

ITEM #: 6.18

**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A289/22
130 Clarence Street, Woodbridge**

COA REPORT SUMMARY

**THIS REPORT CONTAINS COMMENTS FROM THE FOLLOWING
DEPARTMENTS & AGENCIES:**

*Please see **Schedule B** of this report for a copy of Staff and Agency correspondence.

Additional comments from departments and agencies may be received after the publication of the Staff Report. These comments will be processed as an addendum and posted on the City's Website.

DEPARTMENTS	Circulated	Comments Received	Conditions	Nature of Comments
Committee of Adjustment	X	X		General Comments
Building Standards -Zoning Review *Schedule B	X	X		General Comments
Building Inspection (Septic)	X			No Comments Recieved to Date
Development Planning *Schedule B	X			Application Under Review
Development Engineering	X	X	X	Recommend Approval w/Conditions
Parks, Forestry and Horticulture Operations	X			No Comments Recieved to Date
By-law & Compliance, Licensing & Permits	X			No Comments Recieved to Date
Development Finance	X	X		No Comments or Concerns
Real Estate				
Fire Department	X			No Comments Recieved to Date
AGENCIES	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X	X	Recommend Approval w/Conditions
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X			No Comments Recieved to Date
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				

PUBLIC & APPLICANT CORRESPONDENCE

*Please see **Schedule C** of this report for a copy of the public & applicant correspondence listed below.

The deadline to submit public comments is **noon on the last business day prior to the scheduled hearing date.**

Comments and written public submissions received after the publication of this Staff Report will be processed as an addendum and posted on the City's Website.

All personal information collected because of this public meeting (including both written and oral submissions) is collected under the authority of the Municipal Act, the Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), the Planning Act and all other relevant legislation, and will be used to assist in deciding on this matter. All personal information (as defined by MFIPPA), including (but not limited to) names, addresses, opinions and comments collected will become property of the City of Vaughan, will be made available for public disclosure (including being posted on the internet) and will be used to assist the Committee of Adjustment and staff to process this application.

Correspondence Type	Name	Address	Date Received <small>(mm/dd/yyyy)</small>	Summary
Public	Multiple	128 & 132 Clarence Street & 105 Rosebury Lane	11/13/2022	Petition of Support

PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

File Number	Date of Decision <small>MM/DD/YYYY</small>	Decision Outcome
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PREVIOUS COA DECISIONS ON THE SUBJECT LAND

*Please see **Schedule D** for a copy of the Decisions listed below

None		
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ADJOURNMENT HISTORY

* Previous hearing dates where this application was adjourned by the Committee and public notice issued.

None	
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**COMMITTEE OF ADJUSTMENT REPORT
MINOR VARIANCE APPLICATION
A289/22
130 Clarence Street, Woodbridge**

FILE MANAGER: Lenore Providence, Administrative Coordinator - Committee of Adjustment

ITEM NUMBER: 6.18	CITY WARD #: 2
APPLICANT:	Terence & Sheila Margel
AGENT:	Byron Escobar & Tatiana Quintana
PROPERTY:	130 Clarence Street, Woodbridge
ZONING DESIGNATION:	See Below
VAUGHAN OFFICIAL PLAN (2010) DESIGNATION:	City of Vaughan Official Plan 2010 ('VOP 2010'): "Low-Rise Residential," Volume 2, Section 11.11 Woodbridge Centre Secondary Plan
RELATED DEVELOPMENT APPLICATIONS:	None
PURPOSE OF APPLICATION:	Relief from the Zoning By-law is being requested to permit an addition to the rear of the existing dwelling and an uncovered deck/platform located at the front of the existing dwelling.

The following variances have been requested from the City's Zoning By-law:

The subject lands are zoned R3(EN) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1	A minimum distance of 0.6 m shall be required from the uncovered platform to the front lot line. [Section 4.13]	To permit a minimum distance of 0.05m from the uncovered platform to the front lot line.

The subject lands are zoned R3 under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	Where a single family detached dwelling is erected without an attached garage or carport, the minimum side yard requirement of one interior yard shall be 4.5 metres, or the front yard shall be a minimum of 11.0 metres. [Schedule A]	To permit a single family detached dwelling without an attached garage or carport with a minimum interior side yard setback of 1.53 metres and a front yard setback of 1.0 metres.
3	A minimum rear yard setback of 7.5 metres to the proposed accessory structure is required. [Section 4.1]	To permit a minimum rear yard setback of 2.85 metres to the proposed accessory structure.

HEARING INFORMATION

DATE OF MEETING: Thursday, December 8, 2022
TIME: 6:00 p.m.
MEETING LOCATION: Vaughan City Hall, Council Chamber, 2141 Major Mackenzie Drive, Vaughan
LIVE STREAM LINK: Vaughan.ca/LiveCouncil

PUBLIC PARTICIPATION

If you would like to speak to the Committee of Adjustment at the meeting, either remotely or in person, please complete the [Request to Speak Form](#) and submit to cofa@vaughan.ca
 If you would like to submit written comments, please quote file number above and submit by mail or email to:

Email: cofa@vaughan.ca

Mail: City of Vaughan, Office of the City Clerk, Committee of Adjustment, 2141 Major Mackenzie Drive, Vaughan, ON, L6A 1T1

HEARING INFORMATION

THE DEADLINE TO REGISTER TO SPEAK OR SUBMIT WRITTEN COMMENTS ON THE ABOVE NOTED FILE(S) IS NOON ON THE LAST BUSINESS DAY BEFORE THE MEETING.

INTRODUCTION

Staff and Agencies act as advisory bodies to the Committee of Adjustment. The comments contained in this report are presented as recommendations to the Committee.

Section 45(1) of the Planning Act sets the criteria for authorizing minor variances to the City of Vaughan's Zoning By-law. Accordingly, review of the application may consider the following:

That the general intent and purpose of the by-law will be maintained.

That the general intent and purpose of the official plan will be maintained.

That the requested variance(s) is/are acceptable for the appropriate development of the subject lands.

That the requested variance(s) is/are minor in nature.

Public written and oral submissions relating to this application are taken into consideration by the Committee of Adjustment as part of its deliberations and final decision on this matter.

COMMITTEE OF ADJUSTMENT COMMENTS

Date Public Notice Mailed:	November 24, 2022	
Date Applicant Confirmed Posting of Sign:	November 23, 2022	
Applicant Justification for Variances: <small>*As provided by Applicant in Application Form</small>	Zoning By-Law 1-88 Where a single-family detached dwelling is erected without an attached garage or carport, the minimum side yard requirements of one interior yard be 4.5 metres, or the front yard shall be a minimum of 11 metres.	
Adjournment Requests (from staff): <small>*Adjournment requests provided to applicant prior to issuance of public notice</small>	<p>On November 21, 2022, Development Planning provided the following:</p> <p>Our Urban Design Department has now reviewed the above noted Minor Variance Application and require all Elevations, annotating dimensions, for the proposed shed be submitted for Staff to review and comment on.</p> <p>Arborist Report also required.</p> <p>Applicant provided elevations and shed dimensions on November 22 and submitted a Zoning Review Waiver to proceed with public notice.</p>	
<p>Was a Zoning Review Waiver (ZRW) Form submitted by Applicant:</p> <p><small>*ZRW Form may be used by applicant in instances where a revised submission is made, and zoning staff do not have an opportunity to review and confirm variances prior to the issuance of public notice.</small></p> <p><small>*A revised submission may be required to address staff / agency comments received as part of the application review process.</small></p> <p><small>*Where a zoning review has not been completed on a revised submission, an opportunity is provided to the applicant to adjourn the proposal prior to the issuance of public notice.</small></p>	Yes	<p>A ZRW was submitted to address updates to the application, however zoning staff provided a revised report confirming variances identified in the waiver were correct.</p>
<p>Adjournment Fees: In accordance with Procedural By-law 069-2019, an Adjournment Fee is applicable to reschedule an application after the issuance of public notice where a request for adjournment has been provided to the applicant prior to the issuance of public notice.</p> <p>An Adjournment Fee can only be waived in instances where adjournment of an application is requested by the Committee or staff after the issuance of public notice.</p>		
Committee of Adjustment Comments:	None	
Committee of Adjustment Recommended Conditions of Approval:	None	

BUILDING STANDARDS (ZONING) COMMENTS

****See Schedule B for Building Standards (Zoning) Comments**

Building Standards Recommended Conditions of Approval:	None
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DEVELOPMENT PLANNING COMMENTS

**See Schedule B for Development Planning Comments.

Development Planning Recommended Conditions of Approval:	Application under review.
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DEVELOPMENT ENGINEERING COMMENTS

[Link to Grading Permit](#)
 [Link to Pool Permit](#)
 [Link to Curb Curt Permit](#)
 [Link Culvert Installation](#)

As the proposed addition in the subject property is 35.44m², the owner/ applicant needs to obtain a lot grading permit from Development Inspection and Lot Grading division of the City's Development Engineering Department. Please note any in ground structure over 10 m² requires a grading permit. Please contact COA application engineering reviewer after receiving the grading permit to clear the condition. (Condition attached)

The Development Engineering Department does not object to the Minor Variance application A290/22, Subject to the following Condition:

Development Engineering Recommended Conditions of Approval:	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City's Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
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PARKS, FORESTRY & HORTICULTURE (PFH) COMMENTS

No comments received to date.

PFH Recommended Conditions of Approval:	N/A
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DEVELOPMENT FINANCE COMMENTS

No comment no concerns

Development Finance Recommended Conditions of Approval:	None
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BY-LAW AND COMPLIANCE, LICENSING AND PERMIT SERVICES COMMENTS

No comments received to date.

BCLPS Recommended Conditions of Approval:	N/A
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BUILDING INSPECTION (SEPTIC) COMMENTS

No comments received to date.

Building Inspection Recommended Conditions of Approval:	N/A
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FIRE DEPARTMENT COMMENTS

No comments received to date.

Fire Department Recommended Conditions of Approval:	N/A
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SCHEDULES TO STAFF REPORT

*See Schedule for list of correspondence

Schedule A	Drawings & Plans Submitted with the Application
Schedule B	Staff & Agency Comments
Schedule C (if required)	Correspondence (Received from Public & Applicant)
Schedule D (if required)	Previous COA Decisions on the Subject Land

Should the Committee find it appropriate to approve this application in accordance with request and the sketch submitted with the application, as required by Ontario Regulation 200/96, the following conditions have been recommended:

SUMMARY OF RECOMMENDED CONDITIONS OF APPROVAL

All conditions of approval, unless otherwise stated, are considered to be incorporated into the approval “if required”. If a condition is no longer required after an approval is final and binding, the condition may be waived by the respective department or agency requesting conditional approval. A condition cannot be waived without written consent from the respective department or agency.

#	DEPARTMENT / AGENCY	CONDITION(S) DESCRIPTION
1	Development Planning joshua.cipolletta@vaughan.ca	Application under review.
2	Development Engineering ian.reynolds@vaughan.ca	The Owner/applicant shall submit a revised Lot Grading and/or Servicing Plan to the Development Inspection and Lot Grading division of the City’s Development Engineering Department for final lot grading and/or servicing approval prior to any work being undertaken on the property. Please visit or contact the Development Engineering Department through email at DEPermits@vaughan.ca or visit the grading permit link provided above to learn how to apply for lot grading and/or servicing approval.
3	TRCA Kristen.regier@trca.ca	That the applicant provides the required fee amount of \$950.00 payable to the Toronto and Region Conservation Authority.

IMPORTANT INFORMATION – PLEASE READ

CONDITIONS: It is the responsibility of the owner/applicant and/or authorized agent to obtain and provide a clearance letter from respective department and/or agency (**see condition chart above for contact**). This letter must be provided to the Secretary-Treasurer to be finalized. All conditions must be cleared prior to the issuance of a Building Permit.

APPROVALS: Making any changes to your proposal after a decision has been made may impact the validity of the Committee’s decision.

An approval obtained from the Committee of Adjustment, where applicable, is tied to the building envelope shown on the plans and drawings submitted with the application and subject to the variance approval.

A building envelope is defined by the setbacks of the buildings and/or structures shown on the plans and drawings submitted with the application, as required by Ontario Regulation 200/96. Future development outside of an approved building envelope, where a minor variance was obtained, must comply with the provisions of the City’s Zoning By-law.

Elevation drawings are provided to reflect the style of roof (i.e. flat, mansard, gable etc.) to which a building height variance has been applied. Where a height variance is approved, building height is applied to the style of roof (as defined in the City’s Zoning By-law) shown on the elevation plans submitted with the application.

Architectural design features that are not regulated by the City’s Zoning By-law are not to be considered part of an approval unless specified in the Committee’s decision.

DEVELOPMENT CHARGES: That the payment of the Regional Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Regional Development Charges By-law in effect at the time of payment.

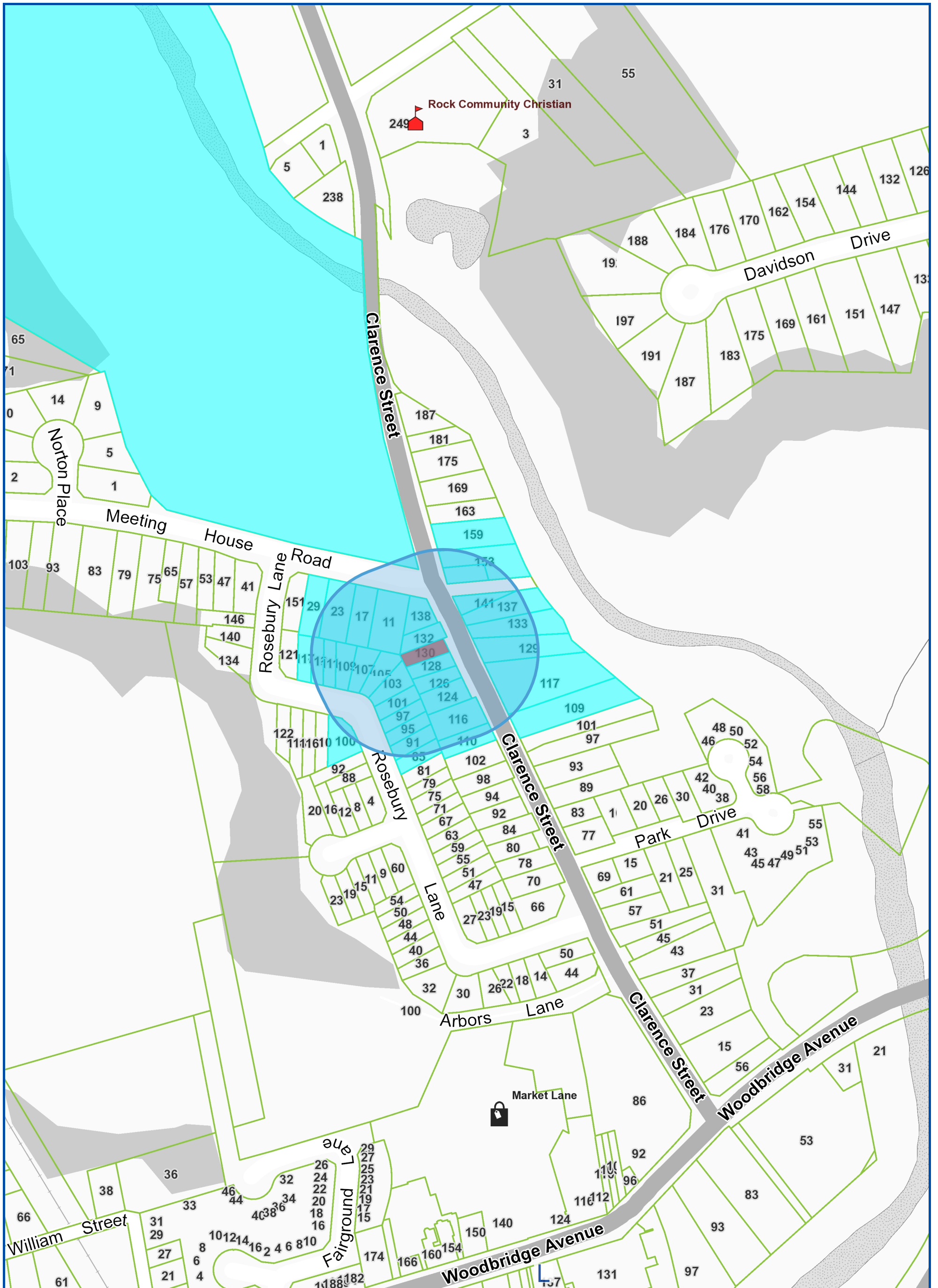
That the payment of the City Development Charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the City’s Development Charges By-law in effect at the time of payment.

That the payment of the Education Development Charge if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and the Boards of Education By-laws in effect at the time of payment

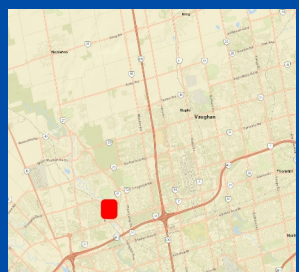
That the payment of Special Area Development charge, if required, is payable to the City of Vaughan before issuance of a building permit in accordance with the Development Charges Act and The City’s Development Charge By-law in effect at the time of Building permit issuance to the satisfaction of the Reserves/Capital Department.

NOTICE OF DECISION: If you wish to be notified of the decision in respect to this application or a related Ontario Land Tribunal (OLT) hearing you must complete a Request for Decision form and submit to the Secretary Treasurer (ask staff for details). In the absence of a written request to be notified of the Committee’s decision you will **not** receive notice.

SCHEDULE A: DRAWINGS & PLANS



Map Information:



Title:

130 Clarence Street, Thornhill

NOTIFICATION MAP A289/22

Disclaimer:

Every reasonable effort has been made to ensure that the information appearing on this map is accurate and current. We believe the information to be reliable, however the City of Vaughan assumes no responsibility or liability due to errors or omissions. Please report any discrepancies to Infrastructure Programming.



Scale: 1:3,580

0 0.06 km



Created By:

Infrastructure Delivery
Department

November 22, 2022 7:49 AM

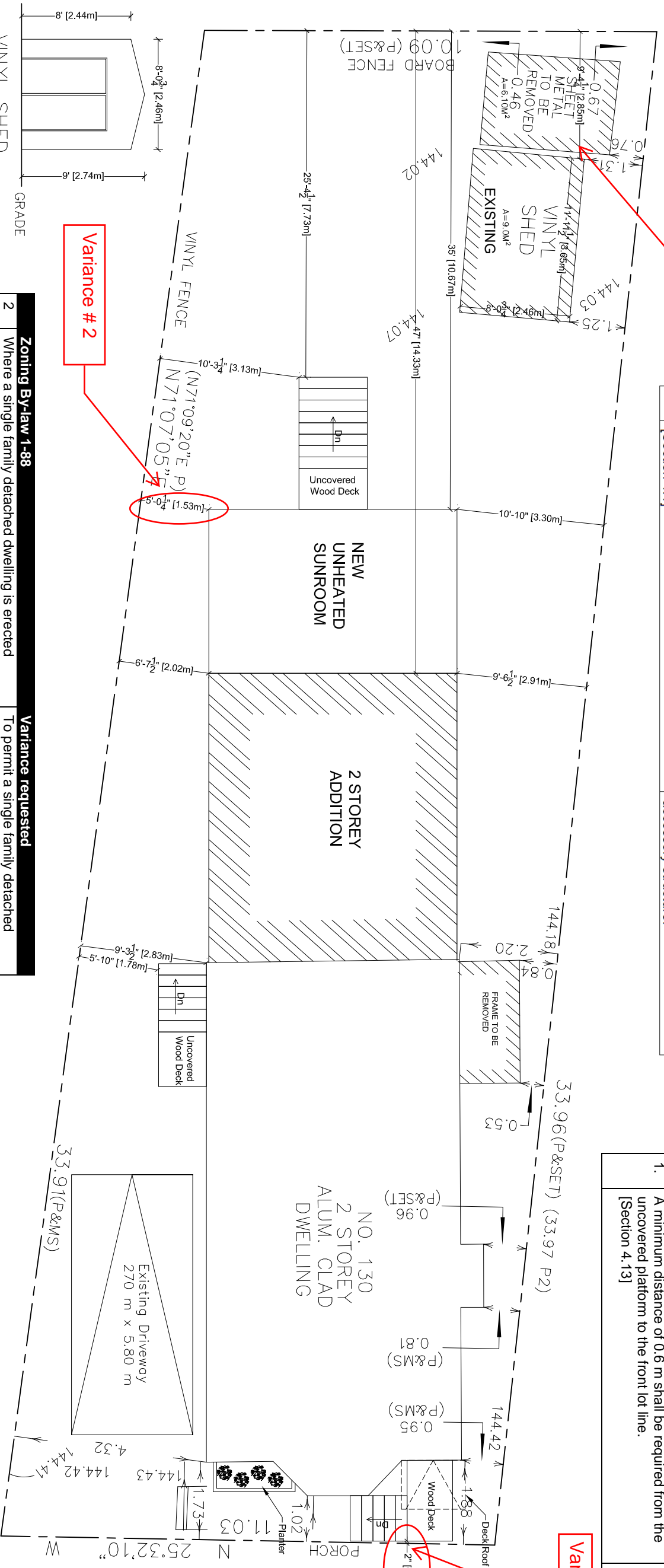
Projection:
NAD 83
UTM Zone
17N

Variance # 3

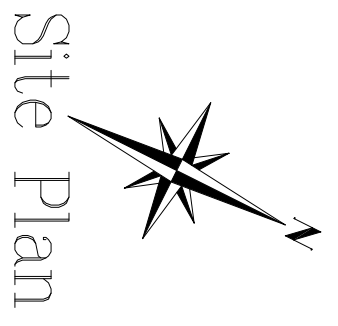
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1.	A minimum distance of 0.6 m shall be required from the uncovered platform to the front lot line. [Section 4.13]	To permit a minimum distance of 0.05m from the uncovered platform to the front lot line.

