJA), for Wood Valley Park (2 Mark Santi Boulevard), in the City of Vaughan. A separate Minor Variance application has been submitted for the development of a twin pad arena that will be an expansion on the east side of the existing Community Centre directly north of the park. This application pertains to the City-Owned lands, located to the south of 9600 Bathurst St., known as Wood Valley Park, known municipally as 2 Mark Santi Boulevard.

On September 14, 2021, a Member’s Resolution was passed at Council authorizing and consenting to the JWLJCC submitting applicable planning applications to propose the redevelopment of the adjacent City-owned park lands as part of the Campus site plan application for the project. The Member’s Resolution also granted permission that the submitted site plan application proceeds through the regulatory Planning process for any and all approvals.

We are requesting the proposed application to be heard at the next available meeting of the Committee of Adjustment. As part of the application, the following materials are being submitted:

- One (1) copy of the Minor Variance Application Form, including the Variance Chart, Structure Size Chart, Structure Setback Chart, Tree Declaration Form & Owner Authorization Form.
- One (1) copy of each of the following plans:
 - Site Plan, Drawing A-003, dated November 4, 2022, prepared by A49
 - Ground Floor Plan, Drawing A-101, dated November 5, 2022, prepared by A49
 - Second Floor Plan, Drawing A-102, dated November 5, 2022, prepared by A49
 - Basement Floor Plan, Drawing A-103, dated November 5, 2022, prepared by A49
 - Roof Plan, Drawing A-104, dated November 5, 2022, prepared by A49
 - Building Elevations, Drawing A-301, dated November 5, 2022, prepared by A49

In order to facilitate the proposed development, a number of proposed minor variances are required in relation to the two applicable Zoning By-laws on the Subject Lands: Bylaw 1-88 and Bylaw 01-2021. The variances are related to the following provisions:

Setbacks

1. Minimum front yard setback;
2. Minimum rear yard setback;
3. Minimum exterior side yard setback; and
4. Minimum interior side yard setbacks.

SITE LOCATION AND COMMUNITY CONTEXT

The subject site is Wood Valley Park, a City of Vaughan owned park. It is bounded by the Joseph & Wolf Lebovic Jewish Community Campus property to the North, Bathurst Street to the east, Marc Santi Boulevard to the South, and Ilan Ramon Boulevard to the west. The nearest major intersection is Bathurst Street and Rutherford Road. The property is legally known as Part of Lot 17, Concession 2, and has a total area of approximately 43,453 m². The Subject Site has a frontage of approximately 116.2 m on Ilan Ramon Blvd. **Figure 1** shows an aerial image of the Subject Site. The site is designated Parks in the City of Vaughan Official Plan. Under the City of Vaughan Zoning By-law 1-88, the site is zoned Open Space (OS2). Under the City of Vaughan Zoning By-law 001-2021, the site is zoned Public Open Space (OS1).

The park includes an existing parking lot on the park lands that is currently used by the Community Centre through an agreement with the City of Vaughan. The park also includes a play structure, rest areas, a baseball diamond and soccer field.



Figure 1: Subject Site (Air Photo Source: Google Earth, 2022)