Variance #1



2	Zoning By-law 1-88	Variance requested
	Where a single family detached dwelling is erected without an attached garage or carport, the minimum side yard requirement of one interior yard shall be 4.5 metres, or the front yard shall be a minimum of 11.0 metres. [Schedule A]	To permit a single family detached dwelling without an attached garage or carport with a minimum interior side yard setback of 1.53 metres and a front yard setback of 1.0 metres.



Site Plan

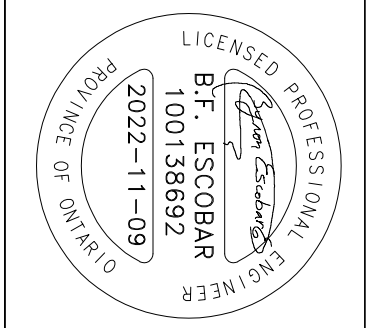
CLARENCE STREET

A289/22

PLANS PREPARED AND VARIANCES IDENTIFIED BY APPLICANT

TBM ENGINEERS INC.
DESIGN. DELIVER. INNOVATE.

TBM Engineers Inc.
15 Laybryn Crt.
Woodbridge, ON (905) 893-9070
www.tbmengineers.com
tbmengineers@mail.com



Project Address:
130 Clarence St,
Vaughan, ON
L4L 1L3

Addition and Interior Alterations on Existing Dwelling

Date Issued for:
2022-08-16 Building Permit
2022-10-17 COA
2022-11-09 COA

Scale:
1:100

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

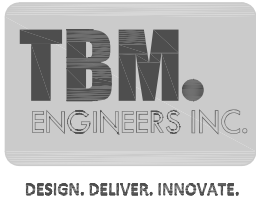
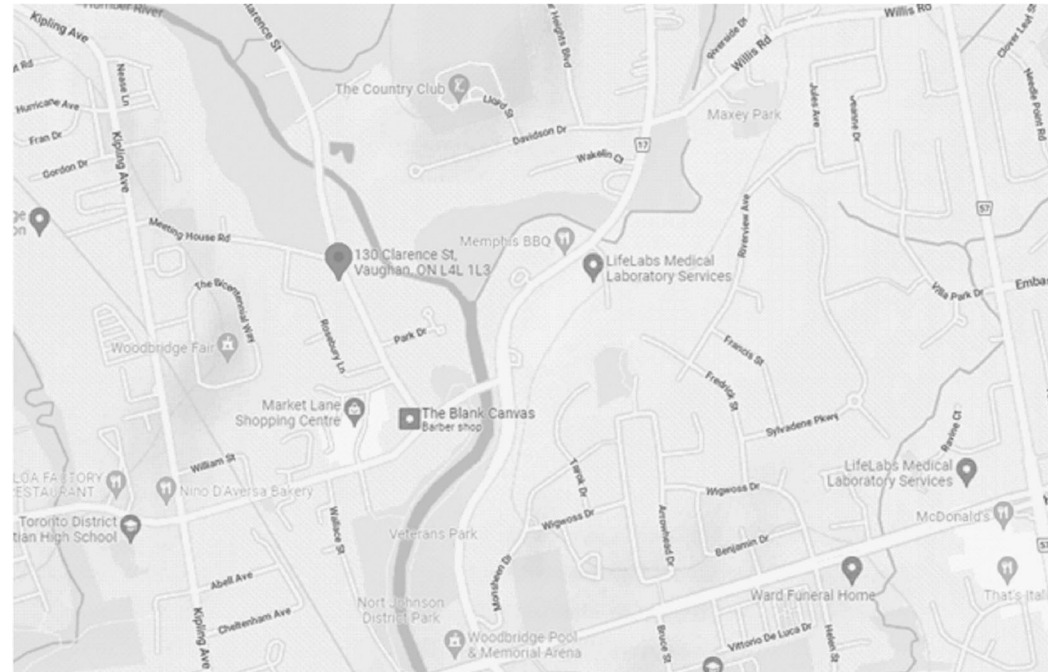
Drawing No.
D-02
2 of 25

A289/22

Project Address:
130 CLARENCE ST WOODBRIDGE ON L4L 1L3

Scope of Work:
REAR AND SECOND FLOOR ADDITION
ON EXISTING DETACHED DWELLING

Received 11/23/22



TBM Engineers Inc.
15 Jaylynn Crt.
Woodbridge, ON (905) 893-9070
www.tbmengineers.com
tbmengineers@mail.com



Project Address:
130 Clarence St,
Vaughan, ON
L4L 1L3

**Addition and Interior
Alterations on
Existing Dwelling**

Date **Issued for:**
2022-08-16 Building Permit
2022-10-17 COA

Scale:
3/16" = 1'-0" (1:64)

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Drawing No.
D-01
1 of 25

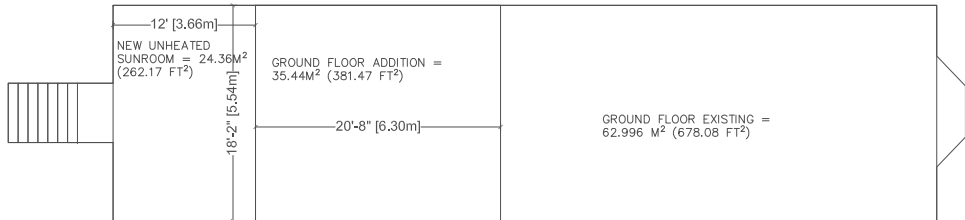


TOTAL SECOND FLOOR =
96.90 M² (1043.07 FT²)

SECOND FLOOR ADDITION =
52.18 M² (561.65 FT²)

EXISTING SECOND FLOOR =
44.73M² (481.42 FT²)

AREA INCLUDING ADDITION =
98.44 M² (1059.58 FT²)



ADDRESS	130 Clarence St
ZONING	R3
PLAN No.	65M3274 PT LOT 171 RP
LOT AREA	356.14 M ²
LOT FRONTAGE	11.03 M
LOT DEPTH	33.94 M
MAX. LOT COVERAGE	40/50 %
MA. BUILDING HEIGHT	9.5 M

SITE STATISTICS	EXISTING	PROPOSED	TOTAL
	M2	M2	M2
BASEMENT FLOOR		0	0
GROUND FLOOR	62.996	35.44	98.44
SECOND FLOOR	44.73	52.18	96.91
TOTAL GROUND FLOOR AND SECOND FLOOR EXCLUDED GARAGE	107.726		195.346
VINYL SHED			9
NEW UNHEATED SUNROOM			20.25
TOTAL GROUND FLOOR + SHED+ UNHEATED SUNROOM			127.69
COVERAGE %			35.85

FRONT YARD NO CHANGES		
REAR YARD		
REAR YARD	M2	%
REAR YARD AREA	147.79	
REAR UNHEATED ROOM AND STAIRS	24.36	
VINYL SHED	9	
TOTAL SOFT LANDSCAPING	114.43	77.43

SETBACKS		
	M	
FRONT EXISTING	1.73	
SIDE	2.97& 1.91	
REAR	14.33	

SITE STATISTICS



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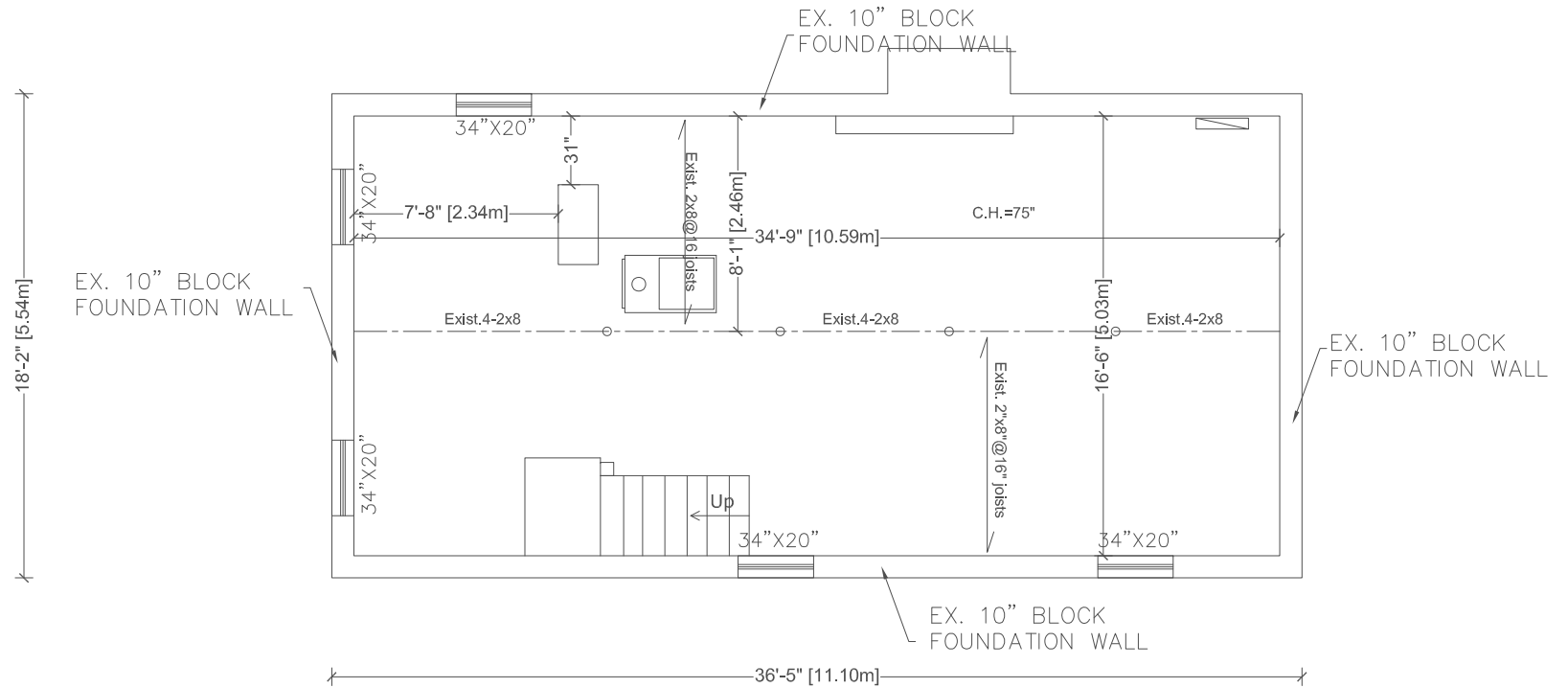
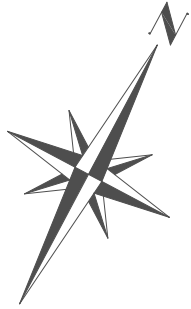
**Addition and
Interior Alterations
on Existing Dwelling**

Date Issued for:
2022-08-16 Building Permit
2022-10-17 COA
2022-11-09 COA

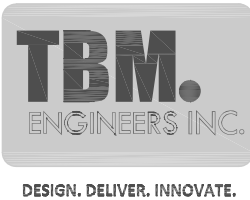
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Drawing No.
D-03
3 of 20



Existing Basement Floor Plan



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 Woodbridge, ON (905) 893-9070
 www.tbmengineers.com
 tbmengineers@mail.com



Project Address:
 130 Clarence St,
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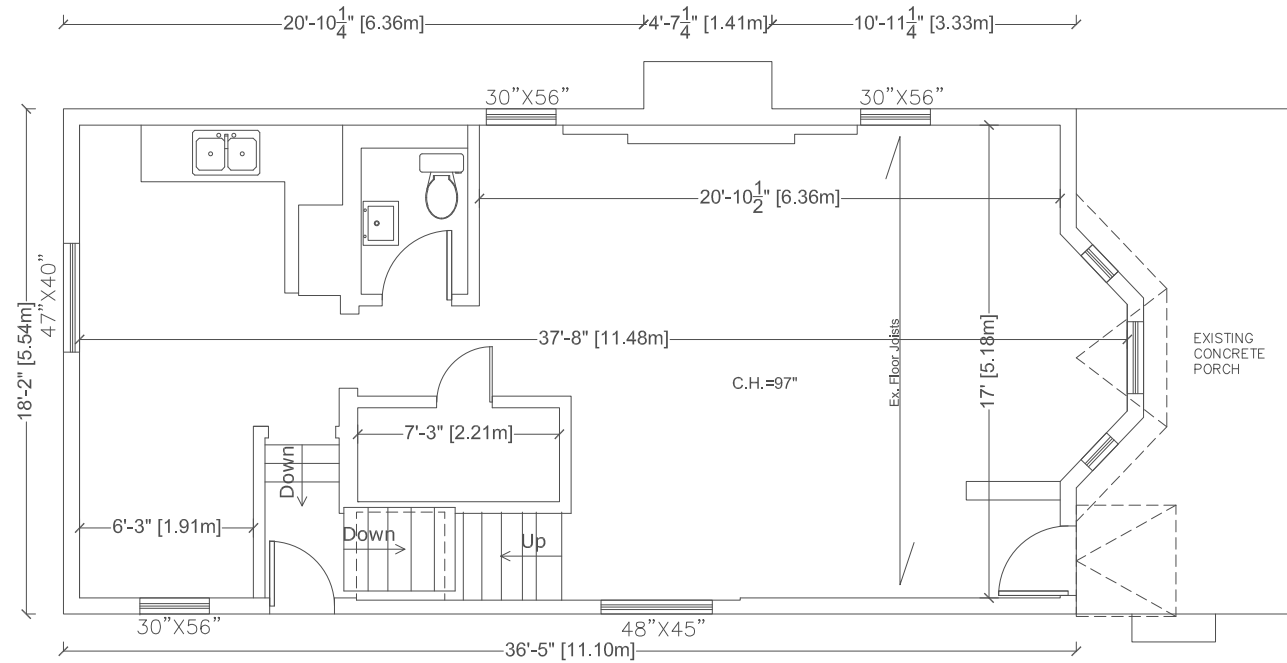
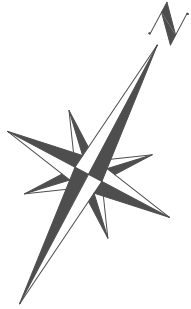
**Addition and Interior
 Alterations on
 Existing Dwelling**

Date Issued for:
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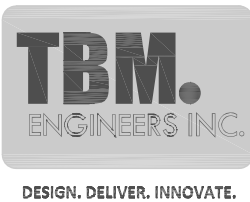
Scale:
 $\frac{3}{16}'' = 1'-0''$ (1:64)

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Drawing No.
D-04
 4 of 25



Existing Ground Floor Plan



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 15 Jaylynn Crt.
 Woodbridge, ON (905) 893-9070
 www.tbmengineers.com
 tbmengineers@mail.com



Project Address:
 130 Clarence St,
 Vaughan, ON
 L4L 1L3

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 Alterations on
 Existing Dwelling**

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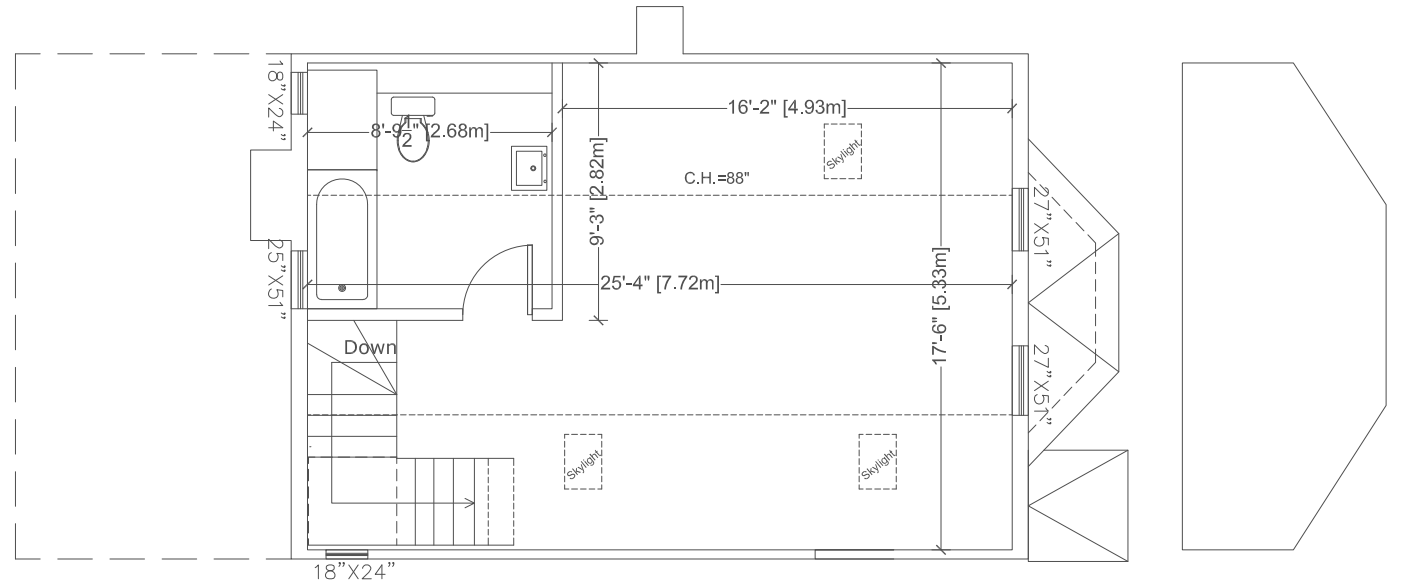
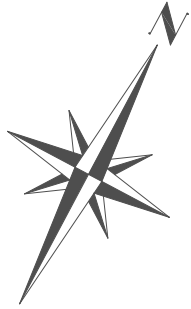
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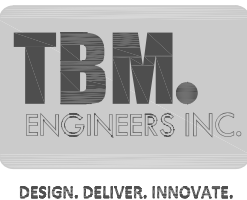
Drawing No.

D-05

5 of 25



Existing Second Floor Plan



TBM Engineers Inc.
 15 Jaylynn Crt.
 Woodbridge, ON (905) 893-9070
 www.tbmengineers.com
 tbmengineers@mail.com



Project Address:
 130 Clarence St,
 Vaughan, ON
 L4L 1L3

**Addition and Interior
 Alterations on
 Existing Dwelling**

Date Issued for:
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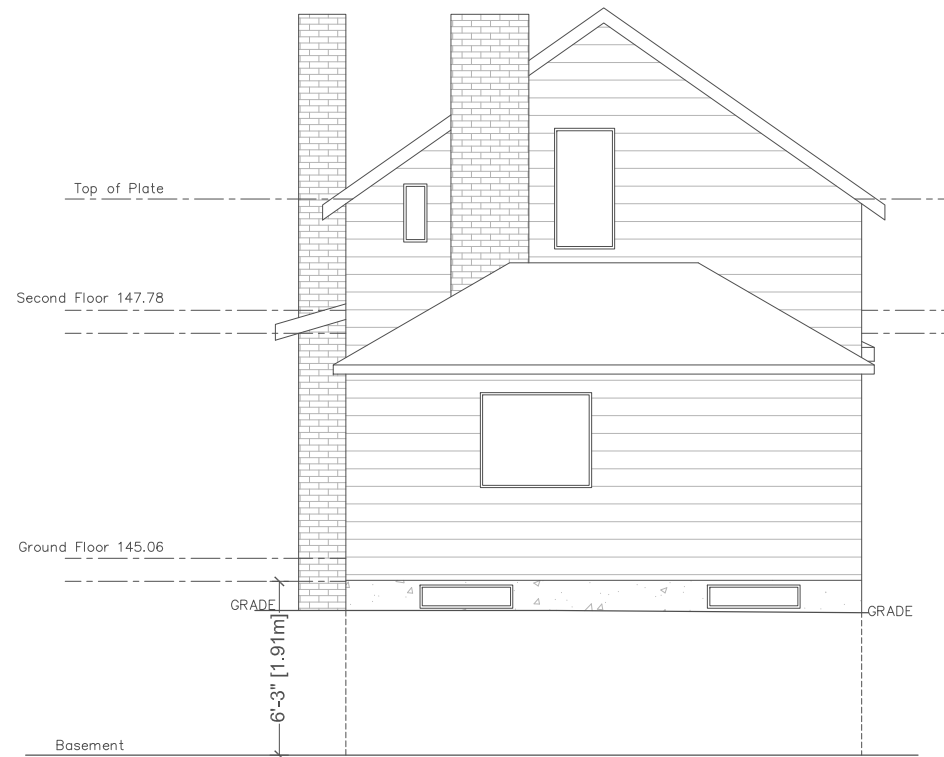
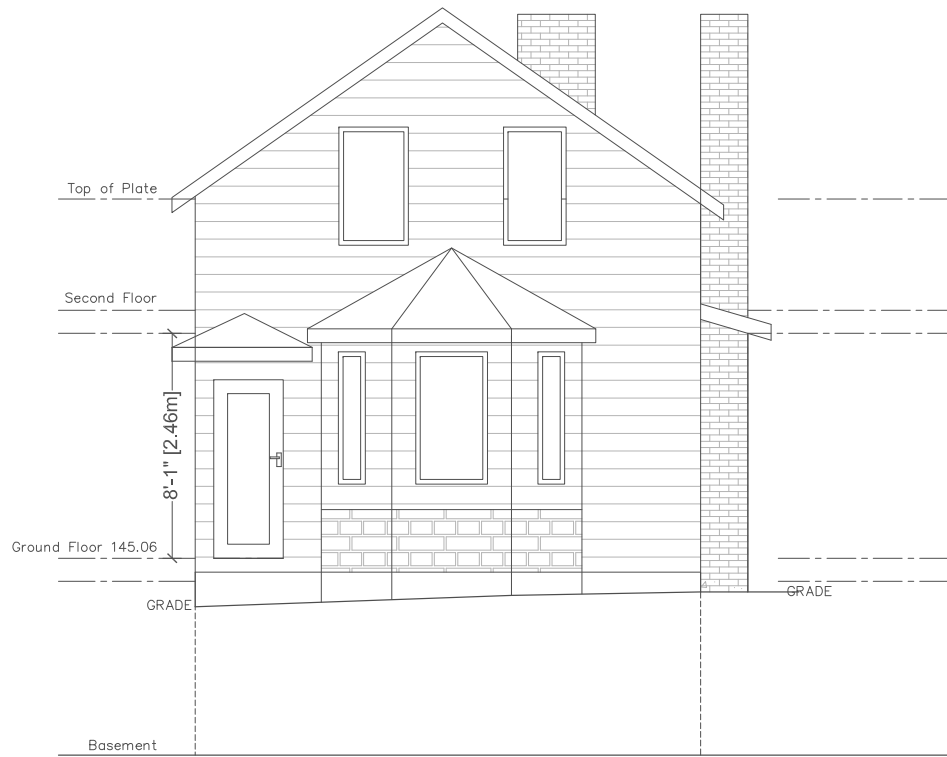
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Drawing No.

D-06

6 of 25



Existing Front (East) Elevation

Existing Rear (West) Elevation



DESIGN. DELIVER. INNOVATE.

TBM Engineers Inc.
 15 Jaylynn Crt.
 Woodbridge, ON (905) 893-9070
 www.tbmengineers.com
 tbmengineers@mail.com



Project Address:
 130 Clarence St,
 Vaughan, ON
 L4L 1L3

**Addition and Interior
 Alterations on
 Existing Dwelling**

Date **Issued for:**
 2022-08-16 Building Permit
 2022-10-17 COA

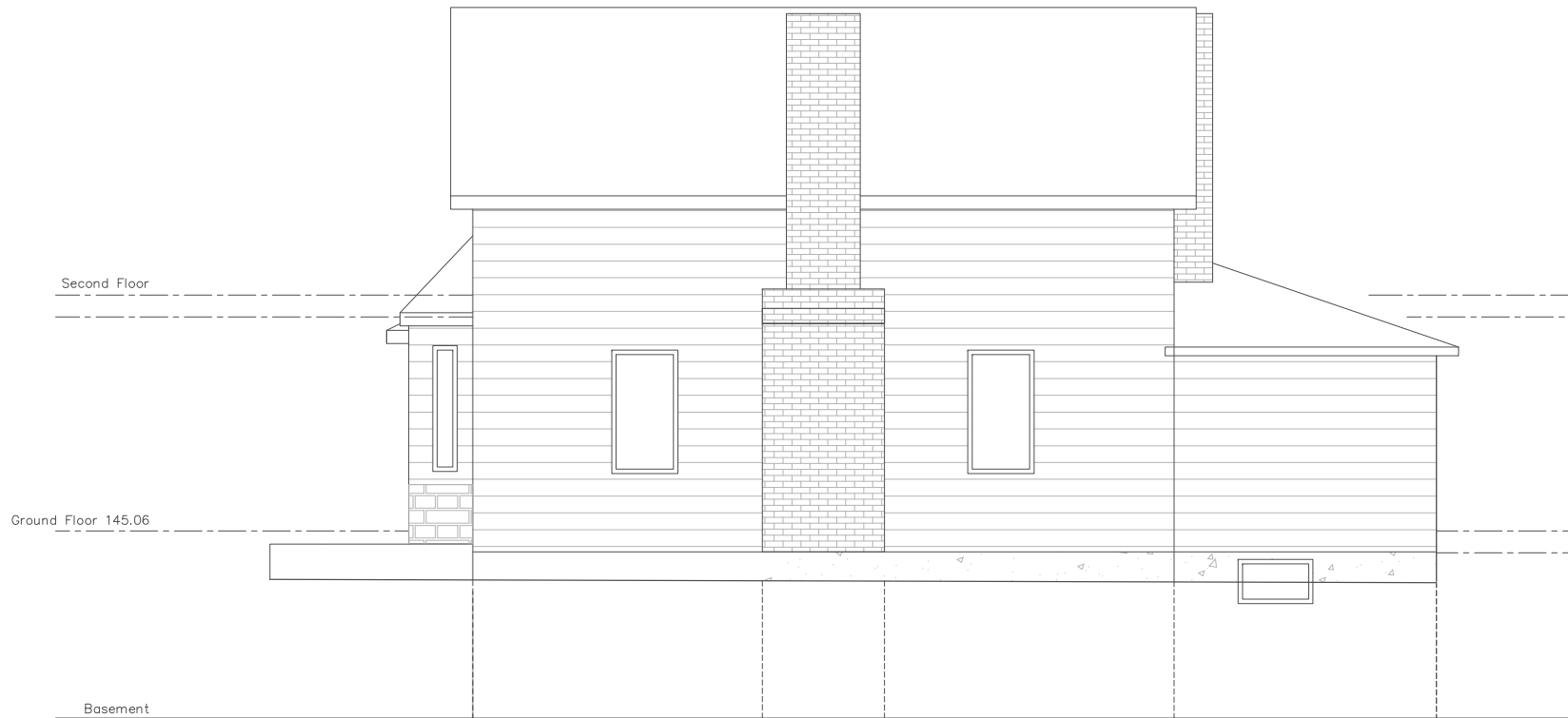
Scale:
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Drawing No.

D-07

7 of 25



Existing Right Side (North) Elevation

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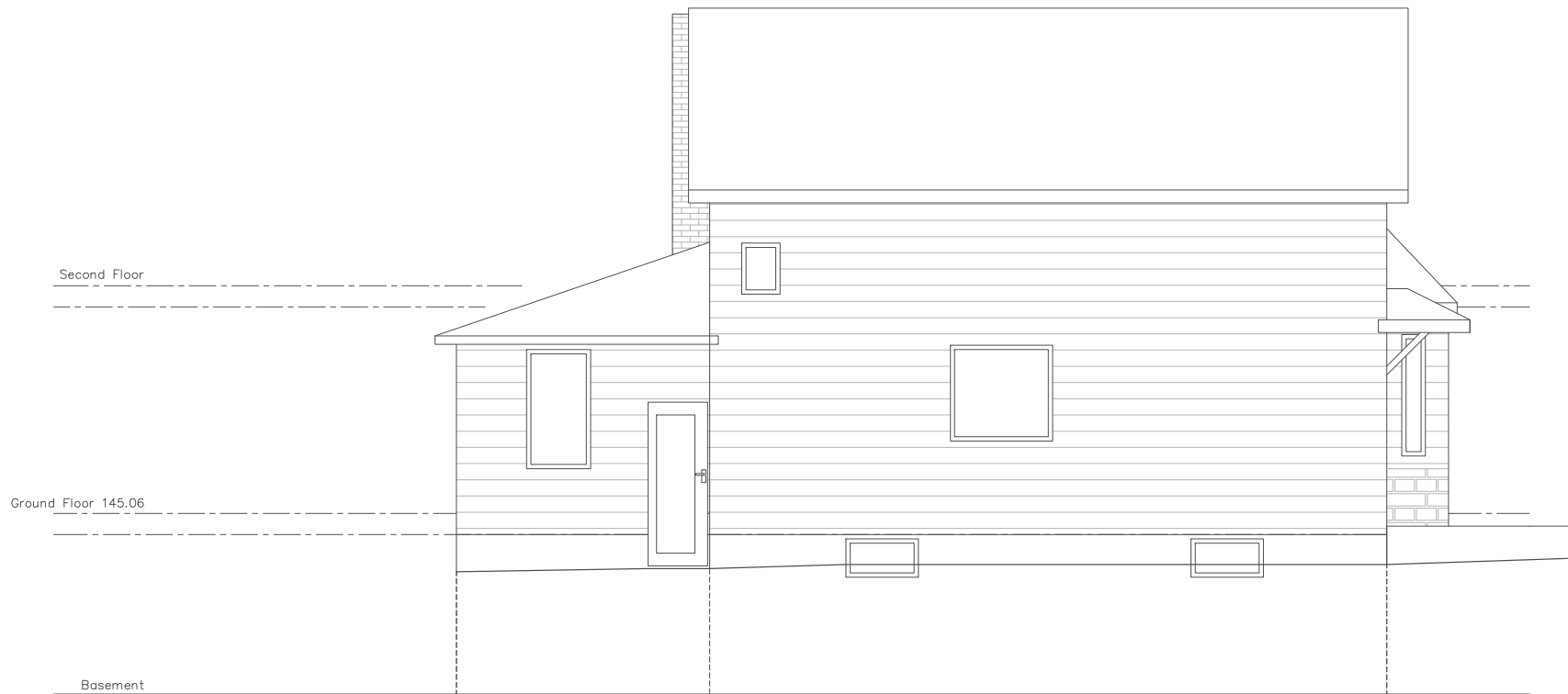
Scale:
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Drawing No.

D-08

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Existing Left Side (South) Elevation



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Drawing No.

D-09

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SB= Solid Wood Bearing - the width of wood column shall not be less than the width of the supported member

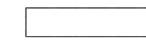
C1= 3½"x3½"x¼" HSS square post with 6x6x½ bottom plate



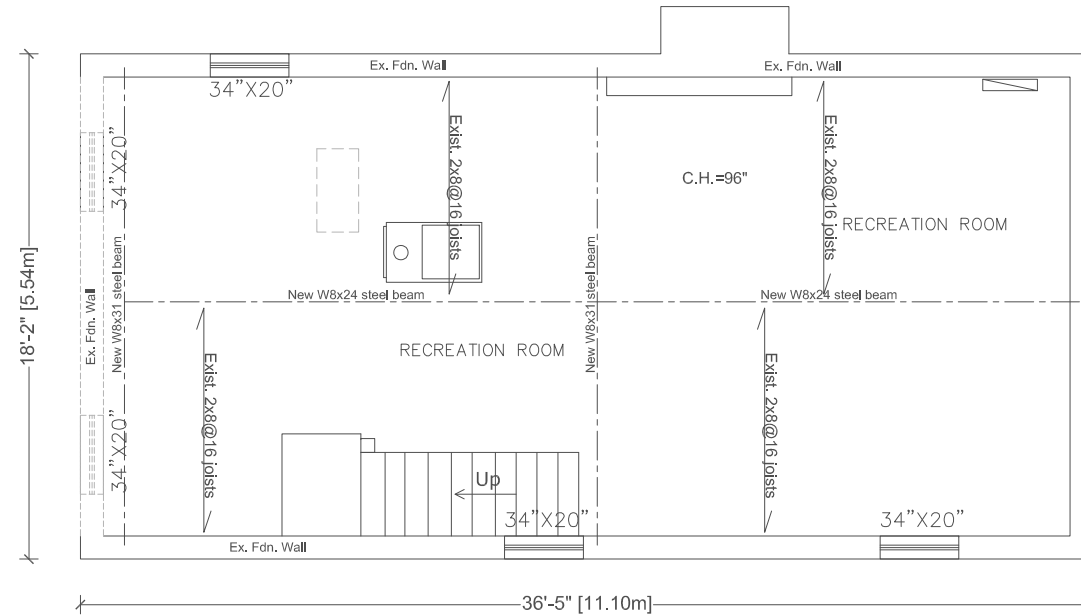
Walls to be Removed



Existing Walls



Proposed Walls



Demo Basement Floor Plan



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Drawing No.

D-10

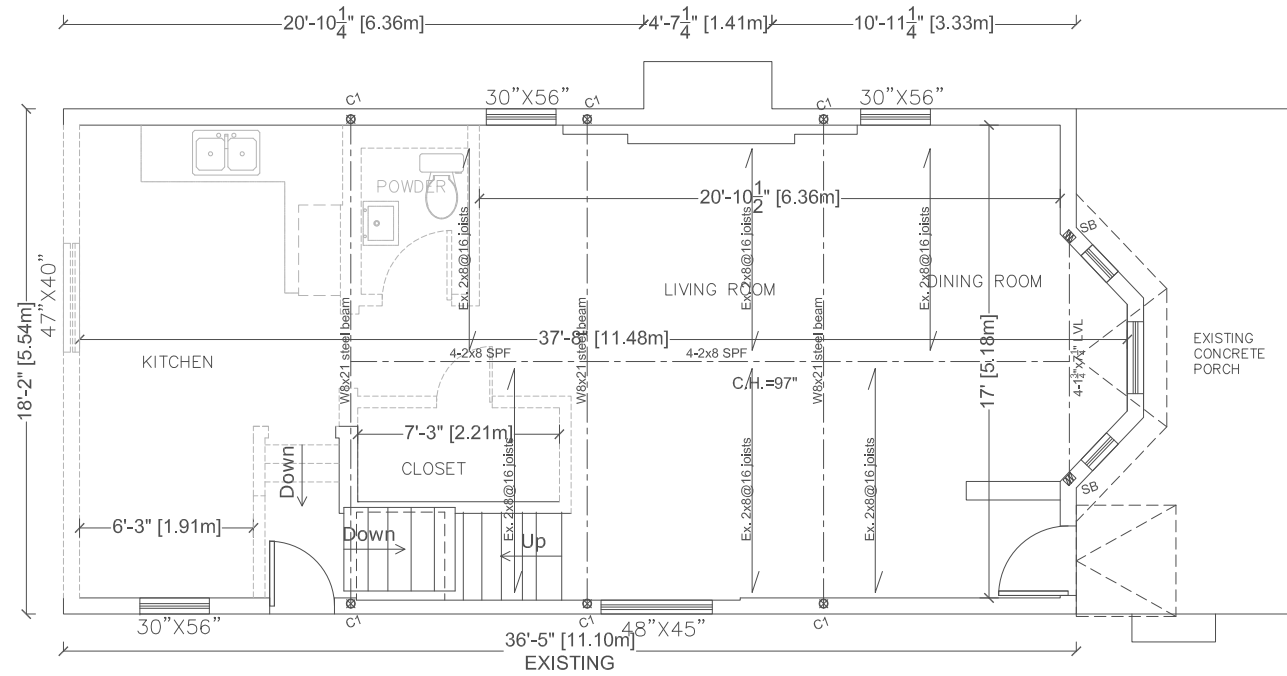
10 of 25



SB= Solid Wood Bearing - the width of wood column shall not be less than the width of the supported member

C1= 3 $\frac{1}{2}$ "x3 $\frac{1}{2}$ "x $\frac{1}{2}$ " HSS square post with 6x6x $\frac{1}{2}$ " bottom plate

- Walls to be Removed
- Existing Walls
- Proposed Walls



Demo Ground Floor Plan



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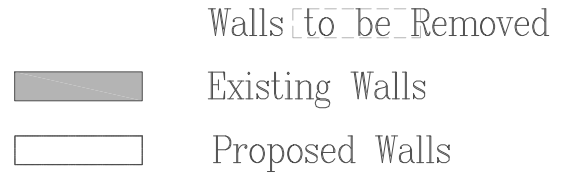
Scale:
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Drawing No.