PROPOSAL SUMMARY

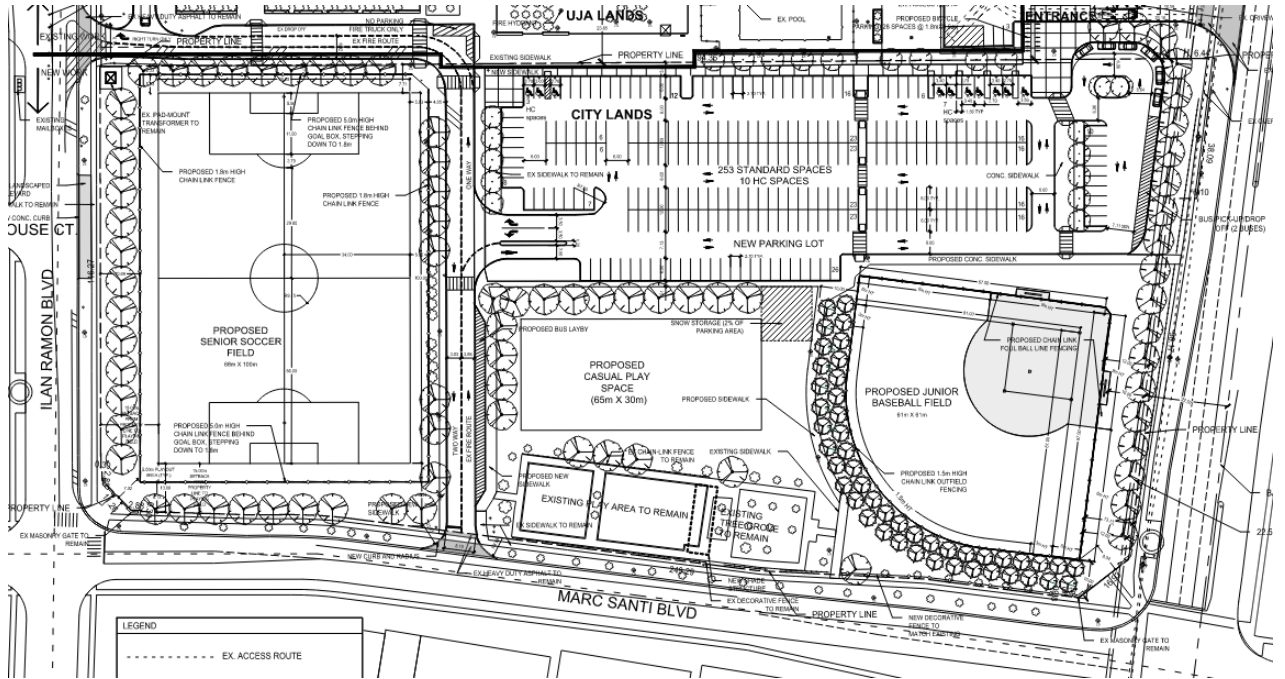


Figure 2. Site Plan - A-003

The Subject application seeks to reorganize the Wood Valley Park. A Minor Variance has been submitted for the under a separate cover for 9600 Bathurst Street, the property to the north. The existing senior soccer field is proposed to be moved to the west in the space currently occupied by the city parking lot. It is proposed that the parking lot will relocate to the north-east side of the park to provide better access to the proposed arena on the property to the north. The existing junior baseball field will relocate to the south-east side of the park. The relocated parking lot will continue to provide access to the outdoor amenities, the community centre, the private elementary school and the twin pad arena. The existing Wood Valley Park playground located on the south side of the park is not proposed to change. The current driveway access from Marc Santi and Ilan Ramon is to remain in place.

REQUESTED VARIANCES

As previously noted, the following requested variances are required to permit the proposed building addition:

Minor Variance #1: Setbacks

1. Schedule A of Zoning Bylaw 1-88 states,
The minimum front yard setback shall be 15.0m.

Requested Variance:

The minimum front yard setback shall be 12.0 metres (measured to the sight triangle, resulting in 15 metres to Ilan Ramon Blvd and 13 metres to Mark Santi Blvd).



2. Schedule A of Zoning Bylaw 1-88 states,
The minimum rear yard setback shall be 15.0 metres.

Table 12-3 of Zoning Bylaw 001-2021 states,
The minimum rear yard setback shall be 15.0 metres.

Requested Variance:

The minimum rear setback shall be 8.0 metres (measured to the sight triangle, resulting in 10 metres to Bathurst Street).

3. Schedule A of Zoning Bylaw 1-88 states,
The minimum exterior side yard setback shall be 15.0 metres.

Requested Variance:

The minimum exterior yard setback shall be 8.0 metres (measured to the sight triangle, resulting in 10 metres to Mark Santi Blvd and 10 metres to Bathurst Street).

4. Schedule A of Zoning Bylaw 1-88 states,
The minimum interior side yard setback shall be 15.0 metres.

Requested Variance:

The minimum interior yard setback shall be 7.7 metres from the northern property line to the soccer field.

FOUR TESTS FOR MINOR VARIANCES

In our opinion, the proposed variances to permit the development of the Wood Valley Park are minor, appropriate and desirable.

In our professional opinion, as outlined below, the proposed variance satisfies the four tests under Section 45(1) of the *Planning Act*, which states that the variances are (1) to be minor in nature, (2) desirable for the appropriate development or use of the land, (3) maintains the general intent and purpose of the Zoning By-law and (4) maintains the general intent and purpose of the Official Plan. The following outlines our assessment of how the requested variances meet these four tests.

The following section outlines how each of the requested variances meet the four tests.

Setbacks

- The proposed variances are **minor in nature** as the intent of exterior, interior, rear and front yard setbacks is to ensure there is a minimal impact on the relationship between the park and street edge. The intent is also to ensure that landscaping elements can be incorporated, and to soften transitions between public and private realms. As proposed, the front, rear, interior and exterior side yard setbacks would provide appropriate separation distance from the street. In addition, when considered in light of the City's new By-law 001-2201 in which the requirement is 4.5m, the proposed reduction is minimal.