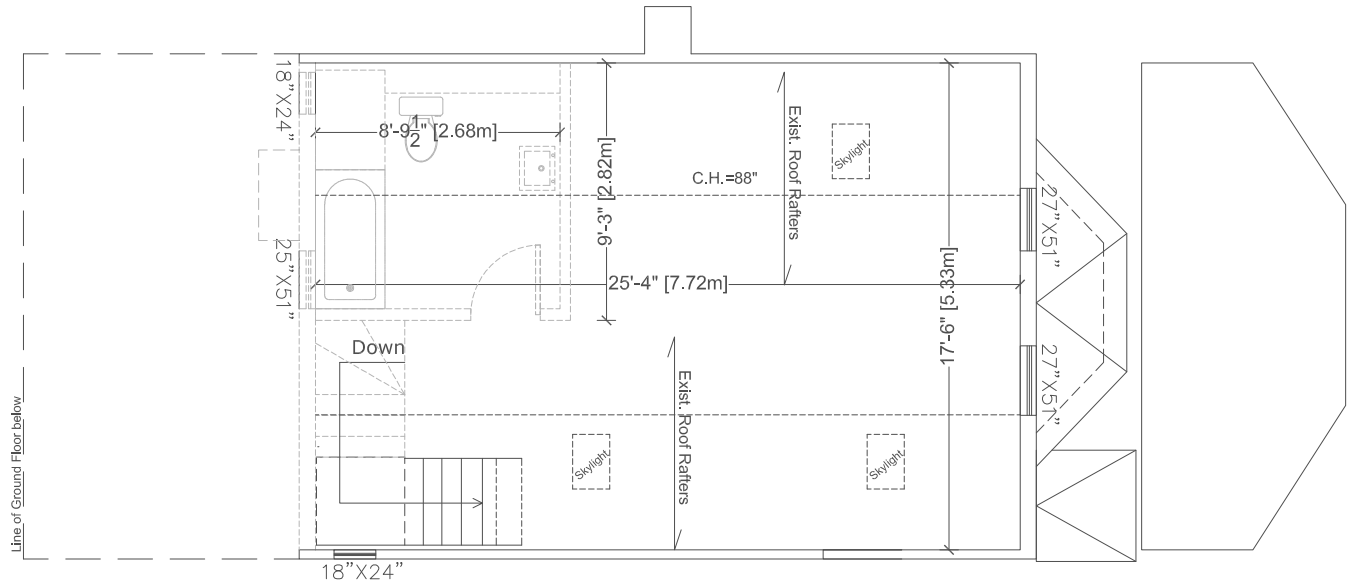
D-11

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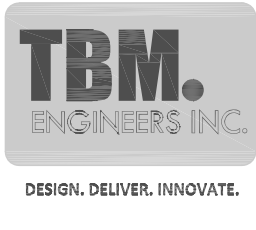


SB= Solid Wood Bearing - the width of wood column shall not be less than the width of the supported member

C1= 3 1/2" x 3 1/4" x 1/4" HSS square post with 6x6x1/2 bottom plate



Demo Second Floor Plan



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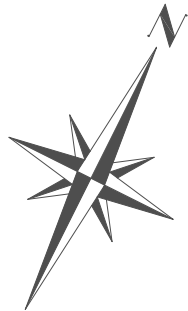
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Drawing No.
D-12
 12 of 25



SB= Solid Wood Bearing - the width of wood column shall not be less than the width of the supported member
 PLA= Point Load Above

C1= 3/2"x3/2"x1/4" HSS square post with 6x6x1/2 bottom plate
 C4= 6"x6" PT post

FDN1= 10" (25 MPa) poured concrete foundation wall with 15M@16" horizontal and vertical rebar on 20"x8" poured concrete strip footing with 2-15M long. rebar, min. 3" concrete cover.

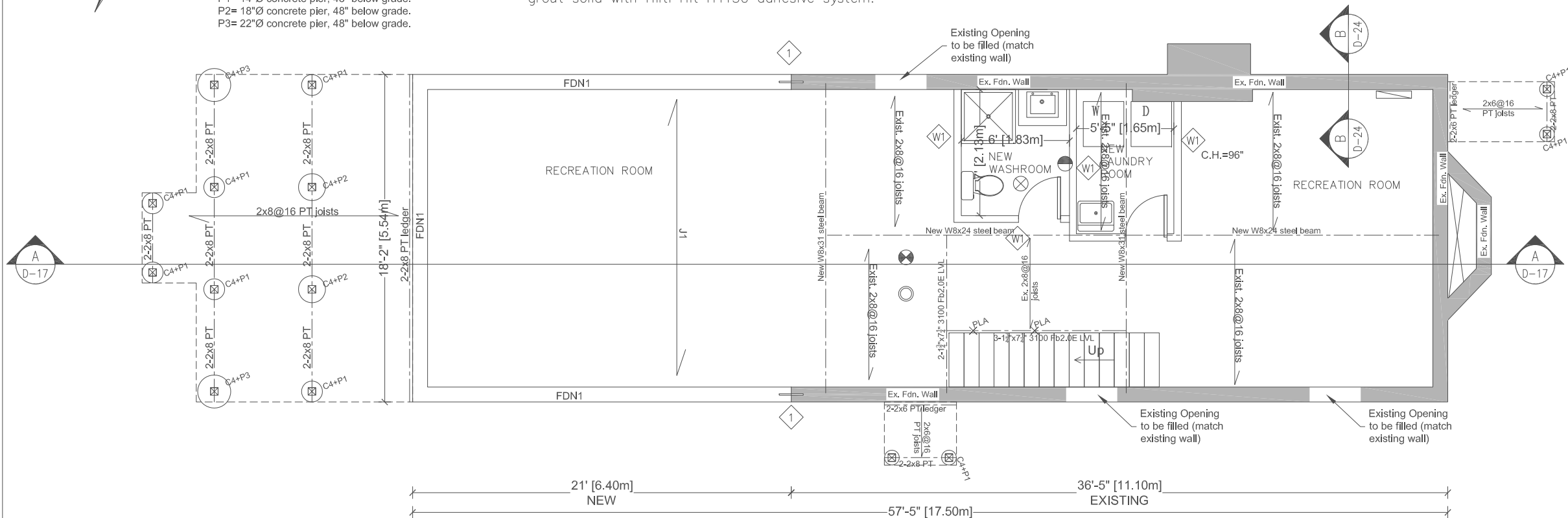
F1= 20"x20"x12" concrete footing pad.
 P1= 14"Ø concrete pier, 48" below grade.
 P2= 18"Ø concrete pier, 48" below grade.
 P3= 22"Ø concrete pier, 48" below grade.

W1 INTERIOR STUD PARTITION
 1/2" DRYWALL FINISH BOTH SIDES OF 2"x4"@16" SPF STUDS, DOUBLE PLATE@ TOP, SOLE PLATE @ BOTTOM. PROVIDE SOUND INSULATION ON BATHROOM WALLS AND FURNACE ROOM.
 USE 1/2" WATERPROOFING GYPSUM BOARD ON WASHROOMS AND 1/2" WATERPROOF CEMENT BOARD ON BATHTUBS.

1 TYPICAL CONNECTION: 15M dowels 24" long @24" o.c. vertically. Drill 8" into existing wall and grout solid with Hilti Hit HY150 adhesive system.

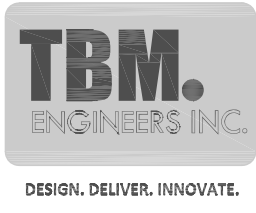
W2 WALL TYPE W2
 FINISH AS PER ELEVATIONS
 INSTALLED CONFORM TO MANUFACTURER SPECIFICATIONS OR ADHERED MANUFACTURED STONE VENEER AS PER MANUFACTURER SPECIFICATIONS
 SHEATHING PAPER LAYERS
 R-5 RIGID INSULATION
 WATER RESISTIVE BARRIER
 1/2" EXTERIOR PLYWOOD OR O.S.B
 3X8X140 WOOD STUDS @ 400 O.C.
 DOUBLE PLATE AT TOP AND SOLE PLATE AT BOTTOM
 MIN R19 (RSI=3.34) BATT INSULATION IN CONTINUOUS CONTACT W SHEATHING
 CONTINUOUS AIR/VAPOUR BARRIER
 5/8" (15.9 mm) GYPSUM BOARD

Walls to be Removed
 Existing Walls
 Proposed Walls



Proposed Basement Floor Plan

- ☒ Smoke Alarm
- ⊙ Carbon Monoxide Alarm
- ⊖ Exhaust Fan
- ⊗ Floor Drain



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Addition and Interior Alterations on Existing Dwelling

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D-13
 13 of 25

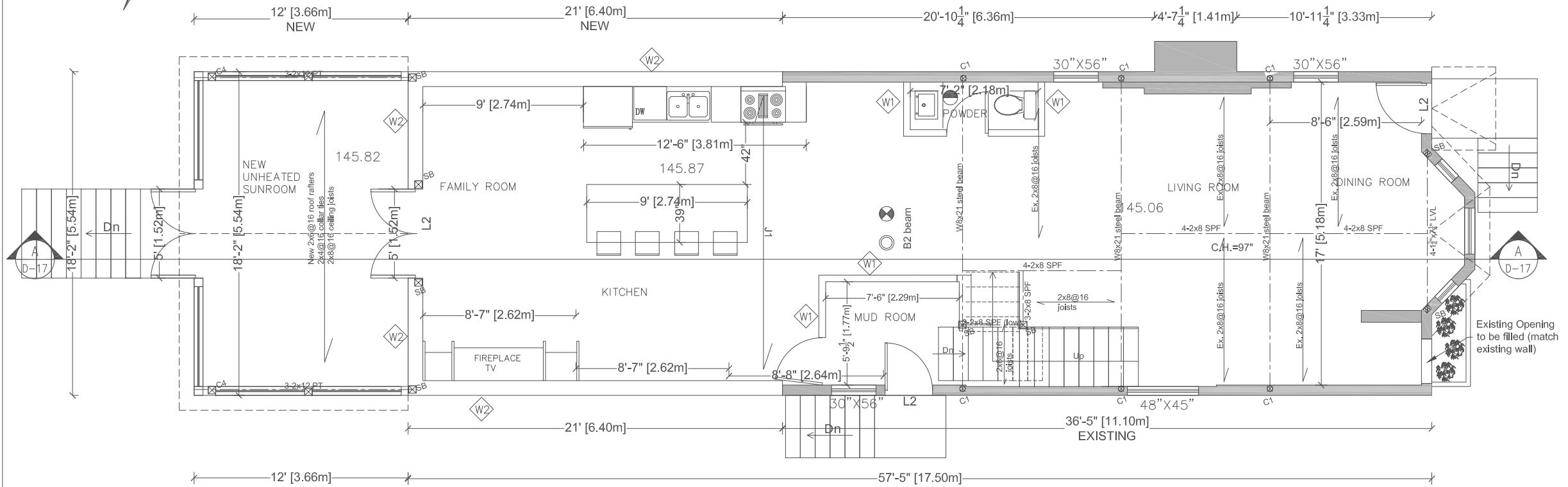


SB= Solid Wood Bearing - the width of wood column shall not be less than the width of the supported member
 C1= 3-1/2"x3-1/2"x4" HSS square post with 6x6 1/2" bottom plate
 C4= 6"x6" PT post
 L1= 2-2"x10" SPF
 L2= 2-1-3/4"x9-1/4" 3100 Fb-2.0E LVL
 L3= 3-1-3/4"x9-1/4" 3100 Fb-2.0E LVL
 B1= 1-1-3/4"x11-7/8" 3100 Fb-2.0E LVL
 B2= 2-1-3/4"x11-7/8" 3100 Fb-2.0E LVL
 J1= 11-1/8" s31@16" TJI floor joists with 5/8" sheathing and 1/2" gypsum board

W1 INTERIOR STUD PARTITION
 1/2" DRYWALL FINISH BOTH SIDES OF 2"x4"@16" SPF STUDS, DOUBLE PLATE@ TOP, SOLE PLATE @ BOTTOM. PROVIDE SOUND INSULATION ON BATHROOM WALLS AND FURNACE ROOM.
 USE 1/2" WATERPROOFING GYPSUM BOARD ON WASHROOMS AND 1/2" WATERPROOF CEMENT BOARD ON BATHTUBS.

W2 WALL TYPE W2
 FINISH AS PER ELEVATIONS:
 INSTALLED CONFORM TO MANUFACTURER SPECIFICATIONS OR ADHERED MANUFACTURED STONE VENEER AS PER MANUFACTURER SPECIFICATIONS
 SHEATHING PAPER LAYERS
 R-5 RIGID INSULATION
 WATER RESISTIVE BARRIER
 1/2" EXTERIOR PLYWOOD OR O.S.B
 3X8X140 WOOD STUDS @ 400 O.C.
 DOUBLE PLATE AT TOP AND SOLE PLATE AT BOTTOM
 MIN R19 (RSI=3.34) BATT INSULATION IN CONTINUOUS CONTACT W SHEATHING
 CONTINUOUS AIR/VAPOUR BARRIER
 5/8" (15.9 mm) GYPSUM BOARD

Walls to be Removed
 Existing Walls
 Proposed Walls



Proposed Ground Floor Plan

- Smoke Alarm
- Carbon Monoxide Alarm
- Exhaust Fan

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LICENSED PROFESSIONAL ENGINEER
B.F. Escobar
 B.F. ESCOBAR
 100138692
 2022-11-02
 PROVINCE OF ONTARIO

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**Addition and Interior
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Drawing No.
D-14
 14 of 25



SB= Solid Wood Bearing - the width of wood column shall not be less than the width of the supported member

C1= 3 $\frac{1}{2}$ "x3 $\frac{1}{2}$ "x $\frac{1}{4}$ " HSS square post with 6x6x $\frac{1}{2}$ " bottom plate

C4= 6"x6" PT post

L1= 2-2"x10" SPF

L2= 2-1 $\frac{3}{4}$ "x9 $\frac{1}{4}$ " 3100 Fb-2.0E LVL

L3= 3-1 $\frac{3}{4}$ "x9 $\frac{1}{4}$ " 3100 Fb-2.0E LVL

B1= 1-1 $\frac{3}{4}$ "x11 $\frac{1}{8}$ " 3100 Fb-2.0E LVL

B2= 2-1 $\frac{3}{4}$ "x11 $\frac{1}{8}$ " 3100 Fb-2.0E LVL

J1= 11 $\frac{1}{8}$ " s31@16" TJI floor joists with $\frac{5}{8}$ " sheathing and $\frac{1}{2}$ " gypsum board



INTERIOR STUD PARTITION
 $\frac{1}{2}$ " DRYWALL FINISH BOTH SIDES OF 2"x4"@16" SPF STUDS, DOUBLE PLATE@ TOP, SOLE PLATE @ BOTTOM. PROVIDE SOUND INSULATION ON BATHROOM WALLS AND FURNACE ROOM,
 USE $\frac{1}{2}$ " WATERPROOFING GYPSUM BOARD ON WASHROOMS AND $\frac{1}{2}$ " WATERPROOF CEMENT BOARD ON BATHTUBS.



WALL TYPE W2
 FINISH AS PER ELEVATIONS
 INSTALLED CONFORM TO MANUFACTURER SPECIFICATIONS OR ADHERED MANUFACTURED STONE VENEER AS PER MANUFACTURER SPECIFICATIONS
 SHEATHING PAPER LAYERS
 R-5 RIGID INSULATION
 WATER RESISTIVE BARRIER
 $\frac{1}{2}$ " EXTERIOR PLYWOOD OR O.S.B
 38X140 WOOD STUDS @ 400 O.C.
 DOUBLE PLATE AT TOP AND SOLE PLATE AT BOTTOM
 MIN R19 (RSI-3.34) BATT INSULATION IN CONTINUOUS CONTACT W SHEATHING
 CONTINUOUS AIR/VAPOUR BARRIER
 $\frac{5}{8}$ " (15.9 mm) GYPSUM BOARD



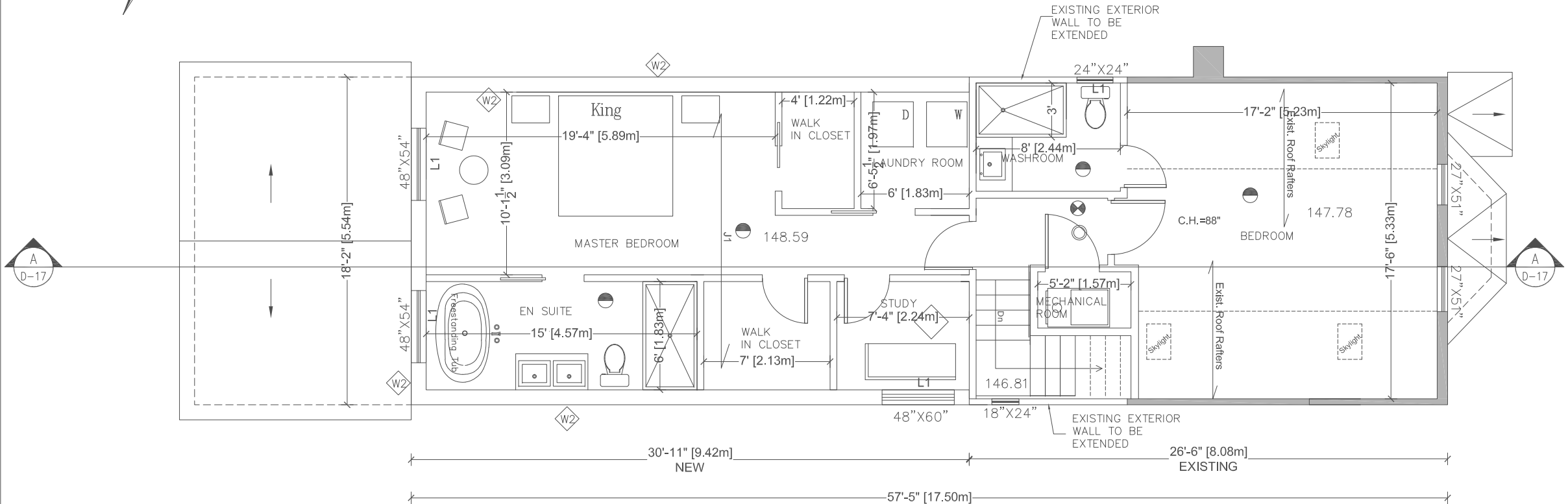
Walls to be Removed



Existing Walls



Proposed Walls



Proposed Second Floor Plan

- Smoke Alarm
- Carbon Monoxide Alarm
- Exhaust Fan



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Addition and Interior Alterations on Existing Dwelling

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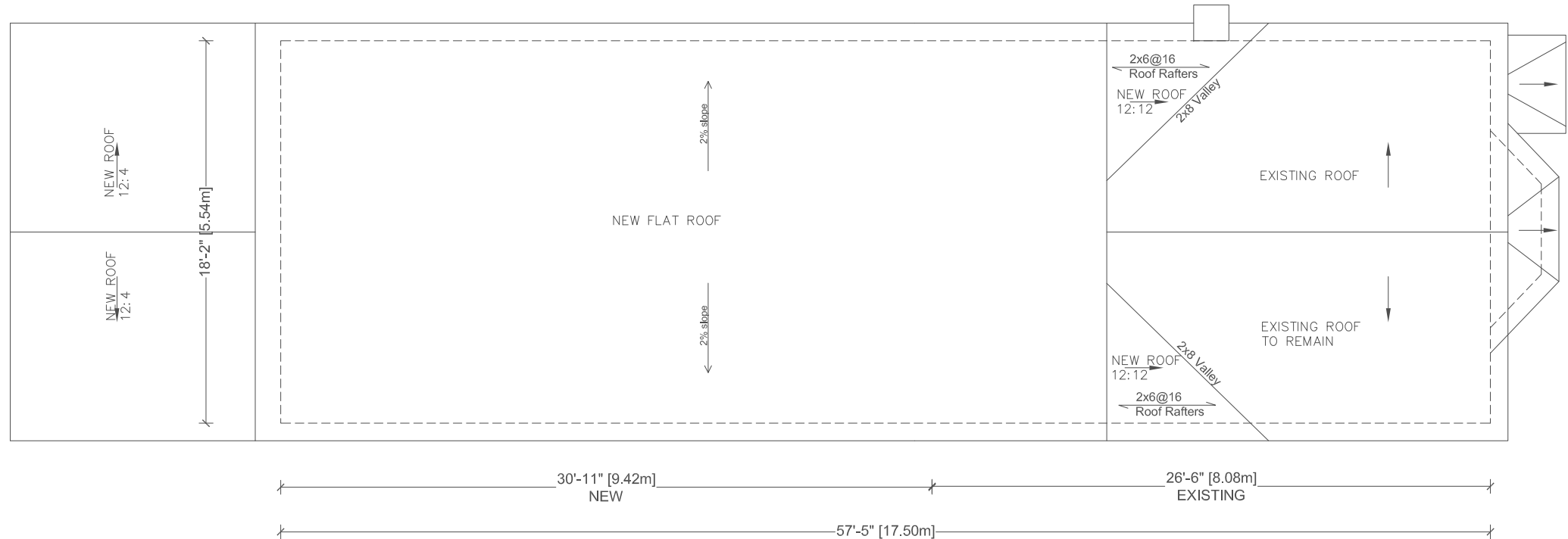
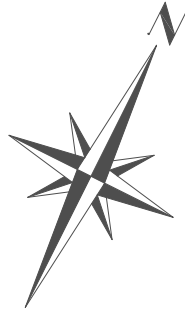
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D-15

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Proposed Roof Plan



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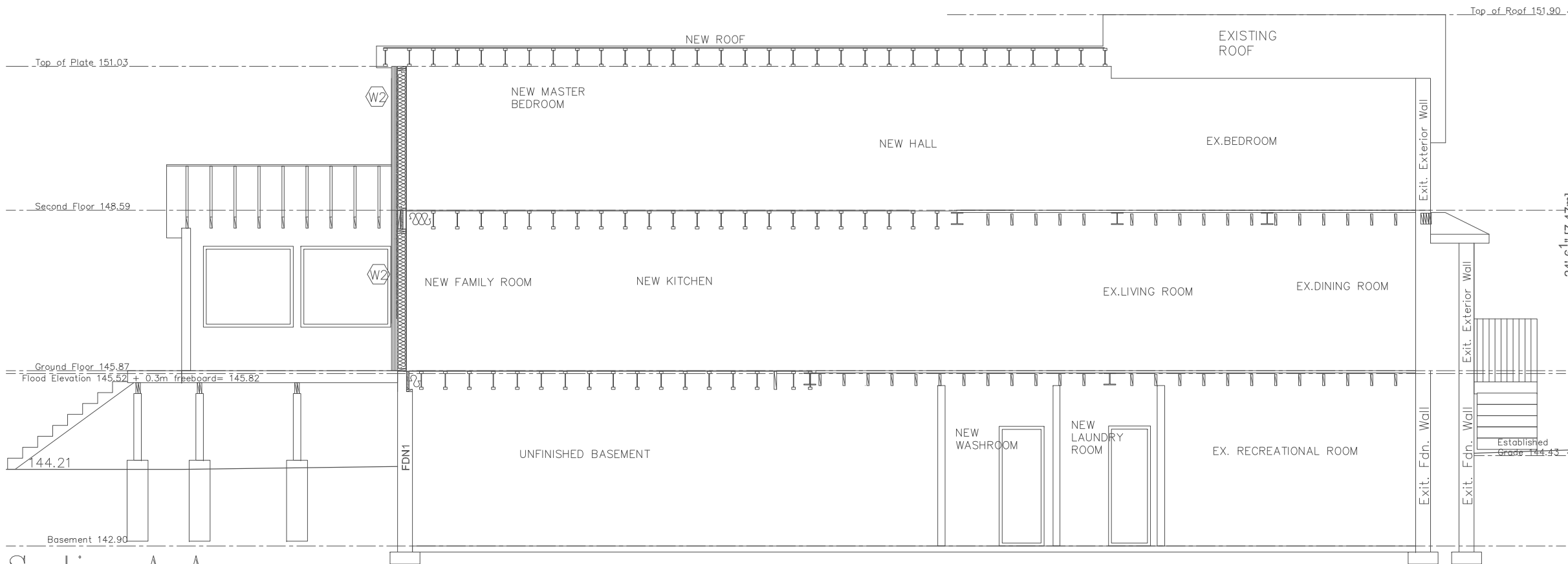
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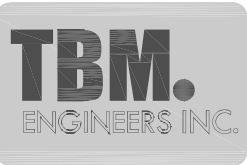
Drawing No.

D-16

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Section A-A



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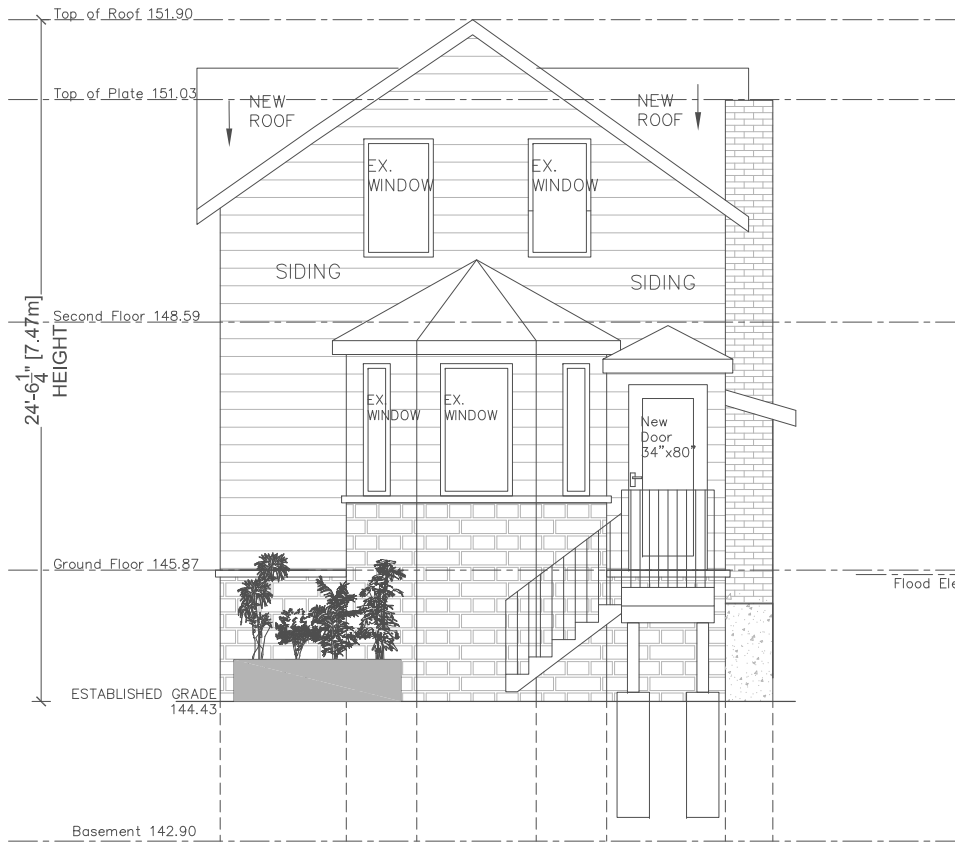
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D-17
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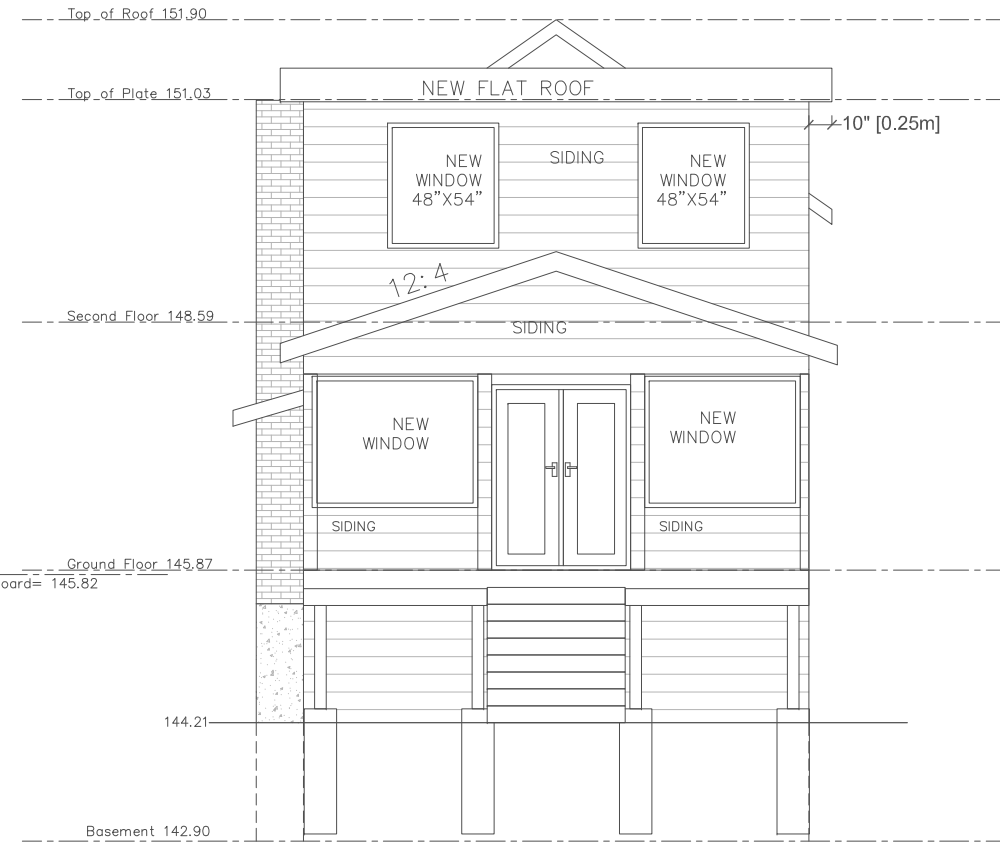
PROPOSED MATERIALS

NEW SIDING – JAMES HARDIE–CEDARMILL GREY SLATE SIDING
 NEW CULTURED STONE–COUNTRY LEDGE STONE ASHFALL
 JAMES HARDIE – CEMENT RUSTIC WHITE TRIM
 IKO CAMBRIDGE – DUAL GREY SHINGLES

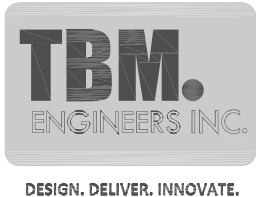
NEW ALUMINUM WINDOW – ALUMIRO WHITE
 NEW WHITE ALUMINUM SOFFIT, GUTTERS, AND DOWNSPOUT – WESTLAKE
 NEW METAL RAILING – PEAK RAILBLAZERS WHITE METAL.



Proposed Front (East) Elevation



Proposed Rear (West) Elevation



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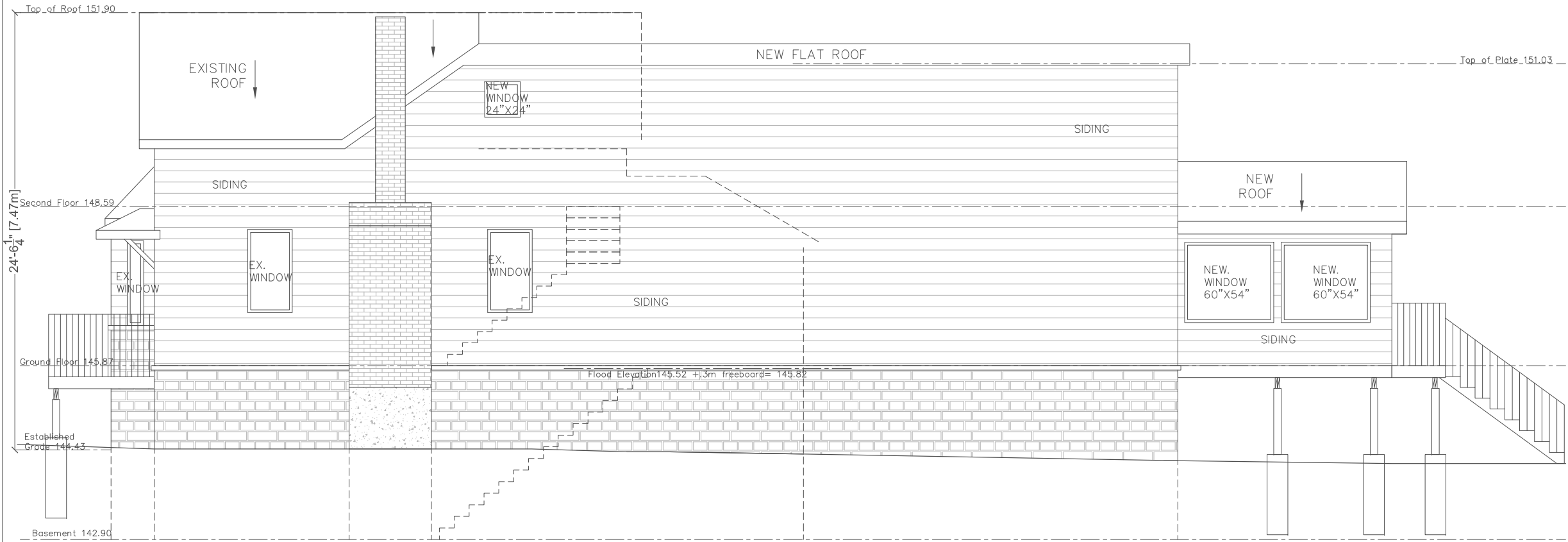
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Drawing No.
D-18
 18 of 25

PROPOSED MATERIALS

NEW SIDING – JAMES HARDIE–CEDARMILL GREY SLATE SIDING
 NEW CULTURED STONE–COUNTRY LEDGE STONE ASHFALL
 JAMES HARDIE – CEMENT RUSTIC WHITE TRIM
 IKO CAMBRIDGE – DUAL GREY SHINGLES

NEW ALUMINUM WINDOW – ALUMIRO WHITE
 NEW WHITE ALUMINUM SOFFIT, GUTTERS, AND DOWNSPOUT – WESTLAKE
 NEW METAL RAILING – PEAK RAILBLAZERS WHITE METAL.

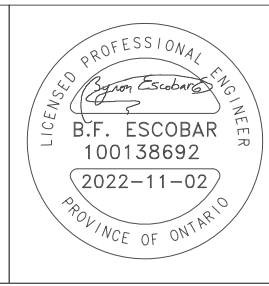


Proposed Right Side (North) Elevation

UNPROTECTED OPENINGS (Table 9.10.15.4)

Wall Area	116.92 m2
Limiting Distance	1.50 m @ 8.0%
Maximum Allowable Openings	9.35 m2
Total Openings Provided	6.72 m2

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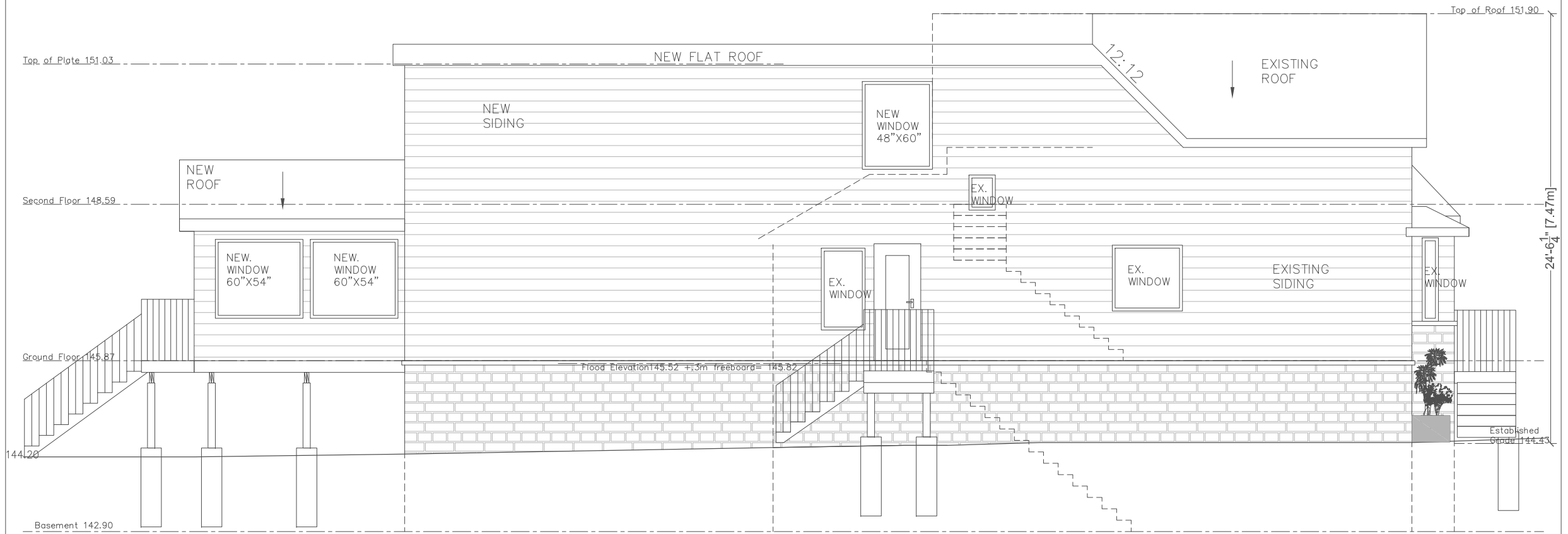
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Drawing No.
D-19
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PROPOSED MATERIALS

NEW SIDING – JAMES HARDIE–CEDARMILL GREY SLATE SIDING
 NEW CULTURED STONE–COUNTRY LEDGE STONE ASHFALL
 JAMES HARDIE – CEMENT RUSTIC WHITE TRIM
 IKO CAMBRIDGE – DUAL GREY SHINGLES

NEW ALUMINUM WINDOW – ALUMIRO WHITE
 NEW WHITE ALUMINUM SOFFIT, GUTTERS, AND DOWNSPOUT – WESTLAKE
 NEW METAL RAILING – PEAK RAILBLAZERS WHITE METAL.