- The proposed variances are **appropriate and desirable** as they do not alter the nature of the proposed park redevelopment and respects the physical character of the surrounding neighbourhood. The existing park maintains the same uses i.e. a soccer field, baseball diamond, and parking lot, however the configuration has been altered to facilitate the configuration and development of the proposed expansion to the north and its uses. Accordingly, the park area will be revitalized at an earlier point than would otherwise be achieved. The variances maintain the relationship between the proposed development and existing neighbourhood and are necessary in order to facilitate the development which will provide many benefits to the surrounding community.
- The proposed variances **maintain the intent of the Zoning By-law** by ensuring that there is sufficient separation distance between the park and street. Landscaping is maintained throughout the site to provide additional separation between the park and street.
- The proposed variances **maintain the intent of the Official Plan** by providing active and passive recreation spaces including playing fields, community space, a baseball diamond and a soccer field. The variances continue to ensure that there is adequate space between the park uses and the right-of-way, ensuring appropriate transition. The reduced setbacks maintain the Official Plan's intent of being highly visible with prominent public street frontage.

Given the above, we are of the opinion that the proposed Minor Variance application meets the four tests as established by the *Planning Act*. Overall, the proposed variances will allow the construction of an interior equipment storage building and will not have any impacts on neighbouring properties or on the overall character and function of this business park.

We look forward to working with the Committee of Adjustment and City Staff in processing the subject application. Should you have any questions, please contact me at (416)289-5290 or by email at Doug.Stiles@wsp.com.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Doug Stiles'.

Doug Stiles, MCIP, RPP
Senior Planner
Urban and Community Planning
Planning, Transportation and Infrastructure
WSP Canada Inc.

Encl.

Lenore Providence

Subject: FW: [External] Notice of hearing minor variance application DA.21.067, A296/22, A297/22 - 8-Dec-22 hearing

From: Vadim Sverdlik

Sent: November-29-22 9:26 PM

To: Committee of Adjustment <CofA@vaughan.ca>; Sandra Yeung Racco <Sandra.Racco@vaughan.ca>; Chris Ainsworth <Chris.Ainsworth@vaughan.ca>; Andrew Zvanitajs <Andrew.Zvanitajs@vaughan.ca>

Subject: [External] Notice of hearing minor variance application DA.21.067, A296/22, A297/22 - 8-Dec-22 hearing

Hello, All,

regarding the City of Vaughan application (DA.21.067, A296/22, A297/22) from Joseph and Wolf Lebovic Jewish Community Campus at 9600 Bathurst Street, please see my comments

1. did all issues noted on Vaughan Committee of the Whole Report from Tuesday, June 07, 2022 has been resolved, see below :

- Traffic impact for the entire block; and
 - Staggered intersection at Ilan Ramon Boulevard; and
 - Ingress and egress to the new parking space; and
 - Proposed sanitary, water, and stormwater management strategy meeting City standards; and
 - Update to the geotechnical report with additional boreholes; and
 - Hydrant flow test on the existing water main on the west side of Ilan Ramon Boulevard; and
- the above issues were pre-requisites to approve DA.21.067, A296/22, A297/22 by City

2. we are experienced serious traffic issues associated with current outside parking lot 9600 Bathurst Street on North Side Lebovic Campus Drive.

specifically only one exit from Lebovic Campus Drive outside parking lot.

with proposed additional 263 parking spaces the only one lane exit to the right/eastbound on Lebovic Campus Drive toward Bathurst Street is not sustainable.

Currently bollards are installed to avoid left turn through all traffic as suggested by No-Left Turn signage on outside parking lot.

3. in addition to above # 2 => Applicant/City must perform Fire Evacuation Study in conjunction with Only One Lane Traffic Exit Eastbound from 9600 Bathurst Street JCC Lebovic Campus Drive outside parking lot and proposed 263 additional parking spaces.

4. Noise Study from requested Application DA.21.067, A296/22, A297/22 Variances to current impacted households are not done by Applicant/City.

please consider and propose mitigation on increased noise, e.g. barriers/elevated soil.

5. minimum required green space/trees must be consider to preserve.

6. detailed proposed 263 parking spaces structure is missing on Application.

p.s. cc-honourable Vaughan Fire Chief and Ward 4 Counsellors

Thanks,

Vadim Sverdlik

2 Gesher Crescent, Vaughan