Proposed Left Side (South) Elevation

UNPROTECTED OPENINGS (Table 9.10.15.4)	
Wall Area	116.92 m2
Limiting Distance	1.91 m @ 9.0%
Maximum Allowable Openings	10.52 m2
Total Openings Provided	10.45 m2



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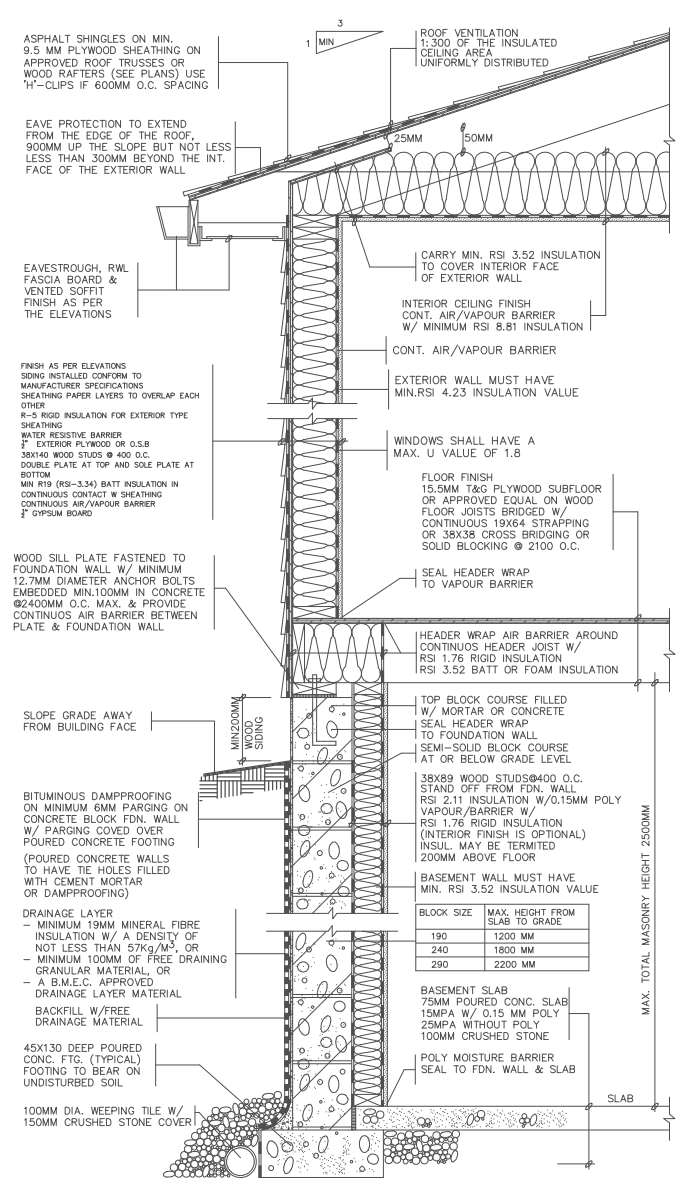
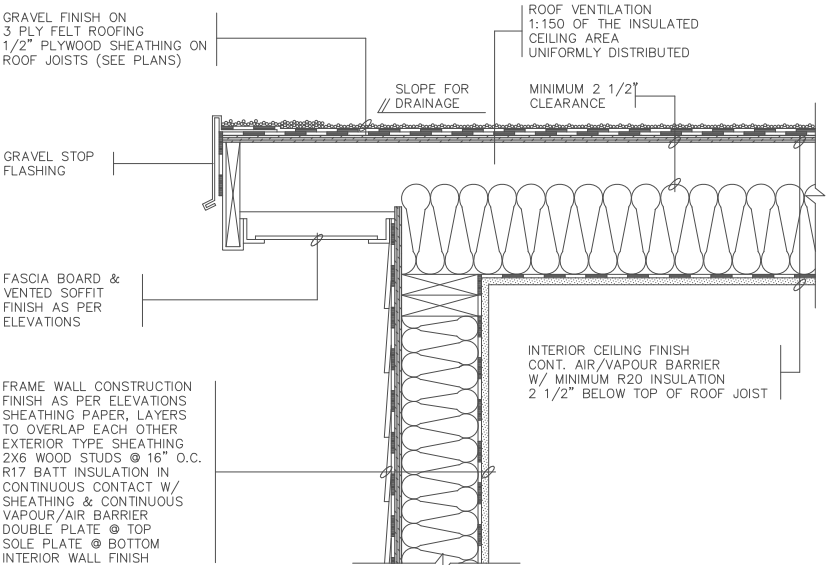
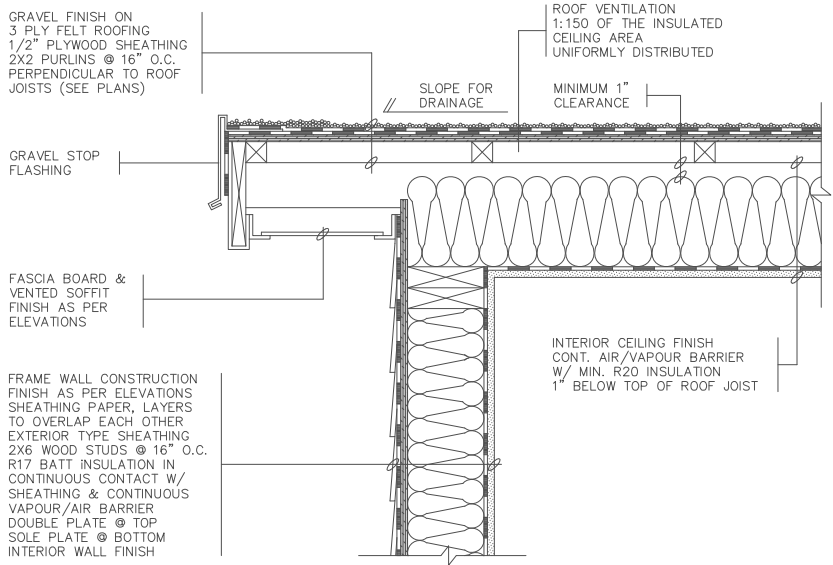
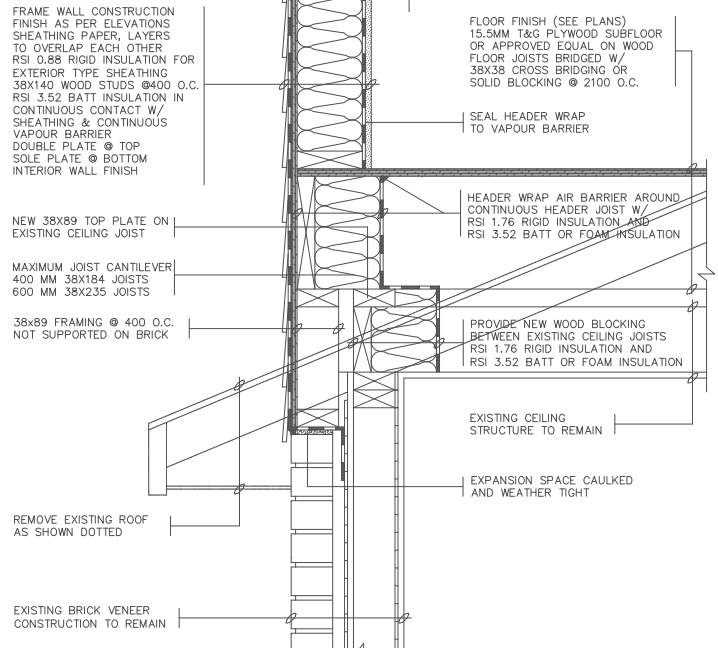
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Drawing No.

D-20

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SECOND STOREY ADDITION

FLAT ROOF DETAIL

FRAME WALL SECTION



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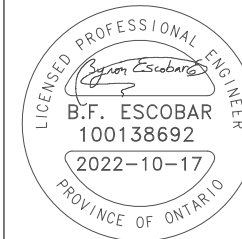
Addition and Interior Alterations on Existing Dwelling

Date Issued for:
 2022-08-16 Building Permit
 2022-10-17 COA
 2022-11-02 COA

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Drawing No.
D-21
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Project Address:
130 Clarence St,
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**Addition and Interior
Alterations on
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D-22

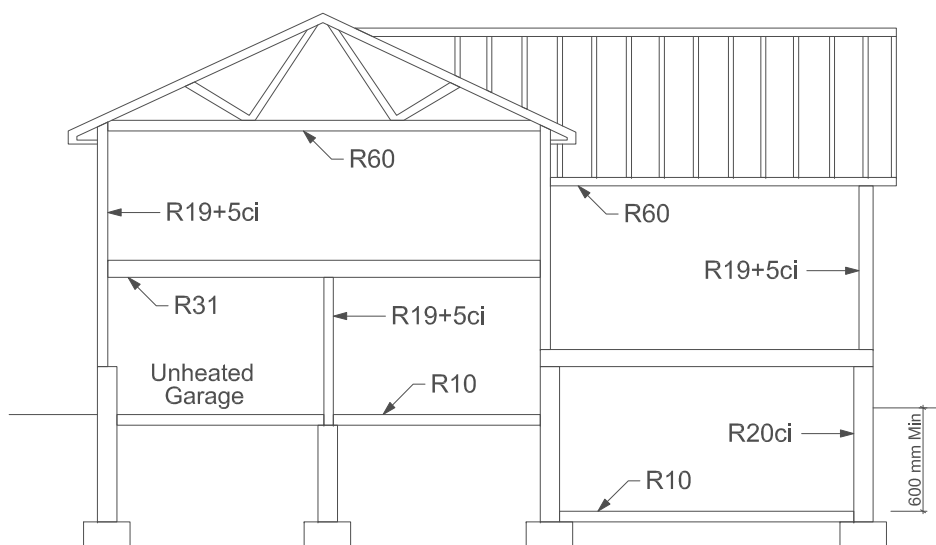
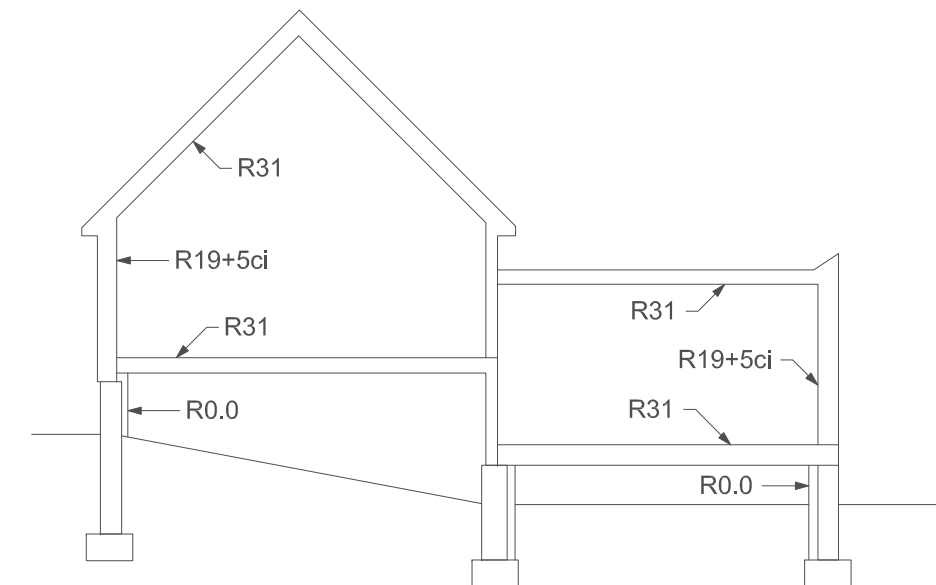
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Table 3.1.1.11. (IP)
Thermal Performance Requirements for Additions to Existing Buildings(3)
Forming Part of Sentence 3.1.1.11.(2)

Component	Thermal Values(7)	Compliance Package		
		Zone 1	Zone 2	Electric Space Heating
		Less than 5000 Degree Days	5000 or more Degree Days	Zones 1 and 2
Ceiling with Attic Space	Min. Nominal R(1)	60	60	60
	Max. U(2)	0.017	0.017	0.017
	Min. Effective R(2)	59.22	59.22	59.22
Ceiling Without Attic Space	Min. Nominal R(1)	31	31	31
	Max. U(2)	0.036	0.036	0.036
	Min. Effective R(2)	27.65	27.65	27.65
Exposed Floor	Min. Nominal R(1)	31	31	31
	Max. U(3)	0.034	0.034	0.034
	Min. Effective R(3)	29.80	29.80	29.80
Walls Above Grade	Min. Nominal R(1)	19 + 5 ci	22 + 7.5 ci	22 + 10 ci
	Max. U(3)	0.049	0.042	0.038
	Min. Effective R(3)	20.32	23.90	26.40
Basement Walls(6)	Min. Nominal R(1)	20 ci	20 ci	20 ci
	Max. U(4)	0.047	0.047	0.047
	Min. Effective R(4)	21.12	21.12	21.12
Heated Slab or Slab ≤ 600 mm Below Grade	Min. Nominal R(1)	10	10	10
	Max. U(4)	0.090	0.090	0.090
	Min. Effective R(4)	11.13	11.13	11.13
Edge of Below Grade Slab ≤ 600 mm Below Grade	Min. Nominal R(1)	10	10	10
	Energy Rating	25	29	29
Windows and Sliding Glass Doors	Max. U(5)	0.28	0.25	0.25
	Energy Rating	25	29	29
Column 1	2	3	4	5

Notes to Table 3.1.1.11:

- The values listed are minimum Nominal R values for the thermal insulation component only.
- U-Value and effective R value shall include entire ceiling assembly components, from interior air film to vented space air film above insulation.
- U-Value and effective R value shall include entire exposed floor or above grade wall assembly components, from interior air film to exterior air film.
- U-Value and effective R value shall include entire basement wall or slab assembly components and interior air film.
- U-Value is the overall coefficient of heat transfer for a window assembly, sliding glass door assembly or skylight assembly expressed in Btu/(h·ft²·F).
- In the case of basement wall assemblies, where R20 ci is required R12 + 10 ci is permitted to be used or vice versa; or where R1 2+ 5 ci is required, R15 ci is permitted to be used or vice versa.
- Nominal and effective R values are expressed in (h·ft²·F)/Btu. U-Values are expressed in Btu/(h·ft²·F).



① EXCAVATION AND BACKFILL

- Excavation shall be undertaken in such a manner so as to prevent damage to existing structures, adjacent property and utilities
- The topsoil and vegetable matter in unexcavated areas under a building shall be removed. The bottom of excavations for foundations shall be free of all organic material
- If termites are known to exist, all stumps, roots and wood debris shall be removed to a minimum depth of 11 3/4in excavated areas under a building, and the clearance between untreated structural wood elements and the ground shall be no less than 17 3/4"
- Backfill within 23 5/8" of the foundation walls shall be free of deleterious debris and boulders over 9 7/8" in diameter

② DAMP PROOFING AND DRAINAGE

- In normal soil conditions, the exterior surfaces of foundation walls enclosing basements and crawl spaces shall be damp proofed. Where hydrostatic pressure occurs, a waterproofing system is required
- Masonry foundation walls shall be parged with 1/4" of mortar covered over the footing prior to damp proofing
- 4" foundation drains shall be laid on level, undisturbed ground adjacent to the footings at or below the top of the basement slab or crawl space floor, and shall be covered with 6" of crushed stone. Foundation drains shall drain to a storm sewer, drainage ditch, dry well or sump
- Window wells shall be drained to the footing
- Downspouts not directly connected to a storm sewer shall have extensions to carry water away from the building, and provisions shall be made to prevent soil erosion
- Concrete slabs in attached garages shall be sloped to drain to the exterior
- The building site shall be graded so that surface, sump and roof drainage will not accumulate at or near the building and will not adversely affect adjacent properties

③ FOOTINGS

- minimum 15 MPa poured concrete
- minimum 48" below finished grade
- Footings shall be founded on natural undisturbed soil, rock or compacted granular fill with minimum bearing capacity of 100 kPa

④ FOOTING SIZE

Floors Supported	Supporting Ext. Wall	Supporting Int. Wall	Column Area
1	9 7/8"	9 7/8"	4.3 ft2
2	13 3/4"	13 3/4"	8.1 ft2
3	17 3/4"	19 3/4"	10.9 ft2

- Increase footing width by 2 5/8" for each storey of brick veneer supported, and by 5 1/8" for each storey of masonry
- The projection of an unreinforced footing beyond the wall supported shall not be greater than its thickness

⑤ STEP FOOTINGS

- Vertical Rise
23 5/8" Max. for firm soils
15 3/4" Max. for sand or gravel
Horizontal Run = 23 5/8" Min.

⑥ FOUNDATION WALLS

- To be poured concrete, unit masonry or preserved wood (see drawings for type and thickness)
- Damp proofing shall be a heavy coat of bituminous material.
- Foundation wall to extend minimum 5 7/8" above finished grade.
- A drainage layer is required on the outside of a foundation wall where the interior insulation extends more than 2'-11" below exterior grade. A drainage layer shall consist of
 - Min. 3/4" mineral fibre insulation with min. Density of 3.6 lb/ft²
 - Min. 4" of free drainage granular material, or
 - An approved system which provides equivalent performance
- Foundation walls shall be braced or have the floor joists installed before backfilling

⑦ CONCRETE FLOOR SLABS

- Garage, carport and exterior slabs and exterior steps shall be 4650psi concrete with 5-8% air entrainment
- Other slabs 3600psi concrete
- Minimum 3" thick, placed on a minimum 4" of coarse, clean, granular material
- All fill other than coarse clean material placed beneath concrete slabs shall be compacted to provide uniform support

⑧ MASONRY WALLS

- Where constructed of 3 1/2" brick, wall shall be bonded with header course every 6th course
- Provide 2" solid masonry or continuous 1 1/2" plate under all roof and floor framing members
- Provide 7 1/2" solid masonry under beams and columns
- Masonry wall to be tied to each tier of joists with 1 9/16" x 3/16" corrosion resistant steel straps, keyed minimum 4" into masonry. When joists are parallel to wall, ties are to extend across at least 3 joists @ 6'-7" o.c.
- Inside back of wall to be parged and covered with No.15 breather-type asphalt paper
- For reduced foundation walls to allow a brick facing while maintaining lateral support, tie minimum 3 1/2" brick to minimum 3 1/2" back-up block with corrosion resistant ties at least 0.028in² with cross sectional area, spaced 7 7/8" vertically and 2'-11" horizontally, with joints completely filled with mortar
- Masonry over openings shall be supported on corrosion resistant or prime painted steel lintels with a minimum of 5 7/8" end bearing

⑨ MASONRY VENEER

- Minimum 2 3/4" thick if joints are not raked and 3 1/2" thick if joints are raked
- Minimum 1" air space to sheathing
- Provide weep holes @ 31 1/2" o.c. at the bottom of the cavity and over doors and windows
- Direct drainage through weep holes with 20 mil poly flashing extending minimum 5 7/8" up behind the sheathing paper
- Veneer ties minimum 0.030" thick x 7/8" wide, corrosion resistant straps spaced @ 23 5/8" vertically and 15 3/4" horizontally
- Fasten ties with corrosion resistant 0.125" diameter screws or spiral nails which penetrate at least 1-3/16" into studs

⑩ WOOD FRAME CONSTRUCTION

- All lumber shall be spruce-pine-fir No. 1 & 2, and shall be identified by a grade stamp
- Maximum moisture content 19% at time of installation
- Wood framing members which are supported on concrete in direct contact with soil shall be separated from the concrete with 6 mil polyethylene

⑪ WALLS

- Exterior walls shall consist of:
 - cladding
 - sheathing paper lapped 4" at joints
 - 3/8" fibreboard or gypsum board or 1/4" plywood sheathing
 - 2x6 studs @ 16" o.c.
 - 2x6 bottom plate and double 2x6 top plate
 - 2x4 studs @ 16" o.c. can be utilized provided the combined R value of the batt insulation and exterior rigid insulation achieves R=17.
- Interior loadbearing walls shall consist of:
 - 2x4 studs @ 16" o.c.
 - 2x4 bottom plate and double 2x4 top plate
 - 2x4 mid-girts if not sheathed
 - 1/2" gypsum board sheathing

⑫ FLOOR JOISTS

- See S04 for floor joist size and spacing requirements
- Joists to have minimum 1 1/2" end bearing
- Joists shall bear on a sill plate fixed to foundation with 1/2" anchor bolts @ 7' 10" o.c
- Header joists between 3' 11" and 10' 6" in length shall be doubled. Header joists exceeding 10' 6" shall be sized by calculations
- Trimmer joists shall be doubled when supported header is between 2' 7" and 6' 7". Trimmer joists shall be sized by calculations when supported header exceeds 6' 7"
- 2x2 cross bridging required not more than 6' 11" from each support and from other rows of bridging
- Joists shall be supported on joist hangers at all flush beams, trimmers, and headers.
- Joists located under parallel non-loadbearing partitions shall be doubled
- See S04 for subflooring requirements

⑬ ROOF AND CEILINGS

- See S04 for rafter, roof joist and ceiling joist size and spacing requirements
- Hip and valley rafter shall be 2" deeper than common rafters
- 2x4 collar ties @ rafter spacing with 1x4 continuous brace at mid span if collar tie exceeds 7' 10" in length
- See S04 for roof sheathing requirements

⑭ NOTCHING & DRILLING OF TRUSSES, JOISTS, RAFTERS

- Holes in floor, roof and ceiling members to be maximum 1/4 x actual depth of member and not less than 2" from edges
- Notches in floor, roof and ceiling members to be located on top of the member within 1/2 the actual depth from the edge of bearing and not greater than 1/3 joist depth
- Wall studs may be notched or drilled provided that no less than 2/3 the depth of the stud remains, if load bearing, and 1 9/16" non-load bearing
- Roof truss members shall not be notched, drilled or weakened unless accommodated in the design

⑮ ROOFING

- Fasteners for roofing shall be corrosion resistant. Roofing nails shall penetrate through or at least 1/2" into roof sheathing
- Every asphalt shingle shall be fastened with at least 4 nails
- Eave protection shall extend 2' 11" up the roof slope from the edge, and at least 11 3/4" from the inside face of the exterior wall, and shall consist of Type M or Type S Roll Roofing laid with minimum 4" head and end laps cemented together, or glass Fibre or Polyester Fibre coated base sheets, or self sealing composite membranes consisting of modified bituminous coated material. Eave protection is not required for unheated buildings, for roofs exceeding a slope of 1 in 1.5, or where a low slope asphalt shingle application is provided
- Open valleys shall be flashed with 2 layers of roll roofing, or 1 layer of sheet metal min. 23 5/8" wide
- Flashing shall be provided at the intersection of shingle roofs with exterior walls and chimneys
- Sheet metal flashing shall consist of not less than 1/16" sheet lead, 0.013" galvanized steel, 0.018" copper, 0.018" zinc, or 0.019" aluminum

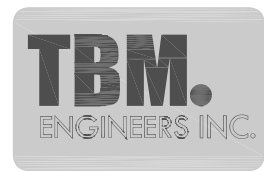
⑯ COLUMNS, BEAMS & LINTELS

- Steel beams and columns shall be shop primed.
- Minimum 3 1/2" end bearing for wood and steel beams, with 7 7/8" solid masonry beneath the beam.
- Steel columns to have minimum outside diameter of 2 7/8" and minimum wall thickness of 3/16"
- Wood columns for carports and garages shall be minimum 3 1/2" x 3 1/2", in all other cases either 5 1/2" x 5 1/8" or 7 1/4" round, unless calculations based on actual loads show lesser sizes are adequate. All columns shall be not less than the width of the supported member
- Masonry columns shall be a minimum of 1 3/8" x 11 3/8" or 9 1/2" x 15"
- Provide solid blocking the full width of the supported member under all concentrated loads

⑰ INSULATION & WEATHERPROOFING

Ceiling with attic	R-60
Ceiling without attic space	R-31
Exposed Floor	R-31
Walls above Grade	R-19+5ci
Basement Walls	R-20ci
Heated Slab or Slab < 600 mm Below Grade	R-10
Edge of Below Grade Slab < 600 mm Below Grade	R-10

- Supply Ducts in unheated space R=20
- Insulation shall be protected with gypsum board or an equivalent interior finish, except for unfinished basements where 6 mil poly is sufficient for fiberglass type insulations
- Ducts passing through unheated space shall be made airtight with tape or sealant
- Caulking shall be provided for all exterior doors and windows between the frame and the exterior cladding
- Weatherstripping shall be provided on all doors and access hatches to the exterior, except doors from a garage to the exterior
- Exterior walls, ceilings and floors shall be constructed so as to provide a continuous barrier to the passage of water vapour from the interior and to the leakage of air from the exterior



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Addition and Interior Alterations on Existing Dwelling

Date 2022-08-16 **Issued for:** Building Permit
2022-10-17 COA

Scale:
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Drawing No.

D-23

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18 NATURAL VENTILATION

- Every roof space above an insulated ceiling shall be ventilated with unobstructed openings equal to not less than 1/300 of insulated area
- Insulated roof spaces not incorporating an attic shall be ventilated with unobstructed openings equal to not less than 1/150 of insulated area.
- Roof vents shall be uniformly distributed and designed to prevent the entry of rain, snow or insects
- Unheated crawl spaces shall be provided with 1.1 ft² of ventilation for each 538² ft
- Minimum natural ventilation areas, where mechanical ventilation is not provided, are:
Bathrooms: 0.97 ft²
other rooms: 3 ft²
Unfinished basement: 0.2% of floor area

19 DOORS AND WINDOWS

- Every floor level containing a bedroom and not served by an exterior door shall contain at least 1 window having an unobstructed open area of 3.8 ft² and no dimension less than 15", which is openable from the inside without tools
- Exterior house doors and windows within 6' 7" from grade shall be constructed to resist forced entry. Doors shall have a deadbolt lock
- The principal entry door shall have either a door viewer, transparent glazing or a sidelight

20 EXTERIOR WALLS

- No windows or other unprotected openings are permitted in exterior walls less than 3' 11" from property lines
- 5/8" fire rated drywall shall be installed on the inside face of attached garage exterior walls and gable ends of roofs which are less than 3' 11" from property lines
- Non combustible cladding shall be installed on all exterior walls less than 23 5/8" from property lines

21 CERAMIC TILE

- When ceramic tile applied to a mortar bed with adhesive, the bed shall be a minimum of 1/2" thick & reinforced with galvanized diamond mesh lath, applied over polyethylene on subflooring on joists at no more than 16" o.c. with at least 2 rows cross bridging

22 ACCESS TO ATTICS AND CRAWL SPACES

- Access hatch minimum 19 3/4" x 2' 4" to be provided to every crawl space and every roof space which is 108 ft² or more in area and more than 23 5/8" in height

23 GARAGE GASPROOFING

- The walls and ceiling of an attached garage shall be constructed and sealed so as to provide an effective barrier to exhaust fumes
- All plumbing and other penetrations through the walls and ceiling shall be caulked
- Doors between the dwelling and attached garage may not open into a bedroom and shall be weatherstripped and have a self-closer

24 ALARMS AND DETECTORS

- At least one smoke alarm shall be installed on or near the ceiling on each floor and basement level 2' 11" or more above an adjacent level
- Smoke alarms shall be interconnected and located such that one is within 16' 5" of every bedroom door and no more than 49' 3" travel distance from any point on a floor
- A carbon monoxide detector shall be installed on or near the ceiling in every room containing a solid fuel burning fireplace or stove

25 STAIRS

- Maximum Rise 7 7/8"
- Minimum Run 10"
- Maximum Run 14"
- Minimum Head Room 6' 5"
- Minimum Width 2' 10"
- Curved stairs shall have a min. run of 5 7/8" at any point and a minimum average run of 7 7/8"
- Winders which converge to a point in stairs must turn through an angle of no more than 90° with no less than 30° or more than 45° per tread. Sets of winders must be separated by 3' 11" along the run of the stair
- A landing minimum 2' 11" in length is required at the top of any stair leading to the principal entrance to a dwelling, and other entrances with more than 3 risers
- Exterior concrete stairs with more than 2 risers require foundations

26 HANDRAILS AND GUARDS

- A handrail is required for interior stairs containing more than 2 risers and exterior stairs containing more than 3 risers
- Guards are required around every accessible surface which is more than 23 5/8" above the adjacent level
- Interior and exterior guards min. 2' 11" high. Exterior guards shall be 3' 6" high where height above adjacent surface exceeds 5' 11"
- Guards shall have no openings greater than 4", and no member between 4" and 2' 11" that will facilitate climbing

27 PLUMBING

- Every dwelling requires a kitchen sink, lavatory, water closet, bathtub or shower stall and the installation or availability of laundry facilities
- A floor drain shall be installed in the basement, and connected to the sanitary sewer where gravity drainage is possible. In other cases, it shall be connected to a storm drainage system, ditch or dry well

28 ELECTRICAL

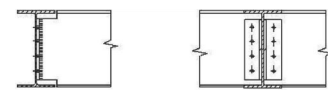
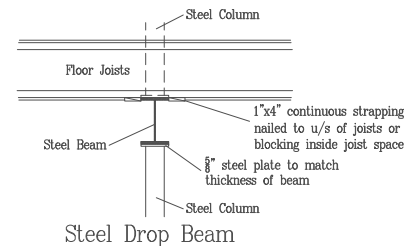
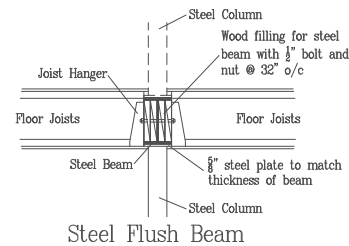
- An exterior light controlled by an interior switch is required at every entrance
- A light controlled by a switch is required in every kitchen, bedroom, living room, utility room, laundry room, dining room, bathroom, vestibule, hallway, garage and carport. A switched receptacle may be provided instead of a light in bedrooms and living rooms
- Stairs shall be lighted, and except where serving an unfinished basement shall be controlled by a way switch at the head and foot of the stairs
- Basements require a light for each 323 ft² controlled by a switch at the head of the stairs

29 MECHANICAL VENTILATION

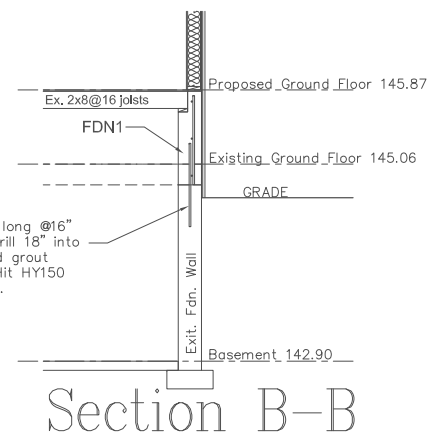
- A mechanical ventilation system is required with a total capacity at least equal to the sum of:
 - 10 cfm each for basement and master bedroom
 - 5 cfm for each other room
- A principal dwelling exhaust fan shall be installed and controlled by a centrally located switch identified as such
- Supplemental exhaust shall be installed so that the total capacity of all kitchen, bathroom and other exhausts, less the principal exhaust, is not less than the total required capacity
- A Heat Recovery Ventilator may be employed in lieu of exhaust to provide ventilation. An HRV is required if any solid fuel burning appliances are installed
- Supply air intakes shall be located so as to avoid contamination from exhaust outlets

GENERAL NOTES:

- All work according to Ontario Building Code and Municipal by-laws and standards.
- Excavation shall be undertaken in such a manner as to prevent movement that would cause damage to adjacent buildings at all phases of construction.
- Material shall not be placed nor shall equipment be operated or placed in or adjacent to an excavation in a manner that may endanger the integrity of the excavation or its supports.
- Surface water, all groundwater, perched ground water and in particular artesian water shall be kept under control at all phases of excavation and construction.
- All sides of excavation shall be continuously maintained and protected from possible deterioration by construction activity or by the action of frost, rain and wind.
- All dimensions and locations to be verified on site prior construction
- Contractor to provide all temporary bracing and shoring necessary for the safe execution of this work
- All footing to be minimum 48" below finish grade, on natural undisturbed soil, rock, or 6" of compacted granular fill with minimum bearing capacity of 100 kPa
- All members shall be so framed, fastened, tied, braced, and anchored to provide the necessary strength, rigidity, and stability OBC 9.23.2.1 and 4.1.1.3
- All loads must be supported and transferred to foundation or adequate support



Steel Beam to Steel Beam Connection



15M dowels 36" long @16" o.c. vertically. Drill 18" into existing wall and grout solid with Hilti Hit HY150 adhesive system.

Section B-B



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Drawing No.

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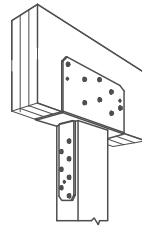
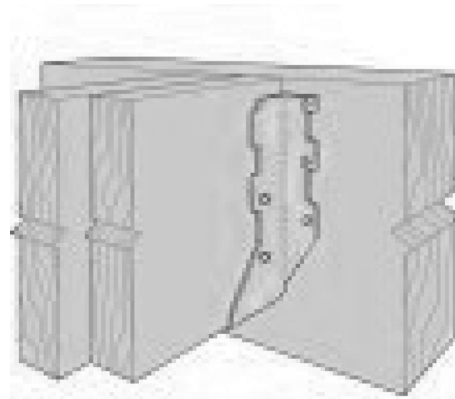
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MULTIPLE MEMBER CONNECTIONS FOR SIDE-LOADED BEAMS: 3100F_b – 2.0E

Verify adequacy of beam in uniform load tables prior to using values listed below.
3100F_b-2.0E 194" WEST FRASER™ LVL

Maximum Factored Uniform Load (PLF) Applied to Either Outside Member			2-PLY LVL	3-PLY LVL	4-PLY LVL*
Connector	Spacing	Rows	Nails On One Side or Through Bolts	Nails Both Sides or Through Bolts	Through Bolts Only
16d (3 1/4") Common Wire Nails	12" o.c.	2 Rows	885	663	Not Applicable
		3 Rows	1327	995	
		4 Rows	1770	1326	
	6" o.c.	2 Rows	1770	1326	Not Applicable
		3 Rows	2654	1990	
		4 Rows	2655	1989	
1/2" A307 Through Bolts	12" o.c.	2 Rows	671	503	448
		3 Rows	1342	1006	895
		4 Rows	2684	2012	1790

* 4-ply beams should only be side-loaded when loads are applied to both sides of the member.
1. Nails to be located a minimum of 2" from the top and bottom of the member. Start all nails a minimum of 2 1/2" in from ends.
2. Bolts are to be material conforming to ASTM Standard A307. Bolt holes are to be the same diameter as the bolt, and located 2" from the top and bottom of the member. Washers should be used under head and nut. Start all bolts a minimum of 2 1/2" in from ends.
3. Values listed are for standard term loading.

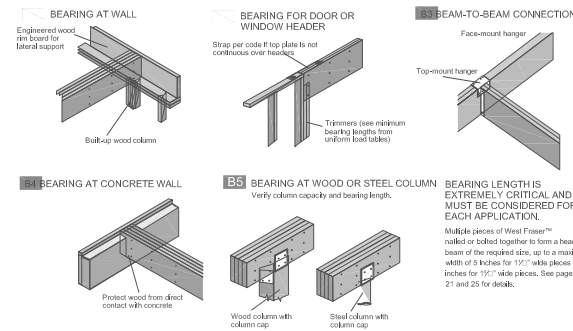


CONCRETE:
Unreinforced and reinforced concrete shall be designated, mixed, placed, cured and tested in accordance with the requirements for "R" class concrete stated in Clause 8.13 of CSA A23.1, "Concrete Materials and Methods of Concrete Construction", with a maximum aggregate size of 19 mm. For strip footings, footing pads and foundation walls, use 20 MPa. For concrete exposed to cold weather, use 32 MPa concrete with 5%–8% air entrainment.

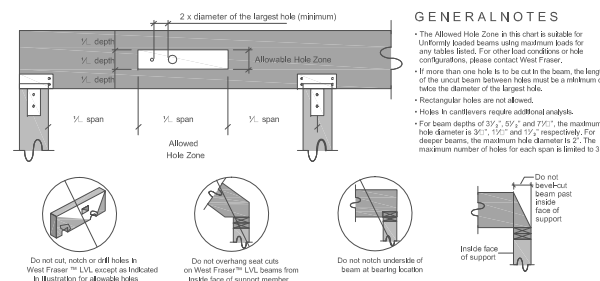
STEEL REINFORCEMENT:
Reinforcement shall conform to CAN/CSA-G30.18-M "Billet-Steel Bars for Concrete Reinforcement" with a minimum specified yield strength of 400 MPa, and be lapped a minimum of 450 mm for 10M bars and 650 mm for 15 M bars.

STRUCTURAL STEEL:
Structural steel shall conform to CAN/C.S.A.-G40.20/G40.21 Grade 350W to be shop painted (primed). Structural steel connections to be bolted or welded on site. Contractor to submit stamped shop drawings for approval prior fabrication. Structural elements to be supported on steel, concrete, or masonry walls. Do not support steel on wood, LVL, or combustible materials.

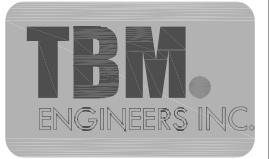
BEARING DETAILS



ALLOWABLE HOLES



STRUCTURAL - SPECIFICATIONS - WOOD



DESIGN. DELIVER. INNOVATE.

TBM Engineers Inc.
15 Jaylynn Ct.
Woodbridge, ON (905) 893-9070
www.tbmengineers.com
tbmengineers@mail.com



Project Address:
130 Clarence St,
Vaughan, ON
L4L 1L3

Addition and Interior Alterations on Existing Dwelling

Date Issued for:
2022-08-10 Building Permit
2022-10-17 COA

Scale:
3/16" = 1'-0" (1:64)

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

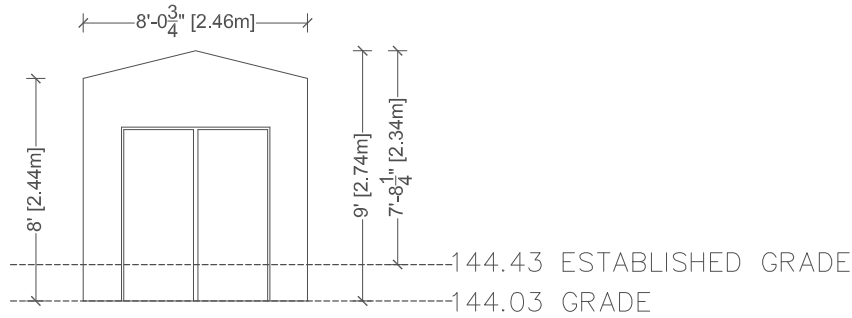
Scale:
3/16" = 1'-0" (1:64)

Drawing No.
D-25
25 of 25

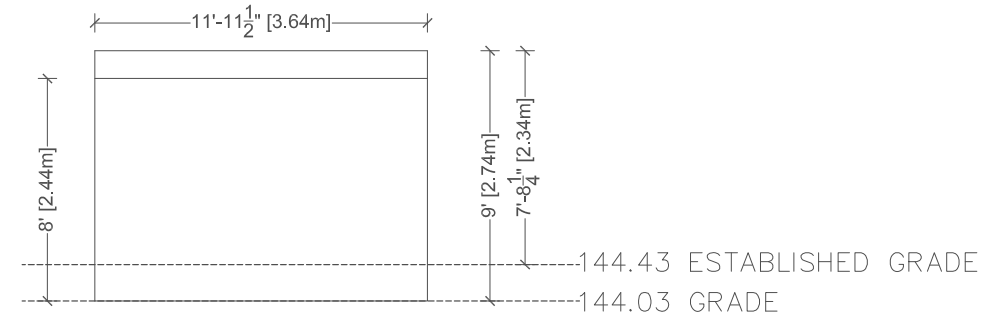
Received

November 14, 2022

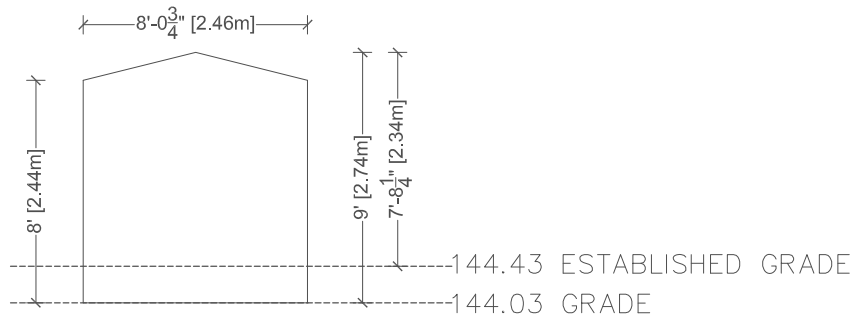
A289/22



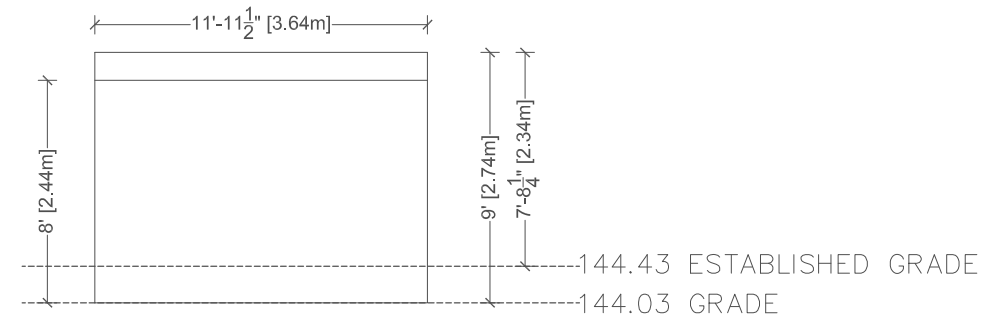
FRONT



SIDE



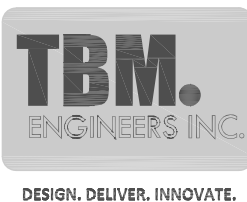
REAR



SIDE

ESTABLISHED GRADE: 144.43+144.42=144.43

Existing Vinyl Shed



TBM Engineers Inc.
15 Jaylynn Crt.
Woodbridge, ON (905) 893-9070
www.tbmengineers.com
tbmengineers@mail.com



Project Address:
130 Clarence St,
Vaughan, ON
L4L 1L3

**Addition and Interior
Alterations on
Existing Dwelling**

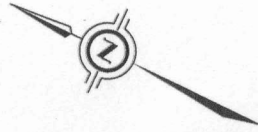
Date Issued for:
2022-11-14 COA

Scale:
3/16" = 1'-0" (1:64)

These Drawings are the sole property of TBM Engineers Inc. and must not be used for any other project and/or by any other person without written permission. All drawings must not be used for any construction before the building Permit. Do not scale this document.

Drawing No.

D-26



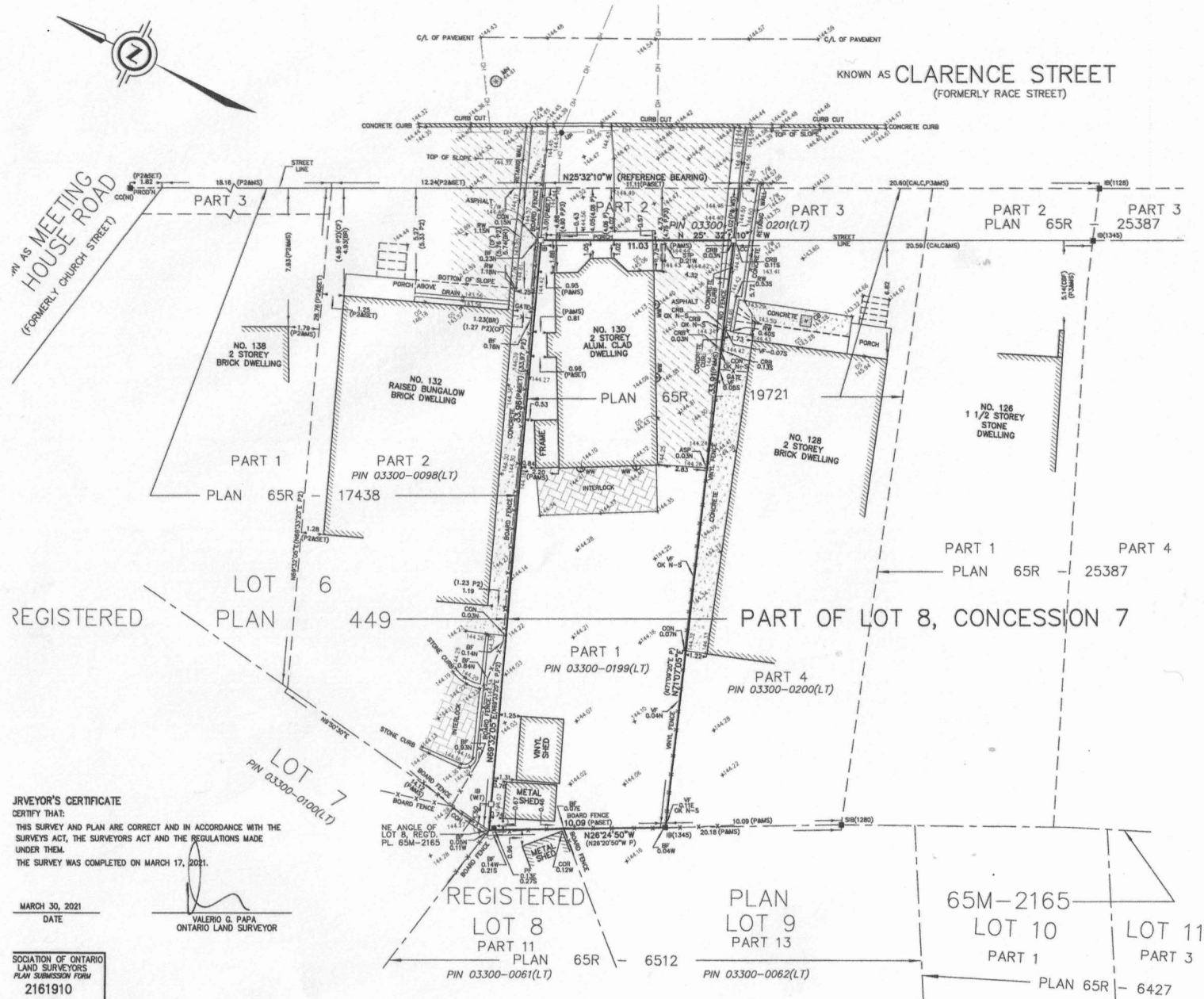
KNOWN AS CLARENCE STREET
(FORMERLY RACE STREET)

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF
PART OF LOT 8
CONCESSION 7
(GEOGRAPHIC TOWNSHIP OF VAUGHAN)
NOW IN
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK

SCALE = 1:150 m

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

KNOWN AS MEETING
HOUSE ROAD
(FORMERLY CHURCH STREET)



PART 2 - REPORT SUMMARY

MUNICIPALLY KNOWN AS NO. 130 CLARENCE STREET
PART OF LOT 8, CONCESSION 7
DESIGNATED AS PART 1, PLAN 65R-19721
CITY OF VAUGHAN
REGIONAL MUNICIPALITY OF YORK
EASEMENTS OR RIGHT OF WAY
NONE

COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS

No investigation with respect to Municipal Zoning requirement has been made in connection with this Report.

ADDITIONAL REMARKS

- MONUMENTS SHOWN AS "WT" ARE WITNESS MONUMENTS AND ARE NOT AT THE PROPERTY CORNER.
- THE FENCES ARE AS SHOWN ON THE SURVEY PLAN.
- NOTE THE EDGE OF CONCRETE CURB AND CONCRETE PAD BETWEEN NO. 128 AND NO. 130 CLARENCE STREET.
- NOTE THAT THE EAST LIMIT OF PORCH OF DWELLING NO. 130 CLARENCE STREET IS PARTIALLY LOCATED ON THE LANDS TO THE EAST BEING CLARENCE STREET.

THIS REPORT HAS BEEN PREPARED FOR "MR. GEORGE MAKAR" AND GUIDO PAPA SURVEYING - A DIVISION OF J.D. BARNES LTD. ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

NOTES:

GUIDO PAPA SURVEYING - A DIVISION OF J.D. BARNES LTD. IS NOT LIABLE FOR USE OF THIS REPORT BY ANY PARTY OR PARTIES FOR FUTURE TRANSACTIONS OR FOR ANY UNRELATED PURPOSES.

THIS REPORT REFLECTS CONDITIONS AT TIME OF SURVEY. UPDATING MAY BE REQUIRED TO ISSUE ADDITIONAL COPIES SUBSEQUENT TO DATE OF THE SURVEYOR'S CERTIFICATE.

NOTES:

BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF PART 2 AS SHOWN ON PLAN 65R-19721, HAVING A BEARING OF N25°32'10"W.

- # DENOTES SURVEY MONUMENT FOUND
- ST SURVEY MONUMENT PLANTED
- SIB STANDARD IRON BAR
- IB IRON BAR
- CC CUT CROSS
- WT WITNESS
- NI NOT IDENTIFIABLE
- M9 MEASURED
- P PLAN 65R-19721
- SRPR BY DIEGO FAZIO LTD. DATED APRIL 24, 1996 (REF. NO. 96-23)
- P3 SRPR BY GUIDO PAPA SURVEYING LTD. DATED MAY 26, 2015 (REF. NO. 15-178)
- CALC CALCULATION FROM PLAN 65R-19721 AND PLAN 65R-25387
- SRPR SURVEYOR'S REAL PROPERTY REPORT
- 1128 D.G. HORWOOD O.L.S.
- 1299 A. NKAS O.L.S.
- 1345 GUIDO PAPA O.L.S.
- N.S.E.W. NORTH, SOUTH, EAST, WEST
- PROD. ON PRODUCTION
- ALUM ALUMINUM
- BR BRICK
- CF CONCRETE FOUNDATION
- CBF CONCRETE BLOCK FOUNDATION
- PF POST FENCE
- BF BOARD FENCE
- VF VINYL FENCE
- RW RETAINING WALL
- CON CONCRETE
- ASP ASPHALT
- STP STEP
- WW WINDOW WELL
- UP UTILITY POLE
- QH- OVERHEAD CABLES
- CB CATCH BASIN
- MH MANHOLE
- 100.00 EXISTING ELEVATION
- DS DOOR SILL
- GS GARAGE SILL
- T/W TOP OF WALL
- DECIDUOUS TREE

GEODETIC:

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM THE CITY OF VAUGHAN BENCHMARK NO. 44-27 ELEVATION = 142.891 METRES.

© COPYRIGHT 2021 Guido Papa Surveying - A Division of J.D. Barnes Limited

SURVEYOR'S CERTIFICATE

CERTIFY THAT:

THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

THE SURVEY WAS COMPLETED ON MARCH 17, 2021.

MARCH 30, 2021
DATE

VALERIO G. PAPA
ONTARIO LAND SURVEYOR

SOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2161910

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
section 110(2), Section 29(3).



GUIDO PAPA SURVEYING
A Division of J.D. Barnes Limited

1128 ST. STEPHEN ST. VAUGHAN, ON L4R 0A4
T: (905) 751-2961 F: (905) 751-2966 www.gpsurveys.com

A.A. DRAWN
V.G.P. CHECKED
DATES
03/30/21
Ref. No.
21-18-905-00

SCHEDULE B: STAFF & AGENCY COMMENTS				
DEPT/AGENCY	Circulated	Comments Received	Conditions	Nature of Comments
TRCA *Schedule B	X	X	X	Recommend Approval w/Conditions
Ministry of Transportation (MTO) *Schedule B	X			No Comments Recieved to Date
Region of York *Schedule B	X	X		General Comments
Alectra *Schedule B	X			No Comments Recieved to Date
Bell Canada *Schedule B	X			No Comments Recieved to Date
YRDSB *Schedule B				
YCDSB *Schedule B				
CN Rail *Schedule B				
CP Rail *Schedule B				
TransCanada Pipeline *Schedule B	X			No Comments Recieved to Date
Metrolinx *Schedule B				
Propane Operator *Schedule B				
Development Planning	X			Application under review
Building Standards (Zoning)	X	X		General Comments

To: Committee of Adjustment
From: Sarah Scauzillo, Building Standards Department
Date: November 28, 2022
Applicant: Terence & Sheila Margel
Location: 130 Clarence Street
 CONC 7 Part of Lot 8 municipally known as
File No.(s): A289/22

Zoning Classification:

The subject lands are zoned R3(EN) under Zoning By-law 001-2021, as amended.

#	Zoning By-law 01-2021	Variance requested
1.	A minimum distance of 0.6 m shall be required from the uncovered platform to the front lot line. [Section 4.13]	To permit a minimum distance of 0.05m from the uncovered platform to the front lot line.

The subject lands are zoned R3 under Zoning By-law 1-88, as amended.

	Zoning By-law 1-88	Variance requested
2	Where a single family detached dwelling is erected without an attached garage or carport, the minimum side yard requirement of one interior yard shall be 4.5 metres, or the front yard shall be a minimum of 11.0 metres. [Schedule A]	To permit a single family detached dwelling without an attached garage or carport with a minimum interior side yard setback of 1.53 metres and a front yard setback of 1.0 metres.
3	A minimum rear yard setback of 7.5 metres to the proposed accessory structure is required. [Section 4.1]	To permit a minimum rear yard setback of 2.85 metres to the proposed accessory structure.

Staff Comments:

Stop Work Order(s) and Order(s) to Comply:

There are no outstanding Orders on file

Building Permit(s) Issued:

Building Permit No. 22-117987 for Single Detached Dwelling - Addition, Issue Date: (Not Yet Issued)
 Building Permit No. 22-111275 for Single Detached Dwelling - Alteration, Issue Date: (Not Yet Issued)

Other Comments:

General Comments	
1	The applicant shall be advised that additional variances may be required upon review of detailed drawing for building permit/site plan approval.
2	The subject lands may be subject to Ontario Regulation 166/06 (TRCA - Toronto and Region Conservation Authority). Approval from the TRCA is required
3	The subject lands are located within the Woodbridge Special Policy Area.
4	The subject lands are located within the Woodbridge Heritage District. Approval from the Heritage Department is required.

Conditions of Approval:

If the committee finds merit in the application, the following conditions of approval are recommended.

* Comments are based on the review of documentation supplied with this application.

November 30, 2022

CFN 66448.33

SENT BY E-MAIL: Christine.Vigneault@vaughan.ca

Christine Vigneault
Secretary Treasurer
Committee of Adjustment
City of Vaughan
2141 Major Mackenzie Drive
Vaughan, Ontario L6A 1T1

Dear Christine:

**Re: Minor Variance Application A289/22
Part of Lot 8, Concession 7
130 Clarence Street
City of Vaughan, Region of York
Owner: Terence and Sheila Margel
Agent: Byron Escobar and Tatiana Quintana**

This letter acknowledges receipt of the above-noted application circulated by the City of Vaughan. The materials were received by Toronto and Region Conservation Authority (TRCA) on November 28, 2022. TRCA staff has reviewed the above noted application, and as per the “Living City Policies for Planning and Development within the Watersheds of the TRCA” (LCP), provides the following comments as part of TRCA’s commenting role under the *Planning Act*; the Authority’s delegated responsibility of representing the provincial interest on natural hazards encompassed by Section 3.1 of the *Provincial Policy Statement, 2020*; TRCA’s Regulatory Authority under Ontario Regulation 166/06, *Development, Interference with Wetlands and Alterations to Shorelines and Watercourses*; and, our Memorandum of Understanding (MOU) with the Region of York, wherein we provide technical environmental advice related to provincial plans.

Purpose of the Application

It is our understanding that the purpose of the above noted application is to request the following variance under By-Law 1-88:

By-Law 1-88

1. To permit a minimum interior side yard of 2.02 m, whereas where a single family detached dwelling is erected without an attached garage or carport the minimum side yard requirements of one interior yard shall be 4.5 m, or the front yard shall be a minimum of 11 m.

The noted variances are being requested to permit the construction of an addition to an existing residential dwelling.

Ontario Regulation 166/06

The subject lands are located within TRCA's Regulated Area due to Regional Storm flood plain associated with a tributary of the Humber River. In accordance with Ontario Regulation 166/06 (Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses), development, interference or alteration may be permitted in the Regulated Area where it can be demonstrated to TRCA's satisfaction that the control of flooding, erosion, dynamic beaches, pollution, or the conservation of land will not be affected.

Application-Specific Comments

Based on a review of the submitted materials, the proposed works are located within TRCA's Regulated Area. Specifically, the proposed addition is located within the Regional Storm flood plain which impacts the entire site. The site is also within the Special Policy Area (SPA) of the Woodbridge Centre Secondary Plan. The SPA designation recognizes areas within a community that have historically existed in the flood plain and where site-specific policies are intended to provide for the continued viability of existing uses.

TRCA staff have reviewed and issued a permit, pursuant to Ontario Regulation 166/06, for the proposed addition (TRCA Permit No. C-221212, issued on October 12, 2022). The plans submitted with this application are consistent with the plans that were approved as a part of TRCA's permit.

Based on the above, TRCA staff have no concerns with the proposed addition, or the variances being requested through this application.

Fees

By copy of this letter, the applicant is advised that the TRCA has implemented a fee schedule for our planning application review services. This application is subject to a \$950.00 (Variance-Residential-Standard) review fee. The applicant is responsible for fee payment and should forward the application fee to this office as soon as possible.

Recommendations

Based on the comments noted above, TRCA has **no objection** to the approval of Minor Variance Application A289/22 subject to the following condition:

1. That the applicant provides the required fee amount of \$950.00 payable to the Toronto and Region Conservation Authority.

We trust these comments are of assistance. Should you have any questions, please contact me at 437-880-2129 or at Kristen.Regier@trca.ca

Sincerely,

Kristen Regier

Kristen Regier
Planner I
Development Planning and Permits

KR/sb

From: [Development Services](#)
To: [Committee of Adjustment](#)
Subject: [External] FW: A289/22 (130 Clarence Street) - (URGENT) REQUEST FOR COMMENTS, CITY OF VAUGHAN
Date: Monday, November 28, 2022 12:28:41 PM
Attachments: [image001.png](#)
[image003.png](#)
[CIRC_A289_22.pdf](#)
Importance: High

Hello,

The Regional Municipality of York has completed its review for the Minor Variance application - A289/22 and has no comment.

Thank you,

Maryam Ahmed, B.U.R.PL. | Associate Planner, Programs and Process Improvement, Planning and Economic Development, Corporate Services

The Regional Municipality of York | 17250 Yonge Street | Newmarket, ON L3Y 6Z1
1-877-464-9675 x74528 | maryam.ahmed@york.ca | www.york.ca

Our Values: Integrity, Commitment, Accountability, Respect, Excellence



Our Mission: **Working together to serve our thriving communities – today and tomorrow**

SCHEDULE C: PUBLIC & APPLICANT CORRESPONDENCE

Correspondence Type	Name	Address	Date Received (mm/dd/yyyy)	Summary
Public	Multiple	128 & 132 Clarence Street & 105 Rosebury Lane	11/13/2022	Petition of Support

Terence and Sheila Margel

November 13, 2022

Re: A289/22 (130 Clarence Street, Woodbridge, Ontario)

Dear Committee of Adjustment at the City of Vaughan,

In regards to file A289/22 regarding 130 Clarence Street in Woodbridge, Vaughan, Ontario I have no issues with regards to the following zoning by-law issues and support my neighbour, Terence and Sheila Margel in their variances requested to be approved and waive these by-laws that relate to their property.

- A) Driveway / side yard requirement
- B) Vinyl Shed
- C) Front yard deck

A)

The subject lands are zoned R3 under Zoning By-law 1-88, as amended.

Zoning By-law 1-88		Variance requested
1	Where a single family detached dwelling is erected without an attached garage or carport, the minimum side yard requirement of one interior yard shall be 4.5 metres, or the front yard shall be a minimum of 11.0 metres. [Schedule A]	To permit a single family detached dwelling without an attached garage or carport with a minimum interior side yard setback of 1.53 metres and a front yard setback of 1.0 metres.

B & C)

Zoning By-law 01-2021	
1	Accessory structures are subject to the requirements of Section 4.1. and do not appear to meet the requirements of the By-law. Applicant to revise the drawings or add this item to the list of requested variances.
2	The proposed front yard deck does not appear to meet the requirements of the By-law. Encroachments are permitted in accordance with Section 4.13. Applicant to revise the drawings or add this item to the list of requested variances.

Zoning By-law 1-88	
3	The application has been reviewed for the proposed addition only. Accessory structures are subject to the requirements of Section 4.1. Applicant to revise the drawings or add this item to the list of requested variances.
4	The proposed front yard deck does not appear to meet the requirements of the By-law. Encroachments are permitted in accordance with Section 3.14. Applicant to revise the drawings or add this item to the list of requested variances.

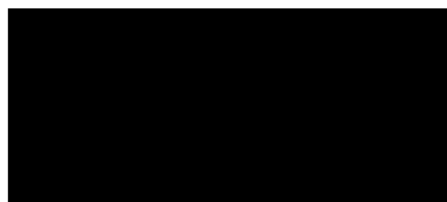
5	The proposed building height of each accessory structure is required to determine compliance and setback requirements. Applicant to provide elevations identifying the building height measured in accordance with 4.1.
6	The proposed rear yard setback to the Vinyl Shed has not been identified. Applicant to provide the dimension to determine compliance.



Signed:

Salvatore Crispo

128 Clarence Street, Woodbridge, Vaughan, Ontario (Driveway)



ANN-MARIE Williams

132 Clarence Street, Woodbridge, Vaughan, Ontario (Front Yard Deck)

105 Rosebury Lane, Woodbridge, Vaughan, Ontario (Shed)

WAYNE MARSHALL

A289/22 130 Clarence Street, Woodbridge, Vaughan, Ontario L3L 1L3

103 Rosebury Lane (shed)
Claudia Castro